

051248

WARRANTY DEED

Maine Statutory Short Form

MAINE REAL ESTATE TAX PAID

KNOW ALL MEN BY THESE PRESENTS THAT, WE, FRED C. DURST AND MARILYN C. DURST of Falmouth, County of Cumberland and State of Maine, for consideration paid, grant to DOUGLAS S. ROBERTS AND KATHY SUE ROBERTS, of 745 Jackson Valley Road, Oxford, NJ 07863, a one-half interest as JOINT TENANTS, and to NANCY JO CONNOLLY, a one-half interest, said half interests to be held as tenants in common, with WARRANTY COVENANTS, the following:

Certain lots or parcels of land, situated on Great Diamond Island, in the City of Portland, Cumberland County, Maine, being Lots numbered 158, 159 and 160 on the southerly side of Trelawny Street at the intersection of said Trelawny Street and Bay Avenue as shown on the plan entitled "Plan of Property belonging to the Diamond Island Association," recorded in the Cumberland County Registry of Deeds in Plan Book 4, Page 62.

Said lots are also depicted on Portland Tax Map 83A, Block E as Lots 7, 8 & 10. Subject to zoning and building restrictions of record, restrictive covenants and easements of record and public utilities servicing the property.

Being the premises described in the deed from C. Stuart Laughlin, Jr. to the grantors herein dated July 13, 1995 and recorded in said Registry in Book 12005, Page 126.

Witness our hands and seals this 29th day of August, 1997.

RECEIVED  
RECORDED REGISTRY OF DEEDS

1997 AUG 29 PH 1:40

CUMBERLAND COUNTY

John B. Carlin

*Fred C. Durst*

FRED C. DURST

*Marilyn C. Durst*

MARILYN C. DURST

State of Maine  
County of Cumberland

August 29, 1997

Personally appeared FRED C. DURST and MARILYN C. DURST and acknowledged the foregoing to be their free act and deed.

Before me,

*Adrian G. McCarron*

Adrian G. McCarron, Attorney at Law

24 June 2009

Zoning Board of Appeals  
City of Portland, Maine  
389 Congress Street  
Portland, ME 04101

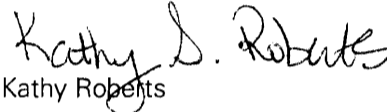
**Re: Conditional Use Application – Owner Acknowledgment Letter**  
**Applicant: Nancy Connolly**  
**Residential Dwelling, Crescent Ave, Great Diamond Island**  
**City of Portland Tax Map 083A, Lots E008, E007 & E010**

Dear Members of the Board:

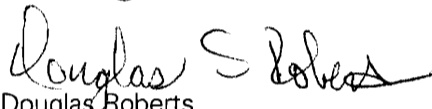
Please accept this letter as acknowledgment that we, as half owners of the above-described property on Great Diamond Island along with Nancy Jo Connolly, have authorized Nancy along with our attorney, Jim Cloutier of Portland, Maine, to speak on our behalf and present the property partially owned by us in consideration for approval of a conditional use permit by the City of Portland Zoning Board of Appeals.

We appreciate your assistance and if you or any of your professionals should have any questions or require any additional information, please do not hesitate to contact either of the signed below directly at (908) 689-0318.

Very truly yours,



Kathy Roberts



Douglas Roberts

Enclosure(s)

cc: Nancy Connolly, Joint Owner  
Jim Cloutier, Attorney

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING INSPECTION

**PERMIT**

Permit Number: 090584

This is to certify that ROBERTS DOUGLAS S ETAL Travis E  
has permission to Build new 4,024 sq ft Single Family Home inlaw Apartment 2 bedrooms 4 baths  
AT 0 CRESCENT AVE Great Diamond Island CP 083A E007001

provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0584	Issue Date:	CBL: 083A E007001
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Location of Construction: 90 CRESCENT AVE Great Diamon	Owner Name: ROBERTS DOUGLAS S ETAL	Owner Address: 745 JACKSON VALLEY RD	Phone: 207-772-0202
Business Name:	Contractor Name: Travis Berube	Contractor Address: 67 Bootby Ave So Portland	Phone: 2079396572
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: I-R-2

Past Use: Vacant Land	Proposed Use: Single Family Home w/ an accessory apt - Build new 4,024 sq ft Single Family Home w/ an accessory apartment 2 bedrooms 4 baths	Permit Fee: \$4,345.00	Cost of Work: \$424,390.00	CEO District: 1
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Proposed Project Description: Build new 4,024 sq ft Single Family Home w/ an accessory apartment 2 bedrooms 4 baths	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:
	Signature:	Signature:

Permit Taken By: Ldobson	Date Applied For: 06/09/2009	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input checked="" type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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**CERTIFICATION**

hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative all have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE





# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>90 Crescent Ave GDI</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Applicant <sup>*(must be owner, Lessee or Buyer)</sup> Name <u>Travis Bernbe</u> Address <u>67 Boothby Ave</u> City, State & Zip <u>S. Portland, ME 04106</u>	Telephone: <u>939-6572</u>
Lessee/DBA (If Applicable)  <u>JUN 23 2009</u>	Owner (if different from Applicant) Name <u>Nancy Connolly</u> Address <u>82 Salem St</u> City, State & Zip <u>Portland, ME 04102</u>	Cost Of Work \$ _____ C of O Fee: \$ _____ Total Fee: \$ <u>3000</u>
Current legal use (i.e. single family) _____ Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>* Amend permit # 090584</u> <u>Eliminate accessory - apartment</u>		
Contractor's name: <u>Travis Bernbe</u>		
Address: <u>67 Boothby Ave</u>		
City, State & Zip: <u>S. Portland, ME 04106</u>		Telephone: _____
Who should we contact when the permit is ready: <u>Travis Bernbe</u>		Telephone: <u>939-6572</u>
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8705.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Handwritten Signature] Date: 6/23/09

This is not a permit; you may not commence ANY work until the permit is issued.

CITY OF PORTLAND, MAINE  
ZONING BOARD OF APPEALS

Peter Coyne  
Philip Saucier-chair  
Deborah Rutter  
Jill E. Hunter  
Gordan Smith-secretary  
William Getz  
Sara Moppin

June 22, 2009

Nancy Jo Connolly  
82 Salem Street  
Portland, ME 04102

RE: 90 Crescent Avenue, Great Diamond Island  
CBL: 08E A007  
ZONE: IR-2

Dear Ms. Connolly:

As you know, at the July 16, 2009 meeting, the Zoning Board voted 4-0 to grant your Conditional Use Appeal for the accessory dwelling unit to be added to your single family home.

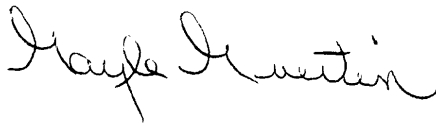
Enclosed please find a copy of the board's decision.

The inspections office will now move forward on your original building permit # 090584.

Appeals from decisions of the Board may be filed in Superior Court, pursuant to 30-A M.R.S.A. section 2691 (2) (G).

Should you have any questions please feel free to contact me at 207-874-8701.

Sincerely,



Gayle Guertin  
Office Assistant

CC: Jim Cloutier, Attorney  
file

# CITY OF PORTLAND, MAINE

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## ZONING BOARD OF APPEALS

### ZONING BOARD APPEAL DECISION

**To:** City Clerk  
**From:** Marge Schmuckal, Zoning Administrator  
**Date:** July 28, 2009  
**RE:** Action taken by the Zoning Board of Appeals on July 16, 2009.

**Members Present:** Philip Saucier (chair), Gordon Smith (secretary), Deborah Rutter, Jill Hunter, William Getz, and Peter Coyne.

**Member Absent:** Sara Moppin

#### **1. New Business:**

##### **A. Interpretation Appeal:**

38 Torrington Avenue, Peaks Island, Richard & Patricia Ashton, owners, Tax Map 084, Block S, Lot 006, IR-2 Island Residential Zone: The original Interpretation Appeal was heard by the Board on November 13, 2008. An appeal of that decision went to Superior Court who remanded the appeal back to the Board to review the proposal for compliance under section 14-436(a). **The Board found by a 6-0 vote that the building application did not meet the requirements of section 14-436(a).**

**\*Members Philip Saucier and Peter Coyne left after the first appeal. Members Gordon Smith, Deborah Rutter, Jill Hunter, and William Getz were present for the duration of the meeting.**

##### **B. Practical Difficulty Variance Appeal:**

16 Whitehead Street, Peaks Island, Thomas and Barbara Kipp, owners, Tax Map 084, Block N, Lot 004, IR-2 Island Residential Zone: The appellants are seeking a variance to keep the 6' x 8' enclosed rear entry that was built without a permit. The appellants are requesting a variance for the right side setback from a required 20' to 11' [section 14-145.11(c)(3)]. The appellants are also requesting a variance for the maximum allowable lot coverage of 20% [section 14-145.11(d)]. The lot is 4,109 square feet. The footprint of the building with the 6' x 8' enclosed rear entry is 1,102 square feet which covers 26.8% of the lot. Representing the appeal is Jonathan Goldberg, Esq. **The Board voted 4-0 to grant the Practical Difficulty Variance Appeal.**

##### **C. Conditional Use Appeal:**

47 Runnells Street, Debra L. R. & Chad M. Flynn, owners, Tax Map 177, Block A, Lot 010, R-5 Zone: The appellant is seeking a Conditional Use Appeal under section 14-118(c)(3) to have a family daycare/nursery school at her home for 8-10 children. Representing the appeal is the owner, Debra Flynn. **The Board voted 4-0 to grant the Conditional Use Appeal.**

**CITY OF PORTLAND, MAINE**  
**ZONING BOARD OF APPEALS**

per Deborah Rutter

IR-2 Island Residential Zone Accessory Dwelling Unit

**Conditional Use Appeal**

**DECISION**

Date of public hearing: July 16, 2009

Name and address of applicant: Nancy Jo Connelly  
82 Salem St.  
Portland, ME 04102

Location of property under appeal: 90 Crescent Ave., Great Diamond Island

For the Record:

Names and addresses of witnesses (proponents, opponents and others):

- # Atty Cloutier
- > Nancy Jo Connelly - see above
- > Tammy Robinson - <sup>Great</sup>Diamond Island

Exhibits admitted (e.g. renderings, reports, etc.):

- > 3 written testimonies from local abutters / 2 against  
(or at least 1 island resident) 1 questioning (?)

Findings of Fact and Conclusions of Law:

The Applicant is requesting a conditional use permit for a property located within the IR-2 zone, in order add an accessory dwelling unit. The gross floor area of the principal building is 3,993 sq. ft. and the gross floor area of the accessory dwelling unit is 1,158 sq. ft., or 29% of the gross floor area of the principal building. The lot area is 32,149 sq. ft. There are no open outside stairways or fire escapes above the ground floor.

A. Conditional Use Standards pursuant to Portland City Code §14-145.9(a)(1):

1. The accessory dwelling unit is located within and is clearly subordinate to a principal single-family detached dwelling.

Satisfied  (4) Not Satisfied

Reason and supporting facts:

> Applicant plans, testimony, written documentation

2. The accessory unit shall be no more than thirty-five (35) percent of the gross floor area of the principal building and shall have a minimum floor area of four hundred (400) square feet.

Satisfied  (4) Not Satisfied

Reason and supporting facts:

> Applicant testimony, documentation

3. The lot area shall be thirty thousand (30,000) square feet.

Satisfied  (1) Not Satisfied

Reason and supporting facts:

- > Application, testimony
- > City confirmation

4. There shall be no open outside stairways or fire escapes above the ground floor.

Satisfied  (1) Not Satisfied

Reason and supporting facts:

- > Applicant / Atty testimony, documentation

5. Any additions or exterior alterations such as facade materials, building form, roof pitch, and exterior doors shall be designed to be compatible with the architectural style of the building and preserve the single-family appearance of the building. The exterior design of new construction including facade materials, building form, roof pitch and exterior doors shall have a single-family appearance.

Satisfied  (1) Not Satisfied

Reason and supporting facts:

- > Testimony, Submitted drawing

6. A lower level dwelling unit shall have a minimum two-thirds of its floor-to-ceiling height above the average adjoining ground level.

Satisfied  (1) Not Satisfied

Reason and supporting facts:

> Applicant testimony, submitted plans

7. Either the accessory unit or the principal dwelling shall be occupied by the owner of the lot on which the principal building is located, except for bona fide temporary absences

Satisfied  (1) Not Satisfied

Reason and supporting facts:

> Applicant testimony  
> Written documentation

8. All sanitary waste shall be disposed of by a public sewer, subsurface sewerage system or other method in compliance with state and local regulations.

Satisfied  (1) Not Satisfied

Reason and supporting facts:

> Applicant testimony  
> Written documentation

B. Conditional Use Standards pursuant to Portland City Code §14-474(c)(2):

1. There are unique or distinctive characteristics or effects associated with the proposed conditional use.

Yes \_\_\_ No

Reason and supporting facts:

No compelling evidence that this application is unique

2. There will be an adverse impact upon the health, safety, or welfare of the public or the surrounding area.

Yes  ~~Yes~~ DXP No  (1)

Reason and supporting facts:

> 3 letters from concerned citizens - NOTED;

> Applicant testimony/written documentation indicates nothing unusual

3. Such impact differs substantially from the impact which would normally occur from such a use in that zone.

Yes \_\_\_ No  (1)

Reason and supporting facts:

Applicant testimony/documentation;



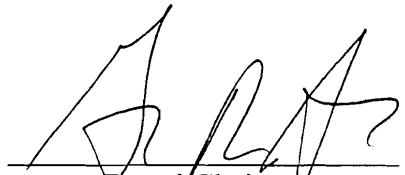
**Conclusion:** (check one)

(1)  Option 1: The Board finds that all of the standards (1 through 5) described in section A above have been satisfied and that not all of the factors (1 through 3) described in section B above are present, and therefore GRANTS the application.

\_\_\_ Option 2: The Board finds that all of the standards (1 through 5) described in section A above have been satisfied, and that while not all of the factors (1 through 3) described in section B above are present, certain additional conditions must be imposed to minimize adverse effects on other property in the neighborhood, and therefore GRANTS the application SUBJECT TO THE FOLLOWING CONDITIONS:

\_\_\_ Option 3: The Board finds that not all of the standards (1 through 5) described in section A above have been satisfied and/or that all of the factors (1 through 3) described in section B above are present, and therefore DENIES the application.

Dated: 7.16.09

  
Board Chair

**CITY OF PORTLAND  
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street  
Portland, Maine 04101

**INVOICE FOR FEES**

<b>Application No:</b> 0000-1532	<b>Applicant:</b> Nancy Jo Connolly
<b>Project Name:</b> 90 Crescent Avenue Great Dimond	<b>Location:</b>
<b>CBL:</b> 083E A007	<b>Application Type:</b> Conditional Use Appeal
<b>Invoice Date:</b> 07/09/2009	

<b>Previous Balance</b>	-	<b>Payment Received</b>	+	<b>Current Fees</b>	-	<b>Current Payment</b>	=	<b>Total Due</b>	<b>Payment Due Date</b>
\$0.00		\$0.00		\$177.16		\$177.16		\$0.00	On Receipt

**Previous Balance**

**\$0.00**

<b>Fee Description</b>	<b>Qty</b>	<b>Fee/Deposit Charge</b>
Legal Advertisements	1	\$64.66
Legal Ad Processing Fee	1	\$12.50
Appeal Fee	1	\$100.00
		<hr/> \$177.16
	<b>Total Current Fees:</b>	+ \$177.16
	<b>Total Current Payments:</b>	- \$177.16
	<b>Amount Due Now:</b>	<hr/> \$0.00

**Bill to:** Nancy Connolly  
82 Salem Street  
Portland, ME 04102

CBL 083E A007  
**Application No:** 0000-1532  
**Invoice Date:** 07/09/2009  
**Invoice No:** 34969  
**Total Amt Due:** \$0.00  
**Payment Amount:** \$177.16

Make checks payable to the *City of Portland*, ATTN: Inspections, 3rd Floor, 389 Congress Street, Portland, ME 04101.



*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

*Penny St. Louis Littell - Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator*

TO: CHAIR AND MEMBERS OF THE ZONING BOARD OF APPEALS  
FROM: ANN MACHADO, ZONING SPECIALIST  
SUBJECT: 90 CRECENT AVENUE, GREAT DAIMOND ISLAND, 083A-E-007,008 & 010 - IR-2  
DATE: JULY 9, 2009

The purpose of this memo is to address information provided in the addendum to the cover letter dated July 2, 2009 submitted by Nancy Conolly. In particular it addresses the numbers provided under section 'a' dealing with the percentage of gross floor area that the accessory unit occupies.

Section 14-145.9(a)(1)(a) states "the accessory unit shall be no more than thirty-five (35) percent of the gross floor area of the principal building..." . In the numbers provided in the addendum, the gross floor area of the principal building is given as 2,492 square feet. This figure is actually the gross floor area of the principal dwelling unit. The gross floor area of the principal building would be the gross floor area of the principal dwelling unit (2,492 sf) and the gross floor area of the accessory dwelling unit (815 sf) for a total gross floor area of 3307 square feet. Using this number for the gross floor area, the percentage of the gross floor area the accessory unit is occupying would be 24.6% (815/3307). The numbers used on addendum still came up with a percentage for the accessory dwelling unit under 35% (32.7%), but we feel that the number is actually lower.

Section 14-47 defines floor area as "a floor space enclosed by exterior or standard fire walls, exclusive of vent shafts and courts". Using this definition, we believe that the "screened porches" shown on the building plans (drawings A-3, A-8, A-9 & A-10) meet the definition of floor area and should be included in the calculations for gross floor area and the percent of the gross floor area of the accessory dwelling unit. The area for each screened porch is given as 343 square feet. If you add the area of both porches to the gross floor area of the rest of the building, the gross floor area would be 3993 square feet (3307 + 393 + 393). The area of the accessory dwelling including the screened porch would be 1158 square feet (343 + 815). The percentage of the gross floor area occupied by the accessory unit would be 29% (1158/3993) which still meets the requirement that the accessory unit not occupy more than 35% of the gross floor area of the principal building.



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Penny St. Louis Littell - Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator

TO: CHAIR AND MEMBERS OF THE ZONING BOARD OF APPEALS  
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# Conditional Use Application

Department of Planning and Development  
Portland Planning Board

1. Applicant Information:  
 Name: NANCY JO CONNOLLY  
 Address: 82 SALEM ST.  
PORTLAND, ME 04102  
 Phone: (207) 772-0202 Fax: N/A
2. Subject Property:  
 Address: CRESCENT AVE, GREAT DIAMOND  
ISLAND, MAINE  
 Assessor's Reference (Chart-Block-Lot): MAP 83A, E607, E00B, E01D
3. Property Owner:  Applicant  AND Other  
 Name: KATHY SUE & DOUGLAS ROBERTS  
 Address: 745 JACKSON VALLEY ROAD  
OXFORD, NEW JERSEY 07863  
 Phone: (908) 689-0518 Fax: N/A
4. Current Zoning Designation(s):  
R2-2
5. Right, Title, or Interest: Please identify the status of the applicant's right, title, or interest in the subject property:  
OWNER  
 Provide documentary evidence, attached to this application, of applicant's right, title, or interest in the subject property. (For example, a deed, option or contract to purchase or lease the subject property.) DEED ENCLOSED
6. Vicinity Map: Attach a map showing the subject parcel and abutting parcels, labeled as to ownership and/or current use. (Applicant may utilize the City Zoning Map or Parcel Map as a source.) PARCEL MAP ENCLOSED
7. Existing Use:  
 Describe the existing use of the subject property: VACANT LOT - single family building permit Application pending
8. Type of Conditional Use Proposed:  
ACCESSORY DWELLING UNIT

**RECEIVED**

JUN 25 2009

City of Portland  
Planning Division

**Conditional Use Appeal:**

90 Crescent Avenue, Great Diamond Island, Kathy Sue & Douglas Roberts & Nancy Jo Connolly, owners, Tax Map 083A, Block E, Lots 007, 008 & 010, IR-2 Island

Residential Zone: The appellants are seeking a Conditional Use Appeal under section 14-145.9(a)(1) requesting that an accessory dwelling unit be added to their single family dwelling. Representing the appeal are Nancy Jo Connolly and Attorney Jim Cloutier.

**Ann Machado - Re: Memo to ZBA for 90 Crescent Ave., GDI**

**From:** <mainelegal@aol.com>  
**To:** <AMACHADO@portlandmaine.gov>  
**Date:** 7/9/2009 3:33 PM  
**Subject:** Re: Memo to ZBA for 90 Crescent Ave., GDI

Thanks

Jim C

-----Original Message-----

From: Ann Machado <AMACHADO@portlandmaine.gov>  
To: mainelegal@aol.com  
Sent: Thu, Jul 9, 2009 3:23 pm  
Subject: Memo to ZBA for 90 Crescent Ave., GDI

Jim -

Here is the memo that is going to the ZBA. Feel free to call or email me if you have any questions.

Ann Machado  
Zoning Specialist  
(207) 874-8709

Finding the best videos just got easier. [Try the NEW Truveo.com.](http://www.Truveo.com)

CBL	OWNER	OWNER MAILING ADDRESS	PROPERTY LOCATION	UNITS
	64 CRESCENT STREET LLC	PO BOX 787 FAIRFIELD , CT 06824	52 CRESCENT AVE	1
	BOGDANOVICH PAUL & BECKY L BOGDANOVICH JTS	22 CLEARWATER DR SCARBOROUGH , ME 04074	BAY AVE	0
	BROOK JEAN E VAN RAALTE	30 FOREST HILLS DR FARMINGTON, CT 06032	64 CRESCENT AVE	1
	CARR DANIEL J III & DANIEL J CARR IV JTS	BAY AVE GREAT DIAMOND ISLAND , ME	6 GEORGES ST	1
	CHAISSON LOLA & ERIC CHAISSON	77 WALDEN ST CONCORD , MA 01742	CRESCENT AVE	1
	CONDON JOHN M	111 COMMERCIAL ST PORTLAND , ME 04101	SUNSET AVE	1
	DIAMOND ISLAND ASSOC	PO BOX 391 STRATHAM , NH 03885	SUNSET AVE	0
	FRAGER EDWARD I & MARTHA G	130 SOUTH ST GORHAM, ME 04038	CRESCENT AVE	1
	HARRIS MICHAEL A & EILEEN R HARRIS JTS	184 LONGFELLOW ST PORTLAND , ME 04103	78 CRESCENT AVE	1
	HURLEY FRANK E & MARYANN B JTS	213 CLOVER RD LUDLON , MA 01056	CRESCENT AVE	0
	INGRAHAM RICHARD I & JANET R JTS	70 CRESCENT AVE GREAT DIAMOND ISLAND , ME	CRESCENT AVE	1
	LAUGHLIN C STUART	68 PROSPECT ST PORTLAND, ME 04103	SUNSET AVE	1
	LAUGHLIN FREDERICK P & F PHILIP LAUGHLIN JTS	10 TIGER LILLY LN CAPE ELIZABETH , ME 04107	CRESCENT AVE	1
	LEDDY PAUL K	18 BEACH ST SOUTH PORTLAND , ME 04106	BAY AVE	1
	LEDDY PAUL K	429 PREBLE ST SOUTH PORTLAND , ME 04106	CRESCENT AVE	0
	MCANDREW FAMILY LLC	210 OAK ST SOUTH WINDSOR , CT 06074	46 SUNSET AVE	1
	RIEDY JAMES B & HILARY I RIEDY JTS	11516 IVY HOME TERR RICHMOND , VA 23233	111 SUNSET AVE	1
	ROBERTS DOUGLAS S ETAL	745 JACKSON VALLEY RD OXFORD, NJ 07863	90 CRESCENT AVE	0
	ROBITZEK WILLIAM D & BARBARA L RAIMONDI JTS	54 EVERGREEN RD AUBURN , ME 04210	CRESCENT AVE	0
	SALA LYN F	3818 INVERNESS DR CHEVY CHASE , MD 20815	132 SUNSET AVE	1
	SALA LYN FAIRCHILD, PETER J & SUSAN F ETAL	3818 INVERNESS DR CHEVY CHASE, MD 20815	SUNSET AVE	1
	SOLOMON MARJORIE J	69 GLENVIEW RD SOUTH ORANGE , NJ 07079	CRESCENT AVE	1
	STOCKMAN CHARLES J & NAN T STOCKMAN JTS	PO BOX 7150 PORTLAND , ME 04112	SUMMIT AVE	0
	STOCKMAN NAN T & CHARLES J JR TRUSTEES	PO BOX 7150 PORTLAND , ME 04112	SUNSET AVE	1
	TUCKER KAREN & MARK DIDRIKSEN	SUNSET AVE GREAT DIAMOND ISLAND , ME	SUNSET AVE	1
	WEBER ELIZABETH A	PO BOX 4804 PORTLAND, ME 04112	SUNSET AVE	1



<b>CBL</b>	<b>OWNER</b>	<b>OWNER MAILING ADDRESS</b>	<b>PROPERTY LOCATION</b>	<b>UNITS</b>
	WENDELKEN CHERIE & JAMES E BROOKS JTS	9 PARKWAY PL ITHACA, NY 14850	84 CRESCENT AVE	1
	WHEELER DAVID WOODRING & DANIEL BINGHAM WHEELER	2650 STATE ST MACUNGIE , PA 18062	CRESCENT AVE	1

CBL	OWNER	OWNER MAILING ADDRESS	PROPERTY LOCATION	UNITS
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Total Listed: 28

21

02 July 2009

Zoning Board of Appeals  
City of Portland, Maine  
389 Congress Street  
Portland, Maine 04101

JUL 1 2009

**Re: Conditional Use Application – Addendum**  
**Applicant: Nancy Connolly**  
**Residential Dwelling, Crescent Ave, Great Diamond Island**  
**City of Portland Tax Map 083A, Lots E008, E007 & E010**

Dear Members of the Board:

This letter serves as an addendum to the Conditional Use Application that I had submitted on 24 June 2009. Listed below are the requirements as outlined by the City of Portland’s Code of Ordinances, Sec 14-145-9(a)1. for an accessory dwelling unit which requires a conditional use permit from the Zoning Board of Appeals. Listed below each requirement, is our response which addresses the criteria outlined by the ordinance.

**1. Accessory dwelling unit within and clearly subordinate to a principal single-family detached dwelling provided that:**

**a. The accessory unit shall be no more than thirty-five (35) percent of the gross floor area of the principal building and shall have a minimum floor area of four hundred (400) square feet;**

*add notes 3993*  
*815 = 343 - 1158*  
*1158 / 3993 = 29%*  
*815 / 2492 = 32.7%*  
*2492 = 24.6%*  
*principal dwelling - total floor area = 3307*  
*815 / 2492 = 32.7% < 35%*  
*Response: Gross floor area of principal building = 2,492 SF = principal dwelling - total floor area*  
*Gross floor area of accessory unit = 815 SF > 400 SF*  
*Percent GFA accessory unit = 815/2,492 = 32.7% < 35%*

**b. Lot area shall be thirty thousand (30,000) square feet;**

*Response: Lot area = 32,149.50 SF > 30,000 SF*

**c. There shall be no open outside stairways or fire escapes above the ground floor;**

*Response: As depicted on the architectural drawing A-5, Second Floor Construction Plan, there are no open outside stairways or fire escapes above the ground floor.*

**d. Any additions or exterior alterations such as façade materials, building form, roof pitch, and exterior doors shall be designed to be compatible with the architectural style of the building and preserve the single-family appearance of the building. The exterior design of new construction including façade materials, building form, roof pitch and exterior doors shall have a single-family appearance;**

*Response: As depicted on the architectural drawings A-8, A-9 and A-10, Exterior Elevations and Details, the appearance of the home is that of a single-family dwelling.*

**e. A lower level dwelling unit shall have a minimum two-thirds of its floor-to ceiling height above the average adjoining ground level;**

*Response: Not applicable.*

**CITY OF PORTLAND, MAINE**  
Zoning Board of Appeals

**Zoning Board of Appeals Committee**

**DATE:** 7/16/2009  
**TIME:** 6:30:00 PM  
**LOCATION:** 389 Congress Street

**AGENDA**

- 1 A. Interpretation Appeal: 38 Torrington Avenue, Peaks Island, Richard & Patricia Ashton, owners, Tax Map 084, Block S, Lot 006, IR-2 Island Residential Zone: The original Interpretation Appeal was heard by the Board on November 13, 2008. An appeal of that decision went to Superior Court who remanded the appeal back to the Board to review the proposal for compliance under section 14-436(a).
- 1 B. Practical Difficulty Variance Appeal: 16 Whitehead Street, Peaks Island, Thomas and Barbara Kipp, owners, Tax Map 084, Block N, Lot 004, IR-2 Island Residential Zone: The appellants are seeking a variance to keep the 6' x 8' enclosed rear entry that was built without a permit. The appellants are requesting a variance for the right side setback from a required 20' to 11' [section 14-145.11(c)(3)]. The appellants are also requesting a variance for the maximum allowable lot coverage of 20% [section 14-145.11(d)]. The lot is 4,109 square feet. The footprint of the building with the 6' x 8' enclosed rear entry is 1,102 square feet which covers 26.8% of the lot. Representing the appeal is Jonathan Goldberg, Esq.
- 1 C. Conditional Use Appeal: 47 Runnells Street, Debra L. R. & Chad M. Flynn, owners, Tax Map 177, Block A, Lot 010, R-5 Zone: The appellant is seeking a Conditional Use Appeal under section 14-118(c)(3) to have a family daycare/nursery school at her home for 8-10 children. Representing the appeal is the owner, Debra Flynn.
- 1 D. Conditional Use Appeal: 90 Crescent Avenue, Great Diamond Island, Kathy Sue & Douglas Roberts & Nancy Jo Connolly, owners, Tax Map 083A, Block E, Lots 007, 008 & 010, IR-2 Island Residential Zone: The appellants are seeking a Conditional Use Appeal under section 14-145.9(a)(1) requesting that an accessory dwelling unit be added to their single family dwelling. Representing the appeal are Nancy Jo Connolly and Attorney Jim Cloutier.

**Gayle Guertin - Re: legal ad for zoning board of appeals**

**From:** Joan Jensen <jjensen@pressherald.com>  
**To:** Gayle Guertin <GG@portlandmaine.gov>  
**Date:** 7/8/2009 11:22 AM  
**Subject:** Re: legal ad for zoning board of appeals

Hi Gayle,

All set to run your ad on Friday, July 10.  
The cost is \$258.63.

If you have any questions, please call or email me.

Thank you,  
Joan

Joan Jensen  
Portland Press Herald/Maine Sunday Telegram  
P.O. Box 1460  
Portland, ME 04104  
Tel. (207) 791-6157  
Fax (207) 791-6910  
Email classified@pressherald.com

On 7/8/09 9:53 AM, "Gayle Guertin" <GG@portlandmaine.gov> wrote:

Good Morning Joan,

Attached is the Zoning Board of Appeals legal ad for Friday,  
July 10, 2009

Thank You  
Gayle Guertin @ 874-8701

**Gayle Guertin - legal ad for zoning board of appeals**

---

**From:** Gayle Guertin  
**To:** classified@pressherald.com  
**Date:** 7/8/2009 9:53 AM  
**Subject:** legal ad for zoning board of appeals  
**CC:** Ann Freeman; Gayle Guertin; Marge Schmuckal

Good Morning Joan,

Attached is the Zoning Board of Appeals legal ad for Friday,  
July 10, 2009

Thank You  
Gayle Guertin @ 874-8701

**IMPORTANT NOTICE FROM CITY OF PORTLAND  
TO RESIDENTS AND PROPERTY OWNERS**

TO RESIDENTS AND PROPERTY OWNERS  
IN THE VICINITY OF 90 OCEAN AVENUE, GREAT DIAMOND ISLAND

**WHAT**

Conditional Use Appeal:

90 Crescent Avenue, Great Diamond Island, Kathy Sue & Douglas Roberts & Nancy Jo Connolly, owners, Tax Map 083A, Block E, Lots 007, 008 & 010, IR-2 Island Residential Zone: The appellants are seeking a Conditional Use Appeal under section 14-145.9(a)(1) requesting that an accessory dwelling unit be added to their single family dwelling. Representing the appeal are Nancy Jo Connolly and Attorney Jim Cloutier.

**WHEN**

The Zoning Board meeting will be held on Thursday, July 16, 2009 at 6:30pm at Portland City Hall, located at 389 Congress Street. The meeting will take place in room 209, 2nd floor.

**FOR MORE INFORMATION**

For more information you may contact Marge Schmuckal, Zoning Administrator, at 207-874-8695

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## City of Portland Zoning Board of Appeals

July 9, 2009

Nancy Jo Connolly  
82 Salem Street  
Portland, Maine 04102

Dear Appellant,

Your Conditional Use Appeal has been scheduled to appear before the Zoning Board of Appeals on **Thursday, July 16, 2009 at 6:30 p.m.** located on the second floor room 209 of City Hall.

Please remember to bring a copy of the packet with you to the meeting to answer any questions the Board may have.

I have included an agenda with your appeal highlighted, as well as the procedures of the meeting for you to familiarize yourself.

I have also included the bill for the legal ad and notices. The check should be written as follows:

MAKE CHECK OUT TO: City of Portland  
MAILING ADDRESS: Room 315  
389 Congress Street  
Portland, ME 04101

Please feel free to contact me at 207-874-8701 if you have any questions.

Sincerely,

Gayle Guertin  
Office Assistant

Cc: Jim Cloutier, Attorney  
File



# CITY OF PORTLAND, MAINE

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## ZONING BOARD OF APPEALS

### APPEAL AGENDA

The Board of Appeals will hold a public hearing on Thursday, July 16, 2009 at 6:30 p.m. on the second floor in room 209 at the Portland City Hall, 389 Congress Street, Portland, Maine, to hear the following Appeals:

#### 1. New Business:

##### A. Interpretation Appeal:

38 Torrington Avenue, Peaks Island, Richard & Patricia Ashton, owners, Tax Map 084, Block S, Lot 006, IR-2 Island Residential Zone: The original Interpretation Appeal was heard by the Board on November 13, 2008. An appeal of that decision went to Superior Court who remanded the appeal back to the Board to review the proposal for compliance under section 14-436(a).

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#### 2. Other Business:

#### 3. Adjournment:

DEVICE.

-600P/S-10P.

DEL SLV-600P.

ID.

-PLR ILLUMINATED "ON" IN RED.

MIN. DIGITAL COUNTDOWN TIMER.

303P/S-103P.

EL. SLV-603P.

ATED WITH JACKS IN DECORA FACEPLATE. LABEL ALL RUNS AT PANEL.

FACEPLATE. PROVIDE AMPLIFIED RF SPLITTER IN SIZE AS DETERMINED

NG AND INSTALLATION: OWNER TO SUPPLY FAN.

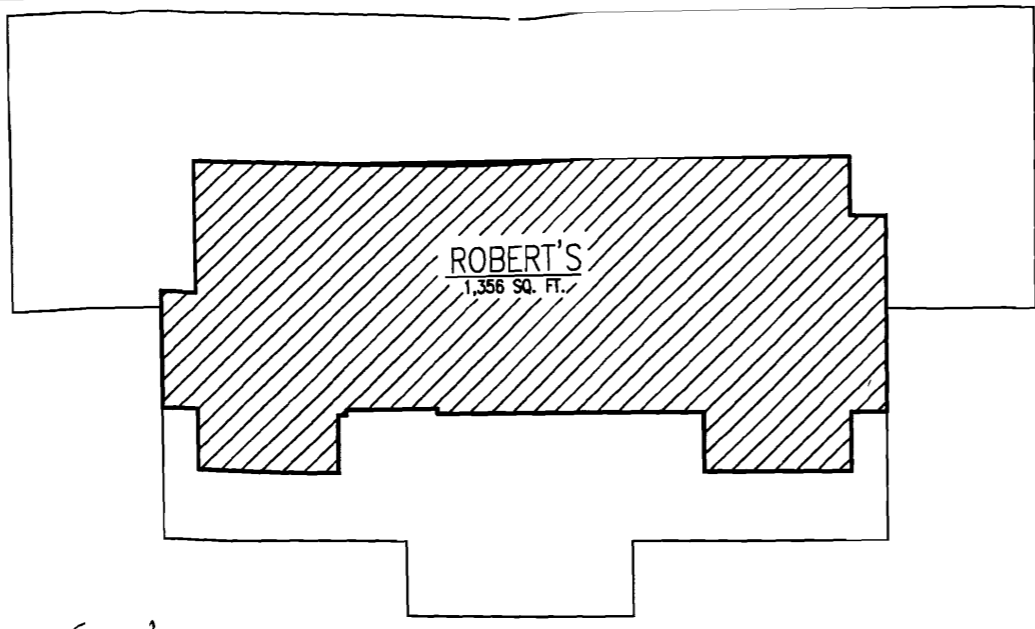
LIED BY OWNER. WIRING & INSTALATION BY ELECTRICAL CONTRACTOR.

NWS-8 BY ATLAS SOUND. RUN WIRES TO LOCATION AS VERIFIED IN  
36.464.2288 OR SMARTHOME.COM 800.762.7846.

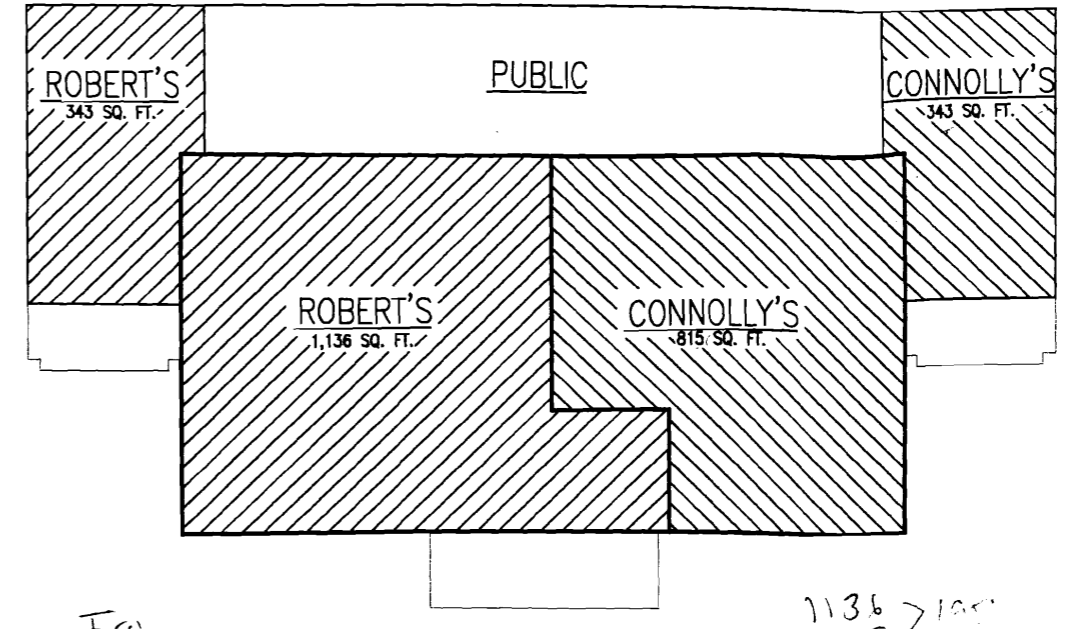
EGENT MODEL TMQ150W.

REQUIRED) SWITCHED AS SHOWN ON PLANS.

NOTE: 1. ALL SWITCHES AND DEVICES SHALL RECEIVE METAL FACED/ INSTALLED IN 2 1/2" DEEP BACKBOXES MINIMUM. 3. LIGHTS WHICH



Second  
First Floor Plan  
Scale: : N.T.S.



First  
Second Floor Plan  
Scale: : N.T.S.

1136  
+ 815 > 1951  
343  
343  
2637 φ

Mother / Daughter Calculation

1356 2nd  
+ 2637 1st Floor  
3993  
35% = 1397.55 φ  
Connolly's - 815  
+ 343  
1158 = 29%

1,136 SQ. FT.  
+ 1,356 SQ. FT.  
2,492 SQ. FT.  
2,492 / 815 = 32.7%

ROOF -----

SECOND FLOOR -----

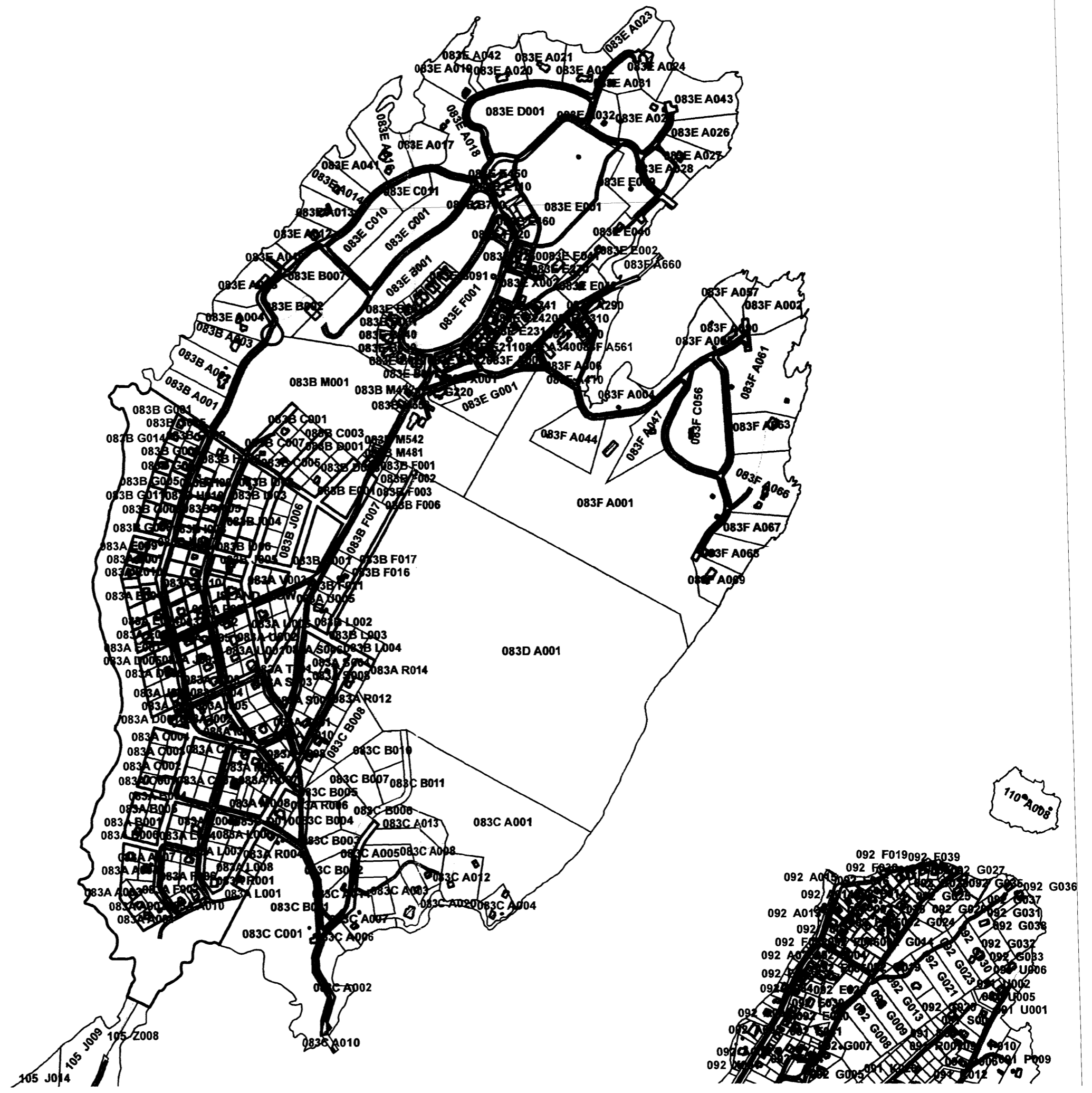
FIRST FLOOR 1 1/2" -----

BASEMENT -----

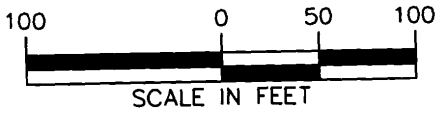
4" TO SEPTIC TANK

4" TO SEPTIC TANK

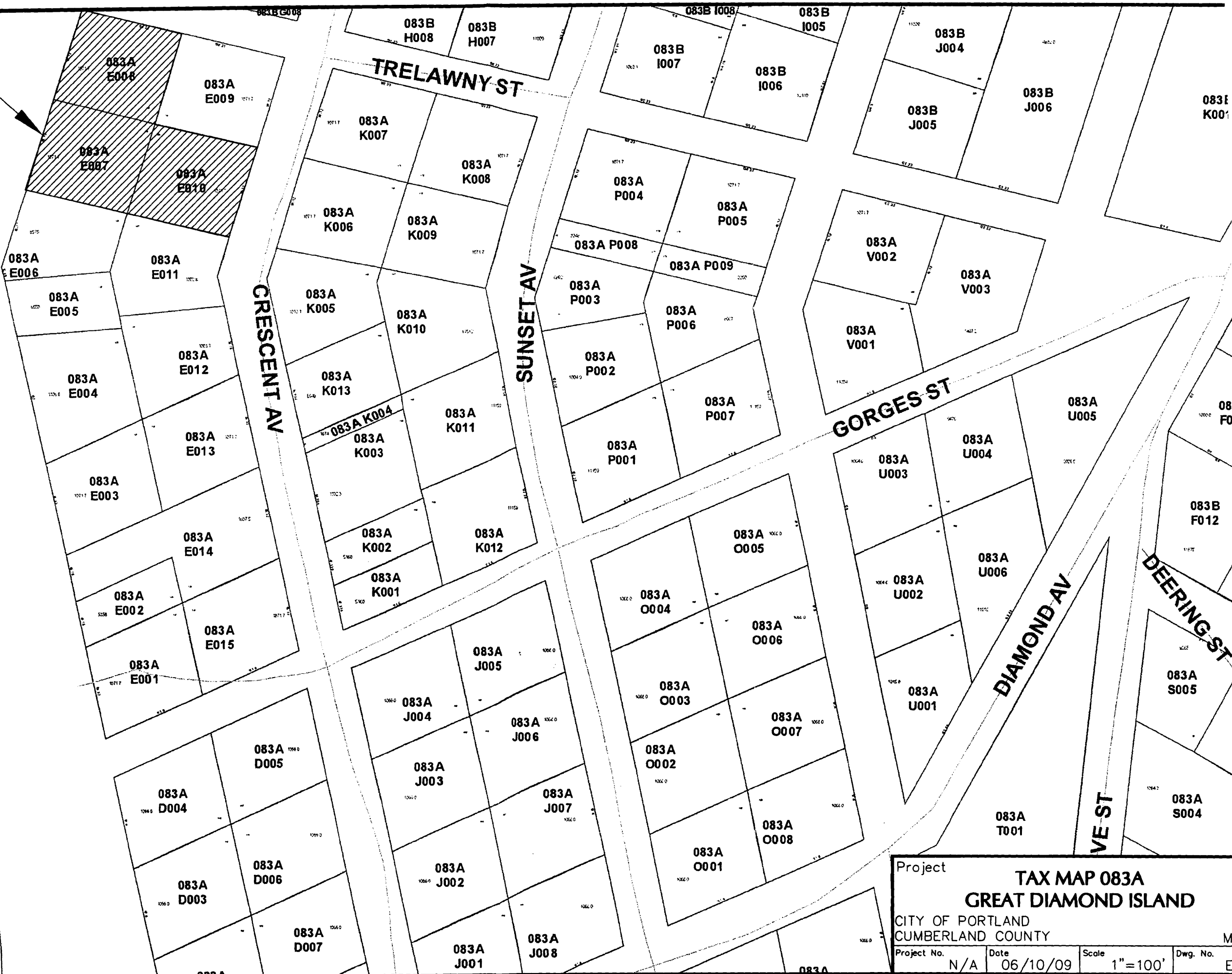
Loading Criteria:		Area / Volume Calculations:		Project Information:		New Residence for Mrs. Connolly & Mr. & Mrs. Robert Crescent Avenue - Portland, Maine O					
Floor Loads Sleeping Areas	30 lb/sq. ft. live 10 lb/sq. ft. dead	New First Floor	1,951 SQ. FT.	Assessors Map:	83A-E 7.8 & 10	Zone:	IR2				
Floor Loads Other Areas	40 lb/sq. ft. live 20 lb/sq. ft. dead	New Porches Side & Rear	1,409 SQ. FT.	Use Group:	R-5	Const. Class.:	5B				
Roof Loads Asphalt Roofs Only	50 lb/sq. ft. live 10 lb/sq. ft. dead	Front Stoop	124 SQ. FT.	Code Jurisdictions:							
Bathroom	40 lb/sq. ft. live 20 lb/sq. ft. dead	New Second Floor Habitable Area	540 SQ. FT.	Residential:							
Exterior Decks	70 lb/sq. ft. live 10 lb/sq. ft. dead	Total of New w/o Porches & Stoop	2,491 SQ. FT.	2003 I.R.C.							
		Total of New w/ Porches & Stoop	4,024 SQ. FT.	State of Maine Plumbing Code (Internal and External)							
		Volume of New	78,581 CU. FT.								
3	4	5	6	7	8	9	10				



SITE



© 2006 Langan Engineering and Environmental Services, Inc.



Project **TAX MAP 083A**  
**GREAT DIAMOND ISLAND**  
 CITY OF PORTLAND  
 CUMBERLAND COUNTY

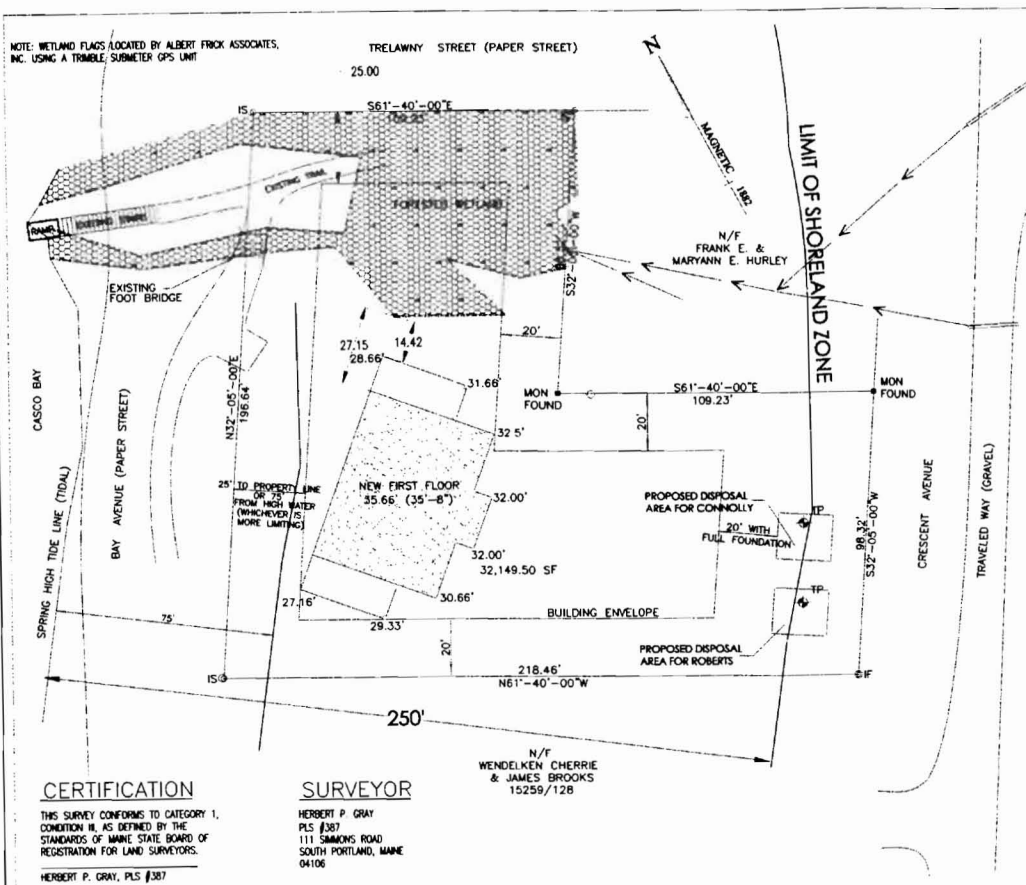
Project No.	Date	Scale	Dwg. No.
N/A	06/10/09	1"=100'	EX

MA  
EX

Filename: T:\p08d House\Tax Map.dwg Date: 6/10/2009 Time: 13:58 User: mconroy Style: TMap.sbt Layout: B Site Sheet

**Lighting, Electrical and Device Legend**

- NOTE: LIGHTS WITH CENTER DOT REPRESENT EMERGENCY LIGHTING WITH APPROPRIATE BATTERY BACKUP UNIT INSTALLED.
- HL0 4" RECESSED, INCANDESCENT LIGHT FIXTURE HOUSING: H1794/NORTH TRIM: 809 CLEAR AND LAMP: 50W PAR 20 @ 40W A19
- HL0 4" RECESSED, LOW VOLTAGE LIGHT FIXTURE HOUSING: H1794/NORTH TRIM: 1421 CLEAR AND LAMP: 12V 50W MR16
- PORTULACA 4" RECESSED, GRIM (GEOMETRIC REFLECTOR FOR UNIFORM ILLUMINATION) FIXTURE HOUSING: H04-4510 TRIM: 4510 (SINGLE WALL) OR 4511 (CORNER WALL) LAMP: 75W A19 (OPTION: 12-18-0822)
- HL0 5" RECESSED, INCANDESCENT LIGHT FIXTURE HOUSING: H0514/NORTH TRIM: 5003/5021 CLEAR AND LAMP: 75W PAR 30 @ 40W A19
- HL0 6" RECESSED, INCANDESCENT LIGHT FIXTURE HOUSING: H0714/NORTH TRIM: 405 CLEAR AND LAMP: 150W A21
- HL0 4" I.C. MR-TRE RECESSED, INCANDESCENT LIGHT FIXTURE HOUSING: H0814/NORTH TRIM: 809 CLEAR AND LAMP: 50W PAR 20 TRIM FOR CLOSET LIGHTS SHALL BE #0515
- HL0 4" I.C. MR-TRE RECESSED, LOW VOLTAGE LIGHT FIXTURE HOUSING: H1794/NORTH TRIM: 1421 CLEAR AND LAMP: 12V 50W MR16
- HL0 5" I.C. MR-TRE RECESSED, INCANDESCENT LIGHT FIXTURE HOUSING: H0514/NORTH TRIM: 5003 CLEAR AND LAMP: 75W PAR 30
- HL0 6" I.C. MR-TRE RECESSED, INCANDESCENT LIGHT FIXTURE HOUSING: H0714/NORTH TRIM: 405 CLEAR AND LAMP: 150W A19
- HL0 6" I.C. MR-TRE RECESSED, INCANDESCENT LIGHT FIXTURE HOUSING: H0714/NORTH TRIM: 1725 (SHOWER DOME) AND LAMP: 60W A19
- WALL MOUNTED, DECORATIVE INCANDESCENT LIGHT FIXTURE: HEIGHT AS NOTED, OWNER TO SUPPLY FIXTURE.
- CEILING MOUNTED, DECORATIVE INCANDESCENT LIGHT FIXTURE: CONTRACTOR TO SUPPLY ROUGH-IN, WIRING AND INSTALLATION. OWNER TO SUPPLY FIXTURE.
- CEILING MOUNTED, INCANDESCENT 12" DIA. SPHERE LIGHT FIXTURE W/ (2) 60 WATT A-LAMPS. CONTRACTOR TO SUPPLY ROUGH-IN, WIRING AND INSTALLATION.
- CEILING MOUNTED, PORCELAIN MEDIUM BASE INCANDESCENT LIGHT FIXTURE BY COOPER WIRING MODEL: 667 W/ LAMP GUARD MODEL: 14051
- WEATHER RESISTANT, WALL MOUNTED INCANDESCENT LIGHT FIXTURE. CONTRACTOR TO SUPPLY ROUGH-IN AND INSTALLATION. OWNER TO SUPPLY FIXTURE.
- 2x2 FLUORESCENT LIGHTER ALTER H.E. MODEL: #JH20P0224-120V-PG-(Y) (OPTION FOR BATTERY BACKUP) & LAMP: (2) 15W 24W
- 2x4 FLUORESCENT LIGHTER ALTER H.E. MODEL: #JH20P0228-120V-PG-(Y) (OPTION FOR BATTERY BACKUP) & LAMP: (2) 15W 24W
- LOW VOLTAGE EXTERIOR LIGHT FIXTURES: WIRING AND TRANSFORMERS W/ PHOTOELECTRIC SENSOR AND TRIM (8-1833) IN SIZES AS REQUIRED AND FIXTURES AS SELECTED BY OWNER. QUANTITIES AND PLACEMENT TO BE NOTED IN THE FIELD WITH ARCHITECT.
- NATURE EXHAUST FAN MODEL: LS100 IN WHITE (70 CFM)
- NATURE EXHAUST FAN/LIGHT 71480T IN WHITE (70 CFM)
- NATURE EXHAUST FAN/LIGHT 71480T W/ WHITE BUTTLE TRIM (70 CFM)
- NATURE EXHAUST FAN/LIGHT 8064HP IN WHITE (100 CFM)
- INTERCONNECTED SMOKE DETECTOR: G.E. 700 SERIES PHOTOELECTRIC MODEL: #7118 WIRING CONFIGURATION AS REQUIRED.
- INTERCONNECTED DUCT SMOKE DETECTOR: FREX MODEL: #2650-760/761 (760=IONIZATION & 761=PHOTOELECTRIC)
- CHIRON MONOXIDE DETECTOR WITH BATTERY BACKUP: SEE SPECIFICATIONS FOR FURTHER DETAILS.
- INTERCONNECTED HEAT DETECTOR: G.E. S6A-HS/MS INTELLIGENT HEAT DETECTOR WIRING CONFIGURATION AS REQUIRED.
- EMERGENCY EGRESS LIGHTING: COPPER LIGHTING SURE-LITES C05 MR-16 MODEL: #29-115
- COPPER LIGHTING SURE-LITES E0 SERIES EXHAUST EXIT SIGN MODEL: #E0-S-00-G
- SYSTEM SENSOR SPECTRALTRAC HORN/STROBE/HORN STROBE WIRING CONFIGURATION AS REQUIRED.
- G.E. S6A-270 SERIES MANUAL PULL STATION WIRING CONFIGURATION AS REQUIRED.
- THUNDERST: HUNTER AUTOGARD DIGITAL PROGRAMMABLE MODEL: #4250
- 120V, 15A DUPLEX RECEPTACLE.
- 120V, 15A DUPLEX RECEPTACLE SET HORIZONTALLY AT SPECIFIED MOUNTING HEIGHT A.F.F.
- 120V, 15A GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE, SET HORIZONTALLY AT 42" A.F.F.
- 120V, 15A DUPLEX RECEPTACLE SPLIT WIRED AND SWITCHED.
- DEDICATED RECEPTACLE FOR SPECIFIED APPLIANCE OR ELECTRONIC DEVICE.
- 120V, 20A QUADPLEX RECEPTACLE.
- RANGE OUTLET AND CIRCUIT AS REQUIRED.
- DRYER OUTLET AND CIRCUIT AS REQUIRED.
- SINGLE-POLE SWITCH UNFURNISHED LEVITON MODEL: C581-15
- SINGLE-POLE SWITCH WITH DIMMER ROOM/ROOM LUTRON MODEL: S-400P/5-10P
- SINGLE-POLE LOW VOLTAGE SWITCH WITH DIMMER 450W LUTRON MODEL: S-LV-400P
- SINGLE-POLE OCCUPANCY SENSOR SWITCH LEVITON MODEL: 00515-D
- SINGLE-POLE SWITCH UNFURNISHED PULSED LIGHT LEVITON MODEL: 1202-PLR ILLUMINATED 104" IN RED.
- SINGLE-POLE EXHAUST FAN SWITCH LEVITON MODEL: 62-30-30 30 MIN. DIGITAL COUNTDOWN TIMER.
- SINGLE-POLE FAN/LIGHT FAN SWITCH LUTRON MODEL: S2-LF502
- THREE-WAY SWITCH UNFURNISHED LEVITON MODEL: C583-15
- THREE-WAY SWITCH WITH DIMMER ROOM/ROOM LUTRON MODEL: S-403P/5-103P
- THREE-WAY LOW VOLTAGE SWITCH WITH DIMMER 450W LUTRON MODEL: S-LV-403P
- FOUR-WAY SWITCH UNFURNISHED LEVITON MODEL: C584-15
- TELEPHONE TWO LINE HOME RING, CAT. 6 (4 TWINNED PAIR) TERMINATED WITH JACKS IN DECORA FACEPLATE LABEL ALL RUNS AT PANEL.
- CABLE TV RG-6 HOME RING AND TERMINATED WITH JACK IN DECORA FACEPLATE. PROVIDE AMPLIFIER AT SPLITTER IN SIZE AS DETERMINED BY OWNER LABEL ALL RUNS AT PANEL.
- OUTLET FOR CEILING FAN. CONTRACTOR TO SUPPLY ROUGH-IN, WIRING AND INSTALLATION. OWNER TO SUPPLY FAN.
- SPEAKER (DOTTED IMPLIES CEILING SPEAKER) SPEAKER TO BE SUPPLIED BY OWNER. WIRING & INSTALLATION BY ELECTRICAL CONTRACTOR LABEL ALL RUNS AT PANEL.
- IMPEDANCE-MATCHING VOLUME CONTROL WITH WHITE RELAY MODEL: 085-B BY ATLAS SOUND RING WIRES TO LOCATION AS NOTED IN FIELD WITH ARCHITECT. A.J. DEALER: INTELLIGENT MARKETING INC. 866-444-2288 OR SHAWTHORNE.COM 800-782-7846.
- FLOOR LIGHT W/ (2) 150W HALOGEN LAMPS IN WHITE SIMILAR TO RECENT MODEL TH0150R.
- TO LAMP UNDER COUNTER FLUORESCENT LIGHT FIXTURE (LENGTH AS REQUIRED) SWITCHED AS SHOWN ON PLANS.
- DISP IN-SINK DISPOSAL BY IN-SINKERATOR 5/8 HP.
- OGS OUTLET W/ SHUTOFF VALVE.



- NOTES**
- DEED AND PLAN REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
  - IRONS SET ARE #1 REBAR - (2'-6") LONG.
  - ZONE #R2 & SHORELAND ZONING.
  - OWNERS OF RECORD: DOUGLAS S. ROBERTS, KATHY SUE ROBERTS, NANCY JO CONNOLLY 13290/162
  - ASSESSORS MAP - B3A-E-7.8 & 10.
- REFERENCES**  
PLAN OF PROPERTY: DIAMOND ISLAND ASSOCIATION PLAN BOOK 4, PAGE 62.
- LEGEND**
- PROPOSED SEPTIC AREA
  - LIMITS OF SHORELAND ZONE
  - WETLAND AREA
  - SURFACE DRAINAGE
  - SOIL TEST PIT
  - PROPERTY LINES - EXISTING
  - PROPERTY IRONS FOUND
  - PROPERTY IRONS SET IN FIELD
  - EXISTING MONUMENTS FOUND
  - BUILDING ENVELOPE

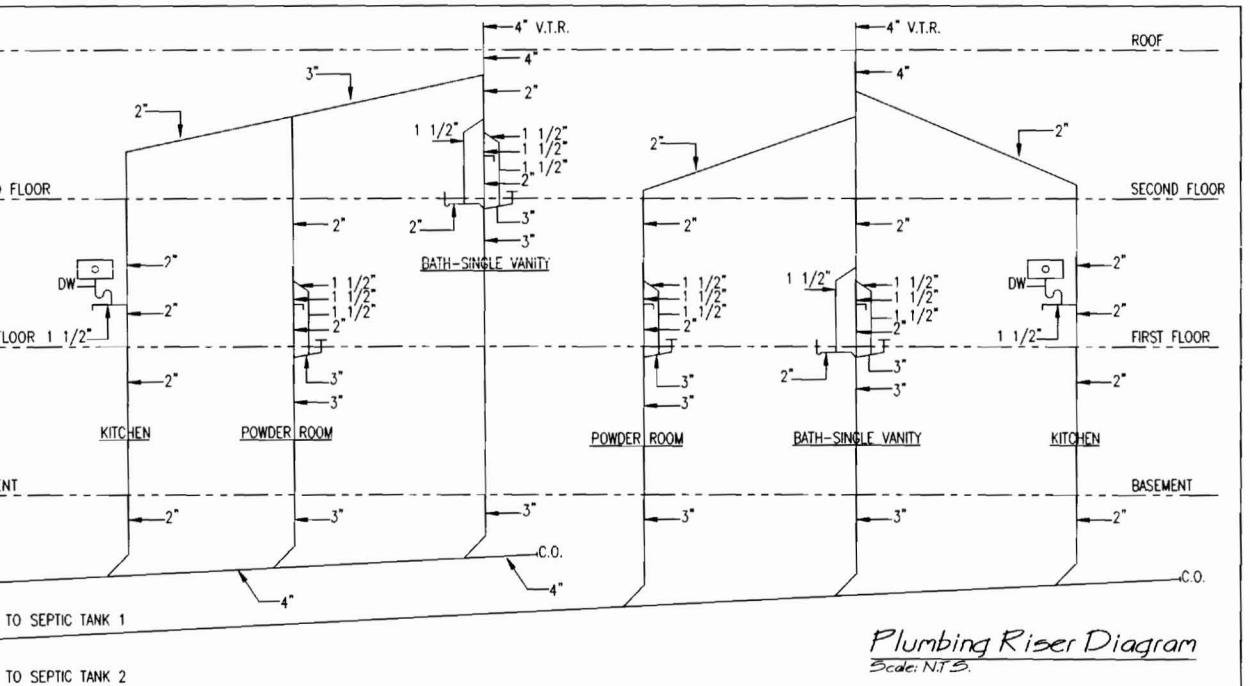
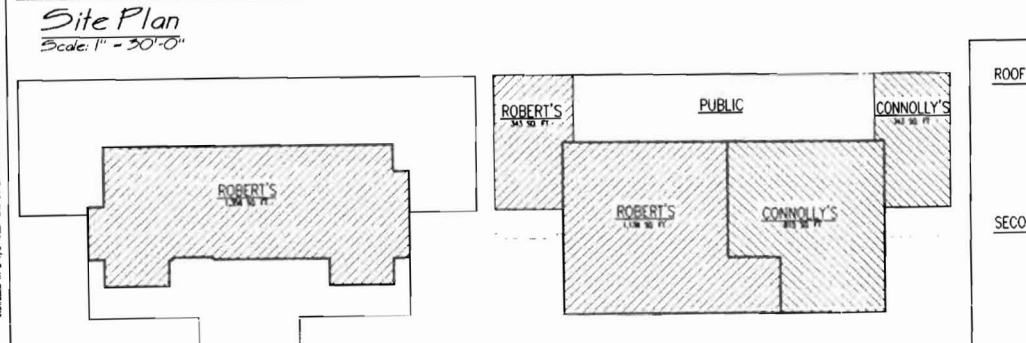
- Drawing List**
- T-1 Title Sheet, Site Plan & Legends
  - T-2 Specifications
  - T-3 Specifications
  - A-0 Construction Details
  - A-1 Basement Construction Floor Plan
  - A-2 Basement Lighting, Device & Finish Plan
  - A-3 First Floor Construction Plan
  - A-4 First Floor Lighting, Device & Finish Plan
  - A-5 Second Floor Construction Plan
  - A-6 Second Floor Lighting, Device & Finish Plan
  - A-7 Attic Const., Lighting, Device & Finish Plans
  - A-8 Exterior Elevation & Detail
  - A-9 Exterior Elevations & Detail
  - A-10 Cross Section A-A
  - A-11 Cross Section B-B
  - A-12 Cross Section C-C & Detail
  - A-14 Soil Erosion & Control Plan

- Material & Tag Legend**
- FLOOR TAG - SEE SPECS
  - DOOR TAG - SEE SPECS
  - PLUMBING TAG - SEE SPECS
  - WALL PARTITION TYPE - SEE DETAIL
  - CEILING HEIGHT - VERIFY
  - FINISH MATERIAL TAG - SEE SPECS
  - ELEVATION MARKER: E.D. TAG NUMBER SHEET NO. 1/1/11
  - CROSS SECTION DETAIL MARKER: DETAIL NUMBER SHEET NO. 1/1/11
  - AREA SECTION DETAIL MARKER: DETAIL NUMBER SHEET NO. 1/1/11
- Legend of Construction**
- Beam Configurations:  
Overlaid, Flush, Recessed, Dropped

**Permit Fee Calculations**

Main Structure 2,491 sq ft @ \$140/sq ft = \$348,740  
 Porch Structures 1,533 sq ft @ \$50/sq ft = \$76,650  
 Total Estimated Construction Cost = \$425,390

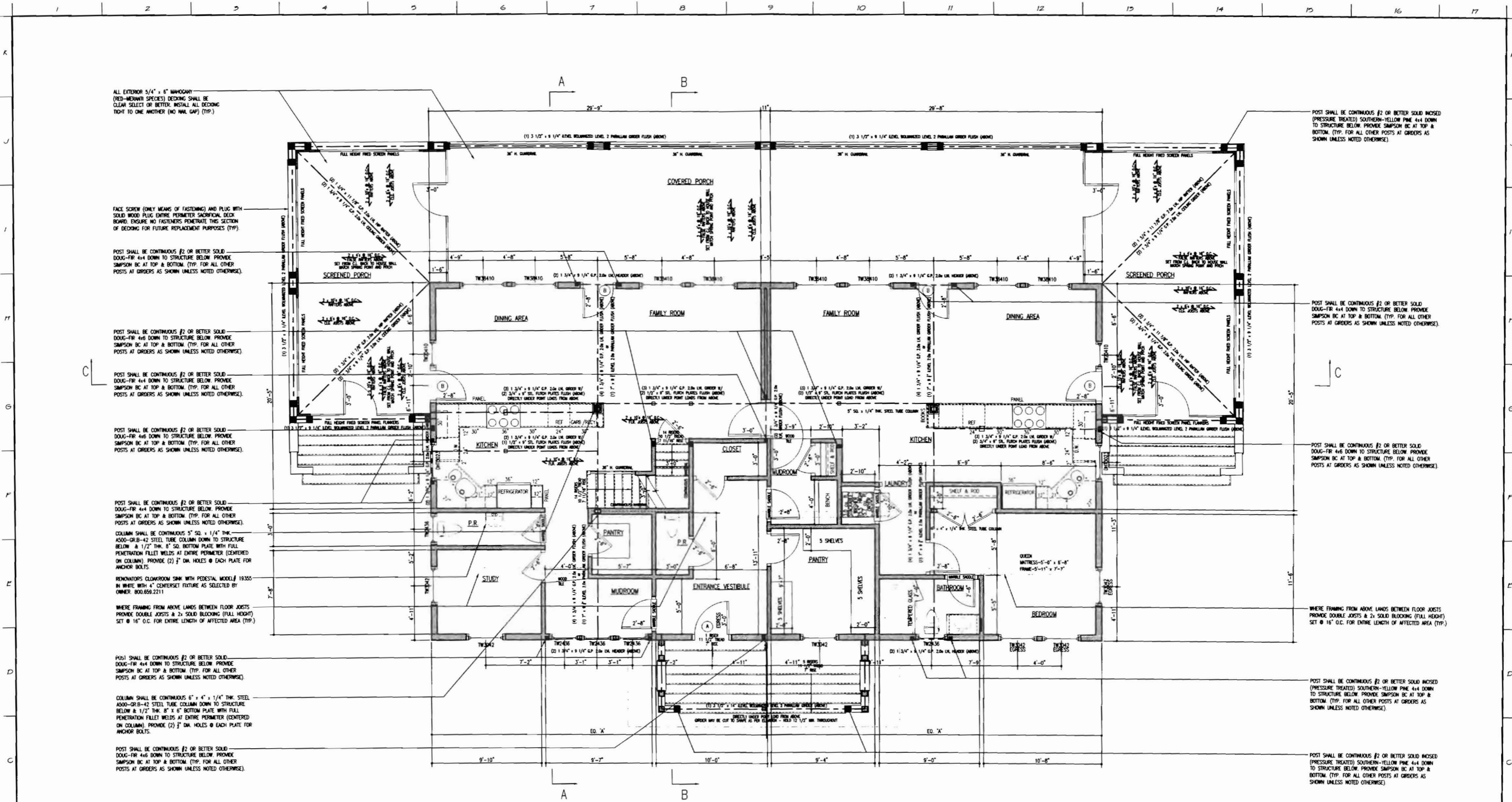
\$30 + (424 x \$10) + \$500 + \$75 = \$4,655 Total Permit Fee  
 (\$30 Fee) + (Address Fee) + (State Fee) + (C.C.) + Total Permit Fee



Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109		Erezuma Architects LLC. 255 MAIN STREET #255 MADISON, NEW JERSEY 07940 PHONE 866.575.9662 FAX 866.575.9865		Craig Erezuma NA, LEED-AP NJ #16261 NY 03089-1 ME 5201	
Existing Partition to Remain	Floor Loads 30 lbs/sq ft live 10 lbs/sq ft dead	New First Floor 1901.50 SF New Porches 1409.50 SF Front Stoop 124.50 SF New Second Floor 240.50 SF Total of New w/o Porches & Stoop 2,491.50 SF Total of New w/ Porches & Stoop 4,024.50 SF Volume of New 78,281 CU. FT.	Assessors Map: B3A-E-7.8 & 10 Zone: #R2 Use Group: R-3 Corbl. Class: 3P Code Jurisdiction: Residential 2005 IRC State of Maine Plumbing Code (General and Exterior)	This document and the work and design incorporated herein are the property of Erezuma Architects LLC and are not to be used, in whole or in part, without the written authorization of Erezuma Architects LLC.		Interior :: Architecture :: Planning		Drawing Title: General Notes Plans Drawing Number: T-1 Date: 02.12.2009 Sheet: 1 of 18	







ALL EXTERIOR 5/4" x 6" MAHOOGANY (RED-MEYANI SPECIES) DECKING SHALL BE CLEAR SELECT OR BETTER. INSTALL ALL DECKING TIGHT TO ONE ANOTHER (NO AIR GAP) (TYP.)

FACE SCREEN (ONLY MEANS OF FASTENING) AND PLUG WITH SOLID WOOD PLUG ENTIRE PERIMETER SLOTTED. BECK BOARD. ENSURE NO FASTENERS PENETRATE THIS SECTION OF DECKING FOR FUTURE REPLACEMENT PURPOSES (TYP.)

POST SHALL BE CONTINUOUS #2 OR BETTER SOLID DOUG-FIR 4x4 DOWN TO STRUCTURE BELOW. PROVIDE SIMPSON BC AT TOP & BOTTOM (TYP. FOR ALL OTHER POSTS AT ORDERS AS SHOWN UNLESS NOTED OTHERWISE)

POST SHALL BE CONTINUOUS #2 OR BETTER SOLID DOUG-FIR 4x4 DOWN TO STRUCTURE BELOW. PROVIDE SIMPSON BC AT TOP & BOTTOM (TYP. FOR ALL OTHER POSTS AT ORDERS AS SHOWN UNLESS NOTED OTHERWISE)

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POST SHALL BE CONTINUOUS #2 OR BETTER SOLID DOUG-FIR 4x4 DOWN TO STRUCTURE BELOW. PROVIDE SIMPSON BC AT TOP & BOTTOM (TYP. FOR ALL OTHER POSTS AT ORDERS AS SHOWN UNLESS NOTED OTHERWISE)

COLUMN SHALL BE CONTINUOUS 5" SQ. x 1/4" THK. A500-GR-B-42 STEEL TUBE COLUMN DOWN TO STRUCTURE BELOW & 1/2" THK. 8" x 8" BOTTOM PLATE WITH FULL PENETRATION FILLET WELDS AT ENTIRE PERIMETER (CENTERED ON COLUMN). PROVIDE (2) 1/2" DIA HOLES @ EACH PLATE FOR ANCHOR BOLTS.

RENOVATOR'S CLOAKROOM SINK WITH PEDESTAL MODEL # 18355 IN WHITE WITH 4" CENTERSET FIXTURE AS SELECTED BY OWNER. 800.659.2211

WHERE FRAMING FROM ABOVE LAYS BETWEEN FLOOR JOISTS PROVIDE DOUBLE JOISTS & 2x SOLID BLOCKING (FULL HEIGHT) SET @ 16" O.C. FOR ENTIRE LENGTH OF AFFECTED AREA (TYP.)

POST SHALL BE CONTINUOUS #2 OR BETTER SOLID DOUG-FIR 4x4 DOWN TO STRUCTURE BELOW. PROVIDE SIMPSON BC AT TOP & BOTTOM (TYP. FOR ALL OTHER POSTS AT ORDERS AS SHOWN UNLESS NOTED OTHERWISE)

POST SHALL BE CONTINUOUS #2 OR BETTER SOLID DOUG-FIR 4x4 DOWN TO STRUCTURE BELOW. PROVIDE SIMPSON BC AT TOP & BOTTOM (TYP. FOR ALL OTHER POSTS AT ORDERS AS SHOWN UNLESS NOTED OTHERWISE)

POST SHALL BE CONTINUOUS #2 OR BETTER SOLID INCEDED (PRESSURE TREATED) SOUTHERN-YELLOW PINE 4x4 DOWN TO STRUCTURE BELOW. PROVIDE SIMPSON BC AT TOP & BOTTOM (TYP. FOR ALL OTHER POSTS AT ORDERS AS SHOWN UNLESS NOTED OTHERWISE)

POST SHALL BE CONTINUOUS #2 OR BETTER SOLID DOUG-FIR 4x4 DOWN TO STRUCTURE BELOW. PROVIDE SIMPSON BC AT TOP & BOTTOM (TYP. FOR ALL OTHER POSTS AT ORDERS AS SHOWN UNLESS NOTED OTHERWISE)

POST SHALL BE CONTINUOUS #2 OR BETTER SOLID DOUG-FIR 4x4 DOWN TO STRUCTURE BELOW. PROVIDE SIMPSON BC AT TOP & BOTTOM (TYP. FOR ALL OTHER POSTS AT ORDERS AS SHOWN UNLESS NOTED OTHERWISE)

WHERE FRAMING FROM ABOVE LAYS BETWEEN FLOOR JOISTS PROVIDE DOUBLE JOISTS & 2x SOLID BLOCKING (FULL HEIGHT) SET @ 16" O.C. FOR ENTIRE LENGTH OF AFFECTED AREA (TYP.)

POST SHALL BE CONTINUOUS #2 OR BETTER SOLID INCEDED (PRESSURE TREATED) SOUTHERN-YELLOW PINE 4x4 DOWN TO STRUCTURE BELOW. PROVIDE SIMPSON BC AT TOP & BOTTOM (TYP. FOR ALL OTHER POSTS AT ORDERS AS SHOWN UNLESS NOTED OTHERWISE)

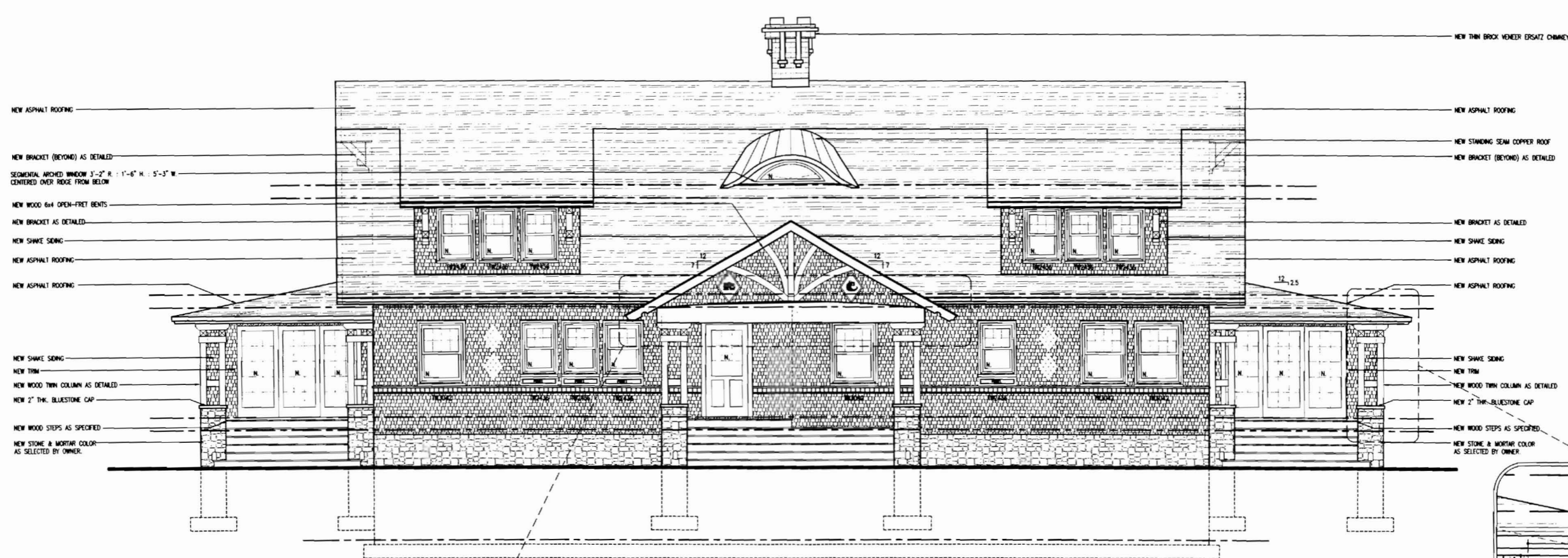
POST SHALL BE CONTINUOUS #2 OR BETTER SOLID INCEDED (PRESSURE TREATED) SOUTHERN-YELLOW PINE 4x4 DOWN TO STRUCTURE BELOW. PROVIDE SIMPSON BC AT TOP & BOTTOM (TYP. FOR ALL OTHER POSTS AT ORDERS AS SHOWN UNLESS NOTED OTHERWISE)

First Floor Plan

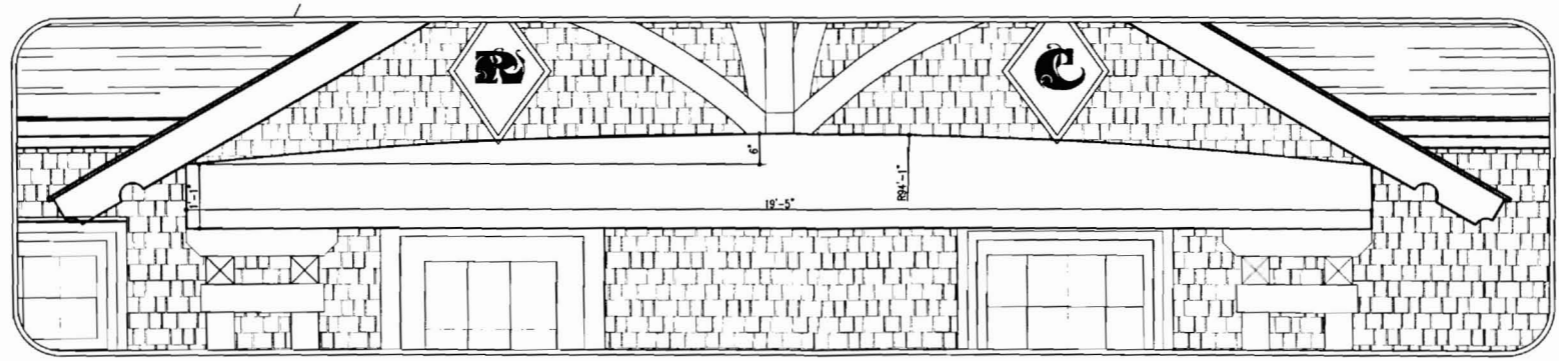
Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109		 EREZUMA ARCHITECTS LLC. 230 MAIN STREET #200 MADISON, NEW JERSEY 07940 PHONE 866.575.9662 FAX 866.575.9663		Craig Erezuma MA LEED-AP NJ A16261 NY 0303659-1 ME 5201 Drawing Title: Construction Plan Drawing Number: A-3 Date: 05/22/09 Sheet: 7 of 13
Existing Partition to Remain Existing Partition to be Removed New Partition New Gyp.Dtl. over Exst. Framing 4 x 4 Post 4 x 6 Post Post Above Arched Opening Ceiling / Wall Height	<b>Floor Loads</b> Sleeping Area 30 lb/sq ft live 10 lb/sq ft dead <b>Floor Loads</b> Other Areas 40 lb/sq ft live 20 lb/sq ft dead <b>Roof Loads</b> Actual Roofs Only 30 lb/sq ft live 10 lb/sq ft dead <b>Bathroom</b> 40 lb/sq ft live 20 lb/sq ft dead <b>Exterior Decks</b> 70 lb/sq ft live 10 lb/sq ft dead	<b>New First Floor</b> 1,951.20 FT. <b>New Porches</b> 1,409.20 FT. <b>Front Sloop</b> 124.20 FT. <b>New Second Floor</b> 240.20 FT. <b>Available Area</b> <b>Total of New w/o Porches &amp; Sloop</b> 2,491.20 FT. <b>Total of New w/ Porches &amp; Sloop</b> 4,024.20 FT. <b>Volume of New</b> 78,026 CU FT.	<b>Project Information:</b> Assessor's Map: 03A275810 Zone: R2 Use Group: R3 Const. Class: 3P <b>Code Jurisdictions:</b> Residential: 2005 IRC State of Maine Planning Code (Ordinal and Editorial)	No.	Date	Revised(s)	Scale: 1/4" = 1'-0" or as noted	
				Drawn By: CE	Checked By: CE	Project No:		



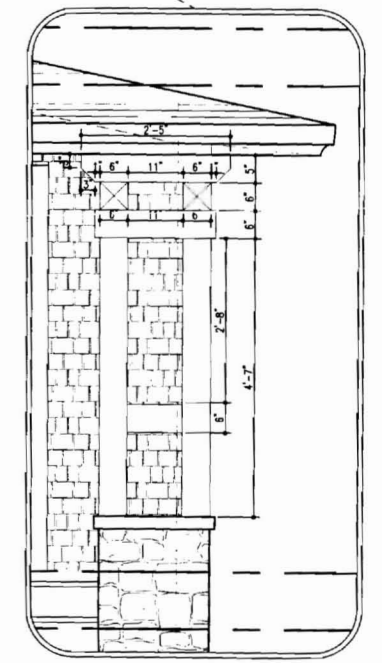




Front Elevation - Crescent Avenue



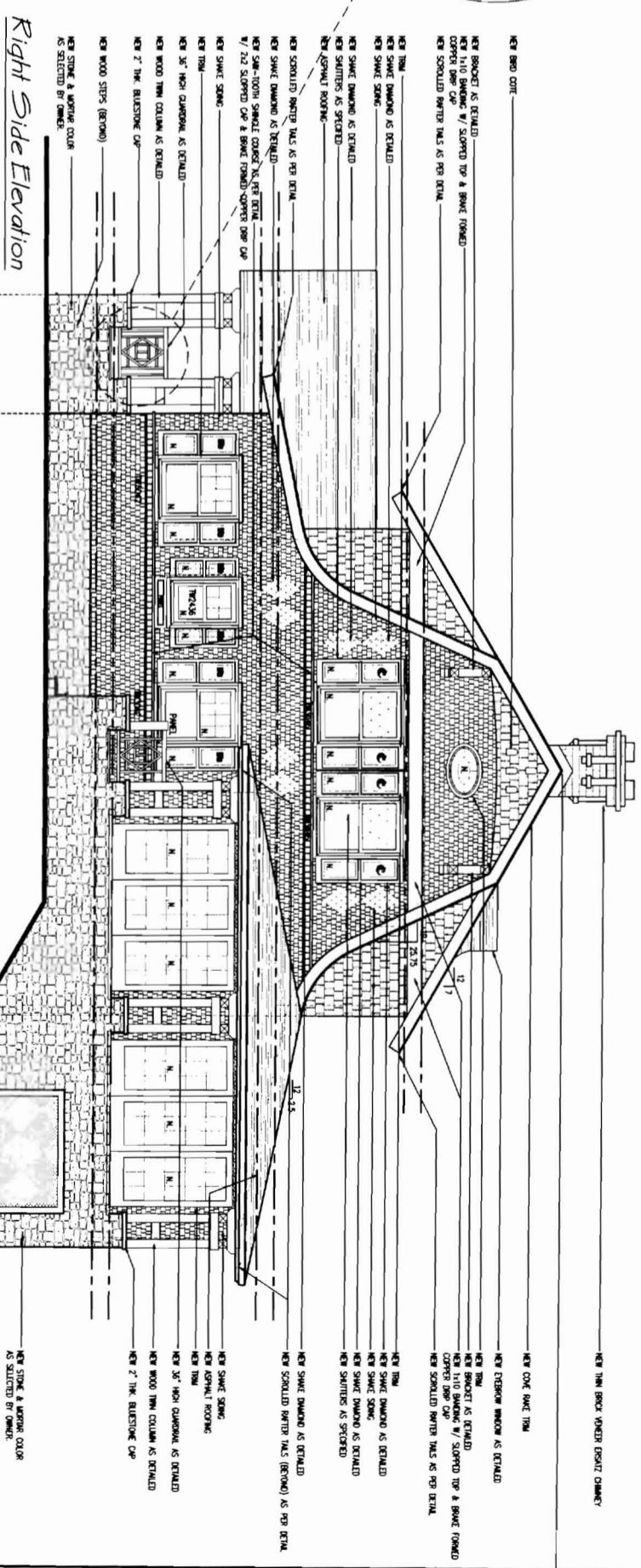
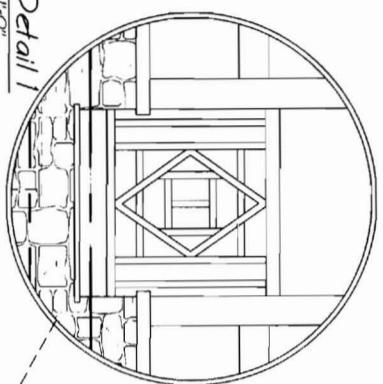
Porch Detail 1  
Scale: 3/4" = 1'-0"



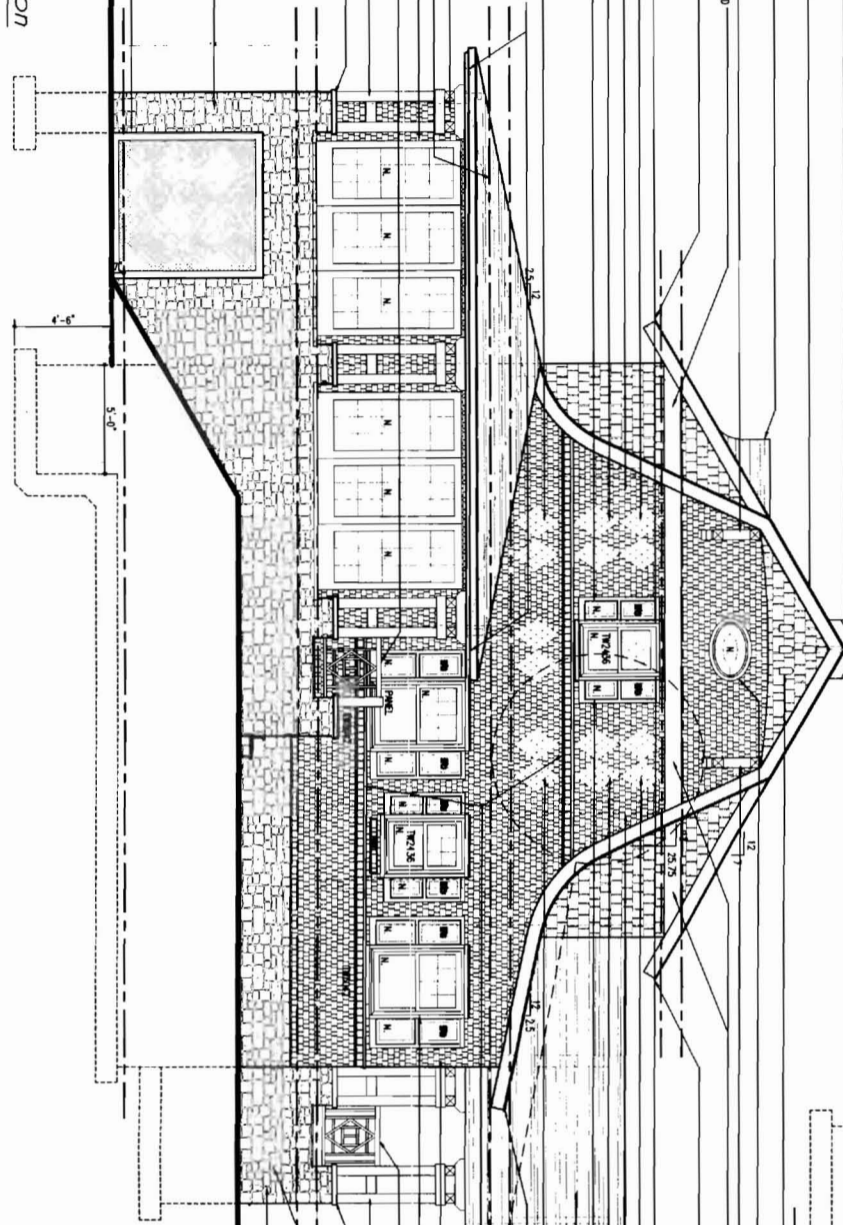
Column Detail 1  
Scale: 3/4" = 1'-0"

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109	This document and the design contained herein are the property of Erezuma Architects, L.L.C. and are not to be used in whole or in part without the written consent of Erezuma Architects, L.L.C.	Erezuma Architects, L.L.C. 235 MAIN STREET #235 MADISON, NEW JERSEY 07940 PHONE 866.575.9862 FAX 866.575.9865	Craig Erezuma MA LEED-AP NJ NJ6261 NY 03-036-9-1 ME 2201 Drawing Title: Elevation Details Drawing Number: A-8 Date: 09/22/2009 Sheet: 12 of 15
<ul style="list-style-type: none"> <li>Existing Partition to Remain</li> <li>Existing Partition to be Removed</li> <li>New Partition</li> <li>New Gyp.D. over Exist. Framing</li> <li>4" x 4" Post</li> <li>4" x 6" Post</li> <li>Post Above</li> <li>Arched Opening</li> <li>Ceiling / Wall Height</li> </ul>	<p><b>Floor Loads</b></p> <p>Shopping Area 30 lb/sq. ft. live 10 lb/sq. ft. dead</p> <p><b>Floor Loads</b></p> <p>Other Areas 40 lb/sq. ft. live 20 lb/sq. ft. dead</p> <p><b>Roof Loads</b></p> <p>Portland, Maine City 20 lb/sq. ft. live 20 lb/sq. ft. dead</p> <p><b>Bathroom</b></p> <p>40 lb/sq. ft. live 20 lb/sq. ft. dead</p> <p><b>Exterior Decks</b></p> <p>70 lb/sq. ft. live 10 lb/sq. ft. dead</p>	<p><b>New First Floor</b></p> <p>1,951.50 FT.</p> <p><b>New Porches</b></p> <p>1,409.50 FT.</p> <p><b>Front Sloop</b></p> <p>124.50 FT.</p> <p><b>New Second Floor</b></p> <p>540.50 FT.</p> <p><b>Total of New w/o Porches &amp; Sloop</b></p> <p>2,491.50 FT.</p> <p><b>Total of New w/ Porches &amp; Sloop</b></p> <p>4,024.50 FT.</p> <p><b>Volume of New</b></p> <p>78,281 CU. FT.</p>	<p><b>Address:</b> Map: 03A-17B-010 Zone: R2</p> <p><b>Use Group:</b> R-3 <b>Control Class:</b> 3P</p> <p><b>Code Jurisdictions:</b></p> <p>Residential 2003 IBC State of Maine Planning Code (Ordinal and Editorial)</p>		<p>No. _____ Date: _____ Revision(s): _____</p> <p>Scale: 1/4" = 1'-0" or as noted</p> <p>Drawn By: C.F. Checked By: C.E. Project No. _____</p>		

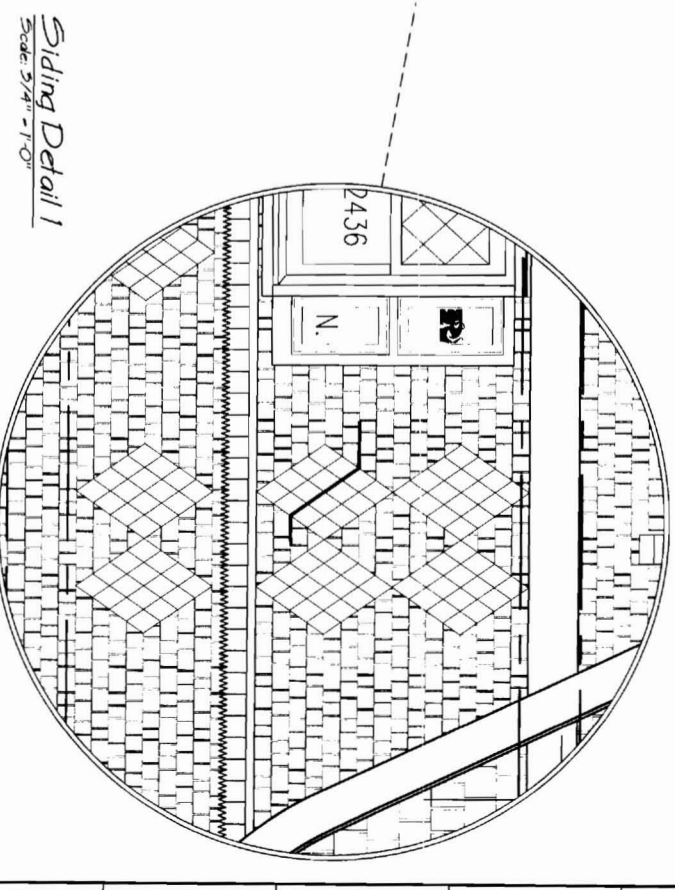
Railing Detail I  
Scale: 3/4" = 1'-0"



Right Side Elevation



Left Side Elevation



Sliding Detail I  
Scale: 3/4" = 1'-0"

Legend of Construction		Loading Criteria:		Area / Volume Calculations:		Project Information:	
	Existing Foundation to Remain		New Foundation		New First Floor		Assessors Map: 05A-21830 Zone: R2
	New Gravel over Final Framing		Floor Loads		New Second Floor		Use Group: R3 Condo Class, 2P
	4-1/2 Foot Final Above		Roof Loads		Total of New w/o Porches & Stairs		Code-Used-Notations: R3000-100 20000-100
	6-6 Arch'd Opening		Exterior Loads		Total of New w/ Porches & Stairs		State of Maine Building Code (International and Federal)
	Ceiling / Wall Height				Value of New		

New Residence for:  
Mrs. Connolly and  
Mr. & Mrs. Roberts  
Crescent Avenue - GDI  
Portland, Maine 04109

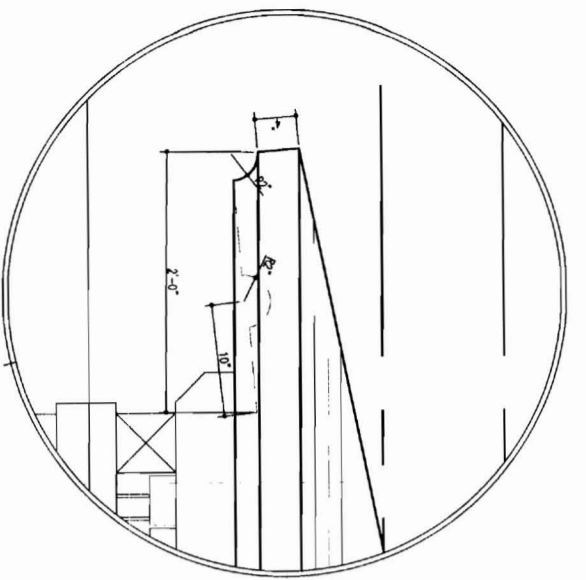
Drawn By	CE	Checked By	CE	Project No.	12
Date	1-4-07	Scale	1/4" = 1'-0"	Drawn No.	12

ERZUMA ARCHITECTS, L.L.C.  
225 HAN STREET #205  
MADISON, NEW JERSEY 07940  
PHONE: 908.259.9825 FAX: 908.259.9845

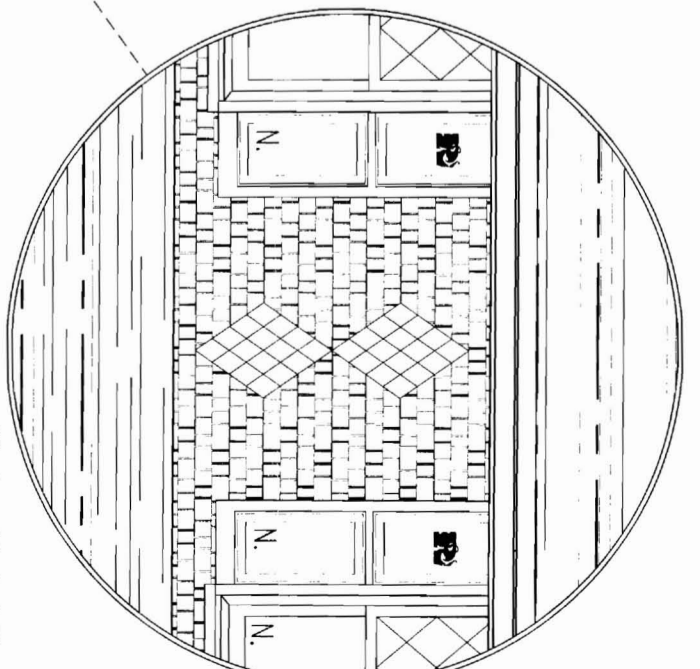
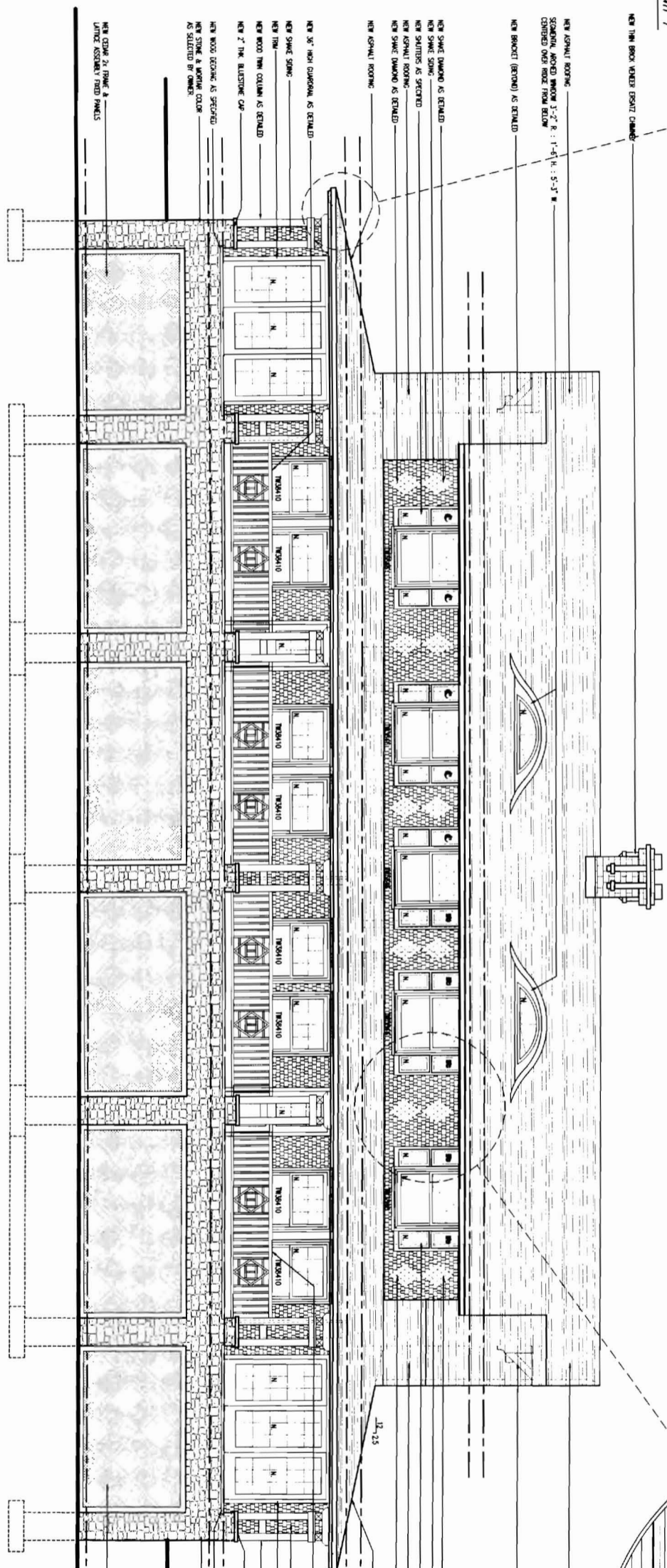
Client: ERZUMA ARCHITECTS, L.L.C.  
Date: 01/23/07  
Drawing Title: Elevations Details  
Drawing Number: A-9  
Sheet 12 of 18

*Erzuma Architects*





Rafter Detail 1  
Scale: 1/2" = 1'-0"



Sliding Detail 2  
Scale: 3/4" = 1'-0"

Rear Elevation - Bay Avenue

Legend of Construction		Loading Criteria:		Area / Volume Calculations:		Project Information:	
Existing Foundation to Remain	Existing Foundation to be Removed	Floor Loads	20 lb/ft <sup>2</sup> // live	New First Floor	1291.90 FT <sup>2</sup>	Assessors Map: 03A-17340	Zone: R2
New Foundation	New Sill/Post over Final Framing	Floor Loads	40 lb/ft <sup>2</sup> // live	Front Sloped	124.90 FT <sup>2</sup>	Use Group: R3	Constr. Class: 3B
4 x 4 Post	4 x 6 Post	Roof Loads	20 lb/ft <sup>2</sup> // live	New Second Floor	540.90 FT <sup>2</sup>	Code Violations:	None
Roof Nails	Roof Nails	Roof Loads	40 lb/ft <sup>2</sup> // live	Total of New	2491.90 FT <sup>2</sup>	2003 IBC	State of Maine Planning Code (Official and Revised)
Added Opening	Added Opening	Roof Loads	20 lb/ft <sup>2</sup> // live	Volume of New	4024.90 FT <sup>3</sup>		
Ceiling / Wall Height	Ceiling / Wall Height	Exterior Loads	20 lb/ft <sup>2</sup> // live	Volume of New	7839.11 FT <sup>3</sup>		

New Residence for:  
Mrs. Connolly and  
Mr. & Mrs. Roberts  
Crescent Avenue - GDI  
Portland, Maine 04109



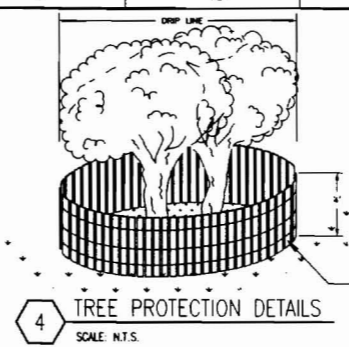
Erezuma Architects LLC  
235 HAN STREET #235  
HAIRSON, NEW JERSEY 07410  
PHONE: 908.739.8642 FAX: 908.739.8643

Chief Engineer  
M. LEECH  
N. MURPHY  
N. HENNING  
N. HENNING  
DATE: 07/23/09  
Sheet 14 of 21

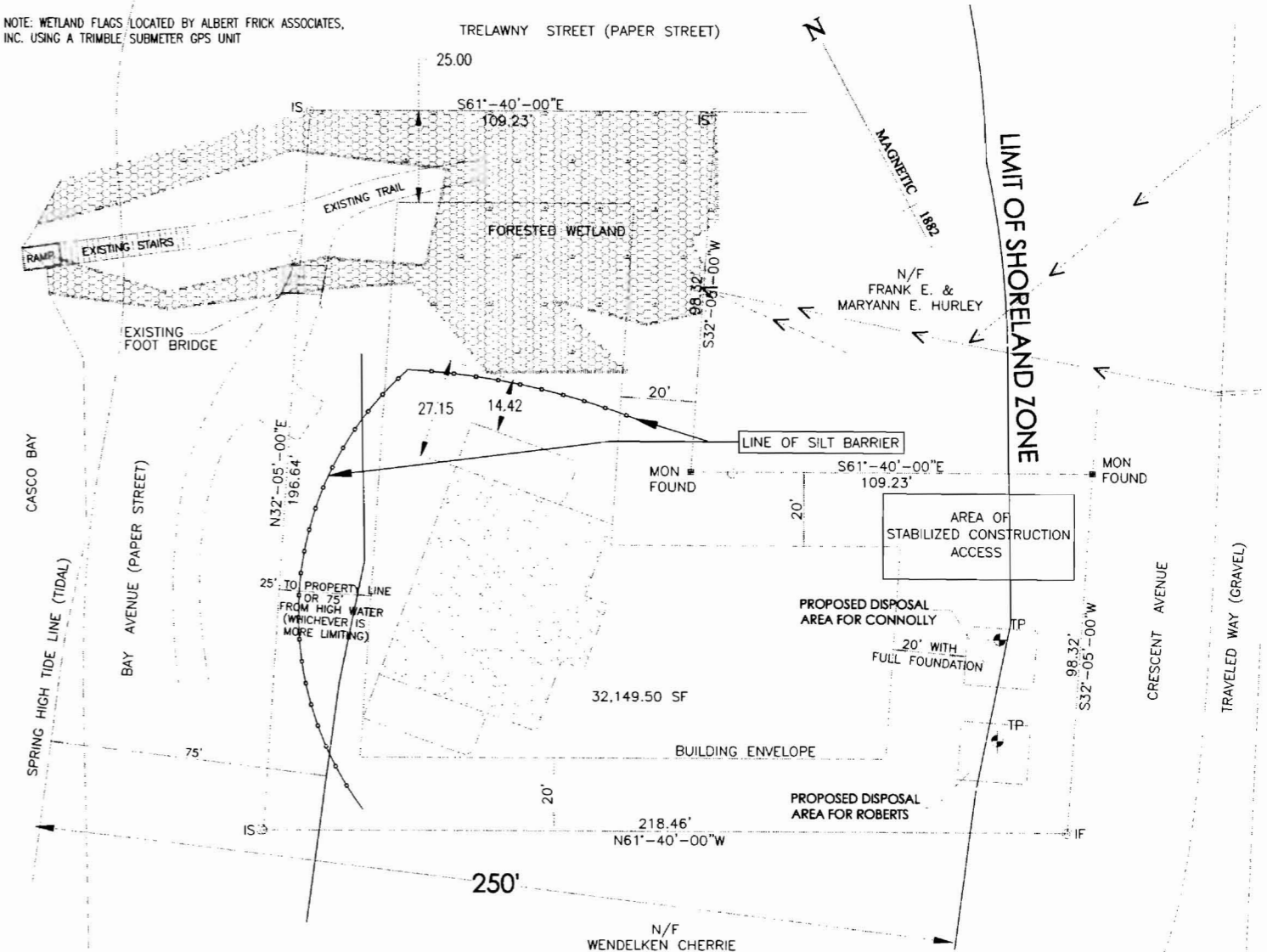
Drawing Title  
Elevation  
Details  
A-10

**SOIL EROSION AND SEDIMENT CONTROL GENERAL NOTES**

1. INSTALL STAMBALES/FENCE IN LOCATIONS AS INDICATED ON THE SITE PLAN AND DETAILED (SEE DETAIL 1).
2. INSTALL TEMPORARY DRIVEWAY IN LOCATION AS INDICATED ON THE SITE PLAN AND AS DETAILED (SEE DETAIL 2).
3. FOLLOW TREE PRUNING AS DETAILED (SEE DETAIL 3).
4. INSTALL TREE PROTECTION FENCING AS INDICATED ON THE SITE PLAN AND DETAILED (SEE DETAIL 4).
5. MAINTAIN NO SITE DISTURBANCE IN TREE DRILL AREA AT ALL TIMES DURING CONSTRUCTION SO AS TO PROTECT TREE ROOTS.
6. INSTALL 4" OF TOPSOIL ON ALL DISTURBED AREAS. SEEDING SHALL BE BY OWNER.



NOTE: WETLAND FLAGS LOCATED BY ALBERT FRICK ASSOCIATES, INC. USING A TRIMBLE SUBMETER GPS UNIT

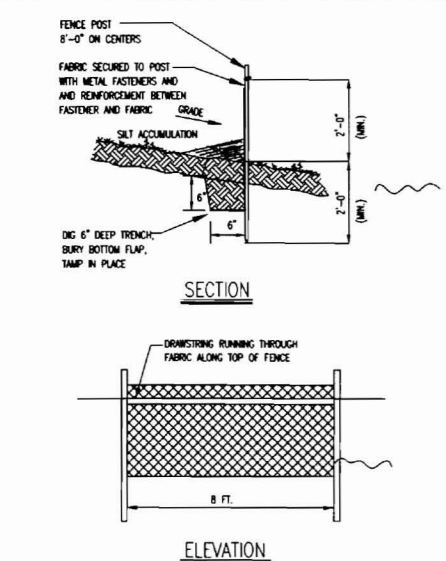


**CERTIFICATION**

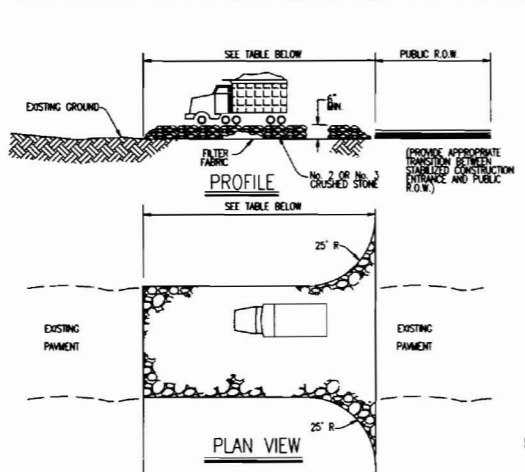
THIS SURVEY CONFORMS TO CATEGORY 1, CONDITION III, AS DEFINED BY THE STANDARDS OF MAINE STATE BOARD OF REGISTRATION FOR LAND SURVEYORS.

**SURVEYOR**

HERBERT P. GRAY  
PLS #387  
111 SIMMONS ROAD  
SOUTH PORTLAND, MAINE  
04106



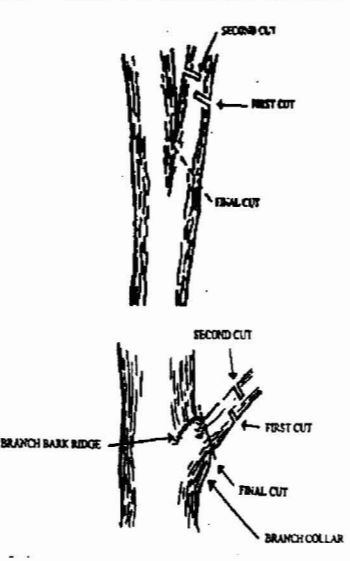
**1 BALE SEDIMENT BARRIER DETAIL**  
SCALE: N.T.S.



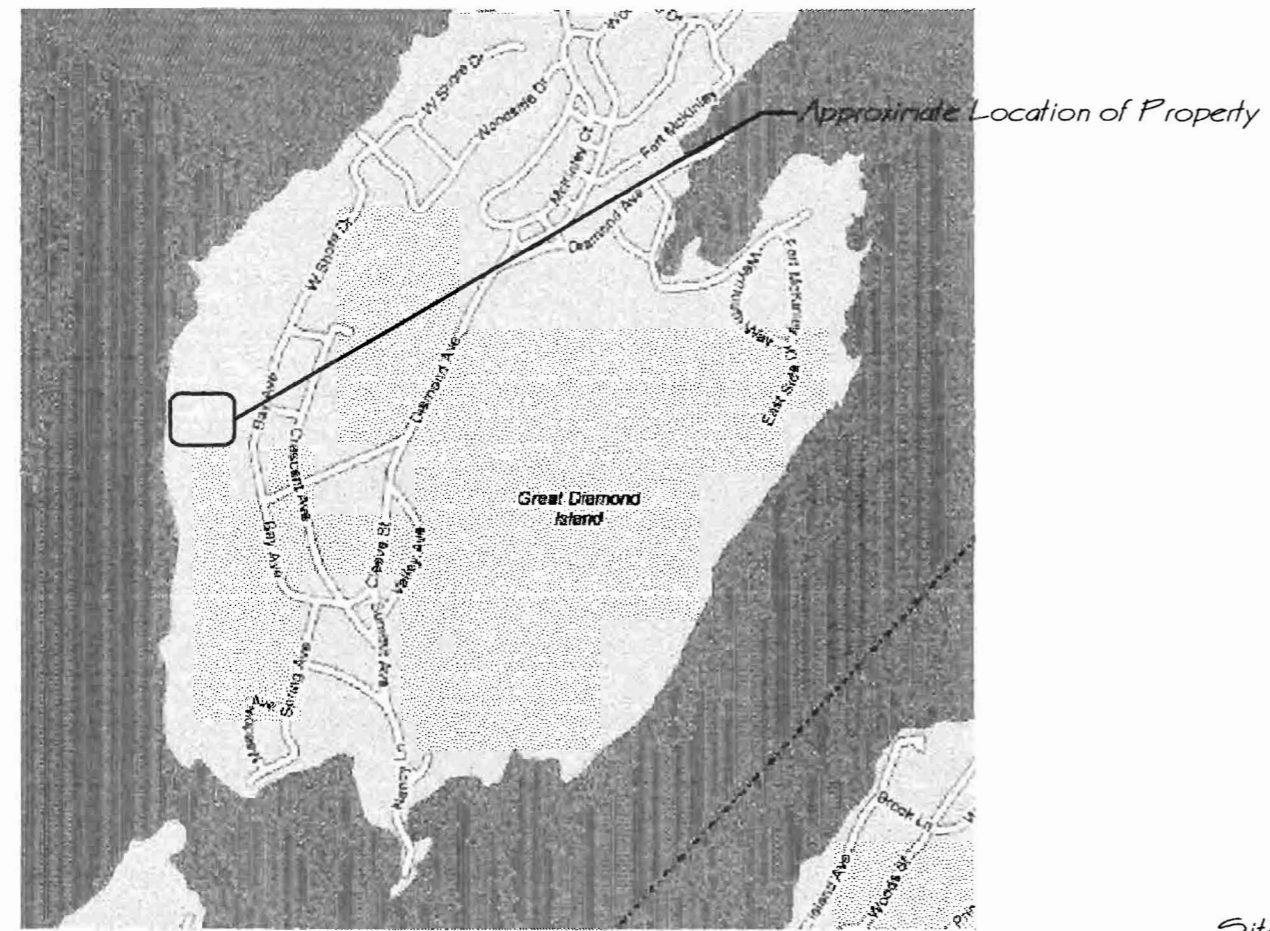
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED
0 - 2%	100 FT. PER 100 SQ. YD.
2 - 5%	150 FT. PER 100 SQ. YD.
5 - 10%	200 FT. PER 100 SQ. YD.

\* AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING BODY.

**2 STABILIZED CONSTRUCTION ACCESS DETAIL**  
SCALE: N.T.S.



**3 LIMB REMOVAL DETAILS**  
SCALE: N.T.S.



**Location Map**  
Scale: N.T.S.

**Site Plan**  
Scale: 1" = 20'-0"

Legend of Construction		Loading Criteria:		Area / Volume Calculations:		Project Information:		This document and the design it depicts are not to be used or reproduced or professional seal and signature of Erezuma Architects L.L.C. and are not to be used in whole or in part without the written authorization of Erezuma Architects L.L.C.		Erezuma Architects L.L.C.		Craig Erezuma	
[Symbol]	Existing Partition to Remain	Floor Loads	50 lb/sq ft live 10 lb/sq ft dead	New First Floor	1,991.50 FT <sup>2</sup>	Assessor's Map:	05AET1810 Zone: #2	 Interior Architecture :: Planning <b>EREZUMA ARCHITECTS L.L.C.</b> 255 MAIN STREET #255 MADISON, NEW JERSEY 07940 PHONE 866.575.9862 FAX 866.575.9863		Drawing Title: <b>Soil &amp; Sediment Control Plan</b> Drawing Number: <b>A-14</b>			
[Symbol]	Existing Partition to be Removed	Floor Loads	40 lb/sq ft live 20 lb/sq ft dead	New Porches	1,409.50 FT <sup>2</sup>	Use Group:	R-3 Const. Class: 00			Drawing Date: _____ Revision(s): _____ Scale: 1/4" = 1'-0" or as noted Drawn By: C.E. Checked By: G.E. Plotted No: _____		Date: 05/22/2009 Sheet 15 of 15	
[Symbol]	New Partition	Other Loads	50 lb/sq ft live 10 lb/sq ft dead	Front Sloop	124.50 FT <sup>2</sup>	Code Jurisdiction:	Residential 31029-IRC State of Maine Plumbing Code (General and External)						
[Symbol]	New Cyp/Dd over Exst. Framing	Roof Loads	40 lb/sq ft live 20 lb/sq ft dead	New Second Floor	940.50 FT <sup>2</sup>								
[Symbol]	4 x 4 Post	Bathroom	40 lb/sq ft live 20 lb/sq ft dead	Total of New w/o Porches & Sloop	2,491.50 FT <sup>2</sup>								
[Symbol]	4 x 6 Post	Exterior Decks	10 lb/sq ft live 10 lb/sq ft dead	Total of New w/ Porches & Sloop	4,024.50 FT <sup>2</sup>								
[Symbol]	Post Above			Volume of New	78,261 CU. FT.								
[Symbol]	Arched Opening												
[Symbol]	Ceiling / Wall Height												