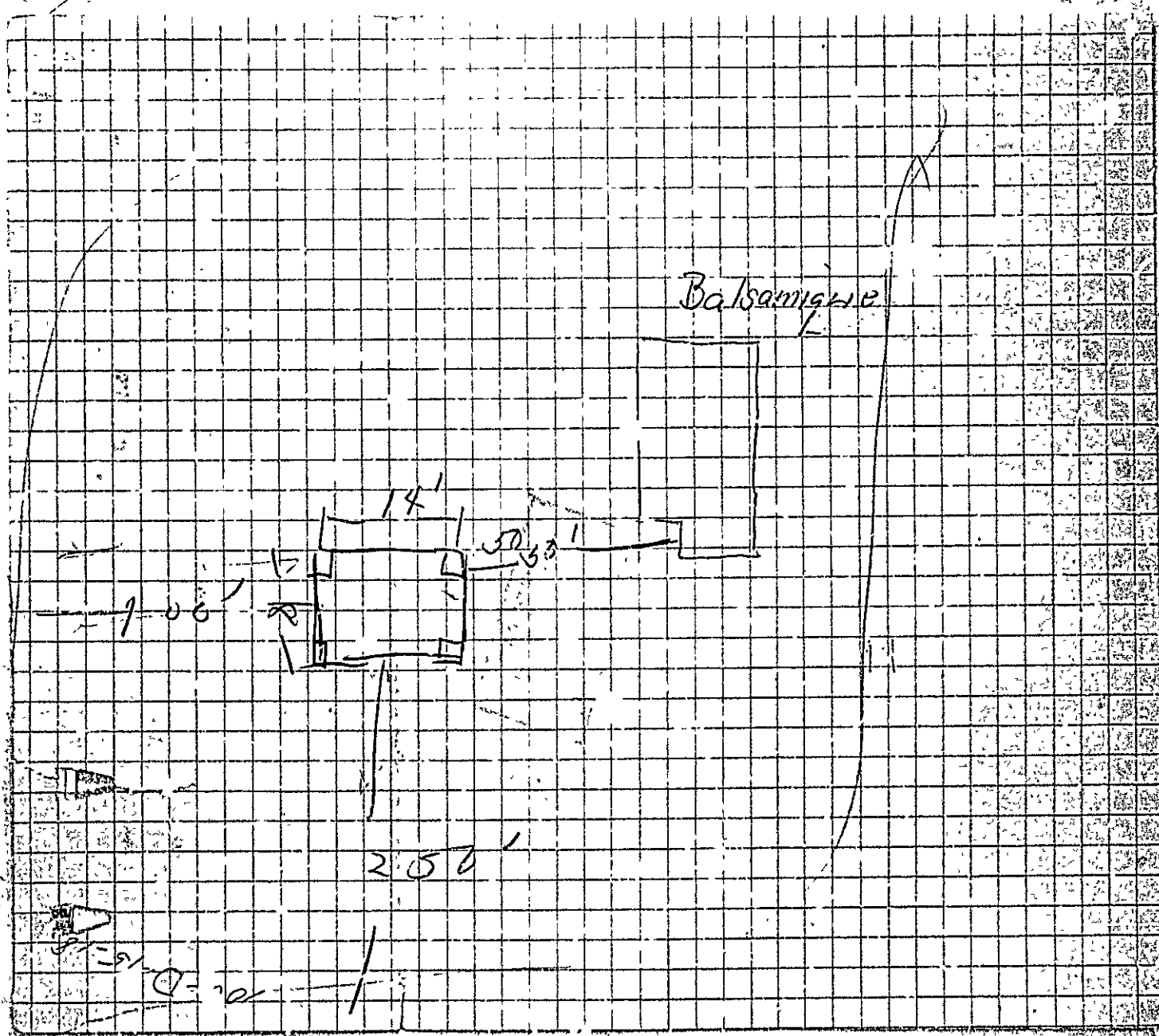


FERN AVENUE
100-D-15-18

LONG ISLAND



(A) APARTMENT HOUSE ZONE

PERMIT (ISSUED)
Permit No. 1924

APPLICATION FOR PERMIT

SEP 8 1930

Class of Building or Type of Structure Third Class

Portland, Maine, September 6, 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter or install the following building structure or equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Harbor De Graco, Long Island Ward 1 Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address Mary A. Murphy, 24 Mellen St. Telephone _____
 Contractor's name and address Owner Telephone _____
 Architect's name and address _____
 Proposed use of building wood shed No. families _____
 Other buildings on same lot Cottage

Description of Present Building to be Altered

Material wood No. stories 1 Height _____ Style of roof _____ Roofing _____
 Last use wood shed No. families _____

General Description of New Work

To rebuild shed, making 14' 6" x 14'

NOTIFICATION BY LOCAL LAWYER OR CLOSING-IN IS WAIVED.
CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof 9'
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation cedar posts Thickness, top _____ bot. om. _____
 Material of underpinning _____ Height _____ thickness _____
 Kind of roof flat 2 1/2" to foot Roof covering Asphalt roofing Glass U Vnd. Lab.
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat no Type of fuel _____ Distance, heater to chimney _____
 If oil burner, name and model _____
 Capacity and location of oil tanks _____
 Is gas fitting involved? _____ Size of service _____
 Corner posts 4x4 Sills 3x6 Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Jo. As and rafters: 1st floor dirt 2nd _____ 3rd _____ of 2x6
 On centers: 1st floor _____ 2nd _____ 3rd _____ roof 2" / 16"
 Maximum span: 1st floor _____ 2nd _____ 3rd _____ roof 14'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will auto/mobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Plans filed as part of this application? yes No. sheets 1
 Estimated cost \$ 50. Fee \$.60

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Mary A. Murphy
Mary A. Murphy
J. Murphy

INSPECTION COPY

29537

Ward / Permit No. 30/192

Location Harbor Grace Long St

Mary C. Murphy

Date of permit 9/8/30

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued *None*

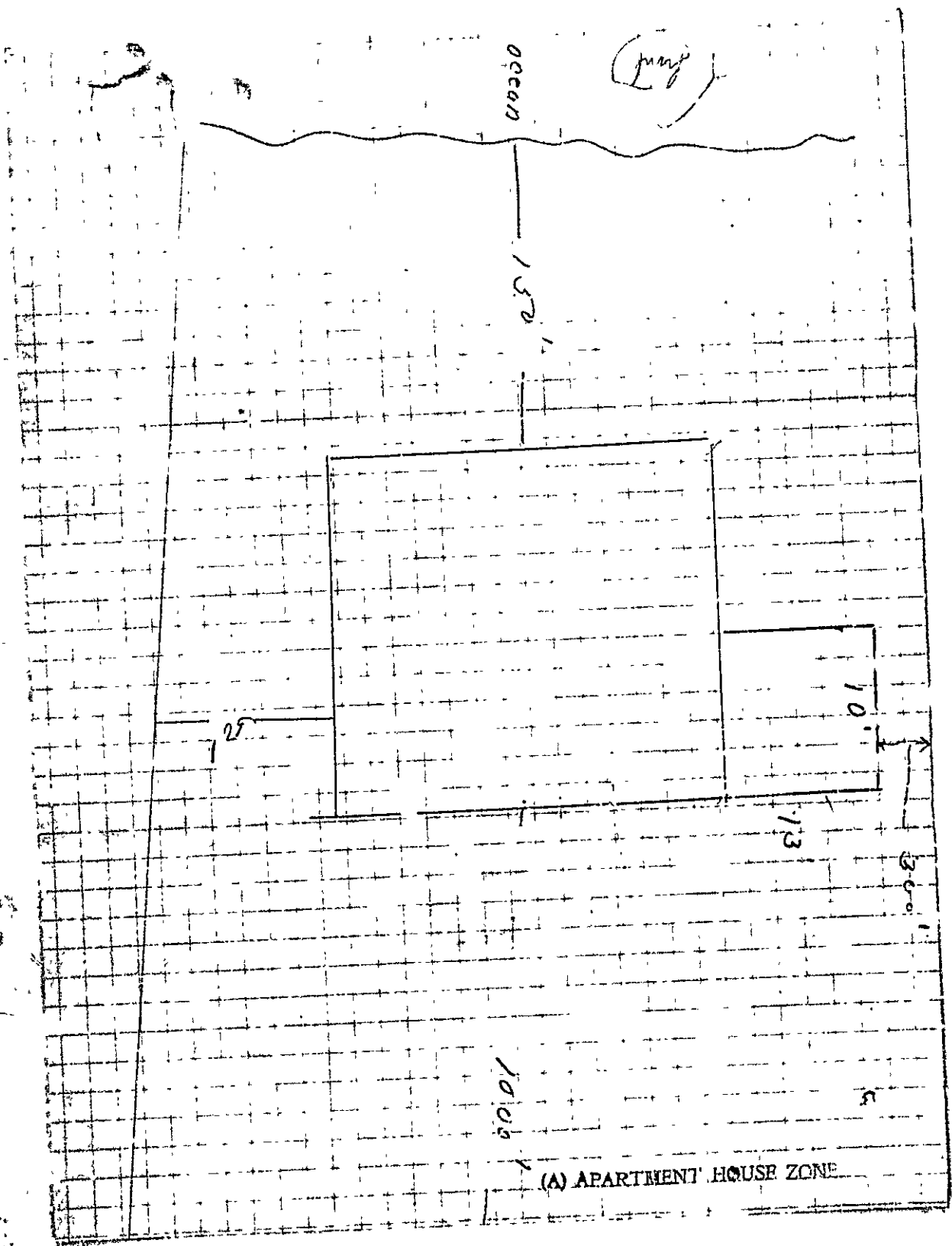
NOTES

4/24/31
Work started but not
done, started with low snow

6/14/31
Do not look at through
work windows. C.B.

7/29/31. Same
work, but to be
done. C.B.

100
D
15



(A) APARTMENT HOUSE ZONE



(A) APARTMENT HOUSE ZON

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Permit No. 1458
AUG 1 1929

Portland, Maine, August 11, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Ocean side Long Island Ward 1 Within Fire Limits? Yes Dist. No. _____
Owner's or Lessee's name and address Mary A. Murphy, 26 Millon St. Telephone _____
Contractor's name and address Owner Telephone _____
Architect's name and address _____
Proposed use of building Summer Cottage No. families _____
Other buildings on same lot none

Description of Present Building to be Altered

Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
Last use summer cottage No. families _____

General Description of New Work

To erect one story frame addition 10' x 13' on side of cottage

CERTIFICATE OF THE CITY ENGINEER
RE-QUALIFIED BY THE CITY ENGINEER
BY THE CITY ENGINEER

Details of New Work

Size, front _____ depth _____ No. stories 1 Height average grade to highest point of roof 8'
To be erected on solid or filled land? solid earth or rock? ledge
Material of foundation cedar posts Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof flat 1/2" to flat Roof covering asphalt roofing Class C Val.
No. of chimneys 1 Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____
If oil burner, name and model _____
Capacity and location of oil tanks _____
Is gas fitting involved? _____ Size of service _____
Corner posts 4x4 Sills 6x6 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor 8-6 2nd _____ 3rd _____ roof 8-4
On centers: 1st floor 18" 2nd _____ 3rd _____ roof 18"
Maximum span: 1st floor 10' 2nd _____ 3rd _____ roof 15'
If one story building with masonry walls, thickness of walls? _____ height? _____

Not heavy enough
side of a 6" plate
make 6" up center girder
make 6" posts and
trim.

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or dist. bing of any shade tree on a public street? no
Plans filed as part of this application? yes No. sheets 1
Estimated cost \$ 50. Fee \$ 50
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of owner Mary A. Murphy

Mary A. Murphy

1458

7 am one
Ward 1 Permit No. 29/1458

Location Long Island Ocean side
with Mary R. Murphy

Date of permit 8/1/29

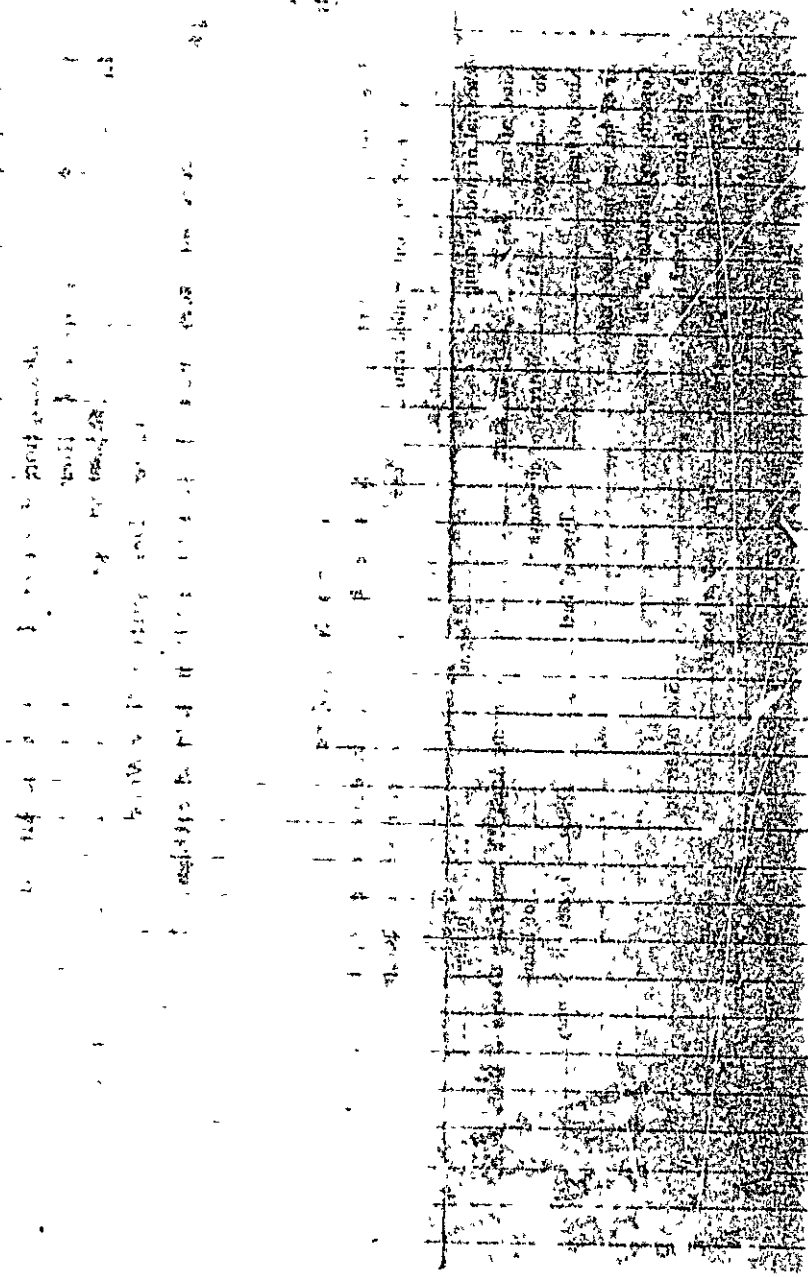
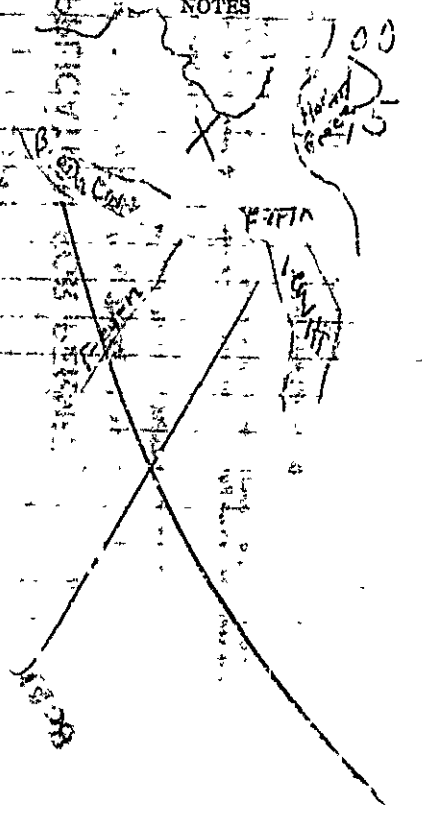
*out closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 10/15/29 10/12

Cert. of Occupancy issued





PERMIT ISSUED

Permit No. 0260

MAY 14 1928

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, May 12, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter and the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Southside shore, Long Island Ward 1 Within Fire Limits? Dist. No.
Owner's name and address Mary A. Murphy, 24 Mullis Street Telephone 418
Contractor's name and address owner Telephone
Architect's name and address No. families 1
Proposed use of building cottage
Other buildings on same lot

Description of Present Building to be Altered

Material Wood No. stories 1 Heat No. of roof 1 Roofing
Last use Cottage No. families 1

General Description of New Work

To demolish front porch and rebuild same except roof

NOTIFICATION BEFORE LATHING OR CLOSING IN IS WAIVED.
CHECKER'S SIGNATURE IS WAIVED.

Details of New Work

Size, front 24' depth 8' No. stories 1 Height average grade to highest point of roof 9'
To be erected on solid or filled land? solid earth or rock? earth
Material & foundation cedar posts Thickness, top bottom
Material of underpinning Height Thickness
Kind of roof Roof covering
No. of chimneys Material of chimneys of lining
Kind of heat Type of fuel Distance, heater to chimney
If oil burner, name and model
Capacity and location of oil tanks
Is gas fitting involved? Size of service
Corner posts 3x4 Sills 6x4 Girt or ledger board? Size
Material columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-10" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor 2x6, 2nd, 3rd, roof
On centers: 1st floor 16, 2nd, 3rd, roof
Maximum span: 1st floor 9' x 5' same as at present, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated
Total number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Plans filed as part of this application? no No. sheets
Estimated cost \$ 100 Fee \$.60
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner

Handwritten signature of John P. Murphy

INSPECTION COPY

Handwritten number 6453

Ward 1st Permit No. 28/860
 Location Northwestshore Long Is
 Owner Mary A. Murphy
 Date of permit 7/14/58
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. _____
 Cert. of Occupancy issued _____

NOTES

~~[Large handwritten scribble across the notes section]~~
 [Faint handwritten notes and stamps, including "APR 1958" and "MAY 1958"]

expand 3rd & 4th
 No gas/stop from house and repaired same records for 1957

024986

024986

024986

3

3

524

06

1

01

cedar boxes

024986

024986

PERMIT # 000986

CITY OF Portland BUILDING PERMIT APPLICATION

MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Patricia Wickerson

Address: 89 Rachel Street, Portland, mail to

LOCATION OF CONSTRUCTION Fern Avenue, 100-D-18 Long Island

CONTRACTOR: owner SUBCONTRACTORS: 772-7377

ADDRESS: _____

Est. Construction Cost: 20,000.00 Type of Use: single family

Past Use: _____

Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories _____ Lot Size: _____

Is Proposed Use: _____ Seasonal _____ Commercial _____ Apartment _____

Conversion: Explain minor site plan review, construct single family

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only:

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:

1. Type of Soil: _____

2. Set Backs - Front _____ Rear _____ Side(s) _____

3. Footings Size: _____

4. Foundation Size: _____

5. Other _____

Floors:

1. Sills Size: _____ Sills must be anchored.

2. Girder Size: _____

3. Gully Column Spacing: _____ Size: _____

4. Joists Size: _____ Spacing 16" O.C.

5. Bridging Type: _____ Size: _____

6. Floor Sheathing Type: _____ Size: _____

7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____

2. No. windows _____

3. No. Doors _____

4. Header Sizes _____ Span(s) _____

5. Bracing: Yes _____ No _____

6. Corner Posts Size _____

7. Insulation Type _____ Size _____

8. Sheathing Type _____ Size _____

9. Siding Type _____ Weather Exposure _____

10. Masonry Materials _____

11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____

2. Header Sizes _____ Span(s) _____

3. Wall Covering Type _____

4. Fire Wall if required _____

5. Other Materials _____

For Official Use Only	
Date: <u>July 21, 1988</u>	Submission: Yes / No _____
Inside Fire Limits _____	Name _____
Blade Code _____	Lot _____
Time Limit: <u>25,000.00</u>	Block _____
Estimated Cost: _____	Permit Expiration: _____
Value/Structure: _____	Ownership: _____ Public _____ Private _____
Fee: <u>50.00</u>	

Ceiling:

1. Ceiling Joists Size: _____

2. Ceiling Strapping Size: PERMIT ISSUED

3. Type Ceiling: _____

4. Insulation Type _____ Size _____

5. Ceiling Height: 11' 0" 1988

1. Truss or Rafter Size _____ Span _____

2. Sheathing Type: CITY OF PORTLAND

3. Roof Covering Type _____

4. Other _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____

2. No. of Tubs or Showers _____

3. No. of Flushes _____

4. No. of Lavatories _____

5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____

2. Pool Size: _____ x _____ Square Footage _____

3. Must conform to National Electrical Code and State Law.

Finishing:

District: 7571 Street Frontage Req. _____ Provided _____

Required Setbacks: Front _____ Back _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use _____ Variance _____ Site Plan _____ Subdivision _____

Shore and Floodplain Mgmt _____ Special Excavation _____

Other: (Exp'n) _____

Date Approved: July 21, 1988

Permit Received By Joanne Quint

Signature of Applicant Patricia Wickerson Date July 21, 1988

Signature of CEO _____ Date _____

Inspection Dates _____

Write-Tax Assessor

Yellow-GPCOG

White Tag-CEO

© Copyright GPCOG 1987

PERMIT # 000980 CITY OF Portland BUILDING PERMIT APPLICATION

MAP # _____ LGT# _____

Please fill out any part which applies to job. Proper plans must accompany form.
 Owner: Patricia Nickerson
 Address: 87 Pool Hall Street, Portland, Me 04106
 LOCATION OF CONSTRUCTION: 2nd Avenue, 100-6-1, Long Island
 CONTRACTOR: PHM21 SUBCONTRACTORS: 712-7311
 ADDRESS: _____

Est. Construction Cost: 20,000.00 Type of Use: single family
 Past Use: _____
 Building Dimensions: L _____ W _____ Sq. Ft. _____ # Stories _____ Lot Size _____
 Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____
 Conversion - Explain: main site plan revised, construct single family

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only:
 # Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Size _____ Spacing _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Size _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

For Official Use Only

Date: July 27, 1983 Subdivision: Yes / No _____
 Inside - Limits _____ Name _____
 Blg Code _____ Lot _____
 Time Limit _____ Permits Expiration: _____
 Estimate Cost: 20,000.00 Ownership: _____
 Value: _____ Pub. _____
 Fee: 50.00 Private _____

Celling:
 1. Ceiling - Joists Size: _____
 2. Ceiling - Wrapping Size: PERM 17 IS 1111
 3. T. p. Cellings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: ALL 10 1995

Roof:
 1. Truss - Waller Size _____ Span _____
 2. Sheathing Type: CITY C
 3. Rafters - Size Type _____
 4. Other _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ Square Footage: _____
 3. Must conform to National Electrical Code and State Law.

Zoning:
 District: RM-1 Street Frontage Req. _____ Provided _____
 Required Setbacks: Front _____ Back _____ Side _____
 Review Required: _____
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variances _____ Site Plan _____ Subdivision _____
 Short Lead Flow: Main Mgmt. _____ Special Exception _____
 Other: (F75) _____
 Date Approved: 7/27/83

Permit Received By Josanne Quint

Signature of Applicant: Patricia Nickerson Date: 3-7-83

Signature of CEO _____ Date _____

Inspection Dates _____

White-Tax Assessor Yellow-GPCOG

White Tag - G34

Copyright GPCOG 1987



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Nov. 10 19 88
 Receipt and Permit number 29771

(Interior wiring to be done by owner)

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: Fern Avenue Long Island 100-D-18
 OWNER'S NAME: Pat Nickerson ADDRESS: same

FEES

OUTLETS:
 Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____

FIXTURES: (number of)
 Incandescent _____ Fluorescent _____ (not strip) TOTAL _____
 Strip Fluorescent _____ ft. _____

SERVICES:
 Overhead Underground _____ Temporary _____ TOTAL amperes 100 .. 3.00
 .50

METERS: (number of) 1 .. _____

MOTORS: (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES: (number of)

Ranges _____	Water Heaters _____
Cook Tops _____	Disposals _____
Wall Ovens _____	Dishwashers _____
Dryers _____	Compactors _____
Fans _____	Others (denote) _____

 TOTAL _____

MISCELLANEOUS: (number of)
 Branch Panels _____
 Transformers _____
 Conditioners Central Unit _____
 Separate Units (windows) _____
 Signs 20 sq. ft. and under _____
 Over 20 sq. ft. _____
 Swimming Pools Above Ground _____
 In Ground _____
 Fire/Burglar Alarms Residential _____
 Commercial _____
 Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____
 over 30 amps _____
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Emergency Lights, battery _____
 Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: _____
 TOTAL AMOUNT DUE: 5.00

*INTERIOR WIRING TO BE DONE BY OWNER

INSPECTION:
 Will be ready on _____, 19 __; or Will Call XX
 CONTRACTOR'S NAME: Seacoast Elec
 ADDRESS: 450 Commercial Street
 TEL: 774-6179
 MASTER LICENSE NO.: 03088 SIGNATURE OF CONTRACTOR: [Signature]
 LIMITED LICENSE NO.: _____

John All
ELECTRICAL INSTALLATIONS -

Permit Number 29771
Location 102-D-18
Owner John All
Date of Permit 11/14/81
Final Inspection [Signature]
By Inspector [Signature]
Permit Application Register Page No. 119

INSPECTIONS: Service 100 amp by [Signature]
Service called in 12/2/81
Closing-in _____ by _____

PROGRESS INSPECTIONS: 9/29/81 12/2/81

DATE:	REMARKS:
<u>11/15/81</u>	<u>Service ready for inspection -</u>

11/15/81

000986

PERMIT # _____ CITY OF Portland BUILDING PERMIT APPLICATION MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Patricia Nickerson
Address: 89 Rackham Street, Portland mail to
LOCATION OF CONSTRUCTION Fern Avenue, 100-D-18 Long Island
CONTRACTOR: owner SUBCONTRACTORS: 772-7377
ADDRESS: _____

Est. Construction Cost: 20,000.00 Type of Use: single family
Past Use: _____
Building Dimensions L _____ W _____ Sq Ft. _____ # Stories: _____ Lot Size: _____
Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____
Conversion - Explain plan site plan review, construct single family

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
Residential Buildings Only:
Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:
1. Type of Soil: _____
2. Set Backs - front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:
1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:
1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____
8. Sheathing Type _____ Size: _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:
1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall If required _____
5. Other Materials _____

For Official Use Only
Date: July 21, 1988 Subdivision: Yes / No _____
Inside Fire Limits _____ Name: _____
Bldg Code: _____ Lot: _____
Time Limit: 20,000.00 Block: _____
Estimated Cost _____ Permit Expiration: _____
Value/Structure _____ Ownership: _____ Public _____ Private _____
Fee: 40.00 + 120.00

Ceiling:
1. Ceiling Joists Size: _____
2. Ceiling Strapping Size: PERMIT ISSUED
3. Type Ceilings: _____
4. Insulation Type: _____
5. Ceiling Height: _____
Size 1988
AUG 10

Roof:
1. Truss or Rafter Size: _____
2. Sheathing Type: City Of Portland
3. Roof Covering Type: _____
4. Other _____
Span _____ Size _____

Chimneys:
Type: _____ Number of Fire Places _____

Heating:
Type of Heat: _____

Electrical:
Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:
1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:
District: INA Street Frontage Req. _____ Provided _____
Required Setbacks: Front _____ Back _____ Side _____
Review Required: _____
Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
Shore and Floodplain Mgmt. _____ Special Exception _____
Other: _____ (Explain) _____
Date Approved: July 21, 1988

Permit Received By Joanne Quint

Signature of Applicant Patricia Nickerson Date July 21, 1988

Signature of CEO _____ Date _____

Inspection Dates _____

PLOT PLAN

N
▲

FEES (Breakdown From Front)

Base Fee \$ 120.00
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ 50.00
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Type

Inspection Record

Date

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS 9-29-88 FR/OK - FR/OK - SP/RA
S-1 71 - Complete OK. RA

Signature of Applicant Patricia Nickerson

Date July 21, 1988



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

August 10, 1988

Ms. Patricia Nickerson
89 Rackleff Street
Portland, Maine

RE: Fern Avenue, 100-D-18 Long Island Maine

Dear Miss:

Your application to construct single family dwelling has been reviewed and a permit is herewith issued subject to the following requirements:

1) Site Plan Review

Public Works - approved, S. Harris, August 8, 1988
Inspection Services - approved; W. J. Turner, August 9, 1988

Building Code Requirements

1. Please read and implement items 4, 5, and 7 of the attached building permit report.
2. All setbacks must be approved by Inspection Services before foundation is placed.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief, Inspection Services

PSH/jq

cc: S. Harris
P. O'Reilly

BUILDING PERMIT REPORT

DATE: 10/AUG/85 Fern Ave Long I

ADDRESS: 100-D-18

REASON FOR PERMIT: Single Family Dwelling

: PATRICIA McKEESON

CON: OWNER

PER: 11

APPROVED: *4*5*7 DENIED

CONDITION OF APPROVAL OR DENIAL:

- 1.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.
- 2.) Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 3.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling, or by placing over the boiler, two(2) residential sprinkler heads supplied from the domestic water.
- *4.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear openings of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).
- *5.) In addition to any automatic fire alarm system required by Section 1018.3.5, a minimum of one single station smoke detector shall be installed in each guest room, suite of sleeping area in buildings of Use Groups R-1 and I-1 and in dwelling units in the immediate vicinity of the bedrooms in buildings of Use Group R-2 or R-3. When actuated, the detector shall provide an alarm suitable to warn the occupants within the individual unit (see Section 1717.3.1).

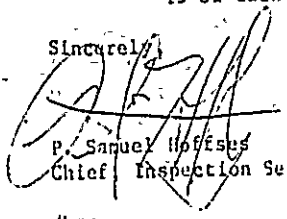
In buildings of Use Groups R-1 and R-2 which have basements, an additional smoke detector shall be installed in the basement. In buildings of Use Group R-3, smoke detectors shall be required on every story of the dwelling unit, including basements.

In dwelling units with split levels, a smoke detector installed on the upper level shall suffice for the adjacent lower level provided the lower level is less than one full story below the upper level. If there is an intervening door between the adjacent levels, a smoke detector shall be installed on both levels.

All detectors shall be installed in an approved location. Where more than one detector is required to be installed within an individual dwelling unit, the detectors shall be wired in such a manner that the actuation of one alarm will actuate all the alarms in the individual unit.

- 6.) Private garages located beneath rooms in buildings of Use Groups F-1, R-2, R-3 or I-1 shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fire-resistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of 1/2-inch gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102 mm) above the garage floor. The door opening protectives shall be 1 3/4-inch solid core wood doors or approved equivalent.
- 7.) A guardrail system located near the open side of deck or elevated walking surfaces shall be constructed. Guards in buildings of Use Group R-3 shall be not less than 36 inches in height. Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 6 inches cannot pass through any opening.
- 8.) Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year."

Sincerely,


P. Samuel Hoffses
Chief, Inspection Services

/ksc
11/9/87

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant Patricia Nickerson Date July 21, 1988

Mailing Address 89 Rockwell Street Address of Proposed Site Fern Avenue Long Island

Proposed Use of Site single family Address of Proposed Site 100-D-18

Area of Site 9,670 sq. ft. Floor Coverage 64 sq. ft. Site Identifier(s) from Assessors Maps TR-1

Zoning of Proposed Site _____

Site Location Review (DEF) Required: () Yes (X) No

Board of Appeals Action Required: () Yes (X) No

Planning Board Action Required: () Yes (X) No

Proposed Number of Floors 2

Total Floor Area 1,728

Other Comments: _____

Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW

(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
- Requires Board of Appeals Action
- Requires Planning Board/City Council Action

Explanation

- Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK as applicable

COMPLIES

COMPLIES CONDITIONALLY

DOES NOT COMPLY

DATE	ZONE LOCATION	INTERIOR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SLUDGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING RAYS

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS:

It appears that this may be a lot of Record in Sec 14-433 as amended by subsequent revisions to Zoning Ordinance.

O. K. Turner Aug 9, 1988

SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT--ORIGINAL

89 Rackleff St. Portland
Applicant: Patricia Nickerson Date: Aug 2, 1988
Address: Fern Ave Long Island
Assessors No.: 100-D-18 10' R.O.W. from Fern Ave.

CHECK LIST AGAINST ZONING ORDINANCE

Date -
Zone Location - IR-1
Interior or corner lot - Interior lot
Use - Construct single family
Sewage Disposal - septic disposal
Rear Yards - 160' 30' required
Side Yards - 38' and 34' 20' required
Front Yards - 160' 30' required
Projections -
Height - 2 story Sell to L. 69'
Lot Area - 39,620 sq. ft. (Assessors Record 39,200 sq ft)
Building Area - 864 sq ft.
Area per Family - 20,000' except for lots of Record
Width of Lot - 40' (Lots without public water)
Lot Frontage - 25'
Off-street Parking - O.K.
Loading Bays - NA

Site Plan -
Shoreland Zoning -
Flood Plains -

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Steve Harris

Applicant: Date: July 21, 1988
 Map: street Address of Proposed Site: Fern Avenue Long Island
 Proposed: Site Identifier(s) from Assessors Maps: 100-D-18
 Acreage of: Floor Coverage: Zoning of Proposed Site: IR-3

Site Location Review (DEP) Required: () Yes (X) No Proposed Number of Floors: 2
 Board of Appeals Action Required: () Yes (X) No Total Floor Area: 1,728
 Planning Board Action Required: () Yes (X) No

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED																
APPROVED CONDITIONALLY																CONDITIONS SPECIFIED BELOW
DISAPPROVED																REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

Steve Harris 8/8/88
 SIGNATURE OF REVIEWING STAFF/DATE

Side 3

