

30-40 DALTON STREET

SHAW-WALKER

Full cut # 920R - Half cut # 9202R - Third cut # 9203R - Fifth cut # 9205R



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Sept. 14, 1959

PERMIT ISSUED

51217 SEP 15 1959

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location .. 30 Dalton St. Use of Building .. dwelling No. Stories 1 New Building Existing " Name and address of owner of appliance .. Joseph Libby, 30 Dalton St. Installer's name and address .. Paine Heating Co., County Rd. Westbrook Telephone 3-6823

General Description of Work

To install forced warm air heating system in place of gravity air coal burning furnace

IF HEATER, OR POWER BOILER

Location of appliance .. basement Any burnable material in floor surface or beneath? .. no If so, how protected? Kind of fuel? oil Minimum distance to burnable material, from top of appliance or casing top of furnace .. over 3' From top of smoke pipe .. 3' From front of appliance .. over 3' From sides or back of appliance .. over 3' Size of chimney flue .. 8x8 Other connections to same flue .. no If gas fired, how vented? Rated maximum demand per hour Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner .. Metro-Fac guntype Labelled by underwriters' laboratories? .. yes Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom Type of floor beneath burner .. cement Size of vent pipe .. 1 1/2" Location of oil storage .. basement Number and capacity of tanks .. 1-275 gal. Low water shut off .. Make .. No. Will all tanks be more than five feet from any flame? How many tanks enclosed? Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

[Empty lines for miscellaneous information]

Amount of fee enclosed? .. 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: [Signature] 9-14-59

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .. yes Paine Heating Co.

617 MAINE PRINTING CO.

INSPECTION COPY

Signature of Installer

By:

[Signature: Joseph Paine]

[Signature: JEM]

NOTES

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9-28 9-29
 Permit No. 59/1217 10/12
 Location 30 Jalkin St
 Owner Jacoby, J. 2004
 Date of permit 10/15/12
 Approved 10-12-59 [Signature]

9-25-59 12/12
 - called v. italka and
 - got up. - for 10/12
 70 - call 10/12
 [Signature]

10-12-59 10/12
 says 7/30/12 has
 been replaced w. it
 e label [Signature]
 [Signature]



(RD) RESIDENCE ZONE - D
CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

COMPLAINT NO. G-50-95

COMPLAINT

INSPECTION COPY

Date Received August 12/ 1950

Location 30 Dalton Street Use of Building Shed

Owner's name and address Walter Libby, 30 Dalton Street Telephone _____

Tenant's name and address _____ Telephone _____

Complainant's name and address McD. Telephone _____

Description: Filling station office moved onto this property sometime in 1947 without a building permit and being used for shed.

INSPECTION NOT COMPLETED

Complaint No. 50/951ton Stt

Location 30 Dalton Street

Date Received 8/12/50

Date Disposed of

NOTES

6/1/50

30 Dalton Street

Mr. Libby moved filling station office building to his lot in 1947 or before without a permit. You wrote to him several times about removing it or demolishing it. Nothing was ever done. He was supposed to have had this cleared up before inspection of dwelling was made but no final inspection of dwelling was ever made.

Miss Hendrickson

P.S. have complaint made as of the date as nearly as you can tell when building was moved - also if possible what location it could have been if application was ever filed to move building to Libby lot. Mr. Libby claims now he had a permit. Are this with complaint.

WHR

8/2/50

City of Portland, Maine
Board of Appeals
—ZONING—

*Sustained
8/12/49*

49/68

August 5, 19 49

To the Board of Appeals:

Your appellant, Mrs. Nellie F. Libby, who is the owner of property at 34 Dalton Street, respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 17, Paragraph E of the Zoning Ordinance,

Application for amendment to a permit covering construction of enclosed porch on front of dwelling at 34 Dalton Street is not issuable because the front wall of the proposed porch will be only about four feet six inches from the street line while the front wall of the existing dwelling on the adjoining lot is about nine feet six inches from that line.

The facts and conditions which make this exception legally permissible are as follows:—

An exception is necessary in this case to avoid unnecessary hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

Nellie F. Libby
Appellant
N. F. Libby

City of Portland, Maine
Board of Appeals

— ZONING —

Decision

Public hearing was held on the 12th day of August, 1949,
on petition of Mrs. Nellie F. Libby, owner of property at
34 Dalton Street, seeking to be permitted an exception to the regulations of
the Zoning Ordinance relating to this property.

Amendment to a permit covering construction of enclosed porch on front
of dwelling at 34 Dalton Street is not issuable because the front wall
of the proposed porch will be only about four feet six inches from the
street line while the front wall of the existing dwelling on the adjoining
lot is about nine feet six inches from that line.

The Board finds that an exception is necessary in this case to avoid unnecessary
hardship and desirable relief may be granted without substantially departing
from the intent and purpose of the Zoning Ordinance.

It is, therefore, determined that exception to the Zoning Ordinance may be permitted
in this specific case.

Robert R. Gitchel
William F. O'Brien
B. Wm. Hall
Edward J. Colley

John W. Lake

Board of Appeals

DATE: August 12, 1949

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF MRS. NELLIE F. LIBBY
AT 34 Dalton Street

Public hearing on appeal
was held before the Board of Appeals today.

| <u>Board of Appeals</u> | <u>VOTE</u> | | <u>Municipal Officers</u> |
|-------------------------|-------------|-----|---------------------------|
| | Yes | No | |
| Mr. Getchell | (x) | () | |
| Mr. O'Drion | (x) | () | |
| Mr. Colley | (x) | () | |
| Mr. Lake | (x) | () | |
| Mr. Holbrook | (x) | () | |
| | () | () | |
| | () | () | |
| | () | () | |

Record of hearing:

Mr. Libby for Mrs. Libby

No opposition

CITY OF PORTLAND, MAINE

BOARD OF APPEALS

August 9, 1949

Cumberland Realty Company
48-1/2 Exchange Street
Portland, Maine

Gentlemen:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, August 12, 1949 at 10:30 a. m. Daylight Saving Time to hear the appeal of Mrs. Nellie F. Libby requesting exception to the Zoning Ordinance to permit construction of enclosed porch on the front of her dwelling at 34 Dalton Street.

This permit is presently not issuable because the front wall of the proposed porch will be only about four feet six inches from the street line, while the front wall of the existing dwelling on the adjoining lot is about nine-feet six inches from the street line.

If you wish to be heard either for or against this appeal, please be present or be represented at the above hearing.

Very truly yours,

Board of Appeals

Robert L. Getchell

Chairman

M

CITY OF PORTLAND, MAINE
BOARD OF A. PEALS

August 9, 1949

Mrs. Nellie F. Libby
34 Dalton Street
Portland, Maine

Dear Mrs. Libby:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, August 12, 1949 at 10:30 a. m. Daylight Saving Time to hear your appeal under the Zoning Ordinance relating to the above premises.

Please be present or be represented at this hearing in support of your appeal.

Very truly yours,

Board of Appeals

Robert L. Gatchell

Chairman

CITY OF PORTLAND, MAINE

Department of Building Inspection

4/47/2316-1 (34 Dalton Street)
Amendment #2

April 23, 1949

Mrs. Nellie F. Libby
34 Dalton Street
Portland, Maine

Subject: Application for amendment to
permit 47/2316 covering construction
of enclosed porch on front of dwelling
at 34 Dalton Street.

Dear Madam:

As explained to Mr. Libby, we are unable to issue the amendment covering the above work because the front wall of the proposed porch will be only about four feet six inches from the street line while the front wall of the existing dwelling on the adjoining lot is about nine feet six inches from that line, contrary to the requirements of Section 16-j of the Zoning Ordinance. Mr. Libby has informed us that you wish to exercise your appeal rights and accordingly we are enclosing an outline of the appeal procedure and are certifying the case to the Assistant Corporation Counsel, who acts as clerk for the Board of Appeals.

Very truly yours,
Signed) WARREN McINTYRE,

Inspector of Buildings.

AJB/B

CC ✓ Edward T. Cignoux
Asst. Corporation Counsel

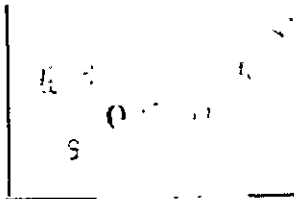
Enclosure: Appeal Procedure

C
O
P
Y



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, Sept. 20, 1947



To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~construct~~ demolish the following building in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, if any, submitted herewith and the following specifications:

Location 24 Dalton Street Within Fire Limits? no Dist. No. _____
 Owner's name and address Walter Libby, 12 Dalton Street Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address OWNER Telephone _____
 Architect _____ Specifications _____ Plans no No of sheets _____
 Proposed use of building _____ No. families _____
 Last use dwelling No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____ Fee \$.50
 Estimated cost \$ _____

General Description of New Work

To demolish existing 1 story dwelling (burned).

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimney _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

INSPECTION COPY

Signature of owner

Walter Libby
By M. G. ...

34 Dalton St

Portland, Me. Sept. 24, 1947.

Warren McDonald,
Inspector of Buildings,
Portland, Me.

Re- house 34 Dalton St.

Dear Sir:-

I thought it was fully understood that I should put 'n a pier under ~~center pier~~ ^{center pier}. There is no partition on it and it simply holds up the floor.

In regard to roof it will be steel or trussed to the satisfaction of your office. A hip roof and hips are carrying the load the amor weight is very small.

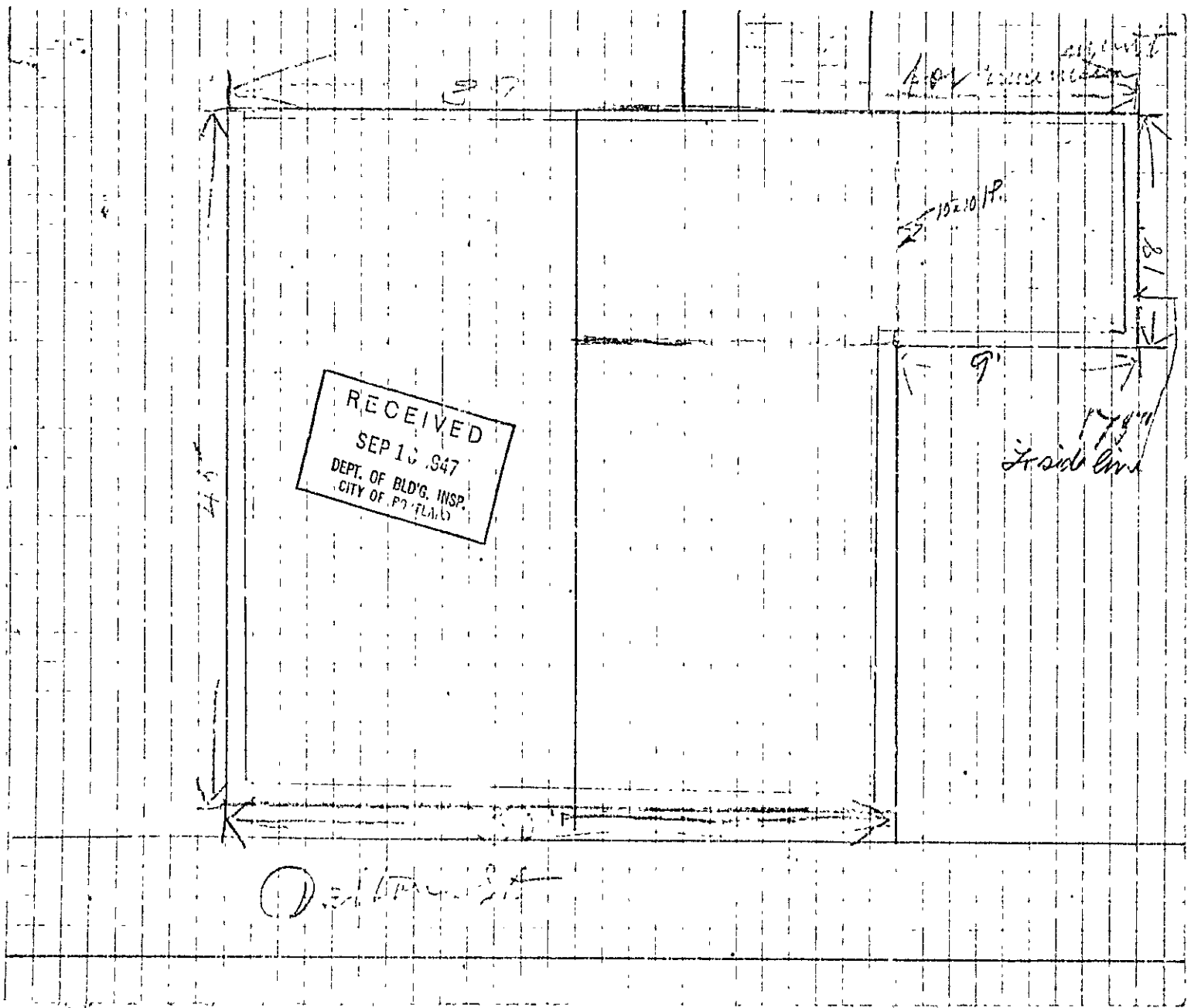
Thanking you for past courtesies I remain

Very Truly Yours,

Walter F. Libbey
Ray M. Libbey

RECEIVED
SEP 24 1947
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

RECEIVED
SEP 24 1947
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND



RECEIVED
SEP 10 1947
DEPT. OF BLD'G. INSP.
CITY OF FLA.

17 1/2"

9"

Inside line

① See plan 10/17

40' 1/2" inside line

40

18

57

57

Memorandum from Department of Building Inspection, Portland, Maine

34 Balton Street—Amendment to building permit 47/2316 to cover one-story addition for dwelling house under construction for Nellie F. Libby by Walter Libby, contractor—9/20/47

The 10x10 hard pine girder intended on a span of 13' between the proposed addition and the main house does not work out strong enough.

Mr. Libby should furnish more information to show whether or not the beam would support a partition overhead and if that partition in turn might support part of the roof of main house and proposed addition.

Whether or not this beam would support a partition above or any of the roof load, the 10x10 on a 13-foot span is not strong enough to support the floor load. A pier in the center of the 13-foot span would make it strong enough probably to support all loads, but Mr. Libby should indicate at this office or better still, by letter what he will do under this circumstance.

mcu/3

(Signed) Warren McDougle
Inspector of Buildings

APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. 1

Portland, Maine, Sept. 16, 1947

To the INSPECTION DEPARTMENT OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 47/231 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 34 Dalton St. Within Fire Limits? no Dist. No. _____
 Owner's name and address Nellie F. Libby 50 Berwick St. Telephone _____
 Lessee's name and address _____ 12 Dalton St. Telephone _____
 Contractor's name and address Walter Libby St. ## 50 Berwick St. Telephone _____
 Architect _____ Plans filed yes No. of sheets 1
 Proposed use of building Dwelling No. families _____
 Increased cost of work _____ Additional fee .25

Description of Proposed Work

To build 1 story addition 9' x 18' brick and concrete block ..
 Concrete found. 12" top 16" bottom 4' below grade.
 floor 2x10 - 16" O.C 9' span . Ceiling 2x10 - 16" 9' span . Rafters 2x8 16"0)C
 pitch 8" in 12" a asphalt roofing
 10x10 HP On 18' span between main house and ell.

Details of New Work

Permit Issued with Memo

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? yes
 Height average grade to top of plate 10' Height average grade to highest point of roof 16'
 Size, front 8' depth 18' No. stories 1 solid or filled land? solid earth or rock? earth
 Material of foundation concrete Thickness, top 12 bottom 16 cellar yes
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof rip (Pitch) Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Framing lumber—Kind hemlock Dressed or full size? dressed
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved:

Nellie F. Libby

Signature of Owner Nellie F. Libby
 Permit Issued with Memo

Approved: [Signature]

Inspector of Buildings

INSPECTION COPY

H
3475E



(A) RESIDENCE ZONE - D

APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Second Class

Portland, Maine, June 14, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 34 Dalton Street Ward _____ Within Fire Limits? no Dist. No. _____
Owner or Lessee's name and address W. Nellie E. Libby, 50 Berwick Street Telephone 3-6008
Contractor's name and address W. H. Libby, 50 Berwick Street Telephone _____
Architect _____ Plans filed yes No. of sheets 3
Proposed use of building Dwelling No. families 1
Other buildings on same lot _____
Estimated cost \$ 3000. Fee \$ 3.00

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To construct 1 story brick and concrete block dwelling house 30'x45'.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. Framing Lumber

Details of New Work

Kind? spruce, pine Dressed or Full Size? dressed and full size Height average grade to top of plate 10'6"
Size, front _____ depth _____ No. stories 1 Height average grade to highest point of roof 19'
To be erected on solid or filled land? solid earth or rock? earth
Material of foundation concrete at least 4' below grade Thickness, top 12" bottom 16" cellar Yes
Material of underpinning _____ " to sill _____ Height _____ Thickness _____
Kind of Roof hip Rise per foot 8" Roof covering asphalt roofing Class C Ind. Lab.
No. of chimneys 1 Material of chimneys brick of lining tile
Kind of heat steam Type of fuel coal Is gas fitting involved? no
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders iron pipe Size 4" Max. on centers 6'
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section
Joists and rafters: 1st floor 1x10, 2nd 2x10, 3rd _____, roof 2x8 1x8 jacks
On centers: 1st floor 14", 2nd 16", 3rd _____, roof 16"
Maximum span: 1st floor 14', 2nd _____, 3rd _____, roof 15'
If one story building with masonry walls, thickness of walls? 10x10 girder " _____ height? 8'

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

2100P ORIGINAL

Signature of owner

Nellie E. Libby
By W. H. Libby

Ward Permit No. 461 #
 Location 348 1/2 St. N. W.
 Owner Nellie M. Silby
 Date of permit 6/1/46
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued

NOTES:
 6/17/46 - Told Mr. Silby
 that the proposed 8' x 8'
 enclosed porch on front
 building is not
 allowed since it would
 be on 1/4' from street
 since he said that he
 would not provide this
 porch since the front
 wall of main house is
 proposed 12' back from
 street line which is
 just the average of the
 9' front and 15' back
 15' front of the
 for the sidewalk on
 the other side of the

proposed enclosed porch
 building, however
 the front porch is allowed
 on the other side of the
 D.O.K. exception was
 been made for some
 time having occurred
 without permission
 or more so which a
 previous application
 for a building was
 made.

I then told Mr. Silby
 that I doubted very much
 if plans presented with
 application show all
 required information
 but that we will check
 and let him know. 7/22/46
 9/26/47 - Laying concrete
 blocks. J & B
 11/25/47 - started framing and
 roof. Had some 2x3's in
 ceiling. Installation in kitchen
 was 6' 11" x 2" to back of
 fireplace. Not floor finish
 under the porch.



(RD) RESIDENCE ZONE - D

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, August 19, 1947

PERMIT ISSUED
02316
SEP 11 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. Supersedes application 6/14/46

This undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 34 Dalton Street Within Fire Limits? NO Dist. No. _____

Owner's name and address Nellie F. Libby, 50 Berwick Street Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address Walter Libby, 50 Berwick Street Telephone _____

Architect _____ Specifications _____ Plans yes No. of sheets 4

Proposed use of building Dwelling No. families _____

Last use _____ No. families _____

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$ 3000. Fee \$ 3.00

General Description of New Work

To construct 1 story brick and concrete block dwelling house 30'x45'

INSPECTION COPY
11/11/47

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work:

Is any plumbing work involved in this work? yes Is any electrical work involved in this work? no

Height average grade to top of plate 10'6" Height average grade to highest point of roof 19'

Size, front _____ depth _____ No. stories 1 solid or filled land? solid earth or rock? earth

Material of foundation concr Thickness, top 12" bottom 16" cellar yes

Material of underpinning fill Height _____ Thickness _____

Kind of roof hip Rise per foot 8" Roof covering asphalt roofing Class C Und. Lab.

No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat steam fuel _____

Framing lumber—Kind spruce, pine Dressed or full size? dressed

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders yes Size 10x10 Columns under girders iron pipe Size 4" Max. on centers 6'

Studs (outside walls and carrying partitions) 2x4-16' O. C. Bridging in every floor and flat roof span over 8 feet. yes

Joists and rafters: 1st floor 4x10, 2nd 2x10, 3rd 2x8, roof 2x8

On centers: 1st floor 14", 2nd 16", 3rd _____, roof 16"

Maximum span: 1st floor 14', 2nd _____, 3rd _____, roof 15'

If one story building with masonry walls, thickness of walls? 8" height? 8'

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Permit Issued with Letter

INSPECTION COPY

Signature of owner

Nellie F. Libby
By W. H. Libby

Permit No 47/2316
 Location 34 Dalton St.
 Owner Nellie T. Libby
 Date of permit 9/11/47
 Notif. closing-in 4/28/48 - 9/11/47
 Inspn. closing-in 5/11/48
 Final Notif 5/11/48
 Final Inspn 5/11/48
 Cert. of Occupancy issued

NOTES

4/13/49 - Have started to issue because of business to
to work on road street. We are to start having
to have studs removed outline of asphalt structure
& removed asphalt so as and he will file asphalt
to provide clearance 5/17/49 - Mr. Libby wants
to work on driveway. Ed Bengel
 7/28/48 insp. top path 8/4/49 - Same Ed
 10/13/49 - Same Ed
 11/14/49 - Same Ed
 5/18/48 - closed without
inspection Ed

4/13/49 - Constructing brick &
concrete blocks front porch
porch 17' from front of
building and is 9' long.
To be enclosed Ed
 4/13/49 - Mr. Libby wants. Told
me to stop all work on porch
and he said he would do so.
He is to make location plan
& file amendment to cover work
which will not be able



RD

APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED

AUG 17 1948

CITY OF PORTLAND

Amendment No. 2

Portland, Maine, April 14, 1949

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 41,2316 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 34 Dalton Street Within Fire Limits? n2 Dist. No.
Owner's name and address Nellie F. Libby, 34 Dalton Street Telephone
Lessee's name and address Telephone
Contractor's name and address Walter Libby, 34 Dalton Street Telephone none
Architect Plans filed Yes No. of sheets 1
Proposed use of building Dwelling house No. families 1
Last use " " No. families 1
Increased cost of work 150 Additional fee 2.00

Description of Proposed Work

To construct one-story enclosed piazza 7' x 12', front of building, 2s per plan.

Details of New Work Appeal sustained 8/12/49

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber--Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 8 feet
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: OK-8/17/49 - A. J. S.

Signature of Owner by: Walter H. Libby
Approved: 8/17/49 Inspector of Build.

INSPECTION COPY

BP/47/2316-I (34 Dalton Street)
Amendment #B

April 23, 1949

Mrs. Nellie F. Libby
34 Dalton Street
Portland, Maine

Subject: Application for amendment to
permit #47/2316 covering construction
of enclosed porch on front of dwelling
at 34 Dalton Street.

Dear Madam:

As explained to Mr. Libby, we are unable to issue the amendment covering the above work because the front wall of the proposed porch will be only about four feet six inches from the street line while the front wall of the existing dwelling on the adjoining lot is about nine feet six inches from that line, contrary to the requirements of Section 16-j of the Zoning Ordinance. Mr. Libby has informed us that you wish to exercise your appeal rights and accordingly we are enclosing an outline of the appeal procedure and are certifying the case to the Assistant Corporation Counsel, who acts as clerk for the Board of Appeals.

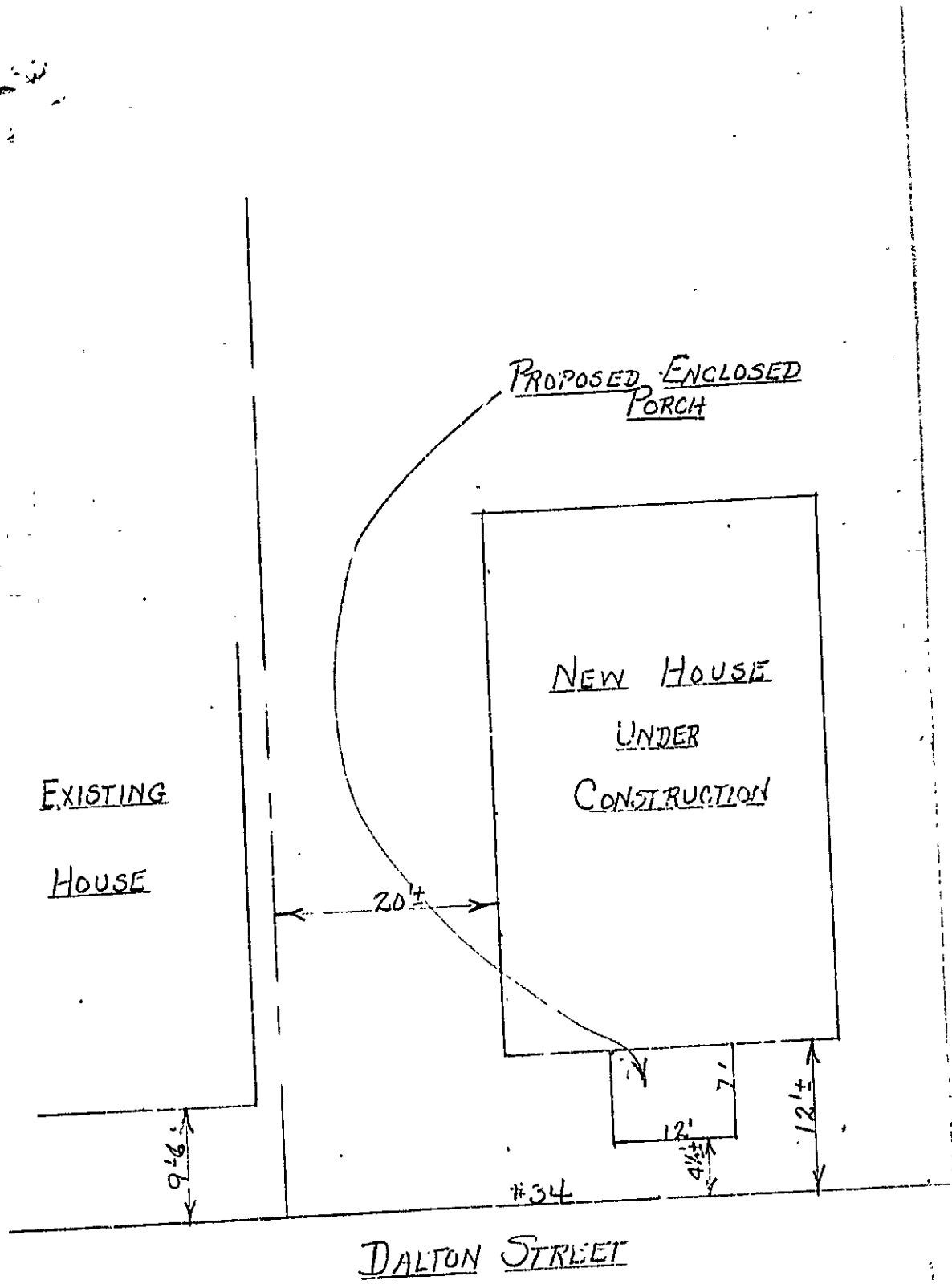
Very truly yours,

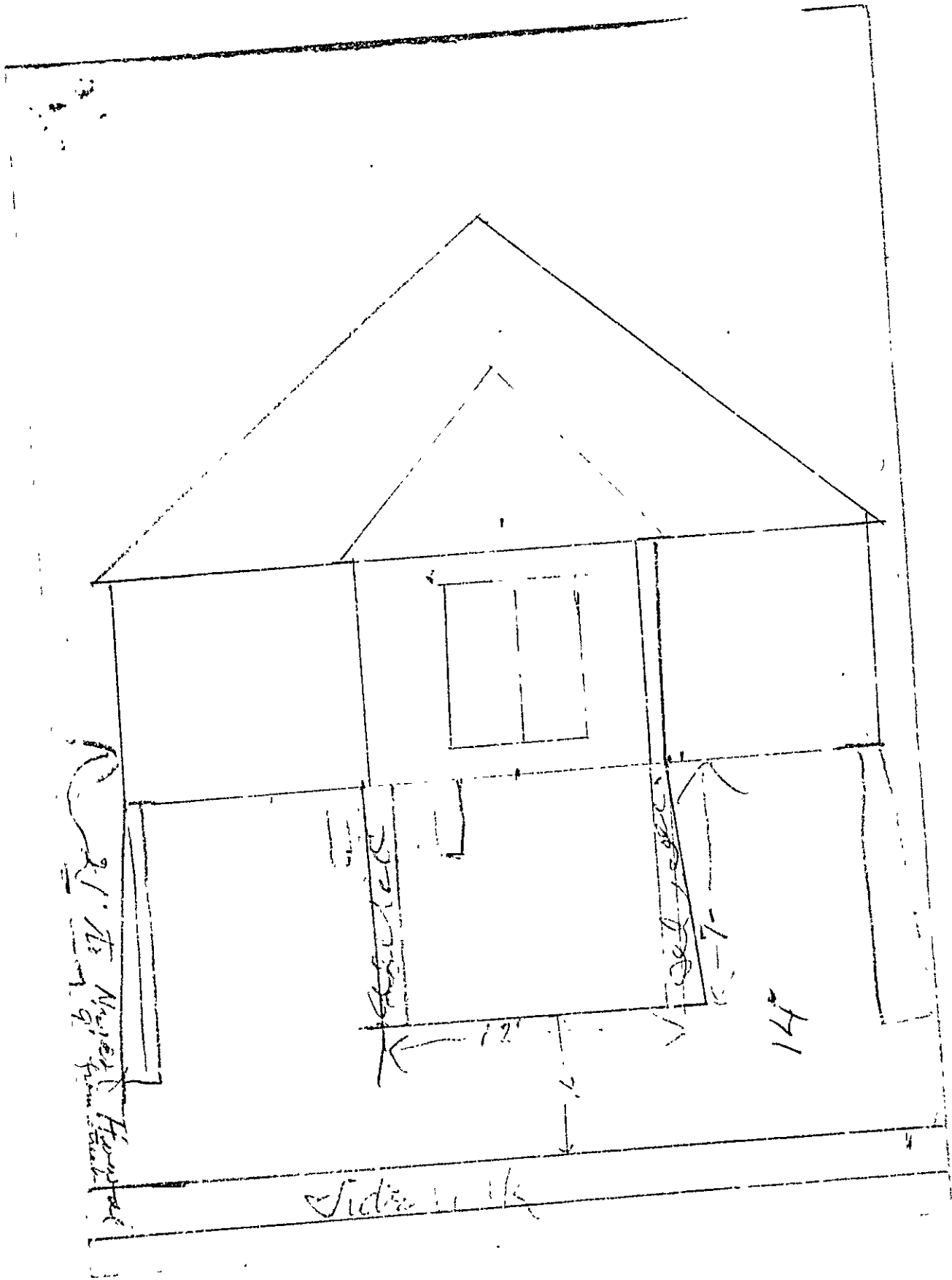
Inspector of Buildings.

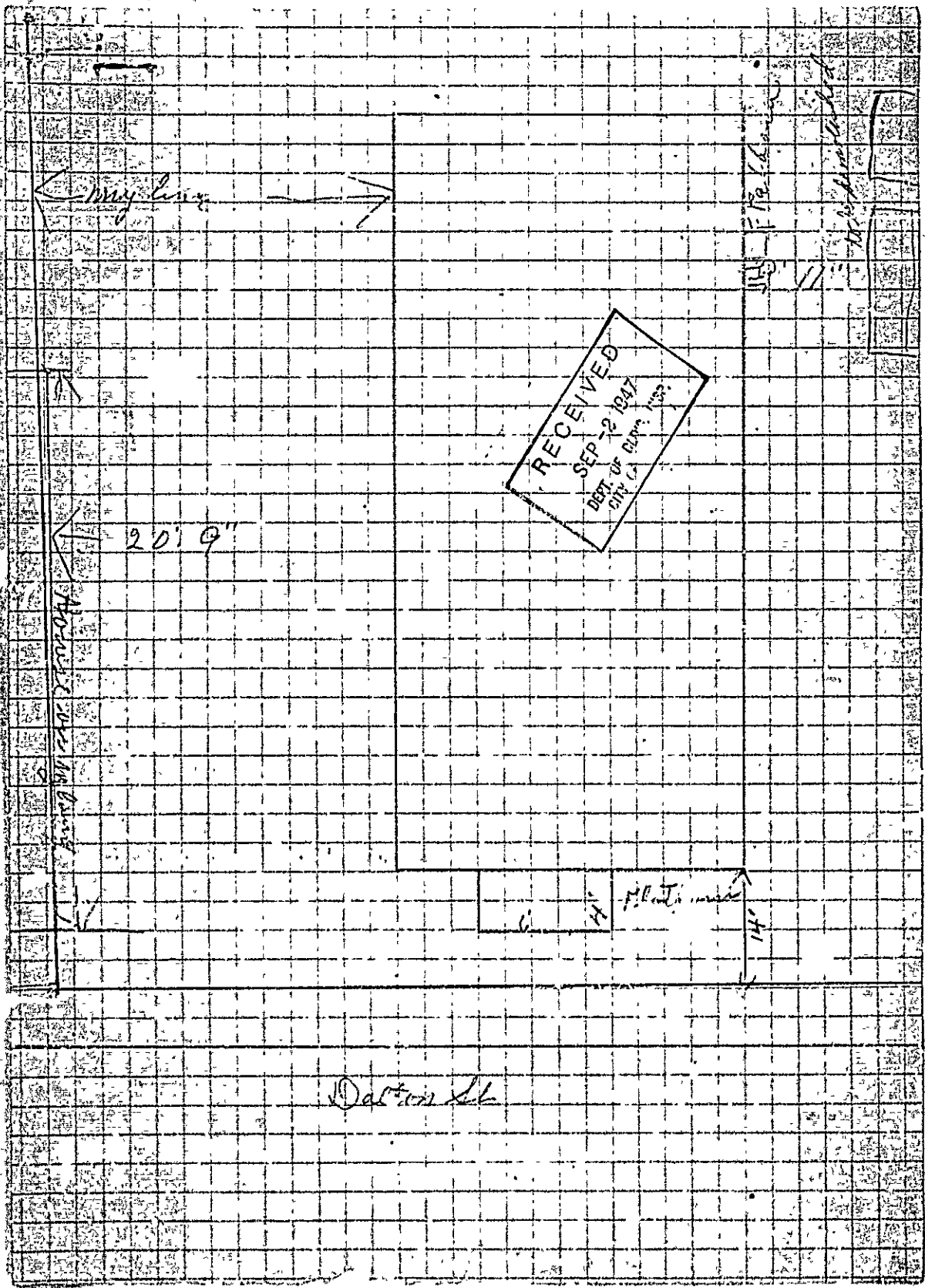
AJS/B

CC Edward T. Cignoux
Asst. Corporation Counsel

Enclosure: Appeal Procedure







RECEIVED
SEP 2 1947
DEPT. OF PLANNING
CITY OF LOS ANGELES

← my line →

← 20 1/4" →

Vertical dimension label on the left side of the drawing.

6" Horizontal dimension label at the bottom of the drawing.

14" Vertical dimension label on the right side of the drawing.

Dustin Sk

Sketch of Specifications accompanied
by plan for Bangalore - Melvin F. Libby

37 Dalton Street

Foundation is to be of concrete 16" at the base, 15" at the top, 8' high. Walls is to be brick trimmed on corners, and angles, doors, and windows, with cement block between, 8" thick. Footings under posts will be down to solid foundation at least 8" thick and to level of cellar floor. Posts will be of iron 4" in diameter with plates of iron 6" square. To be spaced under all carrying timbers as per regulations. Floor timbers on first floor is 5" x 10" and 6" x 10" running to center girders, with span of 17'. Studding to be of 2" x 4" spaced 16" on centers. Floor timbers for top floor to be 3" x 10" spaced 16" on center. Floor timbers in all cases to be bridged in center of span downstairs. Upstairs to be bridged twice. Roof is to be hipped. Ribs to be 4" x 10" with center square on top. Rafters to be 2" x 8"

to be spaced 16" on center. Roofing to be of
asphalt shingles as per regulations.

Any further information will be gladly
furnished upon request at any time.

RECEIVED
JUN 14 1946
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

AP 34 Dalton Street-1

September 11, 1947

Mr. Walter H. Libby
13 Dalton Street
Portland, Maine

Subject: Building permit for construction of dwelling
at 34 Dalton Street

Dear Sir:

Building permit for the above work is issued, herewith, subject to the following:

1. According to your agreement in letter of September 5, 1947, the former dwelling house on the same property, being too close to the location of the proposed dwelling house under the Zoning Ordinance and now being used for the storage of material to be used in construction of the new dwelling house, will be demolished and the debris and material of the demolition removed from the premises to some proper place before the new dwelling is completed to the point of being in shape for final inspection. A permit for the demolition is to be secured from this department before that work is commenced.

2. In accordance with agreement in your letter of September 8, 1947, the former filling station office on the property, having been unlawfully moved to that property without a permit, and therefore unlawfully maintained there at present, will either be removed from this property, a permit for the moving first having been secured from this department, to some location either outside of the city or within the city where allowed by the Zoning Ordinance, or the building will be demolished and the materials removed from the property before notice for closing-in inspection is given for the new dwelling house.

3. No hearth is shown on the plan for the fireplace. Note that this hearth is to be supported entirely by incombustible material of adequate strength, is to extend at least 18" out to the room from the face of the chimney breast and is to extend not less than 8" beyond the fireplace opening on each side. Note also that no woodwork or other combustible material is to be placed closer than 2" to the back wall of the fireplace, and at all other points the usual clearance of no less than 1" is to be observed between the masonry of fireplace and chimney and all burnable material.

4. Note from Section 310a of the Building Code that the concrete of foundation walls is to be poured directly upon the original soil and no loose rock or any other filling material to be placed in the bottom of the forms; also that if large stones are to be deposited in the concrete as it is poured, 2" are to be left between any two such large stones and between such large stones and the form, and the stones spaded thoroughly into the concrete.

5. You have told Mr. Sears that 12-inch thick concrete blocks are to be used on top of the concrete foundation wall to form the underpinning up to the under side of the bearing of the floor joists, and from there on up 8-inch thick concrete blocks, floor joists apparently to get their bearing on this 4-inch ledge on the inside either on a suitable wooden plate, bearing on the concrete blocks, or directly upon the blocks. If on a wooden plate, the plate is to be anchored to the concrete block wall with anchor bolts embedded in concrete filling in the openings or voids in the concrete blocks completed. If the joists are to bear directly upon the blocks, no farther apart than 8', from center to center, metal anchors no less than 1 1/2 x 3/8 x 16 inches long are to be fastened to the bottom edge of the floor joists and bent down into and embedded in concrete poured in the openings or voids in the blocks. Where the floor joists are parallel with the wall, the anchors are to be made long enough to engage at least three joists but still fastened to the bottom edges of the joists.

September 11, 1917

6. At top of concrete block walls, you have intended a 2x8 plate to be bolted down to the masonry wall to support second floor joists and on them the rafters. Where second floor joists are parallel with the exterior masonry walls, if there is to be no flooring at present, some method must be adopted of tying in the exterior masonry walls into second floor framing. The same manner as indicated using metal bars would be satisfactory at this point also, the bars to engage no less than three second floor joists, and to be no more than 8' from center to center.
7. The first floor framing members are considerably heavier than required, and I can find no indication as to how the joists are to be supported upon the center girder. I assume the joists are to get their bearing upon the top of the girder and that the studs of the bearing partition in first story are to run clear down to the top of the girder also, not to be supported upon the top of the floor joists, either on a shoe or otherwise. Note that cross-bridging is required in second floor joist spans and is to be no less than 1x3. It is not clear how you are to frame around the stair wells or around the chimney and fireplace, but it is necessary that care be taken to do it in accordance with the Building Code, so that difficulties may not arise at time of closing-in inspection. One of your letters makes reference to a center square at the top of the hip roof which I presume means a "deck", but the plan shows just a ridge. Note that a ridge board is to be used; also that where rafters do not rest directly on the plate or directly on floor or silling joist, they are to be supported on a continuous horizontal member not less than 2" x 6" with 6-inc dimension flat.
8. Where brickwork ornamentation adjoins concrete block, care must be taken to get a tight joint and straight coursing and joints, using adequate headers in the brickwork. If metal ties are to be used, they are required to be galvanized and of a thickness no less than that of a wire of No. 6 gauge. It is still not cleared up about the masonry around the lintels but I presume you are to use brick at these points.
9. Before the concrete block walls are started above the concrete foundation, the design of structural steel lintels for use over all windows and doors is to be furnished here bearing the signed statement of design of the designer as per your letter of September 5.
10. Referring to your letter of September 5 about the porches, there is no requirement that you shall not have porches on the building, and that only steps are allowed. We have had varying indications of porches on your several plans, but we do not have yet a good indication of foundations or framing. The foundations of the porches are required to extend no less than 4' below the surface of the ground, and if concrete piers are used, they are to be no less than 8" x 8" at the surface of the ground and no less than 10" x 10" at the bottom of the pier, to extend no less than 6" above the surface of the ground and woodwork above to be anchored to the piers by means of metal dowels or equivalent. Sills in porches are to be no less than 4x6, solid lumber in cross-section, and the floor framing and roof framing, if any, is to comply with Building Code requirements.
11. Take note that the Building Code requires that you give notice to this office of readiness for closing-in inspection before any of the work to be concealed is covered from view, that at that time all firestops are to be in place, the permanent posts are to be set in the cellar, all electric wiring and plumbing pipes in concealed spaces are to be in and certificate of inspection by Electric Inspector and Plumbing Inspector, respectively, at the job before notice to us is given; also that no part of the concealed spaces are to be covered from view in any way whatever, until our green tag is left at the job.
12. Note also that the Building Code requires notice of readiness for final

Mr. Walter H. Libby ----- 3

September 11, 1947

inspection when all features controlled by the Building Code are completed, and that the building is not to be occupied for living quarters until our certificate of occupancy has been issued. Before this final notice is given, the former dwelling, of course, is to be demolished and the debris removed. Before the notice for closing-in inspection is given, the "filling station" building is to be disposed of in one of the ways indicated above.

13. Note that because you are using masonry walls, firestops where ceiling meets walls are to be of non-burnable material. Apparently you have in mind some type of "rollway" cellar entrance, but nothing is truly shown on the plan as to the walls of it and framing of shelter over. Bear in mind that there are requirements for the thickness of these walls and also the depth, and in the absence of information, you will have to be responsible for complying with the requirements in this connection.

You are fully aware of the history of this undertaking over a period of several years, that you have done considerable work without any building permit whatever, that both of the buildings now on the lot were moved there without a building permit, and that considerable work on this new dwelling has already been done without a permit and some of it in conflict with the detailed requirements of the Building Code. After all of these violations, you must bear in mind that further violations of the Code will lead me to proceed against you for violation of the law without notice to you.

Very truly yours,

Inspector of Buildings

Mac/S

Portland Me., Sept. 6th. 1947/

Mr Warren McDonald,
Inspector of Buildings,
Portland Me.

Dear Sir:-

In reply of yours of the sixth I thought
and still think that it was a reed between you and I
that I was to contact the man who originally wanted
this building and find out if he wanted it now. If not
I agree to demolish ~~it, and to remove the roof of it~~
~~let the work shop or other use to be constructed in its place~~

*or to have it torn down
conforming to the ~~code~~ ^{code} ~~book~~ ^{book} ~~of~~ ^{of} ~~the~~ ^{the} ~~city~~ ^{city}*
If this is not satisfactory let me know
what I can do and I will try to conform with whatever you
say.

Truly Yours

Chas E. Libby
By W. to Libby

AP 34 Dalton St. I

September 6, 1947

Mr. Walter H. Libby,
50 Berwick St.

Subject: Disposition of existing
buildings at 34 Dalton St. in
connection with construction of
of new dwelling there.

Dear Sir:

Your letter of September 5th does not coincide with our conversation, relating to the so-called "filling station" building.

I understood that you had negotiated with Mr. Skinner to take the building apart, perhaps with the idea of erecting it elsewhere. Your letter, however, speaks of it as to "be moved back".

Explanation is necessary on this score before much can be done. If the building is to be demolished, no permit is needed since the building was located there unlawfully without a permit.

If the building is to be moved intact, however, a permit is required from this department, and we shall have to know all about the new location and use. It is not allowable to move the building "back" on the same property.

Very truly yours,

(Signed) WARREN McDONALD

Inspector of Buildings.

Portland, Me. Sept. 5, 1947.

Mr. Warren McDonald,
Inspector of Buildings,
Portland, Me.

Dear Sir:-

Pursuant to our conversation of Sept. 4th in regard to building permit for house on Dalton Street I hereby agree to demolish the old building, in which materials are now stored, before the final inspection of the new building.

The smaller or filing station building is to be moved back at once.

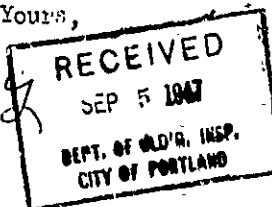
In regard to design for lintels Megquier & Jones tells me when I procure the iron they will furnish me with design. I will procure same as soon as I will be ready to use them.

I also agree that in framing the side and front steps, meaning porch steps, there will be nothing but steps.

In regard to large stone placed on the bottom in forms the large stone now in there are to remain as is according to our agreement. Others in future to be dropped in.

Very Truly Yours,

William F. Libbey
By *W. F. Libbey*



AP 34 Dalton Street-I

September 3, 1947

Mr. Walter Libby
50 Berwick Street
Portland, Maine

Subject: Application for building permit to cover construction of one-story dwelling house at 34 Dalton Street and question of demolition of present buildings on the lot

Dear Sir:

I take it that the note "to be demolished" near the two existing buildings on your property, as shown on your location sketch filed here September 2, means that both of the buildings are to be demolished. It is my recollection that the rear building was placed on this property without any permit having been secured.

It is necessary that you apply for building permits and start demolition of both buildings immediately so that there will be no question of yard spaces as regards the construction of your proposed dwelling.

With reference to my letter of August 30, I do not find the framing and foundation details of either front or side porch, nor the statement of design covering the design of the steel lintels, nor information as to what you intend to do about concrete blocks around the structural steel.

Presumably by this time you have removed all of the loose stone in the bottom of the concrete forms.

Very truly yours,

Inspector of Buildings

WHL:JS

AF 34 Dalton Street-I

August 30, 1947

Mr. Walter Libby
50 Berwick Street
Portland, Maine

Subject: Application for building permit to cover
construction of one-story dwelling house with
masonry walls at 34 Dalton Street

Dear Sir:

You neglected to sign the application for the building permit as Mrs. Libby's agent and you did not file with the application a location plan showing the location of the building upon the lot. Both are necessary.

In making the location plan please show clearly the location of the front wall of the dwelling with relation to the actual street line of Dalton Street (inside edge of future sidewalk) and the location of the other exterior walls with relation to the side lot lines and the rear property lines. I presume you own the next lot also, on which is your former dwelling and another building in the rear of it which resembles a filling station building. The location of both of these existing buildings should be shown accurately with relation to location proposed for the new dwelling. As explained to you in my letter of June 25, 1946, the front wall of the dwelling is not permitted to be closer than 12' to the street line of Dalton Street, but in that 12' you are permitted to have an open entrance porch with or without roof if the area of the porch does not exceed 50 square feet and if the porch does not project from the building toward the street more than 5'. The size of porch you propose and its location with relation to the street line should be shown on the location plan, and the details as to framing and foundation should be shown clearly on the other plans. Details of construction of the rear porch should also be shown, including foundation.

Please advise what your plans are with relation to your former dwelling and the small building in the rear of it. The Zoning Law provides that the new dwelling shall be no closer than 14' to either building, and it is my recollection that your former dwelling is only about 8' from the side proposed for the new dwelling.

I examined the premises and found out that you had erected a part of the concrete forms for the foundation and a course of large stone had been placed in the bottom of the form toward Veranda Street. You are aware that it is unlawful to proceed with such work as performing the excavation or creating the forms without first securing a building permit. Besides that the placing of the stone in the bottom of the concrete form before concrete is placed is distinctly forbidden by Section 31C45.6 of the Building Code. It is necessary that you remove all of this stone from the bottom of the forms, which may be done without a permit, and that you refrain from doing any more work on the project until you have the permit in your possession and posted upon the premises.

While no complete check of the plan received on August 19 has been made, I note such structural angle lintels over the wide window opening and the design of this structural steel is required to be covered by a statement of design of a competent designer attached to the plan, this being true whether the steel proposed is new or second-hand. If second-hand material, it is necessary that you file here a statement by the seller stating if possible where the steel came from and certifying that the steel has not been through a fire or a wreck.

Your latest plan indicates on the elevation that you intend to build

Mr. Walter Libby ----- 2

August 30, 1947

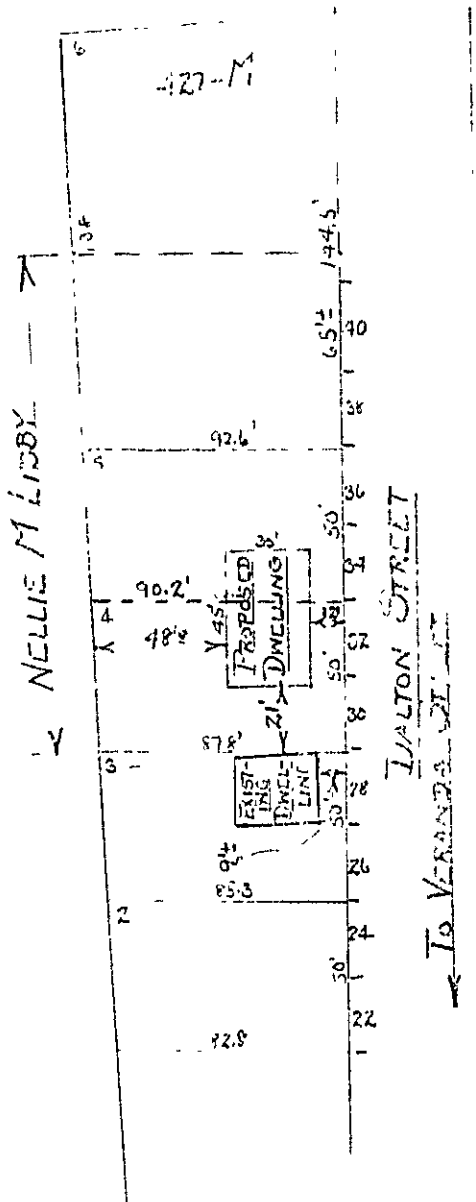
terior walls of concrete block intermixed with brickwork. If you intend to use concrete block at all around the lintels over windows and doors, it will be necessary to show on the plan how you intend to arrange this difficult work with the type of lintels you intend to use.

Very truly yours,

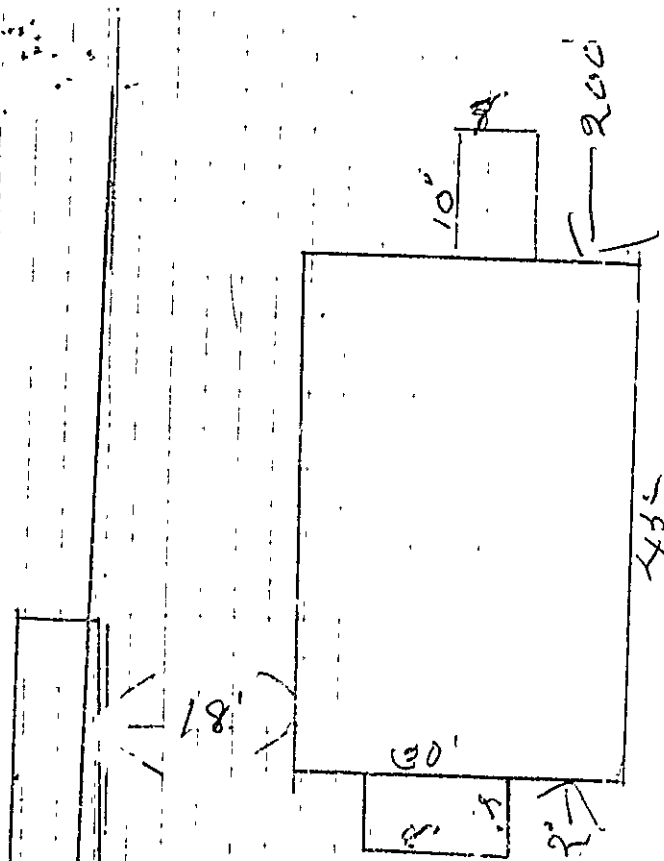
Inspector of Buildings

WMCB/S

36
48
48



REQUIRED FRONT YARD = 15% of 90'-14"
OR
13.5' = 12' - O.K.



RECEIVED
 JUN 14 1946
 DEPT. OF BLD'G. INSP.
 CITY OF PORTLAND

Ad. Wier

Dallan 16 5/8'

drawn

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for Walter F. Libby Date June 14/46
at 1345 Patton St

1. In whose name is the title of the property now recorded? Walter F. Libby
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? By Iron Pins
3. Is the outline of the proposed work now staked out upon the ground? Yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? 15"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes

Walter F. Libby
By Walter F. Libby

AP 34 Dalton Street-I

June 25, 1946

ZH
ESS
RHT
PH
AJS
HL
BS

Mr. W. H. Libby
59 Berwick Street
Portland, Maine

Subject: Application for building permit to cover
construction of concrete block dwelling house
at 34 Dalton Street

Dear Sir:

I am unable to issue this building permit because of lack of information on application, plans and specifications to show compliance with the Building Code under which circumstances I am forbidden to issue a permit by Section 106b of the Building Code, as follows, references being to sections of the Building Code or Zoning Ordinance where they apply and if specially referred refer to Building Code:

1. Sec. 5D of the Zoning Ordinance provides that the front wall of the dwelling shall set at least 12 feet from the street line of Dalton Street, and your location plan and staking indicates that the front wall would be just that distance from the street line. Your plan shows an 8-foot by 8-foot front entrance porch projecting into the required front yard. Section 15B of the Zoning Ordinance makes allowance for overachment of a one-story entrance porch not enclosed into such a required front yard but provides that such an entrance porch to be allowed must not exceed 50 square feet in area and must not project more than 16 feet from the building. I realize that you have told Mr. Sears that you will leave the porch off, but I cannot issue the permit on that basis as some type of entrance porch will be needed and we must know what you propose, how it is to be framed and what kind of a foundation it is to have and that must be shown on the plans before we have any concrete record of compliance with the ordinances and therefore before we can issue the permit on this score.
2. Your plan shows a rectangular deck at the top of hip roof and it was apparently your intention to support the four corners of this deck by means of posts supported on second floor framing. This would not work out structurally, however, and you have told Mr. Sears verbally that you would extend the roof upwards to a ridge and give up the idea of the deck. This actual proposed arrangement must be shown on the plan, however, and fresh blueprints furnished.
3. Sec. 31c3, 3(a). Show firecuts and anchors required by this section for first floor joists. Show detail of how the concrete block walls are to be tied across the building both at first floor level and ceiling level, whether by a wooden plate bolted to the concrete block wall at the latter level or by the metal anchors from joists to wall indicated by this section of the Building Code. The metal anchors required by this section are to be not less than 1 1/2 by 3/4 in cross-section, are to be at least 16 inches in length where the joists to which they are fastened are at right angles with the wall and long enough to engage the bottoms of at least three joists where the joists are parallel with the masonry walls. In every case the anchors are to be built firmly into the masonry walls and are to be fastened to the bottom edge of the joists. It is necessary that you show these details on the plans.
4. Sec. 307b4. Show size, material and arrangement of lintels over window and exterior door openings and furnish statement of design designed by someone competent to design these members in the usual manner.
5. Sec. 203c. Show material, size and arrangement of fireplace hearth and the supports of it to comply with this section.
6. Sec. 311d1 indicates that firestops at ceiling and masonry walls are to be of non-burnable material.

Mr. W. H. Libby ----- 2

June 25, 1946

7. Structural.

- (1) Show size of double girders at the front and rear of building.
- (2) Show thickness, depth and arrangement of foundation walls of
railway entrance.
- (3) Show full details of framing and foundation, size and location
of front porch, whether just steps, an open platform or what.

Very truly yours,

Inspector of Buildings

WHD/S

P.S. The originals of the plans should be revised to show compliance with the ordinance as above and fresh prints furnished. Marking up the present prints is not acceptable.

Rept. 55103-1

October 20, 1944

Mr. Walter H. Libby,
34 Dalton Street,
Portland, Maine

Subject: Application for building permit to
cover construction of dwelling house at
30 Dalton Street

Dear Sir:

As nearly as I can determine from the application and the plan which you have filed, you propose for the exterior wall of this dwelling what would be normally called skeleton construction, the main members to be concrete columns of some design or other, the space between to be filled by structural glass blocks about four inches thick. There is no design of the columns, no design of spandrel beams over the tops of the columns to hold the ceiling and roof framing and other omissions of details of design are too numerous to mention.

It is my belief that the novel type of construction proposed is not allowed by the Building Code, only one of the discrepancies being that in skeleton construction, the panel or enclosure walls are required to be at least 8-inches in thickness.

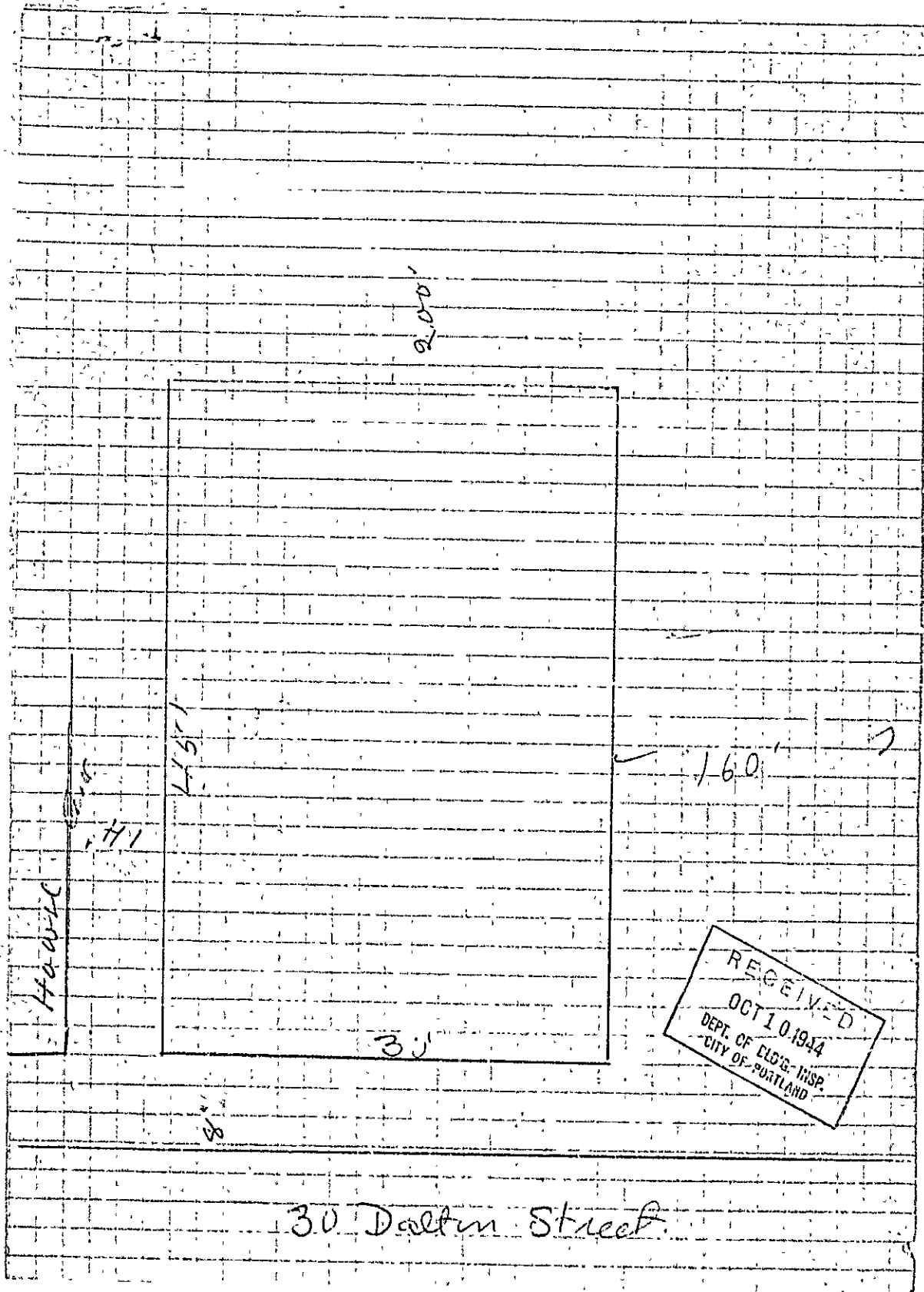
Our inspector reports that when he arrived on the job to check the location he found you there and some men operating a shovel excavating for the dwelling with the excavation practically completed. He told you and the men that excavating before the permit was received is contrary to law and that you should stop all work.

I am convinced that you have been working too long under permits issued from this department not to be aware of this primary requirement of the Building Law which seems to mean that you went ahead deliberately and with full knowledge in violation of the law. It is necessary that you proceed at once to work out some design of a building that complies with the law, file this complete information with the application for the permit in lieu of the information already filed, satisfy me that you have the permission of the War Production Board to go ahead with this work, or else before November 15, 1944 restore the excavated material to the hole from which it has been taken so that the lot will have approximately the same aspect as before you started.

Very truly yours,

Inspector of Buildings

WHD/R



30 Dalton Street

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for one family dwelling house
at 30 Dalton Street Date 10/10/11

1. In whose name is the title of the property now recorded? Ellie J Libbey
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? dalton staker
3. Is the outline of the proposed work now staked out upon the ground? yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? 12"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Ellie J Libbey



APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Second Class

Portland, Maine, October 10, 1944

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 30 Dalton Street Ward _____ Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address Nellie F. Libby, 31 Dalton St. Telephone 37190
Contractor's name and address Ozmer (Walter H.) Telephone _____
Architect _____ Plans filed yes No. of sheets 2
Proposed use of building dwelling house No. families 1
Other buildings on same lot _____
Estimated cost \$ 2,000. Fee \$ 2.50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To build one story glass block and concrete dwelling house
8x8x3-13/16 (Diamond Match)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. Framing I umh .

Kind? hemlock Details of New Work

Dressed or Full Size? dressed Height average grade to top of plate 12'
Size, front 30' depth 25' No. stories 1 Height average grade to highest point of roof 18'
To be erected on solid or filled land? solid earth or rock? earth
Material of foundation stone in mortar Thickness, top 16" bottom 18" cellar yes
Material of underpinning concrete Height 3' Thickness 12"
Kind of Roof pitch Rise per foot 8" Roof covering Asphalt shingles Class C Ind. Lab.
No. of chimneys 1 Material of chimneys brick of lining tile
Kind of heat steam Type of fuel _____ Is gas fitting involved? yes
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders iron columns Size 12x12 Max. on centers 6'
Studs (outside walls and carrying partitions), 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. celling only - stairway - no dormer
Joists and rafters: 1st floor 4x12-5x12-6x12 2x8 3rd _____ roof 2x6
On centers: 1st floor 18" 2nd 16" 3rd _____ roof 16"
Maximum span: 1st floor 15' 2nd 15' 3rd _____ roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Stamp City Building

Signature of owner Nellie F. Libby
By Wm. H. Libby

5310D

Ward Permit No. 44/
 Location 30 Dalton St.
 Owner Nellie F. Silby
 Date of permit 10/1/44
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued

NOTES:
 10/1/44 - Went out to check location and found shovel working and excavation practically completed. Mr. Silby was there and I told him and shovel men that they were in wrong in excavating before permit has been issued. Location not staked out, but from location as indicated by Mr. Silby it appears to be O.K.
 I talked with Mr. Silby about typical building he proposes

and he said he intended to submit further plans and specifications. In brief, he proposes concrete piers with 4" glass block walls in between forming a wall of 1' each. He said he concrete piers were to be reinforced but on questioning said that they would be built up of blocks of shape as indicated on plan about 12" thick, each block reinforced with mesh wire. Roof is to be carried by timbers spanning from pier to pier. I told him it was decidedly unusual and seemed impractical to me. I did not tell him so, but I do not think that it complies with Building Code. I cautioned him not to do any more work until he had a permit logo

at each. He said that had not got permit from W.P.B. to go ahead. He thought he did not need it since he was using second hand lumber & glass block which are not critical material. I advised him to get in touch with them at once.

Permit No. 47/
Dalton St.
101 1/44.

Done of
City issued

NOTES
Went out to
excavation and
found that
excavation had
been completed
by way there and
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him to get it straight
with them at once.

7784

*Denial of each
of information
mm*

October 16, 1928.

Mr. W. H. Libby
38 Dalton Street
Portland, Maine.

Dear Sir:

Referring to your application for a building permit to move and make alterations to the shed now located at 38 Dalton Street to 34 Dalton Street and change the use of the same to that of a dwelling house.

Much additional information is required before such a permit can be given. This is wholly aside from the question of your having first moved this building and lived in it for a period of months without having first secured any permit whatsoever from this Department.

It will be necessary for you to furnish a complete framing plan of the building as it will be after the work is completed showing the necessary spacing, spans and sizes of all timbers involved in the building, and also showing the arrangement of the rooms in the first story and any partitions that are proposed on the second floor, if any. You should note that you have stated in your application that you propose 2x8 floor joists on a 16 foot span which is unlawful.

I should like also to know whether you propose to do the excavating and make the foundation before moving the building or afterward.

Your attention is called to the fact that the Building Ordinance of the City of Portland specifies in considerable detail the framing of wooden buildings, and it is important that you know all of these regulations before proceeding with any of the work especially with relation to the framing around window and door openings, etc.

Please furnish this information promptly.

Very truly yours,

Inspector of Buildings.



APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Third Class

Portland, Maine, October 9, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 54 Dalton Street Ward 9 Within Fire Limits? No Dist. No. _____
 Owner's or Lessee's name and address Hollie E. Libby 38 Dalton St. Telephone _____
 Contractor's name and address Owner Telephone _____
 Architect's name and address _____ Telephone _____
 Proposed use of building Dwelling house No. families 1
 Other buildings on same lot none

Description of Present Building to be Altered

Material Wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Last use Comp No. families _____

General Description of New Work

To move portion of one story building about 30' to adjoining lot, and rebuilding to make one story bungalow 24' x 33'
 To put in stone in wet mortar foundation with brick underpinning
 To build one brick chimney
 To install hot air heat
 To finish off inside for five rooms and bath

Details of New Work

Size, front 34' depth 59' No. stories 1 Height average grade to highest point of roof 20'
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation stone in wet mortar Thickness, top 16" bottom 10"
 Material of underpinning brick Height 8' Thickness 8"
 Kind of roof pitch Roof covering Asphalt shingles Class C Und. Lab.
 No. of chimneys one Material of chimneys brick of lining tile
 Kind of heat hot air Type of fuel coal Distance, heater to chimney 5'
 If oil burner, name and model _____
 Capacity and location of oil tanks _____
 Is gas fitting involved? yes Size of service _____
 Corner posts 4x6 Sills 4x6 Girt or ledger board? _____ Size _____
 Material columns under girders iron pipe Size 4" Max. on centers 8'
 Studs (outside walls and carrying partitions) 2x4-10" O.C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor 2x8 2nd 2x6 ceiling 3rd _____ roof 2x6
 On centers: 1st floor 16" 2nd 16" 3rd _____ roof 2'
 Maximum span: 1st floor 14-16' 2nd 16' 3rd _____ roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Plans filed as part of this application? yes No. sheets 1
 Estimated cost \$1000

I hereby certify that there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner Hollie E. Libby

Gas \$.25
 Fee \$ 1.00
 1.00
 1.25

REPRODUCTION COPY

Hollie E. Libby

7784

Ward 9 Permit No. 40

Location 34 Dalton St

Owner Nellie Kelly

Date of permit

Notif. closing-in

Susp. closing-in

Final Notif.

Final Insp.

Cert. of Occupancy issued

NOTES

DESCRIPTION OF WORK

DATE OF PERMIT

DATE OF CLOSING-IN

DATE OF SUSPENSION

DATE OF FINAL NOTIFICATION

DATE OF FINAL INSPECTION

DATE OF CERTIFICATE OF OCCUPANCY

DATE OF PERMIT EXPIRES

DATE OF PERMIT RENEWAL

DATE OF PERMIT CANCELLATION

DATE OF PERMIT REINSTATEMENT

DATE OF PERMIT TRANSFER

DATE OF PERMIT ASSIGNMENT

DATE OF PERMIT SURRENDER

DATE OF PERMIT REVOCATION

DATE OF PERMIT REPEAL

DATE OF PERMIT RESCINDMENT

DATE OF PERMIT ANNULLMENT

DATE OF PERMIT TERMINATION

DATE OF PERMIT EXPIRATION

DATE OF PERMIT CANCELLATION

DATE OF PERMIT REINSTATEMENT

DATE OF PERMIT TRANSFER

DATE OF PERMIT ASSIGNMENT

DESCRIPTION OF WORK: [Illegible text describing the work to be performed]

DATE OF PERMIT: [Illegible text]

DATE OF CLOSING-IN: [Illegible text]

NOTES: [Illegible notes and additional information]