

10-16 HAWTHORNE STREET



SHAM-WALKER

Full cut # 920R • Half cut # 9202R • Third cut # 9203R • Fifth cut # 9203R

PERMIT TO INSTALL PLUMBING

PERMIT NUMBER **3098**

Date Issued

Portland Plumbing Inspector  
By **ERNOLD R GOODWIN**

App. First Insp.

Date

By

App. Final Insp.

Date

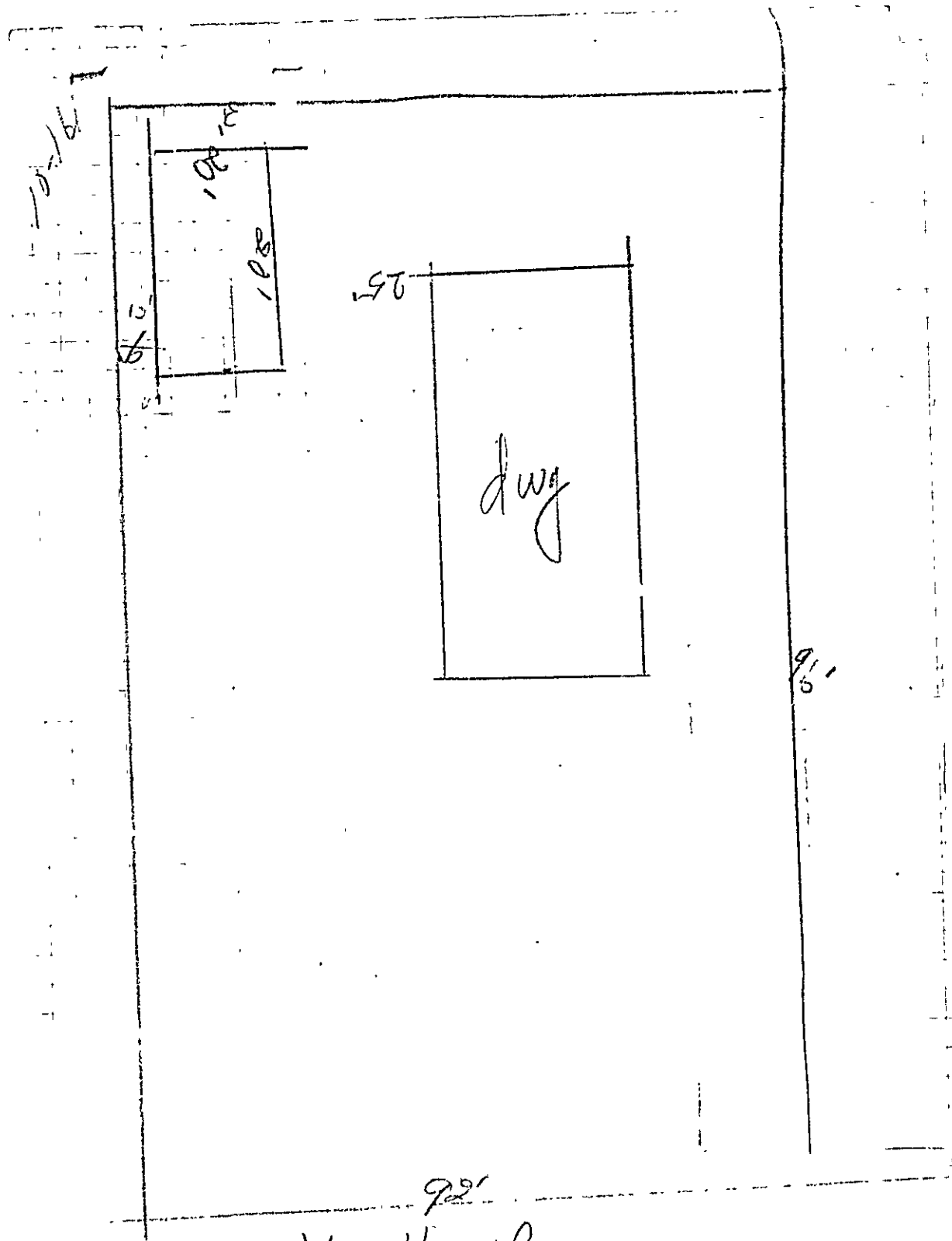
By

Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

Address		<b>16 Hawthorne St.</b>	
Installation For		<b>one fam.;</b>	
Owner of Bldg		<b>Eve Savorino</b>	
Owner's Address		<b>same</b>	
Plumber		<b>Northern U. S Temple St</b>	
		Date	<b>6-27-72</b>
NEW	REP		
		SINKS	
		LAVATORIES	
		TOILETS	
		BATH TUBS	
		SHOWERS	
		DRAINS FLOOR SURFACE	
	<b>1</b>	HOT WATER TANKS	<b>1 2.00</b>
		TANKLESS WATER HEATERS	
		C/PATE DISPOSALS	
		SEPTIC TANKS	
		HOUSE SEWERS	
		ROOF LEADERS	
		AUTOMATIC WASHERS	
		DISHWASHERS	
		OTHER	
TOTAL			<b>1 2.00</b>

Building and Inspection Services Dept. Plumbing Inspection



16 Hawthorne St

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

1.5 2 car garage

16 Hawthorne Street

Date 9/5/56

1. In whose name is the title of the property now recorded? Simon Jaciwicz
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? fence and iron stakes
3. Is the outline of the proposed work now staked out upon the ground? yes. If not, will you notify the Planning Office when the work is staked out and before any of the work is started? Tuesday
4. What is to be maximum projection or overhang of eaves or drip? 10"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches, and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

hus  
Simon + Jaciwicz  
mark



PERMIT ISSUED  
GENERAL RESIDENCE ZONE Permit No. 13311

# APPLICATION FOR PERMIT SEP 8 1936

Class of Building or Type of Structure \_\_\_\_\_  
Portland, Maine, Sept. 5, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 16 Hawthorne Street Ward 9 Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's or Lessee's name and address Simon Jachwicz, 16 Hawthorne St. Telephone \_\_\_\_\_  
 Contractor's name and address Ignatz Zarecky, Oxford St. Telephone \_\_\_\_\_  
 Architect's name and address \_\_\_\_\_  
 Proposed use of building 2 car garage No. families \_\_\_\_\_  
 Other buildings on same lot 1 family dwelling house  
 Plans filed as part of this application? yes No. of sheets 1  
 Estimated cost \$ 200. Fee \$ .75

### Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_

### General Description of New Work

To erect two car frame garage 20' x 20'  
Side walls to be clapboarded

VERIFICATION BEFORE LAUNCHING  
TO COMPLY WITH IS MANDATED  
REQUIREMENTS BY PERMITS IN THE NAME OF  
INSURANCE COMPANY

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

### Details of New Work

Size, front 20' depth 20' No. stories 1 Height average grade to top of plate 9'  
 Height average grade to highest point of roof 14'  
 To be erected on solid earth or rock? earth  
 Material of foundation concrete piers Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of Roof hip Rise per foot 6" Roof covering Asphalt roofing Class C Und. Lab.  
 No. of chimneys no Material of chimney \_\_\_\_\_ of lining \_\_\_\_\_  
 Kind of heat no Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
 Corner posts 4x8 Sills 4x8 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4 16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. 2x6 hips  
 Joists and rafters: 1st floor dirt, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x4  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2'  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot none, to be accommodated 2  
 Total number commercial cars to be accommodated none  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

### Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of owner Simon Jachwicz  
Inspector Clara T. Tubo

INSPECTION COPY: CITY OF PORTLAND

76/113





City of Portland, Maine

*Sustained 4/1/35*  
*35/8*

Appeal to the Municipal Officers to Change the Decision of the

Inspector of Buildings Relating to the Property Owned

by Simon Jackowicz at 13 Hawthorne Street

March 25, 1935

To the Municipal Officers:

Your appellant, Simon Jackowicz

who is the owner of property at 16 Hawthorne Street

respectfully petitions the Municipal Officers of the City of Portland to change the decision of the Inspector of Buildings relating to this property, as provided by Section 13, Paragraph c, of the Zoning Ordinance, on the ground that the enforcement of the ordinance in this case involves unnecessary hardship and because relief may be granted without substantially derogating from the intent and purpose of the Zoning Ordinance.

The decision of the Inspector of Buildings denies a permit to construct a one story addition about 8'x8' on the dwelling house on these premises on the ground that the proposed addition would be closer to the rear property line than is ordinarily permissible under the terms of the Zoning Ordinance in the General Residence Zone where the property is located.

*O.K.*

The reasons for the appeal are as follows: The appellant has recently bought this property and is desirous of making extensive renovation so that the property may be fit for occupancy and desires to build this addition for an enclosed side porch. The existing dwelling house is only about 15 feet from the rear property line and it is desired to line up the new porch with the rear wall of the dwelling which may be done without detriment to surrounding property.

3517

To the Municipal Officers:

The Committee on Zoning and Building Ordinance Appeals to whom was referred the appeal of Simon Jackewicz with relation to the construction of a small addition to the building at 16 Hawthorne Street, reports as follows:

It is the belief of this Committee that failure to grant this permit involves unnecessary hardship and that desirable relief may be granted without substantially derogating from the intent and purpose of the Zoning Ordinance.

It is recommended that the appeal be sustained and the permit be granted subject to full compliance with the terms of the Building Code.

COMMITTEE ON ZONING AND BUILDING  
ORDINANCE APPEALS

\_\_\_\_\_  
Chairman  
\_\_\_\_\_  
\_\_\_\_\_



3518

March 26, 1935

To Whom It May Concern:

The Committee on Zoning and Building Ordinance Appeals of the Board of Municipal Officers will hold a public hearing at Room 35, City Hall on Friday, March 23, 1935 at 11:00 in the forenoon, upon the appeal of Simon Jackewicz with relation to the construction of a small one story addition about 8 feet by 8 feet at the rear of his dwelling house at 16 Hawthorne Street.

A permit to cover this construction work could not be issued because the addition is proposed about 15 feet from the rear property line in a case where the precise terms of the Zoning Ordinance in a General Residence Zone require at least 20 feet from the rear line to the new construction.

All persons interested either for or against this appeal will be heard at the above time and place.

COMMITTEE ON ZONING AND BUILDING  
ORDINANCE APPEALS

Philip J. Deering, Chairman

35/8

March 28, 1955

Mr. Simon Jackewicz,  
18 Hawthorne Street,  
Portland, Maine.

Dear Sir:-

The Committee on Zoning and Building Ordinance Appeals will hold a public hearing at Room 28, City Hall on Friday, March 29, 1955 at 11:00 o'clock in the forenoon upon your appeal with relation to the construction of a small one story addition about 8'x8' at the rear of your dwelling at 18 Hawthorne Street.

You are expected to be present or to be represented at this hearing in support of your appeal.

COMMITTEE ON ZONING AND BUILDING  
ORDINANCE APPEALS

Philip J. Dearing, Chairman

CC  
Joseph Page  
12 Briggs Street

March 22, 1955

File Receipt 3923B-I

Mr. Simon Jackewicz,  
16 Hawthorne Street,  
Portland, Maine.

Dear Sir:-

With reference to your application made by your contractor, John Page, for a building permit to cover alterations in your building at 16 Hawthorne Street, I find that I am unable to give a permit which includes the one story addition 8'x8' on the side of the dwelling house because this addition would be only about sixteen feet from the rear property line in a General Residence Zone where new work is not permissible closer than twenty feet to the rear property line.

Under these circumstances you have appeal rights which may be taken advantage of by coming to this office and filling out the appeal paper. This appeal is filed with the Board of Municipal Officers which has authority to grant you a special right to build this addition closer to the rear line than is ordinarily permissible under the Zoning Law if the Board believes it for the best interests for all concerned to do so. If you decide to file such an appeal, please come to the Inspector's office at sometime during the office hours named above. If you can come and file the appeal before Tuesday, March 29, probably a decision may be reached by April 1, 1955. Otherwise there will be a wait of at least two weeks.

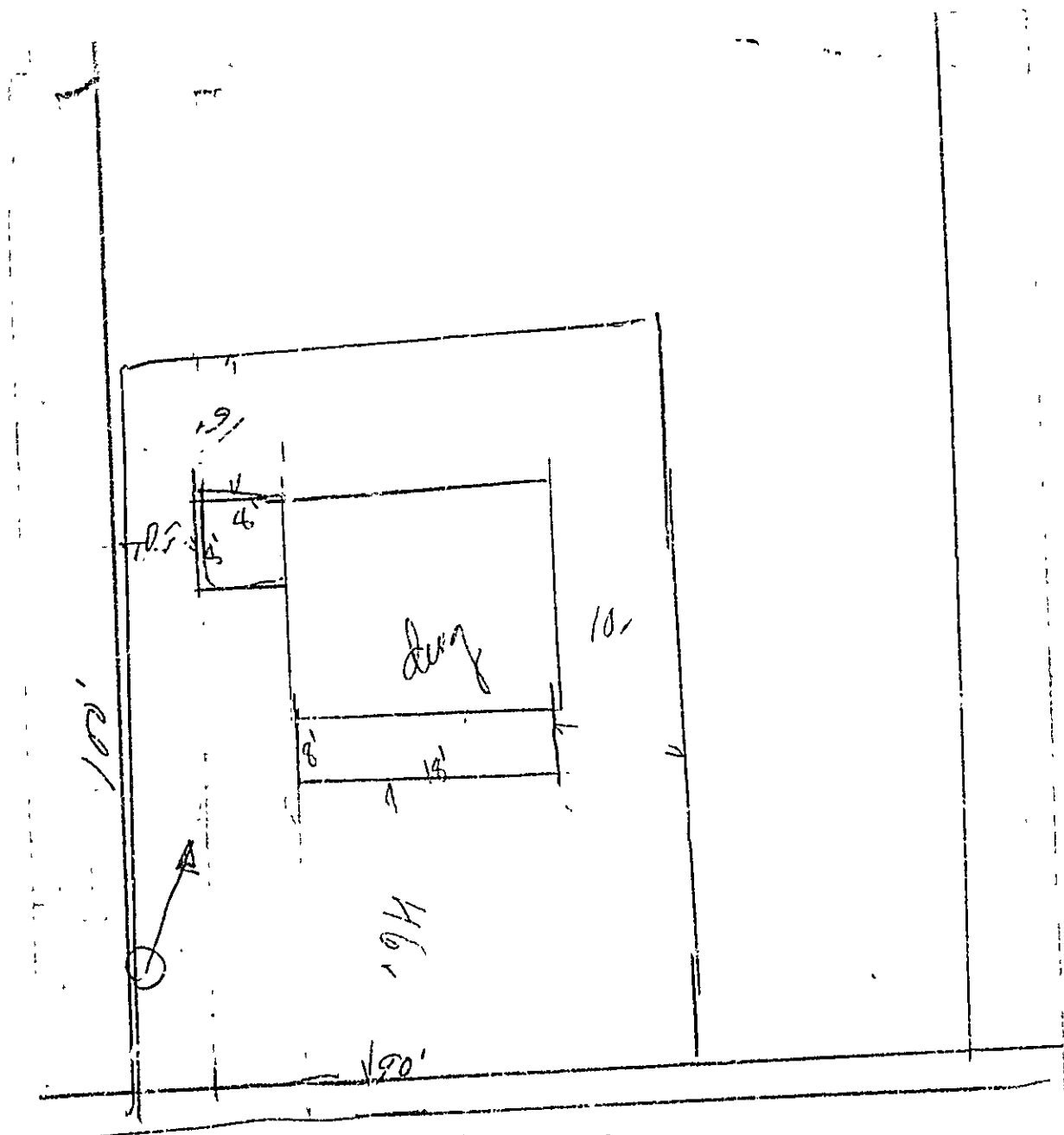
In the meantime if you desire a preliminary permit to do the work contemplated exclusive of the addition, such a preliminary permit may be issued at your request.

Very truly yours,

Inspector of Buildings.

McD/H

*Copy for John Page*



16 Hawthorne St

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for alterations to dwelling house

at 16 Hawthorne Street

Date 3/16/35

1. In whose name is the title of the property now recorded? Simon Jackiewicz
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Yes, by stakes
3. Is the outline of the proposed work now staked out upon the ground? Yes. If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? \_\_\_\_\_
4. What is to be maximum projection or overhang of eaves or drip? 6 to 8"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches, and other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes

Joseph Page



APPLICATION FOR PERMIT

Permit No. 6383 APR 2 1935

Class of Building or Type of Structure Third Class

Portland, Maine, March 16, 1935 Completed 3/21/35

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 16 Hawthorne St. Ward 9 Within Fire Limits? no Dist. No. Owner's or Lessee's name and address Simon Jackowicz, 16 Hawthorne St. Telephone no Contractor's name and address Owner John Page, 12 Briggs St. Telephone 2-1743 Architect's name and address Proposed use of building dwelling house No. families 1 Other buildings on same lot Plans filed as part of this application? yes No. of sheets 1 Estimated cost \$ 200.00 Fee \$ .75

Description of Present Building to be Altered

Material wood No. stories 1 1/2 Heat Style of roof Roofing Last use dwelling house No. families 1

General Description of New Work

To erect one story addition 8' x 8' To erect one story gabled in porch on front of dwelling To finish inside with plaster board in place of existing sheathing To cut in two new windows To provide new basement stairway under existing stairway, first to second floor, Preliminary permit given 3/25/35 to include all work in the application except one story addition To set 12" section of main wall of building back about 2' into existing addition to enlarge main building

It is understood that this permit does not include the following: support of existing main building with 4x4 posts at ends of the heating contractor.

Appeal sustained and Permit Granted Details of New Work Order of Board of Municipal Officers 4/1/35

Height average grade to top of plate Size, front depth No. stories Height average grade to highest point of roof To be erected on solid or filled land? earth or rock? Material of foundation concrete piers Thickness, top bottom Material of underpinning Height Thickness Kind of Roof flat Rise per foot Roof covering Asphalt roofing Class G Und. Lab. No. of chimneys no Material of chimneys of lining Kind of heat Type of fuel Is gas fitting involved? Corner posts 4x4 Sills 6x8 Girt or ledger board? Size Material columns under girders Size Max. on centers Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. Joists and rafters: 1st floor 2x8, 2nd, 3rd, roof 2x8 On centers: 1st floor 16", 2nd, 3rd, roof 16" Maximum span: 1st floor 8', 2nd, 3rd, roof 8' If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated Total number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Simon Jackowicz

Signature of owner by Joseph Page

INSPECTION COPY

3959 B

Ward 9 Permit No. 35/383  
 Location 16 Hawthorne St  
 Owner Simon Jackewicz  
 Date of permit 4/20/35  
 Not in  
 Inspn closing-in  
 Final Notif.  
 Final Inspn. 5/23/35  
 Cert. of Occupancy issued none

NOTES

3rd floor probably 24-28  
 4-27-D-11  
 No. 20 176" from 1st floor  
 4/15/35 - Work started  
 A.G.S.  
 4/22/35 - Work progress  
 same A.G.S.  
 5/1/35 - Same. No work  
 started on sun porch  
 A.G.S.  
 5/8/35 - Floor and  
 walls of sun porch  
 framed A.G.S.  
 5/13/35 - Framing of  
 sun porch completed  
 A.G.S.  
 5/24/35 - Work almost  
 completed A.G.S.



Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

## APPLICATION FOR PERMIT TO BUILD

(3D CLASS BUILDING)

Portland, Me., March 8, 1921 19

To THE  
INSPECTOR OF BUILDINGS

The undersigned hereby applies for a permit to build, according to the following Specifications:—

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand.

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK.

Location 16 Hawthorne Wd. 9  
 Name of owner is? George O Bonney Address 16 Hawthorne  
 Name of mechanic is? owner  
 Name of architect is? \_\_\_\_\_  
 Proposed occupancy of building (purpose)? ten house  
 If a dwelling or tenement house, for how many families? \_\_\_\_\_  
 Are there to be stores in lower story? \_\_\_\_\_ No. \_\_\_\_\_  
 Size of lot, No. of feet front? \_\_\_\_\_; No. of feet rear? \_\_\_\_\_; No. of feet deep? \_\_\_\_\_  
 Size of building, No. of feet front? 9ft; No. of feet rear? 9ft; No. of feet deep? 27ft  
 No. of stories, front? 1; rear? \_\_\_\_\_  
 No. of feet in height from the mean grade of street to the highest part of the roof? 7ft  
 Distance from lot lines, front? \_\_\_\_\_ feet, side? \_\_\_\_\_ feet; side? \_\_\_\_\_ feet; rear? \_\_\_\_\_ feet  
 Firestop to be used? \_\_\_\_\_  
 Will the building be erected on solid or filled land? \_\_\_\_\_  
 Will the foundation be laid on earth, rock or piles? \_\_\_\_\_  
 If on piles, No. of rows? \_\_\_\_\_ distance on centres? \_\_\_\_\_ length of? \_\_\_\_\_  
 Diameter, top of? \_\_\_\_\_ diameter, bottom of? \_\_\_\_\_  
 Size of posts? \_\_\_\_\_  
 " girts? \_\_\_\_\_  
 " floor timbers? 1st floor wooden, 2d \_\_\_\_\_, 3d \_\_\_\_\_, 4th \_\_\_\_\_  
 O. C. " " " " \_\_\_\_\_  
 Span " " " " \_\_\_\_\_  
 Braces, how put in? \_\_\_\_\_  
 Building, how framed? \_\_\_\_\_  
 Material of foundation? \_\_\_\_\_ thickness of? \_\_\_\_\_ laid with mortar? \_\_\_\_\_  
 Underpinning, material of? \_\_\_\_\_ height of? \_\_\_\_\_ thickness of? \_\_\_\_\_  
 Will the roof be flat, pitch, mansard, or hip? pitch Material of roofing? asphalt  
 Will the building be heated by steam, furnaces, stoves or grates? \_\_\_\_\_ Will the flues be lined? \_\_\_\_\_  
 Will the building conform to the requirements of the law? yes  
 No. of brick walls? \_\_\_\_\_ and where placed? \_\_\_\_\_  
 Means of egress? \_\_\_\_\_

If the building is to be occupied as a Tenement House, give the following particulars:

What is the height of cellar or basement? \_\_\_\_\_  
 What will be the clear height of first story? \_\_\_\_\_ second? \_\_\_\_\_ third? \_\_\_\_\_  
 State what means of egress is to be provided? \_\_\_\_\_  
 \_\_\_\_\_ Scuttle and stepladder to roof? \_\_\_\_\_

Estimated Cost,

\$ 100.

Signature of owner or authorized representative, \_\_\_\_\_

Address, 16 Hawthorne St

Plans submitted? \_\_\_\_\_ Received by? Mrs M. Bonney



No. \_\_\_\_\_ 191  
5945

**APPLICATION FOR  
PERMIT TO BUILD 3d CLASS BUILDING**

LOCATION  
No. 10-16 Hawthorne

Ward 9

*Inspector.*

**CONDITIONS**

PERMIT GRANTED

March 8, 1921 191

Permit filled out by \_\_\_\_\_

Permit number \_\_\_\_\_

Plan number \_\_\_\_\_

**FINAL REPORT**

\_\_\_\_\_ 191  
Has the work been completed in accordance with  
this application and plans filed and approved?

Law been violated? \_\_\_\_\_

Nature of violation? \_\_\_\_\_

Violation removed when? \_\_\_\_\_ 191

Estimated cost of building, etc., \$ \_\_\_\_\_

*Building Inspector.*

**APPROVAL OF PLANS**

*Supervisor of Plans*



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date: June 29, 1988  
 Receipt and Permit number: 259200

To the **CHIEF ELECTRICAL INSPECTOR**, Portland, Maine:  
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of  
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:  
**LOCATION OF WORK:** 16 Hawthorne St., Portland  
**OWNER'S NAME:** Joey Methot **ADDRESS:** same **FEES**

<b>OUTLETS:</b>	Receptacles _____	Switches _____	Plugmold _____	ft. TOTAL _____	
<b>FIXTURES: (number of)</b>	Incandescent _____	Flourescent _____	(not strip) TOTAL _____		
	Strip Flourescent _____	ft. _____			
<b>SERVICES:</b>	Overhead <u>X</u>	Underground _____	Temporary _____	TOTAL amperes <u>100</u>	<u>3.</u>
<b>METERS: (number of)</b>					
<b>MOTORS: (number of)</b>					
	Fractional _____				
	1 HP or over _____				
<b>RESIDENTIAL HEATING:</b>					
	Oil or Gas (number of units) _____				
	Electric (number of rooms) _____				
<b>COMMERCIAL OR INDUSTRIAL HEATING:</b>					
	Oil or Gas (by a main boiler) _____				
	Oil or Gas (by separate units) _____				
	Electric Under 20 fws _____	Over 20 fws _____			
<b>APPLIANCES: (number of)</b>	Ranges _____	Water Heaters _____			
	Cook Tops _____	Disposals _____			
	Wall Ovens _____	Dishwashers _____			
	Dryers _____	Com. factors _____			
	Fans _____	Others (denote) _____			
	TOTAL _____				
<b>MISCELLANEOUS: (number of)</b>					
	Branch Panels _____				
	Transformers _____				
	Air Conditioners Central Unit _____				
	Separate Units (wind-ns) _____				
	Signs 20 sq. ft. and under _____				
	Over 20 sq. ft. _____				
	Swimming Pools Above Ground _____				
	In Ground _____				
	Fire/Burglar Alarms Residential _____				
	Commercial _____				
	Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____				
	over 30 amps _____				
	Circus, Fairs, etc. _____				
	Alterations to wires _____				
	Repairs after fire _____				
	Emergency Lights, battery _____				
	Emergency Generat. _____				
	FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT _____	INSTALLATION FEE DUE: _____			
	FOR REMOVAL OF A "STOP ORDER" (304-16.5) _____	DOUBLE FEE DUE: _____			
		TOTAL AMOUNT DUE: _____			<u>5.00</u>

**INSPECTION:**  
 Will be ready on June 29, 1988; or Will Call \_\_\_\_\_  
**CONTRACTOR'S NAME:** Michael Menario  
**ADDRESS:** PO BOX 1263, Portland  
**TEL:** 772-0212  
**MASTER LICENSE NO.:** 0039 4483  
**LIMITED LICENSE NO.:** \_\_\_\_\_

**SIGNATURE OF CONTRACTOR:**  
  
 INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN