

HARBOR GRACE ST., LONG ISLAND 100-A-1-2

100/A11/2

CITY OF PORTLAND, MAINE Application for Permit to Install Wires

Permit No. 55016
Issued 7/15/66
Portland, Maine July 15, 1966

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee \$1.00)
Owner's Name and Address John Hayes Tel. _____
Contractor's Name and Address C. J. K. Electric Tel. 272-5724
Location Long Island Use of Building Dwelling
Number of Families _____ Apartments _____ Stores _____ Number of Stories _____
Description of Wiring: New Work _____ Additions _____ Alterations

Pipe _____ Cable _____ Metal Molding _____ BX Cable _____ Plug Molding (No. of feet) _____
No. Light Outlets _____ Plugs _____ Light Circuits _____ Plug Circuits _____
FIXTURES: No. _____ Light Switches _____ Fluor. or Strip Lighting (No. feet) _____
SERVICE: Pipe _____ Cable Underground _____ No. of Wires 3 Size 2 SEL
METERS: Relocated _____ Added _____ Total No. Meters _____
MOTORS: Number _____ Phase _____ H. P. _____ Amps _____ Volts _____ Starter _____
HEATING UNITS: Domestic (Oil) _____ No. Motors _____ Phase _____ H.P. _____
Commercial (Oil) _____ No. Motors _____ Phase _____ H.P. _____
Electric Heat (No. of Rooms) _____
APPLIANCES: No. Ranges _____ Watts _____ Brand Feeds (Size and No.) _____
Elec. Heaters _____ Watts _____
Miscellaneous _____ Watts _____ Extra Cabinets or Panels _____
Transformers _____ Air Conditioners (No. Units) _____ Signs (No. Units) _____
Will commence 7/16 1966 Ready to cover in _____ 19 _____ Inspection 7/16/1966
Amount of Fee \$ 2.00
Signed [Signature]

DO NOT WRITE BELOW THIS LINE

SERVICE	<input checked="" type="checkbox"/>	METER		GROUND	
VISITS: 1	2	3	4	5	6
..... 7	8	9	10	11	12

REMARKS:

INSPECTED BY F. W. [Signature]
(OVER)

LOCATION *Long Island*
 INSPECTION DATE *7/18/66*
 WORK COMPLETED *7/18/66*
 TOTAL NO. INSPECTIONS *1*
 REMARKS:

FEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING		
1 to 30 Outlets	(including switches)	\$ 2.00
31 to 60 Outlets	(including switches)	3.00
Over 60 Outlets, each Outlet	(including switches)	.05
(Each twelve feet or fraction thereof of fluorescent lighting or any type of plug moulding will be classed as one outlet).		
SERVICES		
Single Phase		2.00
Three Phase		4.00
MOTORS		
Not exceeding 50 H.P.		3.00
Over 50 H.P.		4.00
HEATING UNITS		
Domestic (Oil)		2.00
Commercial (Oil)		4.00
Electric Heat (Each Room)		.75
APPLIANCES		
Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Dishwashers, etc. — Each Unit		1.50
TEMPORARY WORK (Limited to 6 months from date of permit)		
Service, Single Phase		1.00
		2.00

(A) APARTMENT HOUSE 700



APPLICATION FOR PERMIT

Class of Building or Type of Structure third
Portland, Maine, June 23, 1947

PERMIT ISSUED
01913
AUG 8 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Cor. Fern Ave. J. F. Dorsey Within Fire Limits? no Dist. No. _____
 Owner's name and address Harbor DeGrace Long Island Telephone _____
 Lessee's name and address Lena Bickford Telephone _____
 Contractor's name and address Thomas Wood Harbor De Grace St. Telephone _____
 Architect _____ Specifications _____ Plans _____ No of sheets _____
 Proposed use of building cottage No. families _____
 Last use same No. families _____
 Material same No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 175 Fee \$ 1.00

General Description of New Work

To rebuild front end side piazza, no increase in size.
Front 5'-6" x 18' side 5'-6" x 15'-6" existing roof over side portion

*Probably Amerson's W. 100-A-1-2
Harbor De Grace from Ave.*

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation cedar posts Thickness, top _____ bottom _____ cellar _____
 Material of underpinning osenters Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind hemlock Dressed or full size? dressed
 Corner posts _____ Sills 4x6 on edge Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x6 , 2nd _____ , 3rd _____ , roof _____
 On centers: 1st floor 16" , 2nd _____ , 3rd _____ , roof _____
 Maximum span: 1st floor 5'-6" , 2nd _____ , 3rd _____ , roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining observed? yes

INSPECTION COPY

Signature of owner

J. F. Dorsey
Lena Bickford

J. F. D.

21913

Permit No. 47/1913

Location *Healville Place (Farm)*

Owner *J. L. Searles, Inc. Richmond*

Date of permit *Aug. 6, 47*

Notif. closing-in

Inspn. closing-in

Final Notif.

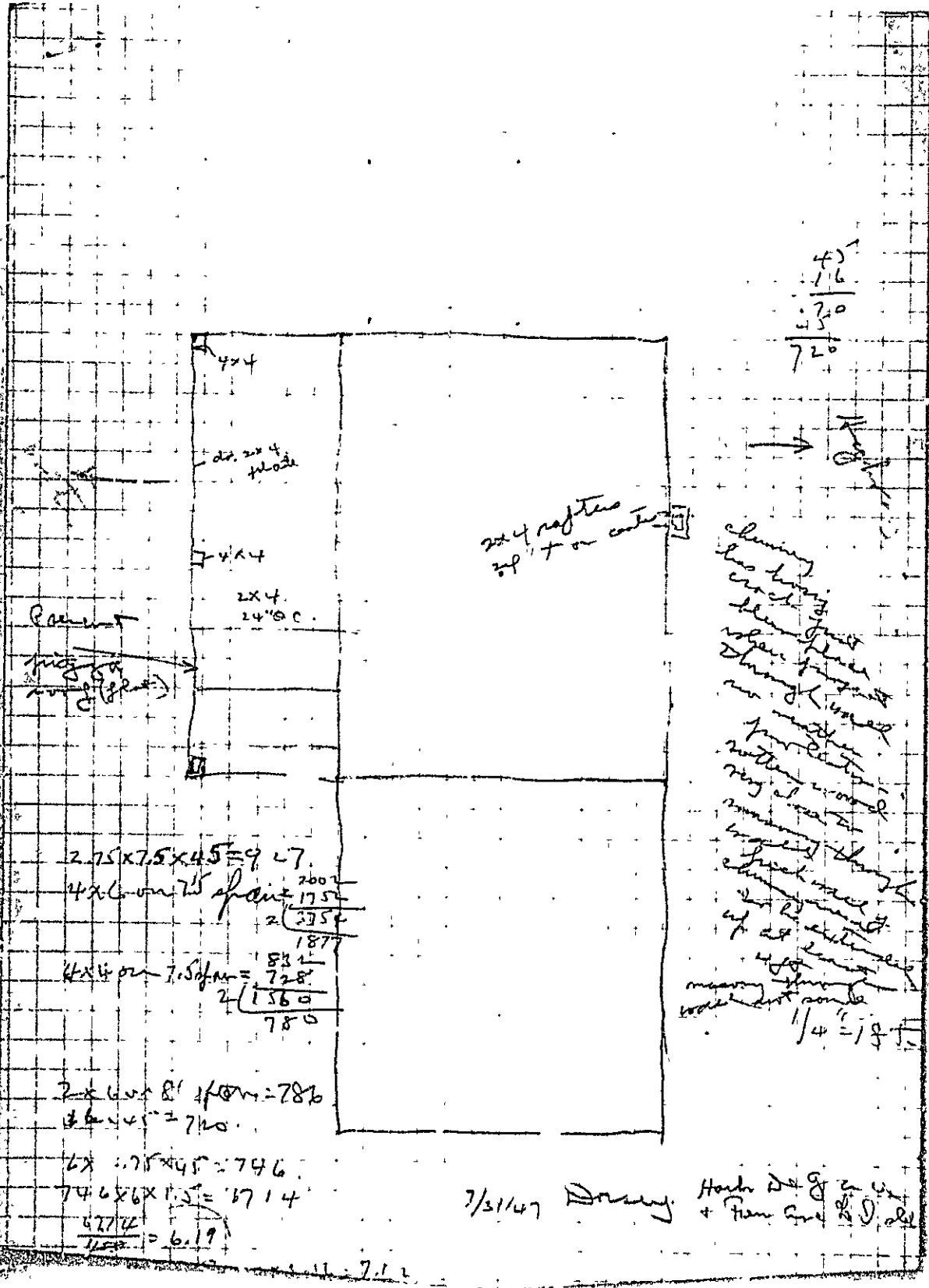
Final Inspn.

Cert. of Occupancy issued

NOTES

*5/2/48. Nothing done
Defect closed
7/14/48. Same. This
is now getting in
a detailed
condition and will
be beyond repair
unless something is
done. As it is, it appears
it would be well to
demolish same.*

45
 16
 30
 5
 720



2x4 rafters
 2' apart on center

eliminating
 the heavy
 load
 the
 when
 shown
 on
 for
 with
 my
 and
 the
 of
 1/4" = 18 ft.

$$2.75 \times 7.5 \times 45 = 927$$

$$4 \times 6 \text{ on } 15 \text{ feet} = 2607$$

$$2 \times 175 = 350$$

$$1877$$

$$4 \times 4 \text{ on } 7.5 \text{ feet} = 581$$

$$728$$

$$2 \times 1560 = 3120$$

$$780$$

$$2 \times 6 \text{ on } 8' \text{ if } 10 \text{ m} = 786$$

$$2 \times 4 \times 45 = 720$$

$$6 \times 7.5 \times 45 = 746$$

$$746 \times 6 \times 1.5 = 6714$$

$$\frac{477}{2} = 6.19$$

7/31/47 Dorsey Hatch 24" x 24" + Floor and 1/2" D. etc

7.12

AP Corner of Fern Avenue &
Harbor DeGrace Street, Long Island
(Lena Bickford & J. F. Dorsey)-I

August 6, 1917

Mr. J. F. Dorsey
Long Island, Maine
Mrs. Lena Bickford
4 Cumberland Terrace
Mr. Thomas Wood
Harbor DeGrace Street
Long Island, Maine

Subject: Building permit for reconstruction of
front and side piazzas on cottage at the corner
of Fern Avenue and Harbor DeGrace Street, Long
Island, owned by J. F. Dorsey and Lena Bickford

Dear Madam & Gentlemen:

As I agreed with Mr. Dorsey last June when he was issued a permit to apply new roof covering on this cottage and when he filed an application for a building permit to allow the reconstruction of the front and side piazzas, I have found time to examine the building and find out more than I ever have before what it was he is trying to build. The building permit is enclosed, therefore, to Mr. Dorsey, and is issued subject to the following. If for any reason you are unable or unwilling to follow these conditions, then you should refrain from starting the work and return the permit immediately.

On the side toward the water of the original building there is a piazza roof already in place, about 15' long and supported under each end and at the center by a 4x6 post. The platform of the piazza is evidently to be built beneath this roof and then across the end of the original main building is to be built another platform, 5' 6" deep extending not only the full 12-foot width of the main building but also the width of the piazza proposed on the side toward the water, making this section of the piazza about 17' 6" long. It is not known whether Mr. Dorsey desires to have a roof over this latter portion of the piazza or not.

The entire piazza is to be supported upon cedar posts extending down at least 4' below the surface of the ground or to ledge if ledge is encountered at a lesser depth, which is likely. One cedar post is to be located directly beneath each of the three 4x6 posts supporting the existing piazza roof, still in place. There is to be another cedar post under the outside corner where the two sections of the piazza platform meet, another cedar post under the outside corner of the piazza toward Harbor DeGrace Street and two cedar posts spaced uniformly between these two latter corner cedar posts, the entire out-line of both sections of piazzas except the edges against the building are to be supplied with 4x6 sill (solid 4x6 in cross section), supported upon the posts without splices between, and set with the 6" dimension upright. Another 4x6 is to be provided as a continuation of the line of the sill under the end of the main building toward Fern Avenue, one end of this latter 4x6 supported upon the corner of the main building and the other upon one of the cedar posts.

2x6 floor joists are to be run out from the building toward the sills of both sections of the platform, the inner ends to be suitably supported upon the building and the outer ends to be supported upon the 4x6 sills either by resting upon the tops of the sills or supported by notching the 2x6's over, no less than 2x3 nailing strip spiked to the side of the 4x6 sill. The exception to supporting the 2x6's on the main house occurs with the 17' 6" section along the end of the cottage because the cottage is only 12' wide and the inner end of the 2x6's will have to be supported upon the 4x6 mentioned above as being in a continuous line with the end sill of the original main building.

Mr. J. F. Dorsey
Mrs. Leac Bickford
Mr. Thomas Wood

August 6, 1947

The three 4x4 posts under the existing piazza roof are to be supported upon the new cedar posts, of course, and something must be done to strengthen the beam between these existing 4x4 posts which support the outside ends of the rafters. They are made up of only doubled 2x4, set one on top of the other with the 4" dimension running horizontally. The spans of these two beams is something over 7' and the doubled 2x4's are not strong enough. They may be strengthened either by supplying another set of doubled 2x4's beneath them but with the 4" dimension of the 2x4's upright in this case and supporting these underneath doubled 2x4's suitably upon the posts or cutting the posts and letting the underneath doubled 2x4's run over the tops of the posts to a good bearing. Perhaps you would prefer to introduce suitable knee braces from post to underside of doubled 2x4's in which case the knee braces ought to be stout enough to do the job and they should kick against a 2x4 spiked to the underside of the present doubled 2x4's.

If it is desired to have a roof over the entire piazza, no doubt hip rafter will be run from the corner of the main house to the outside corner of the new piazza in which case the hip should be no less than 2x6. 4x4 posts would be used of course above each cedar post to support the new roof and since the spans across the new posts supporting the outside ends of the new rafters would not be more than 6', it will work out sufficiently strong to use 2-2x4's across the tops of the new posts, but the 2x4's should be set with the 4" dimension upright.

The new piazza roof will be covered, of course, with no less than Class C roll roofing or asphalt shingles.

The permit is issued on the basis of the statement of Mr. Dorsey on the application that the building is to be used in the nature of a summer cottage not as a year round dwelling. At present the building consists of two rooms—the original main building being one room and the addition which was added later, apparently without any building permit, being the other room and the two divided by the partition of wall whose type of construction cannot be determined.

The chimney is in an unsafe condition and should certainly be attended to in permanent fashion before any attempt is made to connect any sort of appliance with it. On the outside there is a substantial horizontal crack just where the connection for the smokepipe takes off to enter the building. In case the soot insul's of the chimney should take fire, as it sometimes does, the flame and heat would likely spread through these cracks and set fire to the outside of the building.

The chimney is not high enough by about 4' and should be extended upward that much supplying a tile lining on the inside of it to the top. If with the increased height the chimney does not appear to have bracing enough, or if the height above the eaves of the roof where it can be braced is more than ten times it's least cross sectional dimension, then guy rods should be used to stay it.

Where the smokepipe connection passes through the exterior wall of the wooden building there is certainly not the usual masonry corbelling but there is some type of brick masonry supported in some manner. This masonry is defective, and I should say would have to be taken out and rebuilt to make it safe to start a fire and connect it to the chimney in any way. The woodwork is altogether too close to this masonry connection through the wall and some of the woodwork close by the masonry has become rotten. Suitable insulation must be provided between the woodwork and this masonry and the masonry connection through the wall of the building supported on non-burnable material. By far the best arrangement is to cut an opening in the frame wall of the building wide enough and high enough, then take down a sufficient section of the brick wall of the chimney toward the building and corbell out the brick work of the chimney in the usual manner so that the brick work will extend clear through the outside wall of the building, be exposed for smokepipe connection

Memorandum from Department - Building Inspection, Portland, Maine

Woodman Street-Long Island -Alterations for Mrs. Lena Bickford by Thomas Hood, builder -
9/1/44

To Owner and Builder:

Our inspector who covers Long Island is on vacation, and since it is necessary to examine the above building before the building permit is issued, there will be some delay before the permit can be issued, even if everything is found in order when he visits the Island.

I understand that this building is now to be used for a year round habitation instead of a camp or cottage. Under these circumstances everything with regard to foundations, roof construction, heat, cooking appliances and chimneys will have to be in the same order as required for any other year around dwelling house. If these features are not so in order, it would be best for you to make plans for making them so and notify this office before the inspector goes to the Island, so that the details may be entered in the application for the permit.

CC: Mrs. Lena Bickford
4 Cumberland Terrace

(Signed) Warren McDonald
Inspector of Buildings



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Permit No. _____

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, August 28, 1914

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Wadsworth Street Long Island Within Fire Limits? NO Dist. No. _____
 Owner's or Lessee's name and address near Harbor de Grace St. Mrs. Lena Bickford, 1 Cumberland Terrace Telephone _____
 Contractor's name and address Thomas Wood, Long Island Telephone _____
 Architect _____
 Proposed use of building dwellling house Plans filed _____ No. of sheets _____
 Other buildings on same lot _____ No. families 1
 Estimated cost \$ 62. 100-A-1-2 Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 Heat stove Style of roof pitch Roofing wood
 Last use cottage No. families _____

General Description of New Work

To cover entire roof with asphalt roofing, Class C
 To finish off the two existing rooms, first floor, with pressed board

Superseded

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? _____
 Is any electrical work involved in this work? _____
 Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 To be erected on solid or filled land? _____ Height average grade to highest point of roof _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering Asphalt roofing Class C Und. Lab.
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? NO
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining are observed? Yes
 Signature of owner Mrs. Lena Bickford
 Signature of member J. E. Denny

INSPECTION COPY

Permit No. 447/1913

Locality: Womansan St. Limited

Owner: Lena Bickford

Date of permit: 8/6/47

Notif. closing-in:

Inspn. closing-in:

Final Notif.:

File Inspn.:

Cert. of Occupancy issued:

NOTES

9/2/47 this building appears to
be in a substandard condition
and apparently not
designed for some time.
It was boarded and locked
or could do no checking.
I visited the site as
suggested by attached
report and went down.
Arrangements were made to
make it get in for
structural condition.
can be seen especially
the supports down will
support cutting in way
the windows with board
opening self enclosed or
condition can be clearly

seen. There are a couple
small cracks in south
about 4x6 in. it is not a
permit. It will be
removed.

9/27/47 see attached
report. (J.C.)

Widdowson St. (Hastings) England

9-27-24

Miss Susan Rickford, owner 42 St. James St. London
Contractors, S. & J. L. L. Ltd.
Proposed alterations, cottage to dwelling house.

See summary over

This place presents a badly run down appearance, but if there is any assurance of it being improved there is nothing to lose. No permit should be issued without the understanding of it, the floor which is on a side (open) and closed on the other is entirely removed and properly built. Permit 31/599 covers this porch and it has been properly enclosed with a permit. The section from the floor to gable (4 1/2 x 24") was closed in and erected as properly constructed. However it is open of 2 1/2" sills and floor joists on appearance of one. This has been and will be a great improvement of work, the reliability of this will greatly improve the general appearance.

② Mr. Woodhouse felt Sept 25 means little and if ceiling is to be as he shows it will mean removing 1/2 the beams at plate level, now 1/2 of them ^{including} together. There are six windows but they are all of a poor non-operative and matted in (see 212-d-1)

Frames, but should feel main building walls are adequate and joints seem O.K. as the main beam is level and plain. Guide wall construction could not be seen as it is boarded in, this present gives considerable strength and would be better to leave and put frames boarded on over. However if boarding is to be removed outside walls damaged could be checked.

③ Chimney should be painted up 3' to 5' depending on draft conditions, and should have cement concrete for house and corbel acceptable.

over.

My general notes have been written in a somewhat
confusing manner so am listing only what is
required or is questionable here.

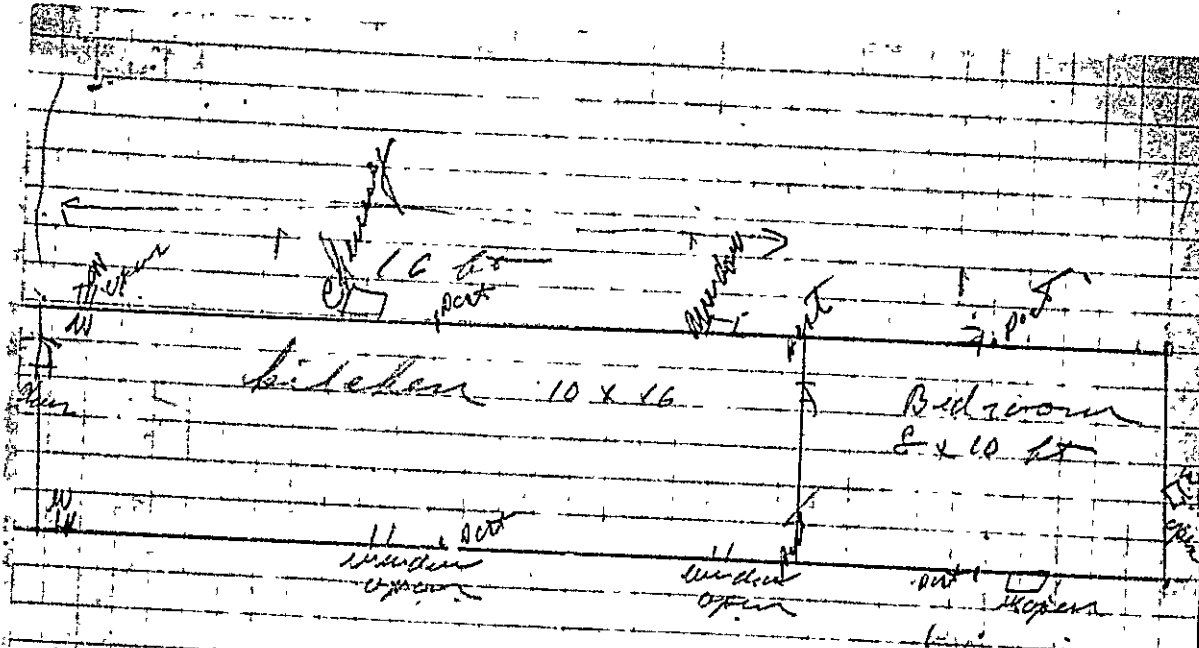
1. The front and side porch and porch should be removed
and rebuilt structurally correct.

2. No present boarding now used as inside wall covering
to remain, or be removed for new pressed board.

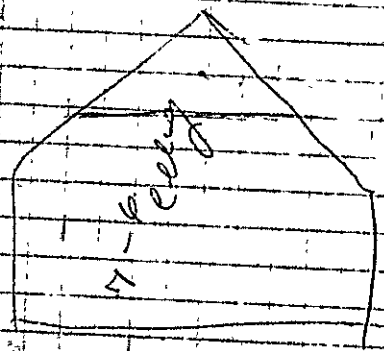
3. Where is ceiling level, at plate as per plan by Mr
Wood shown above plate.

4. All windows are nailed in, non-operative.

5. Chimney ok for clearance but should have a clean-
out door and should be 3'-6" higher.



main part 10 x 18
 rafters 2 x 4 @ 20 oc
 studs 2 x 4 @ 16 oc
 chimney 2 in away from
 wood cobbled in to base
 There is to be ~~no~~ partitions
 new part 8 x 10
 rafters 2 x 4 @ 12 oc
 studs 2 x 4 @ 16 oc



Coll. of ceiling beams
 dropping ceiling
 to be fastened to

RECEIVED
 SEP 18 1944
 DEPT. OF BLD'G. INSP.
 CITY OF PORTLAND

4 x 4 pile

10 x 1.83 x 45 = 820

2 x 6 ft with cap
 800

Buck
 est. in
 with steel
 during
 columns
 does not
 be inst

820 c
 10 ft floor slab

Foundation C has post 8 ft oc
 Post are to be removed
 where ever needed
 Post are at present 3 ft deep

Rept. 5028D-1

October 24, 1944

Mrs. Lena Bickford
Mr. Thomas Wood
Mr. J. F. Doreay

Subject: Application for building permit to make alterations in cottage owned by Mrs. Lena Bickford on Woodman Street, Long Island, near Harbor de Grace Street and make thereof a year round dwelling

Dear Madam & Sirs:

We have been able to make little progress toward the issuance of this permit because Mr. Wood's plan filed here on September 25, 1944, does not make things very clear to us and because of certain conditions in and around the building which our inspector, Mr. Hamilton, found when he visited the Island on September 27, which do not satisfy the Building Code.

If you are to put me in a position to issue this permit, you will have to do the following things:

1. If the two sheds on this property which have been built without a permit have not yet been demolished, demolish them (no permit needed because no permit was secured to build them).
2. The porch on two sides of the building built about 1931 is in bad condition, and now that it is open and the underneath part can be seen, it is found that it was never built in accordance with the law. The porch has 2x6 gills instead of the 2x8 required and the floor joists are on spans which are too long. The porch has heaved and is badly out of level. Part of the porch has been enclosed without any permit. Remove this entire porch on both sides of the building. (This requires no permit because the porch was built contrary to the provisions of the law and part of it enclosed without a permit).
3. There are six windows in the building but they are all inoperative. (Have no arrangements for opening them). Chimney is to be provided with a cast iron clean-out door and frame at the bottom of the flue and ought to be carried up several feet higher. Judging from Mr. Wood's plan, if ceiling is to be supported as he shows it, there is a question of removing two of the tie beams at plate level which now hold the building together. Tackled sheathing has been used inside of the exterior walls to cover them up. Is this to remain or to be removed and other finish applied? If this sheathing is to be removed, it will make possible examination of the studs on the outside walls which may or may not require some changes.
4. Make over the application for the building permit including all of the work originally shown, also including reconstruction of the porch, extension of the chimney upwards and adjustment of the windows so that they are easily operable. Use the application for the permit all of the above matters except the construction of the porch should be shown in writing on the application over the signature of the occupants. The framing and foundation of the porch must be covered by a plan made after the usual manner of making plans, showing clearly end to scale the size, spacing and spans of each member making up the framework of the porch, and material and spacing and depth below surface of the ground and height above surface of the ground of the foundation of the porch. If any part of the porch is to be enclosed, so indicate it on the plan and in what manner.

This job is taking a great deal of time on our part and must be requiring considerable patience on the part of all of you. We want to help you to get this build-

Bickford, Wood, Dorsey ----- B

October 24, 1944

ing fixed up, but we have no time to help making plans or writing specifications or in any other way or settling your minds as to just what and how you want to do this work. You will have to furnish this information, and the plan of course will have to show the information completely. If Mr. Wood cannot do this himself, then someone will have to be employed who can. The plan must be clear and so complete that a person who has never seen the job can take the plan and go and build the porch.

Please go through with these steps as indicated or else return the receipt for the fee paid to this office and I will issue your permit and refund the money. The sheds and porches however should be removed anyway.

Very truly yours,

Inspector of Buildings

rwon/s

10/26/44 - Mr. Dorsey came in and said he would not remove the porch, but would remove the two sheds if he had time

Sept. 19, 1944

26
Tracy
20
20

Rept. 5098D-I-Bickford Cottage on Woodman Street, Long Island

Mr. Dorsey, brother of owner, was in today and filed a sketch of framing and foundations of first floor, made by Thomas Wood.

I suggested that he get Mr. Wood to make another sketch showing existing partitions and framing of it, proposed partitions and how they will be framed, how ceiling is to be supported, proposed use of each room, location and size of every window and the fact of whether or not the windows can be opened.

Mr. Wood's sketch shows a chimney of brick with tile lining and says that cleanout door will be installed.

After Mr. Wood's sketch is received Mr. Hamilton will have to go down there to make another examination (Mr. Dorsey says the bushes have been cut away so that he can see the condition underneath and that the windows can be looked through. At that time he will have to check on the chimney as to whether or not it is suitable distance from the woodwork and whether or not the brickwork is corbelled through the outside wall. If these details are not correct the owner will have to agree to make them so before the permit is issued.

W.McD.

Rept. 5098D-I

September 14, 1944

Mrs. Lena Bickford
4 Cumberland Terrace
Portland, Maine

Subject: Application for building permit to finish
off two rooms in cottage on Foodman Street, Long
Island to make a dwelling house of the building

Dear Madam:

Our inspector reports that this building is in a dilapidated condition and apparently has not been occupied for some time, the windows being boarded up and the doors locked, and a great deal of undergrowth around the building so that the condition of the supports cannot be noted. Also, there are two small sheds in the rear of the building which have been built without permits.

Before I can issue any permit to make this a dwelling house, you will have to furnish a plan of the framing of the first floor and the foundations, showing material, spacing and depth of the foundations below the surface of the ground. The undergrowth must be cut away from around the building so that true conditions can be noted.

You will have to indicate whether or not there is a masonry chimney in good and safe condition with a cast iron clean-out door and frame at the bottom of the chimney flue, and if there is not one then one will have to be built and should be included in the permit. I presume that stove heat is proposed as indicated on the application in the present building.

Mr. Wood is receiving a copy of this letter, and I hope between you that you will quickly furnish this information so that the matter may be checked up and, if possible, the building permit issued.

Very truly yours,

Inspector of Buildings

RMD/S

CC: Mr. Thomas Wood
Long Island, Maine

P.S. It is necessary that you have both sheds which have been built without permits removed forthwith.



(A) APARTMENT HOUSE ZONE

PERMIT ISSUED

APPLICATION FOR PERMIT

0634

MAY 10 1937

Class of Building or Type of Structure Third Class

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, May 7, 1937

Supersedes application of 4/26/37

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Harbor Grace, Long Island Ward 1st.1 Within Fire Limits? 20 Dist. No. 1

Owner's or Lessee's name and address Royal F. Alexander, Long Island Telephone 1

Contractor's name and address Owner Telephone 1

Architect's name and address _____

Proposed use of building Household Storage No. families 1

Other buildings on same lot Cottage

Plans filed as part of this application? yes No. of sheets 1

Estimated cost \$ _____ Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof shed Roofing _____

Last use Fish house No. families none

General Description of New Work

To ~~move~~ existing fish house about 8' x 8' about 75' on same property, locating as shown on attached sketch and use for household storage

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

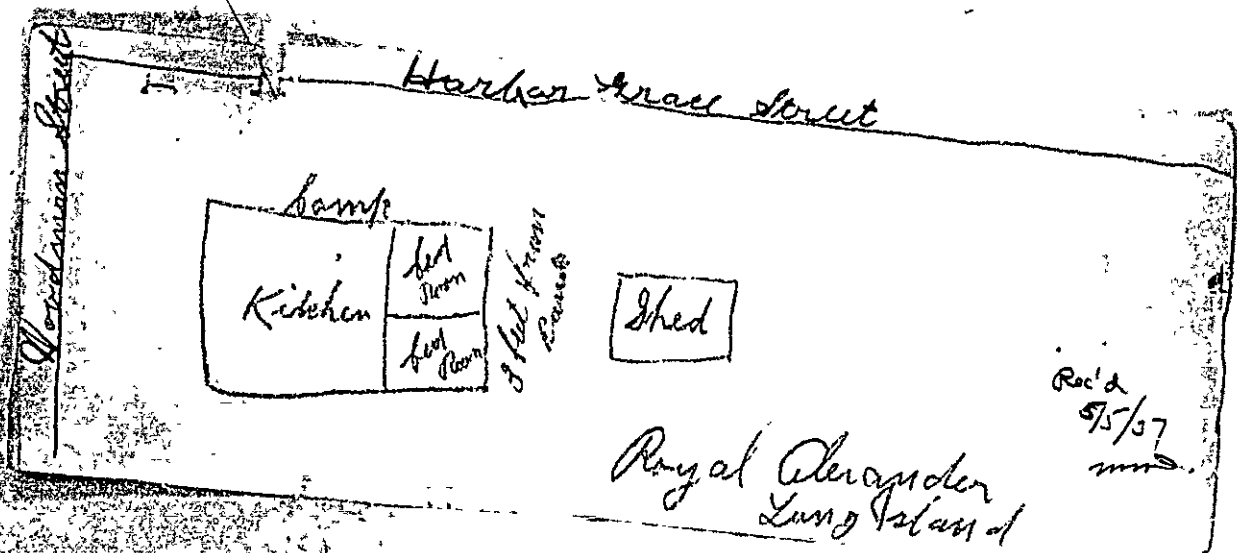
Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Royal F. Alexander

INSPECTION COPY

7/11/37



Rept 92798-I

May 7, 1937

Mr. Royal Alexander,
Long Island, Maine

Dear Sir:

I am unable to issue the permit applied for to cover moving an existing shed at Harbor Grace, corner of Goodman St., Long Island, and attach it to an existing camp or cottage on the same property, because the framing of the shed is very light and does not satisfy Building Code requirements for the framing of any part of a habitation.

You have told our inspector that you might decide to locate the shed some space from the camp, and, I presume, from the new location sketch which we received from you on May 5th, that you have decided to set the shed three feet from the camp.

In an attempt to help you to straighten the matter out, I am enclosing a new application for the permit, based on what is indicated on the new sketch. If you will sign this new application and return to this office, we shall be able to issue the permit.

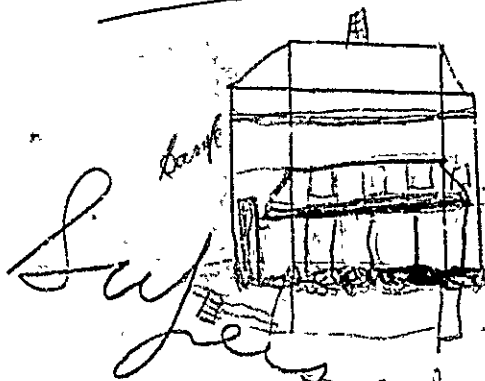
Although you are not forbidden by law to locate the shed three feet from the camp, since you have plenty of land, I respectfully suggest that you set the shed at least ten feet from the camp, unless there is a definitely good reason for placing closer, thus improving the appearance and probably the value of the property.

Very truly yours,

(Signed) Warren McDonald
Inspector of Buildings

Stanley Grove Street

1000



Super shed

75 feet

Room will carry up



1000

Washington Street

Washington Street

Little Harbor

Royal St. Alexander



APARTMENT

Permit No. _____

APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, April 26, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Harbor Grace, Long Island Ward 1st Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address Royal F. Alexander, Long Island Telephone _____

Contractor's name and address Owner Telephone _____

Architect's name and address _____

Proposed use of building Cottage No. families _____

Other buildings on same lot _____

Plans filed as part of this application? yes No. of sheets 1

Estimated cost \$ _____ Fees \$.50

Description of Present Building to be Altered

Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____

Last use Cottage No. families _____

General Description of New Work

To move one story frame fish house 8' x 8' about 25' and use as an addition to cottage, cutting in new door between them

INSTALLATION BEFORE LAID ON CLOSING-IN IS WAIVED
CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation cedar posts Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-10" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Royal F. Alexander

Signature of owner by R. B. Breun

INSPECTION COPY

9763

Ward D. 1 Permit No. 37/634
Location Hahn Place St. Lund
Owner Rayal F. Alexander
Date of permit 5/10/37
Notif. closing-in
Inspn. closing-in
Final Notif. 100-A-1-2A
Final Inspn.
Cert. of Occupancy issued

*it means the house
but not attach it.*

NOTES

~~4/27/37. This building is
badly weather beaten and
will not present a good
appearance upon
comparison with the build-
ing it is to be connected
with. It appears to be flimsy
without any parging and
quite rickety although
lightly framed. Unable to
see walls, 2x4 corners, 2x4 studs,
flat in outside walls, 3" o.c.
Roof 2x4 flat, 3" o.c. 4' spans
Truss height 7' pitches 7.5'
It is to be used for
shed or storage purposes.
Tom Alexander said they
might decide to move~~



PERMIT ISSUED
1685
Permit No. NOV 1 1933

APPLICATION FOR PERMIT TO REPAIR BUILDING

Third Cl. Building

Portland, Maine, November 1, 1933

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to repair the following described building in accordance with the
Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Harbor Pt. Grace, Long Island Ward Isl. 1 Within fire limits? no Dist. No. _____

Owner's name and address Raleigh Alexander, Long Island Telephone 304-21

Contractor's name and address D. E. Durling, Long Island Telephone _____

Use of building dwelling house

No. stories 1 1/2 Height _____ ft. Gross area _____ sq. ft. Style of roof pitch

Type of present roof covering wood

General Description of New Work

To cover entire roof

If Roof Covering is to be Repaired or Renewed

When last repaired? _____, Area then repaired _____ sq. ft.

Are repairs or renewal due to damage by fire? no If so, what area damaged? _____ sq. ft.

Area of roof to be repaired now? entire

Type of roofing to be used Asph. & felt roofing No. plies _____

Trade name and grade of roof covering to be used Glass C Und. L b.

Estimated cost \$ _____ Fee \$.50

Signature of owner Raleigh Alexander

INSPECTION COPY

10158



(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

Permit No. 2296
PERMIT ISSUED

Class of Building or Type of Structure Third Class

Portland, Maine, October 10, 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location On Shore Off Water Street Ward 1 Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address Ada Breen, Harbor Grace Road, Long Island Telephone no

Contractor's name and address James Gray, Long Island Telephone _____

Architect's name and address _____ Telephone _____

Proposed use of building Summer Camp No. families _____

Other buildings on same lot none

Plans filed as part of this application? no No. of sheets _____

Estimated cost \$ _____ Fee \$.80

Description of Present Building to be Altered

Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____

Last use camp No. families _____

General Description of New Work

To move building 12' x 16' from Harbor Grace Street to above location

This is to set on existing foundation of building which was burned 10/8/30

NOTICE OF OCCUPANCY REQUIRED
OR CLOSING IN IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of slate _____
Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation rocks Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Ada Breen

INSPECTION COPY

3342A

Ward 1 Permit No. 30/2296

Loca'tion On Shore off Ward 1

Owner Ada Biles

Date of permit 10/10/30

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

~~223/679~~

NOTES

100

A

in shore
from 2.9

Renewal 4/24/31

Royal Alexander
J. R. Drusey

C-31-18-1

February 6, 1931

Mr. Royal F. Alexander
Long Island,
Portland, Maine

Dear Sir:

A building which you are reported to have owned burned down near Harbor Grace, Long Island last fall or summer.

This letter is to advise you that before any attempt is made to rebuild this building or to construct any building in its place, a building permit is required from this Department.

Such a permit must be applied for at this office on application forms furnished by this Department, and the applicant is required to furnish full information with regard to the size, location, and framing of the building proposed.

I understand that this building stood upon land which you do not own. In this case, this Department will require that full authorization from the owner of the land be submitted before the permit is issued.

Very truly yours,

Inspector of Buildings.

TM/HC



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Complaint No. C-51-18

COMPLAINT

Rec'd 2/6/51

Ward 1

Location Harbor Grace, Long Island

Owner's name and address Royal E. Alexander Long Island, Maine

Telephone

Tenant's name and address

Telephone

Use of building

General Description

Built shack which has now burned down on land owned by Fred L. Hutchins.

Complainant's name and address Bldg. Insp. Dept. W. McD.

Telephone

Date of examination and conditions found

Action taken

INSPECTION COPY

Ward 1 Complaint No. C-31-18

Location Harbor View, Long Is.

Date Received 2/6/31

Date Disposed of

1004 7-2 NOTES

Lib. Bette - Wm

~~1/21/32~~



YOU:
 Location, Ownership and detail must be correct, complete and legible.
 With the law, which is **SEPARATE** application required for every building.
 Know the requirements of act. Plans must be filed with this application.

Application for Permit for Alterations, etc.

BEFORE Commencing Work.

Failure To Do So

Portland, Me April 5, 1926..... 10

To the
 INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location Harbor Grace St, Long Island Ward 1 in fire-limits? no
 Name of Owner or Lessee, R F Alexander Address Long Island
 " " Contractor, owner
 " " Architect,
 Material of Building is wood Style of Roof, pitch Material of Roofing, asphalt
 Size of Building is feet long; feet wide. No. of Stories,
 Cellar Wall is constructed of is inches wide on bottom and batters to inches on top.
 Underpinning is is inches thick; is feet in height.
 Height of Building Wall, if Brick; 1st, 2d, 3d, 4th, 5th,
 What was Building last used for? cottage No. of Families? 1
 What will Building now be used for? cottage, 1 family

Detail of Proposed Work

Build addition 12x15feet one story high with asphalt roof to be set on posts
 all to comply with the building ordinance

Estimated Cost \$ 50.

If Extended On Any Side .

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?
 No. of Stories High?; Style of Roof?; Material of Roofing?
 Of what material will the Extension be built? Foundation?
 If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
 How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
 No. of feet high from level of ground to highest part of Roof to be?
 How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.
 Size of the opening? How protected?
 How will the remaining portion of the wall be supported?

Signature of Owner or
 Authorized Representative

R. F. Alexander

Address

Long Island Me

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

26/185



Harbor Grace St, Long Island

April 5, 1926

~~10/8/26~~
~~10/8/26~~

Will be
done defective
check

100-A-1-12
94-1-12
Frank White

Right
Harbor
New of
Receipt

Office of Spokenly Aloud

RECORD MUST BE OBTAINED BEFORE BEGINNING