

FERN AVE., LONG ISLAND

100-D-1-2



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Complain. No. 46-98

INSPECTION COPY

COMPLAINT

Location Fern Avenue Long Island

Date received August 5, 1948

Owner's name and address M. Alford Lowell, Fern Ave., Long Island

Use of Building _____

Tenant's name and address _____

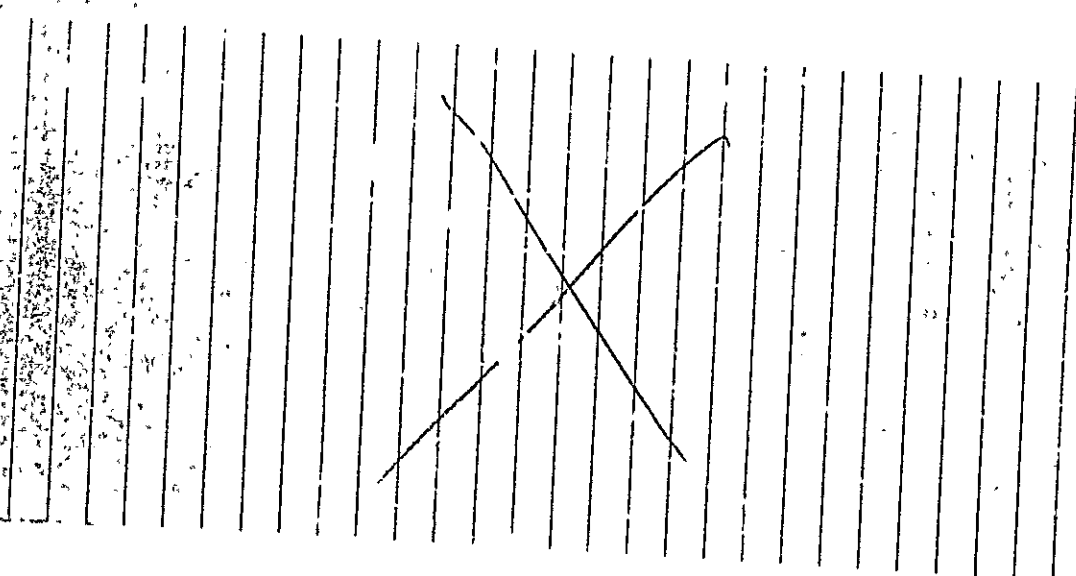
Telephone _____

Complainant's name and address W McD

Telephone _____

Telephone _____

Description: Owner has converted a newly completed cottage to a crabmeat shop in an Apartment House Zone.



(A) APARTMENT HOUSE ZONE

Complaint No. 46-98

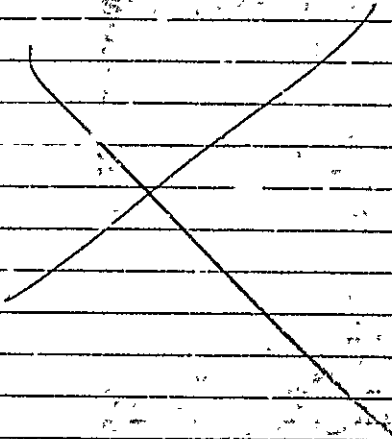
Location Fern Ave Long Island

Date Received 8/5/46

Date Disposed of

NOTES

Reference 46710
The Wilsons had been
over this with Jim Smith



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

CERTIFICATE OF OCCUPANCY

This is to certify that the building at Fern Ave.
Long Island, built altered under Building Permit No.
46/719 has been officially inspected and may now be oc-
cupied for the purposes of a cottage.

Date 5/19/46

Inspector of Buildings

Issued to M. Alfreo Lowell

(See reverse side for conditions)

Temporary Certificate only
Final to be issued later

Bp 46/710-I

5/6/46/H

May 1, 1946

ATH
ESS
RMT
PH
AJS
HL
BS

Mr. M. Alfred Lowell
Long Island, Maine
Katherine Barry
Long Island, Maine

Subject: Stop order on work under permit 46/710 to
cover construction of garage at Fern Avenue,
Long Island (Assessors Lot No. 100-D-1)

Dear Sir & Madam:

Because some of the work is already being done in violation of the Building Code and contrary to the terms of the application for the permit, as authorized by Section 107a of the Building Code, you are hereby directed to discontinue all work on the project until the discrepancies can be straightened out. Continuation of work after such stop order is received is direct violation of the Building Code, and will have to be dealt with accordingly. It seems evident that Mr. Lowell must have started the work before receipt of the building permit since, although the permit was not issued until April 29, several of the concrete piers had been constructed and the sills had been laid when our inspector examined the job on April 30. We are not disposed to make any ado about that but the details in non-compliance with the Building Code must be made good.

Instead of sills $3\frac{1}{2}$ inches by 10 inches shown on the application for the permit, actually sills somewhat less than three inches by nine inches have been used under the sides of the building, and these are not allowable because the minimum size of sill permitted by the Building Code is four inches in nominal thickness--the nominal thickness being no less than $2\frac{1}{2}$ inches.

Apparently the sill will be less than six inches above the grade at some points and that is also not allowable.

We are not disposed to make it any harder than necessary for you, but it must be understood that you are to comply with the law, and if compliance is not found then whatever is wrong will have to be taken out and done over. On the application you have shown an 8x8 girder through the center under the floor, but actually you are using this same scant 3x9 with the 9 inches upright. The Building Code does not stipulate the minimum size of such a girder, and it turns out account of the small width of the building that this center girder--3x9--work out as to strength, so it can remain, but it is important that you shall not cut anything out of it.

It is necessary that you make a clear plan showing how the floor joists are to be supported upon the sills and girders and show the answers to all of the questions raised in my letter of April 29, then bring it up to the office, having made arrangements in advance to meet Mr. Hamilton at this office, and then go over the details with him. Until all these matters are cleared up and the stop order in this letter lifted, it is unlawful for you to proceed with any of the work.

Somewhere I have gotten the impression that part or all of this building may be used for some business purpose or for some purpose other than a cottage. Under the Zoning Ordinance this building may only be used for a habitation, and if either owner or builder has anything else in mind, it should be clearly stated on the application and is not allowable. This matter will also have to be cleared up before the stop order is lifted.

Very truly yours,

Inspector of Buildings

WMon/a

AP Fern Ave., Long Island
Assessors Lot No. 100-A-18

April 29, 1946

M. Alfred Lowell
Long Island, Maine
Katherine Barry
Long Island, Maine

Subject: Building permit for construction of one-
story frame cottage on Fern Avenue, Long Island
(Assessors Lot No. 100-A-18)

ATH
VSS
RMT
PH
AJS
XHL
BS

Dear Sir & Madam:

Assuming that Mr. Lowell is well informed about the details of framing of wooden buildings as contained in Section 511 of the Building Code, the above permit is issued to him, herewith, subject to the following:

1. It is important for him to realize that the detailed requirements of framing of buildings as contained in the Building Code are requirements of law which we cannot change but have to enforce. Therefore if he is not sure of his familiarity with the requirements, he should examine them carefully before proceeding so that he may not go wrong and find it out only after part of the money has been spent.

2. The rough sketch filed here indicates that the end sills are to be supported above the sills under the sides, getting a bearing upon the latter. While not forbidden by the Building Code, this is unusual construction. The usual way is to place the sills all at the one level and join them at the corners with a lap splice and wherever they join elsewhere, making sure that all splices occur over piers. It is assumed that the 3 1/2 by 16 inch sills shown on the side walls are to be set with the 10-inch dimension upright, otherwise they would not be strong enough. All sills and the center girder are to be anchored to the piers by means of iron rods cast into the piers and then let up into the wooden member or equivalent.

3. The bottoms of the sills in every case are to be at least 6 inches above the finished grade of the ground, and the piers are to be extended to a full ledge with a flat bearing on the ledge, or else four feet below the finished surface of the ground. The piers under center girder are indicated as merely 8x8, but they must be no less than 10x10 at the bottoms of the piers.

4. I presume suitable tie beams are to be used across the building from plate to plate to offset the spreading tendency from the gable roof.

5. Especially called to Mr. Lowell's attention are the requirements that studs in outside walls are to be no less than 2x4 and the same applies to any bearing partitions that may be intended, recommended that all studs be spaced 16 inches from center to center instead of 18 as indicated so that if the building should ever be converted to a year-round dwelling it would comply with the requirements; that studs in exterior walls are to go clear down to the top of the sills to a bearing there instead of on the floor construction as shown; that corner posts are to also extend clear down to a bearing upon the tops of the sills; that no less than doubled 2x4 headers are required over doors and windows of ordinary width of opening and larger headers over openings wider than ordinary, in either case with 2x4 studs under each end of each header; that the windows shown in side walls on the sketch are indicated as being much wider than usual and therefore will require extra heavy headers,

especially because the load from the roof comes directly over the partitions one-inch wide boards (normal thickness) or equivalent are required for sheathing of outside walls and outside of the sheathing permanent weather resistive covering.

Lowell, Furry ----- 8

April 29, 1946

6. Note that only an oil stove, the flame of which is controlled by raising and lowering a wick (not the modern range burner type), is allowed to be operated without being connected to masonry chimney. If any chimney at all is used, it is required to be of masonry lined. It is recommended that a masonry chimney be built and thus avoid threat of poisoning from oil stove fumes on days when inclement weather makes it necessary to keep the cottage shut up tightly. If a chimney is proposed, it should be covered by application for amendment to this permit indicating the material to be used, type of lining and the fact that the chimney will have a clean-out door.

7. When all features controlled by the Building Code are completed, notice of readiness for final inspection is required to this office, and if everything is then found in order, the certificate of occupancy will be issued. It is not lawful to use the building for living quarters until the certificate has been issued.

Very truly yours,

Inspector of Buildings

WMC/3

New Cottage - M. Alfred Druell, owner
Kathleen Druell, owner of land

Inspection made April 30, 16.

Fair View
(Harbor Grace)
Long Island

Several of the concrete piers and sills
have been laid. There are some features in
the work already done that are not
according to either the plan or the
application.

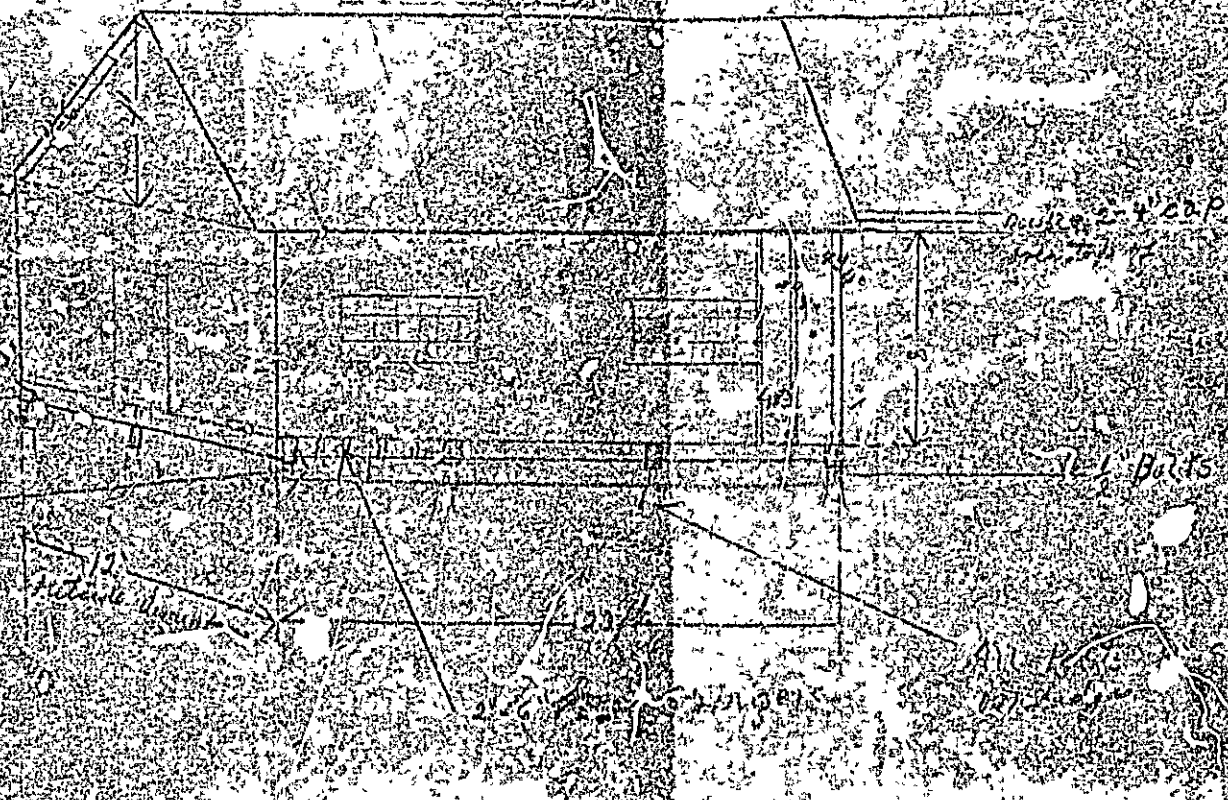
The $3\frac{1}{2} \times 10$ sill was a $\frac{1}{2}$ inch square $4''$
in width. It all probably is $3\frac{1}{2}$ inch sill
width account $3'' \times 9''$ and would seem
definitely not to be correct. The center
lines given in application as $8\frac{1}{2}''$ make
 $13 \times 9''$

The sill appears less than a $\frac{1}{2}$ inch square in
places with one corner practically in
the ground for a distance of $3''$

Mr. B. H. ...

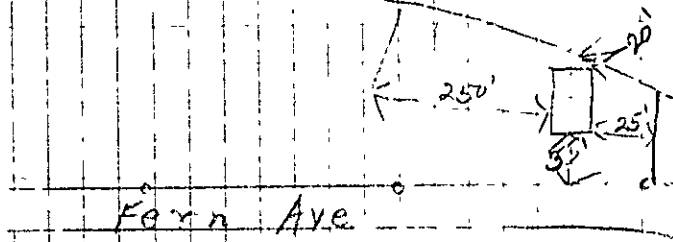
RECEIVED
JUN 27 1946
DEPT OF BLDG. INSP.
CITY OF PORTLAND

MADE IN U.S.A.
SS



Harbor Grace

RECEIVED
APR 23 1946
DEPT. OF BLDG INSR
CITY OF PORTLAND





(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

PERMIT ISSUED
Permit No. 00710

Portland, Maine, April 23 1946 APR 29 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~and alter~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Fern Avenue, Long Island Within Fire Limits? no Dist. No. _____
100-A-18 Katherine Parry, owner of land

Owner's or Lessee's name and address: M. Alfred Lowell, Long Island, Maine Telephone _____

Contractor's name and address owner Telephone _____

Architect _____ Plans filed yes No. of sheets 2

Proposed use of building Cottage No. families _____

Other buildings on same lot _____

Estimated cost \$ 100. Fee \$ 1.00

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To construct 1 story frame cottage 12'x20'.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____

Is any electrical work involved in this work? _____ Height average grade to top of plate 8'

Size, front 12' depth 20' No. stories 1 Height average grade to highest point of roof 13'

To be erected on solid or filled land? filled earth or rock? rock

Material of foundation concrete piers to ledge 8" Thickness, top 10" bottom 10" cellar no

Material of underpinning _____ Height _____ Thickness _____

Kind of roof pitch-gable Rise per foot 8" Roof covering asphalt roofing Class C End. Leb.

No. of chimneys none Material of chimneys _____ of lining _____

Kind of heat none oil stove (wick) Type of fuel _____ Is gas fitting involved? _____

Framing lumber—Kind hemlock - hard pine Dressed or full size? dressed

Corner posts 4x4 Sills 4x4 Girt or ledger board? _____ Size _____

Material columns under girders concrete piers Size 2 1/2" x 6 1/2" Max. on centers 6'

Studs (outside walls and carrying partitions) 2x4-16" O. C. 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x6, 2nd none, 3rd _____, roof 2x6

On centers: 1st floor 16", 2nd _____, 3rd _____, roof 24"

Maximum span: 1st floor 6', 2nd _____, 3rd _____, roof 6'

If one story building with masonry walls, thickness of walls? 8x8 thru center height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner M. Alfred Lowell

ORIGINAL



PERMIT ISSUED

Permit No. 6360

MAR 27 1928

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, March 27, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following:

Location Harbor Grove, Long 1 Within Fire Limits? No D.st. No. _____
 On share _____ Telephone _____
 Owner's or Lessee's name and _____ Telephone _____
 Contractor's name and address _____
 Architect's name and address _____
 Proposed use of building Exhibit _____ No. families _____
 Other buildings on same lot _____

Description of Present Building to be Altered

Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Last use fish house _____ No. families _____

General Description of New Work

To rebuild building making it 8' x 10'

NOTIFICATION BEFORE LATHING
 OR PLASTERING PERMITTED
 CERTIFICATE OF OCCUPANCY
 REQUIRED THEREAFTER

Details of New Work

Size, front 8' depth 10' No. stories 1 Height average grade to highest point of roof 22' 9"
 To be erected on solid or filled land? solid earth or rock? earth and rock
 Material of foundation rock Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof pitch Roof covering asphalt roofing Class D Underlath
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat no Type of fuel _____ Distance, heater to chimney _____
 If oil burner, name and model _____
 Capacity and location of oil tanks _____
 Is gas fitting involved? _____ Size of service _____
 Corner posts 2x4 Sills 2x6 Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor 2x4 2nd _____ 3rd _____ roof 2x4
 On centers: 1st floor 8' 2nd _____ 3rd _____ roof 8'
 Maximum span: 1st floor 8' 2nd _____ 3rd _____ roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Plans filed as part of this application? no No. sheets _____
 Estimated cost \$ 200 Fee \$ 21
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Frank W. Johnson

INSPECTION COPY

Ward 1 Permit No. 29/360

Location Harbor Grace, Long Is.

Owner Frank A. Johnson

Date of permit 3/27/29 Ave.

Notif. closing-in sent

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

See Map 100
not located 1/18/31

2/11/31
check H
X