

1050-1062 OCEAN WHITE

SHAWNEE STATE

Full cut #920R - Half cut #9202R - Third cut #9203R - Fifth cut #9205R

PERMIT TO INSTALL PLUMBING

Address 1060 Ocean Ave. PERMIT NUMBER 1521

Date Issued 5-4-78
 Portland Plumbing Inspector
 By ERNOLD R GOODWIN

App. First Insp.

Date

By

App. Final Insp.

Date

By

Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

10	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	810	811	812	813	814	815	816	817	818	819	820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843	844	845	846	847	848	849	850	851	852	853	854	855	856	857	858	859	860	861	862	863	864	865	866	867	868	869	870	871	872	873	874	875	876	877	878	879	880	881	882	883	884	885	886	887	888	889	890	891	892	893	894	895	896	897	898	899	900	901	902	903	904	905	906	907	908	909	910	911	912	913	914	915	916	917	918	919	920	921	922	923	924	925	926	927	928	929	930	931	932	933	934	935	936	937	938	939	940	941	942	943	944	945	946	947	948	949	950	951	952	953	954	955	956	957	958	959	960</td

CERTIFICATE OF APPROVALFOR WASTEWATER DISPOSAL FOR THE TOWN/CITY OF Portland

Town/City Code 05170	LPI Number 00123	Date Issued 1/12/80 Month Day Year	E C Certificate of App. Number
Installer's Name LITROSCAPES A	F.I. M.I.		Installer <input checked="" type="checkbox"/> Code
Last Name Litroscapes, A			1. Owner 2. Builder 3. Installer 4. Developer 5. Realtor 6. Other
Owner 1050 Ocean Ave			
Address Maine			
Location where system was installed and inspected.			
THE SUBSURFACE WASTEWATER DISPOSAL SYSTEM OR COMPONENT(S) INSTALLED PURSUANT TO THE ABOVE CERTIFICATE OF APPROVAL NUMBER HAS BEEN PERSONALLY EXAMINED AND HAS BEEN PROPERLY INSTALLED IN COMPLIANCE WITH THE MUNICIPAL AND STATE SUBSURFACE WASTEWATER DISPOSAL RULES AND THE HHE-200 FORM PERFORMED BY			
(Site Evaluator Number) 3		ON 10/29/80 Month, Day, Year	Signature of LPI _____
Date Inspected			
OWNER'S COPY			
HHE-210 RV 7/80			

CERTIFICATE OF APPROVALFOR WASTEWATER DISPOSAL FOR THE TOWN/CITY OF Portland

Town/City Code 05170	LPI Number 00123	Date Issued 1/12/80 Month Day Year	E C Certificate of App. Number
Installer's Name LITROSCAPES A	F.I. M.I.		Installer <input checked="" type="checkbox"/> Code
Last Name Litroscapes, A			1. Owner 2. Builder 3. Installer 4. Developer 5. Realtor 6. Other
Owner 1050 Ocean Ave			
Address Maine			
Location where system was installed and inspected.			
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(Site Evaluator Number) 3		ON 10/29/80 Month, Day, Year	Signature of LPI _____
Date Inspected			
TOWN'S COPY			

Division of Health Engineering
Station No. 10
State House
Augusta, Maine 04333

APPLICATION FOR SUBSURFACE WASTEWATER DISPOSAL PERMIT
This Is NOT A Permit; This Form When Completed Must Be
Presented To The Local Plumbing Inspector To Obtain A Permit

HHE-200

Page 1 of 2

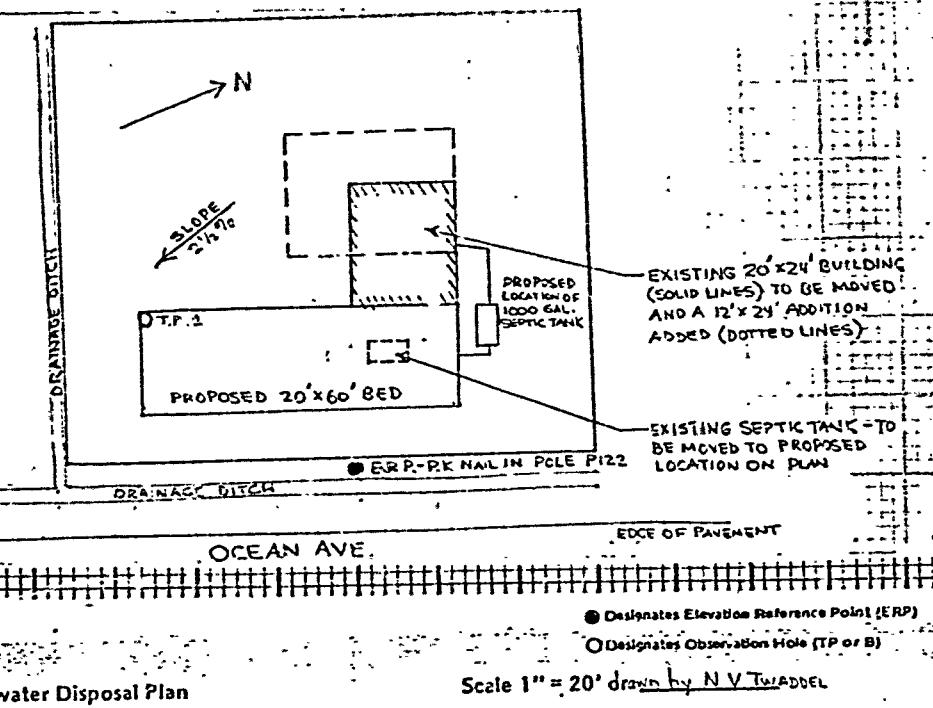
This Application is For:		<input type="checkbox"/> New System	<input type="checkbox"/> Replacement Of Entire System	<input type="checkbox"/> Expanded System	Variance	<input type="checkbox"/> None Required	<input type="checkbox"/> <input checked="" type="checkbox"/> Replacement System Variance With LPI Approval	<input type="checkbox"/> <input checked="" type="checkbox"/> Dept. Review
PROPERTY LOCATION		Portland, Maine, Plantation		1050 Ocean Ave, Street, Road		Tax Map 415, Block A, Subdivision 1, Lot No. 7		
PROPERTY OWNER OR APPLICANT		Pasquale Lapormarda Jr.		Number of Bedrooms 3, Design Flow 360 GPD				
Mailing Address		59 Bay Street Street		Design Flow based on <input type="checkbox"/> Minimum <input checked="" type="checkbox"/> Moderate <input type="checkbox"/> Conservative				
Portland, Maine, State		04103 Zip Code		<input type="checkbox"/> Reduction in Design Flow due to Water Conservation				
LOCATION PLAN OF PROPERTY		OCEAN AVE		SITE		If so, specify type(s)		
PRESWICK ST		CITY BLOCK		CITY BLOCK				
Roads, Landmarks, Distances								
SOIL PROFILE DESCRIPTION Location of Observation Holes shown on page 2								
TEXTURAL DESCRIPTION OF EACH SOIL STRATA ENCOUNTERED	Observation Hole No 1	Observation Hole No 2		Observation Hole No 3		Observation Hole No 4		
	<input type="checkbox"/> Test Pit <input checked="" type="checkbox"/> Boring	<input type="checkbox"/> Test Pit <input checked="" type="checkbox"/> Boring		<input type="checkbox"/> Test Pit <input checked="" type="checkbox"/> Boring		<input type="checkbox"/> Test Pit <input checked="" type="checkbox"/> Boring		
	Organic Strata or (Existing Fill) BOD Thickness 4 "	Organic Strata or (Existing Fill) Thickness		Organic Strata or (Existing Fill) Thickness		Organic Strata or (Existing Fill) Thickness		
	1st Original Dk. Brown Sandy Loam Depth from 0 " to 9 " Thickness 9 "	1st Original Mineral Soil Strata Depth from 0 " to Thickness		1st Original Mineral Soil Strata Depth from 0 " to 30 " Thickness		1st Original Mineral Soil Strata Depth from 0 " to Thickness		
	2nd Brown Clayey Loam Depth from 9 " to 14 " Thickness 5 "	2nd Depth from " to " Thickness		2nd Depth from " to " Thickness		2nd Depth from " to " Thickness		
	3rd Lt. Gray Brown Clayey Sand Depth from 14 " to 19 " Thickness 5 "	3rd Depth from " to " Thickness		3rd Depth from " to " Thickness		3rd Depth from " to " Thickness		
	4th Gray Clay w/ Red Mottles Depth from 19 " to 40 " Thickness 21 "	4th Depth from " to " Thickness		4th Depth from " to " Thickness		4th Depth from " to " Thickness		
	Total Depth of Observation Hole 40 "	Total Depth of Observation Hole		Total Depth of Observation Hole		Total Depth of Observation Hole		
	Depth from top of ORIGINAL MINERAL SOIL	Maximum Seasonal High Ground <input type="checkbox"/> None evident Water Table Depth 15 "		Maximum Seasonal High Ground <input type="checkbox"/> None evident Water Table Depth		Maximum Seasonal High Ground <input type="checkbox"/> None evident Water Table Depth		
		<input type="checkbox"/> Depth to Restrictive Layer <input type="checkbox"/> None evident		<input type="checkbox"/> Depth to Restrictive Layer <input type="checkbox"/> None evident		<input type="checkbox"/> Depth to Restrictive Layer <input type="checkbox"/> None evident		
	Depth to Bedrock <input type="checkbox"/> None evident		Depth to Bedrock <input type="checkbox"/> None evident		Depth to Bedrock <input type="checkbox"/> None evident			
PROFILE	CONDITION	SLOPE	PROFILE	CONDITION	SLOPE	PROFILE	CONDITION	SLOPE
3	C	2.5 %						
DISPOSAL SYSTEM PROPOSED Location of system and Details on Proposed Plan on page 2								
TYPE OF SYSTEM	TREATMENT TANK	SUBSURFACE DISPOSAL AREA TYPE		SYSTEM SIZE RATING				
		<input checked="" type="checkbox"/> Septic Tank Existing	<input type="checkbox"/> Trench Disposal Area	<input type="checkbox"/> Small	<input type="checkbox"/> Medium	<input checked="" type="checkbox"/> Medium Large	<input type="checkbox"/> Large	<input type="checkbox"/> Extra Large
		<input type="checkbox"/> Aerobic Tank	Total linear feet of trench					
		Size 1000 Gals.	Number of trench lines					
			Length of each trench line					
		DOSAGE	Depth of Stone					
		<input type="checkbox"/> Pumping is not required	Reduction on trench length due to stone depth %					
		<input type="checkbox"/> Pumping is required						
		The dose should be _____ Gals.	Total bed area 1200 sq. ft.					
		Dosage chamber capacity shall be _____ gals.	Number of beds 1					
<input type="checkbox"/> System should be vented	Width 20 ft. Length 60 ft.							
DISPOSAL AREA ELEVATION								
Depth of Upslope Fill required 3 inches								
Depth of Downslope Fill required 21 inches								
Reference Elevation Point established at 50.00 Elevation								
Disposal Area Bottom to be established at 48.50 Elevation								
Top of Distribution Lines or Top of Chamber 49.08 Elevation								
<input type="checkbox"/> Yes <input type="checkbox"/> No: The proposed subsurface disposal area will be located at least 100 feet from any and all wells, springs, surface water bodies and courses (lake, pond, ocean, brook, stream, river), swamps, marshes, and bogs.								
13' to Roadside Drainage Ditch (Mile)								
<input type="checkbox"/> Yes <input type="checkbox"/> No: The proposed subsurface disposal area will be located at least 300 feet from any and all wells and springs producing 2000 gallons or more of water per day and any public water supplies.								
FOR USE BY SITE EVALUATOR								
On 10-11-80 (date), a site investigation for this project was completed. I conducted this soil evaluation and certify that the results described above best represent the soil conditions found. I recommend the above type and size of subsurface wastewater disposal system. I also recommend the proposed disposal system layout and location shown on page 2.								
Signature of Site Evaluator: <u>William B. Gorham</u> Site Evaluator License Number: 00003								
Date signed: OCT 29 1980								
Signature of Owner/Applicant: <u>Joseph J. Gorham</u> Date signed: <u>10-11-80</u>								
FOR USE BY LPI: <input type="checkbox"/> This Application is approved. If conditions, specify: _____								
<input type="checkbox"/> This Application is Denied due to: <input type="checkbox"/> System is not in accordance with rules. <input type="checkbox"/> Application is incomplete. <input type="checkbox"/> Application is unclear. <input type="checkbox"/> Development is in violation of other regulations. Specify: _____								
Signature of LPI: <u>Joseph J. Gorham</u> PERMIT NO. 37155								
Date: <u>10-11-80</u> Date Issued: <u>10-11-80</u>								
HHE-200 RV								

APPLICATION FOR SUBSURFACE WASTEWATER DISPOSAL PERMIT

PROPERTY LOCATION Portland	1050 Ocean Ave.	Tax Map 415 Block A Lot 7
PROPERTY OWNER or APPLICANT Pasquale Lapomarda Jr.	DISPOSAL AREA ELEVATION Depth of Upcast Fill required Depth of Downcast Fill required	Subdivision Name Reference Elevation Points established at Depth Area Bottom to be established at Top of Distribution Lines or Top of Chamber
	21 inches	50.61 Elevation 48.50 Elevation 49.52 Elevation

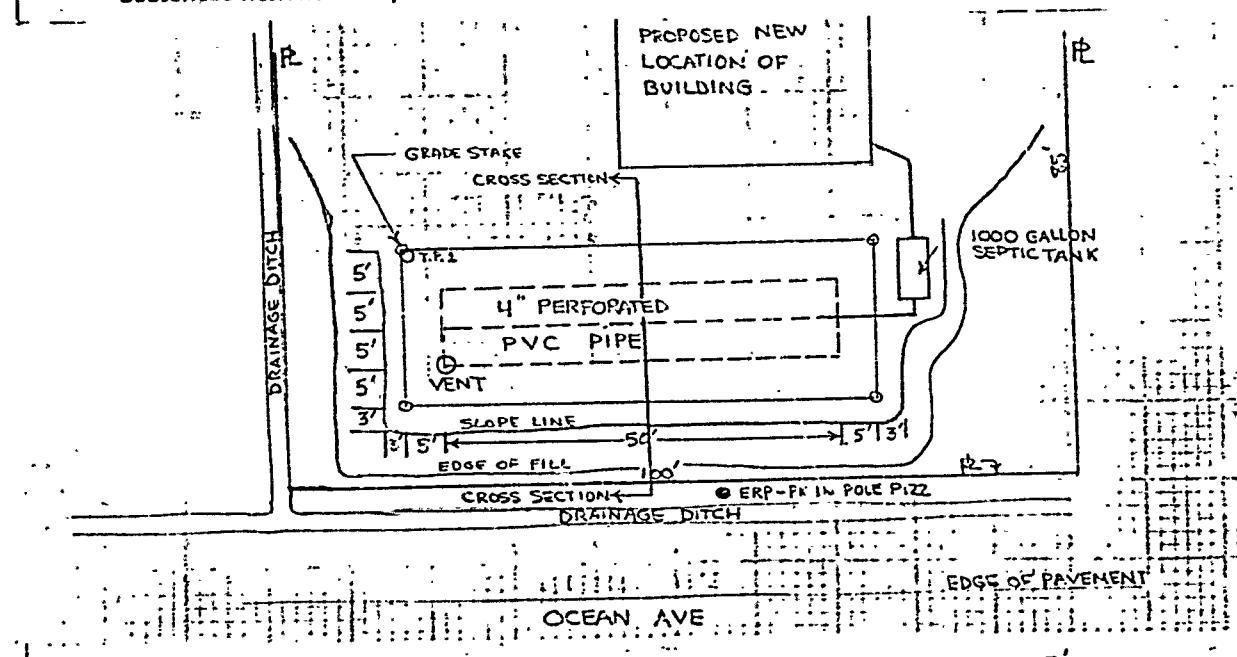
Site Plan

Scale 1" = 30 ft.



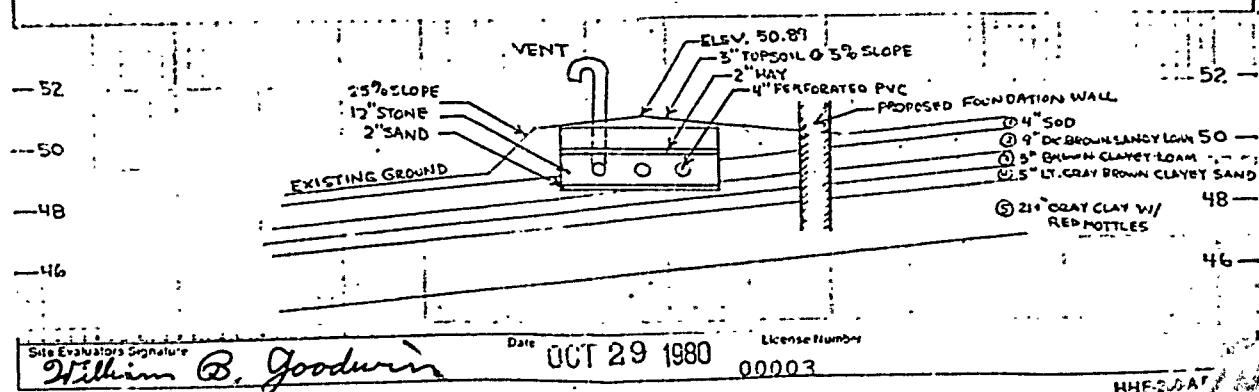
Subsurface Wastewater Disposal Plan

Scale 1" = 20' drawn by N V Twaddel



Subsurface Wastewater Disposal Area Cross-section

Scale: Vertical: 1" = 5'
Horizontal: 1" = 20'



Site Evaluators Signature
William B. Goodwin

Date
OCT 29 1980

License Number
00003

HHE-254

Replacement System Variance Request

THE LIMITATIONS OF THE REPLACEMENT SYSTEM VARIANCE REQUEST

This form shall be attached to an Application for the proposed replacement system which is in noncompliance with the Rules. The LPI shall review the Replacement System Variance Request and Application and may approve the Request if all of the following requirements with LPI approval limitations can be met.

1. The replacement system is correcting a malfunction or an unlicensed wastewater discharge system.
2. A replacement system cannot be designed and installed in total compliance with the Rules.
3. The design flow is less than 500 GPD.
4. There will be no change in use of the structure.
5. The replacement system does not conflict with Seasonal Conversion Permit (30 MRSA § 3223) or with Mandatory Shoreland Zoning (12 MRSA § 4811).
6. The replacement system is determined by the Site Evaluator and LPI to be the most practical method to treat and dispose of the wastewater.

GENERAL INFORMATION

Town of Portland, Maine

Town Code 05170

Permit No. 37955E

Date Permit Issued 11/25/80
month/day/yr.

Property Owner's Name: Pasquale Lapomarda Jr. Tel. No. 773-5949

System's Location: 1050 Ocean Avenue
Street

Portland, Town MAINE 04103
Zip

Property Owner's Address:
(if different from above) 59 Bay Street
Street

Portland, Town Maine 04103
State Zip

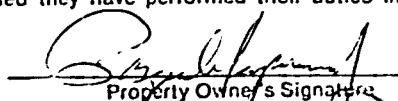
Specific Instructions to the:

LPI: If any of the variances exceed your approval authority and/or do not meet all of the requirements listed under the Limitations Section above, then you are to send this Replacement System Variance Request, along with the Application, to the Department for review and approval consideration before issuing a Permit. (See reverse side for Comments Section and your signature)

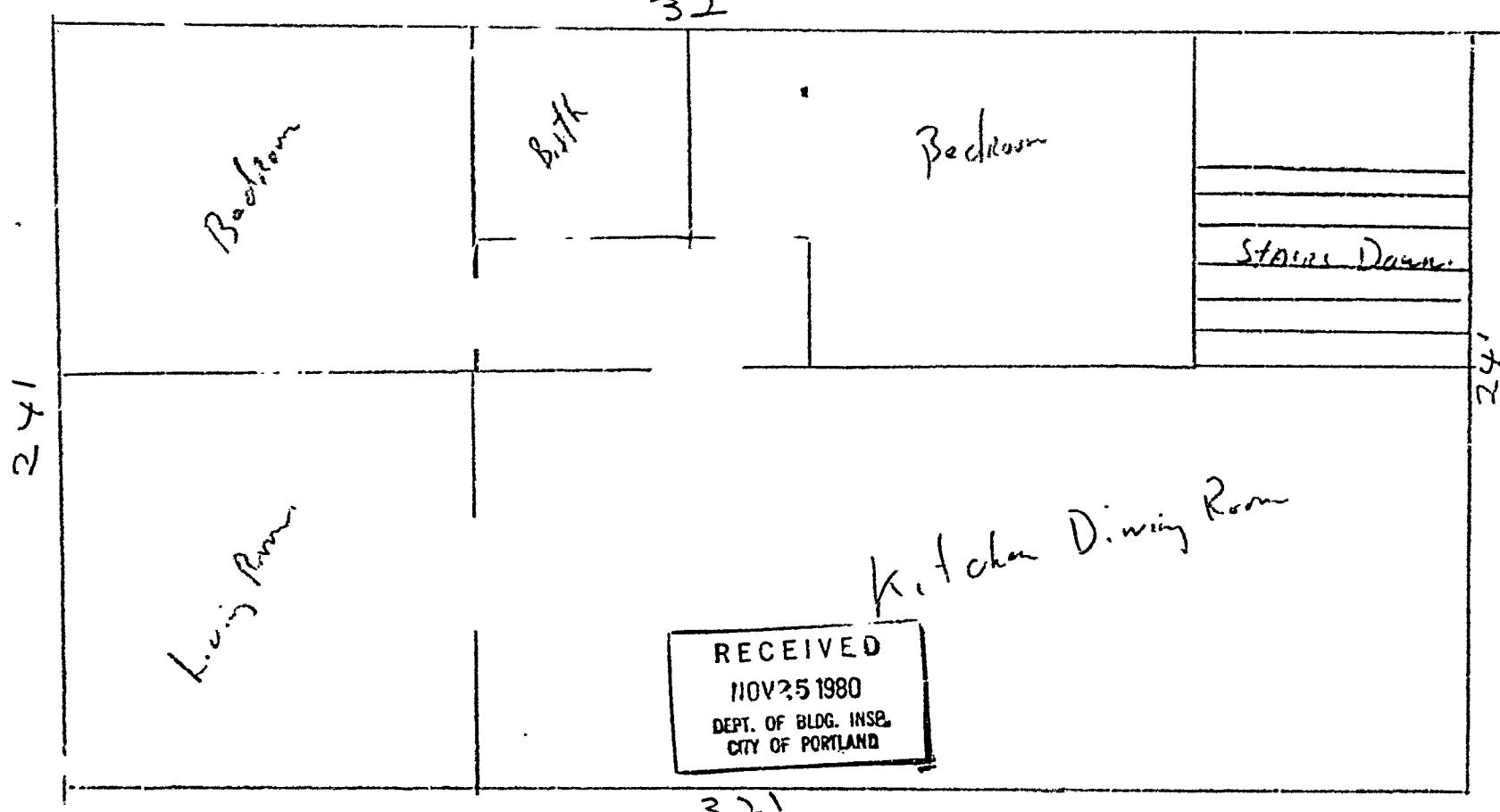
Site Evaluator: If after completing the Application, you find that a variance for the proposed replacement system is needed, then complete the Replacement Variance Request with your signature on reverse side of form.

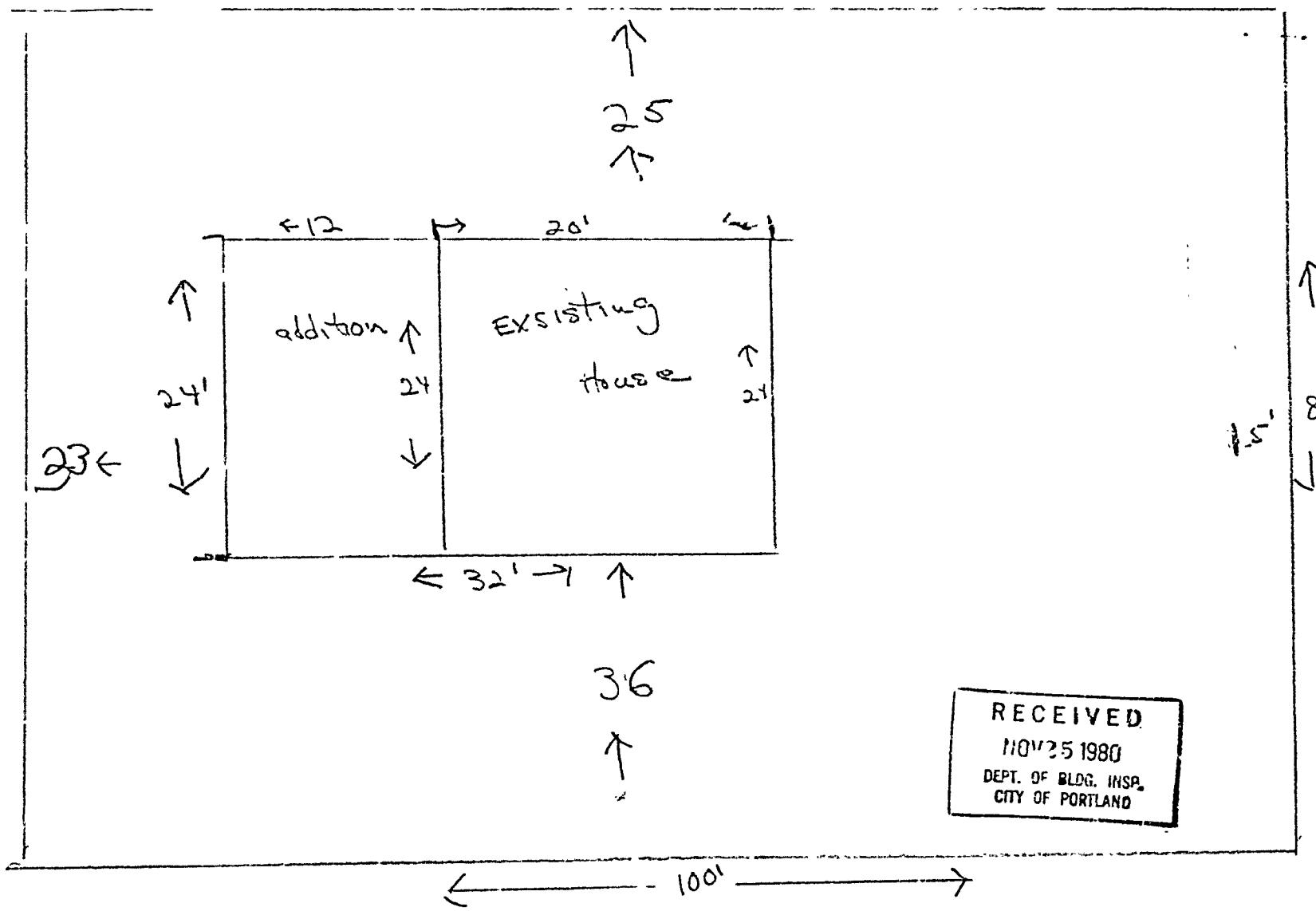
Property Owner: It has been determined by the Site Evaluator that a variance to the Rules is required for the proposed replacement system. This variance request is due to physical limitations of the site and/or soil conditions. Both the Site Evaluator and the LPI have considered the site/soil restrictions and have concluded that a replacement system in total compliance with the Rules is not possible.

The Owner shall sign this statement. Therefore, having read both this Replacement Variance Request and the attached Application, I understand that the proposed system is not in total compliance with the Rules and hereby release all those concerned with this Variance, provided they have performed their duties in a reasonable and proper manner.


Property Owner's Signature

11/25/80
Date







APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION
ZONING LOCATION PORTLAND, MAINE, Nov. 25, 1980

NOV 20 1980

1002

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 1050 Ocean Ave.
 1. Owner's name and address Pasquale Lapomarda Fire District #1 #2
 2. Lessee's name and address Angelo W Litrocapes 3 Lennox St Telephone 774-8486.
 3. Contractor's name and address owners
 4. Architect
 Proposed use of building dwelling Specifications Plans No. of sheets
 Last use
 Material No. stories Heat Style of roof No. families
 Other buildings on same lot Roofing
 Estimated contractual cost \$ 12,000 Fee \$ 55.

FIELD INSPECTOR—Mr.

This application is for: @ 775-5451 GENERAL DESCRIPTION
Dwelling Ext. 234 To move existing dwelling onto foundation
Garage
Masonry Bldg.
Wood Bldg.
Alterations
Demolitions
Type of Use
Other
Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 2 3 4
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid e. filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

BUILDING INSPECTION—PLAN EXAMINER

MISCELLANEOUS

Will work require disturbing of any tree on a public street? .. no

ZONING:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

Signature of Applicant

Type Name of above Lapomarda & Litrocapes

Phone #

1 2 3 4

Other

and Address

FIELD INSPECTOR'S COPY

NOTES

Dec 2, 1980

Nothing started - no foundation
or building etc
No foundation plan?

T.H. 26, 1981 Nothing started.

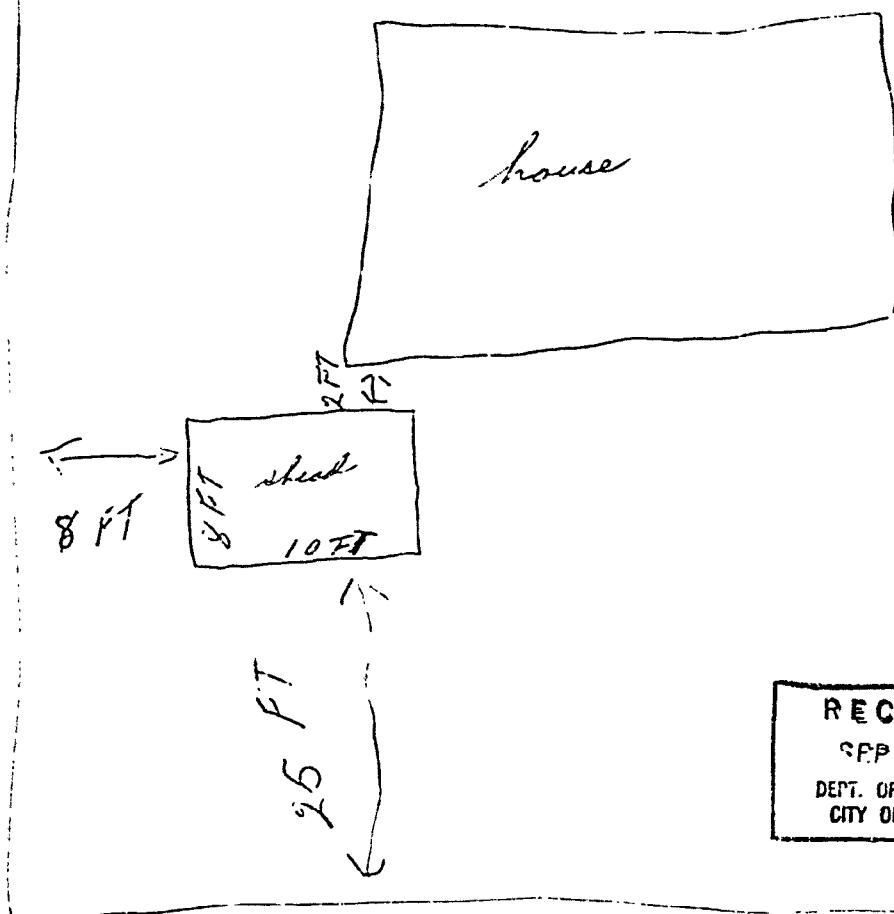
8-27-81 Nothing started
just old foundation
on front.

Nothing done

Permit No. 80/1002
Location 1050 Green Ave
Owner Latrocaze
Date of permis. 11-25-80
Approved

1062.

Orion Ave.



RECEIVED
SEP 19 1978
DEPT. OF BLDG. INSPECTION
CITY OF PORTLAND



APPLICATION FOR PERMIT

PERMIT ISSUED

SEP 19 1910

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, 000805-9-78

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 1062 Ocean Avenue

1. Owner's name and address Maxie Williams - same Fire District #1 #2 Telephone 774-2953.

2. Lessee's name and address Telephone

3. Contractor's name and address same Telephone

4. Architect Specifications Plans No. of sheets

Proposed use of building utility shed No. families

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 60.00 Fee \$ 5.00

FIELD INSPECTOR—Mr.

GENERAL DESCRIPTION

This application is for: ☐ 775-5451

Dwelling Ext. 234 To build 8x10 utility shed, as per plan.

Garage

Masonry Bldg.

Metal Bldg.

Alterations

Demolitions

Change of Use

Other

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heat, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate 8' Height average grade to highest point of roof 12'

Size, front 10' depth 8' No. stories 1 solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Pitch Rise per foot Roof covering ASPHALT SIZZ

No. of chimneys 1 Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts 4x4 Sills 4x4

Size Girder Column, under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof Ext. 6'

On centers: 1st floor 2nd 3rd roof 24'

Maximum span: 1st floor 2nd roof 8'

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?

ZONING: G.K. 9.8. 9/1910

BUILDING CODE: O.I.C. E.D. 9/1910

Fire Dept.: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Health Dept.: Others:

Signature of Applicant Dale A. Williams Phone #

Type Name of above Maxie Williams 1 2 3 4

Other

and Address

FIELD INSPECTOR'S COPY

NOTES

Oct 1981

Permit No. 78 / 0805

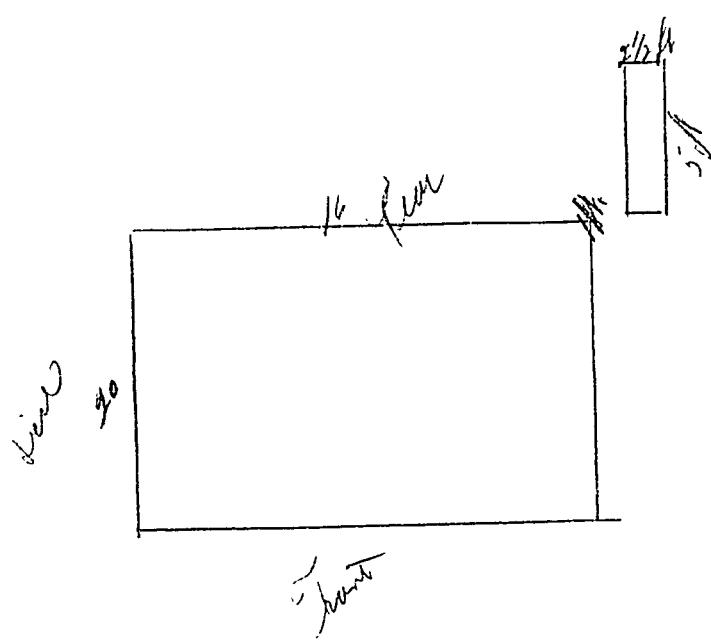
Location 40 6 2 Green Crk.

Owner Mike Johnson

Date of permit 9-19-78

Approved

9-19-78



106-C Clear Line.



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, November 22 1968

PERMIT ISSUED

1266

DEC 5 1968

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1060 Ocean Ave. Use of Building Dwelling No. Stories 1 1/2 NEW Building
Name and address of owner of appliance James Patterson, 1060 Ocean Ave. Existing
Installer's name and address Portland Furnace Company, 45 India St. Telephone 775-1854
c/o Mitchell Store

General Description of Work

To install Oil-fired forced hot water heating system in place of stove heat.

IF HEATER, OR POWER BOILER

Location of appliance first floor Any burnable material in floor surface or beneath? yes
In kitchen area under stairway
If so, how protected? with asbestos board Kind of fuel? oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 2" 12" with asbestos board
From top of smoke pipe 12" with asbestos board 28 gauge steel
From front of appliance over 4" From sides or back of appliance back-2" sides-8"
Size of chimney flue 8x10 Other connections to same flue none with asbestos board.
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Crane-guntyp Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner wood Size of vent pipe 1" 1" with steel plate on top
Location of oil storage outside above ground Number of tanks 275 gals.
Low water shut off Make No.
Will all tanks be more than five feet from any flame? yes How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners 11/24/68

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Tank to set on 4" concrete slab.

Fee enclosed? 2.00 (\$2.00 for one heater, etc. \$1.00 additional for each additional heater, etc., in same
same time.)

R. Bruno
12/27/68

Will there be in charge of the above work a person competent to
see that the State and City requirements pertaining thereto are
observed? yes

Portland Furnace Company

Signature of Installer by:

James J. Kelly

NOTES

Permit No. 68/1266

Location 6th & Main, Cinc. Cinc.

Owner J. M. Martinson

Date of permit 12/5/68

Approved

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	810	811	812	813	814	815	816	817	818	819	820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843	844	845	846	847	848	849	850	851	852	853	854	855	856	857	858	859	860	861	862	863	864	865	866	867	868	869	870	871	872	873	874	875	876	877	878	879	880	881	882	883	884	885	886	887	888	889	890	891	892	893	894	895	896	897	898	899	900	901	902	903	904	905	906	907	908	909	910	911	912	913	914	915	916	917	918	919	920	921	922	923	924	925	926	927	928	929	930	931	932	933	934	935	936	937	938	939	940	941	942	943	944	945	946	947	948	949	950	951	952	953	954	955	956	957	958	959	960	961	962	963	964	965	966	967	968	969	970	971	972	973	974	975	976	977	978	979	980	981	982



53 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine. May 16, 1966

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE.

PERMIT ISSUED

MAY 16 1968

THE BOSTONIAN

CHARGE TO DRAFTANT

General Description of New Work

To change out existing foundation under dwelling from cement post to 8" concrete block foundation with footing.(no cellar)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

Details of New Work

Details of New Work								
Is any plumbing involved in this work?	.....	Is any electrical work involved in this work?	.....	.....		
Is connection to be made to public sewer?	.....	If not, what is proposed for sewage?	.....	.....		
Has septic tank notice been sent?	.....	Form notice sent?	.....	yes				
Height average grade to top of plate	.....	Height average grade to highest point of roof	.....	.....		
Size, front	depth	.....	No. stories	.....	solid or filled land?	.....	earth or rock?
Material of foundation	8"	concrete blocks	at least 4	below	grade	.....	.....
Kind of roof	with 12 x 16	footing	Thickness, top	.....	bottom	.....	cellar
No. of chimneys	Rise per foot	.....	Roof covering	.....	.....	.....	.....
Framing Lumber—Kind	Material of chimneys	.....	of lining	.....	Kind of heat	.....	fuel
Size Girder	Columns under girders	.....	Size	.....	Corner posts	.....	Sills
Studs (outside walls and carrying partitions)	2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.	.....	.....	.....	.....	.....	.....
Joists and rafters:	1st floor	.....	2nd	.....	, 3rd	.....	.....
On centers:	1st floor	.....	2nd	.....	, 3rd	.....	.....
Maximum span:	1st floor	.....	2nd	.....	, 3rd	.....	.....
If one story building with masonry walls, thickness of walls?	height	.....

If a Garage

No. cars now accommodated on same lot....., to be accommodated.....number commercial cars to be accommodated.....
Will automobile repair....., be done other than minor repairs to cars habitually....., to be accommodated.....

Miscellaneous

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to
see that the State and City requirements pertaining thereto are
observed? yes

James B. Patterson

301

Signature of owner by: Miss James B. Patterson

Permit No. 6-81-457
Location 1060 Ocean Ave.
Owner James R. Patterson
Date of permit 5/16/68

Notif. closing-in

Inspr. closing-in

Final Notif.

Final Inspr.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

5/27/68 - Told owner to
be sure and call when
footing was to be poured.
E. S. S.
6/5/68 - Footing in.
E. S. S.
6/11/68 - Work done
E. S. S.



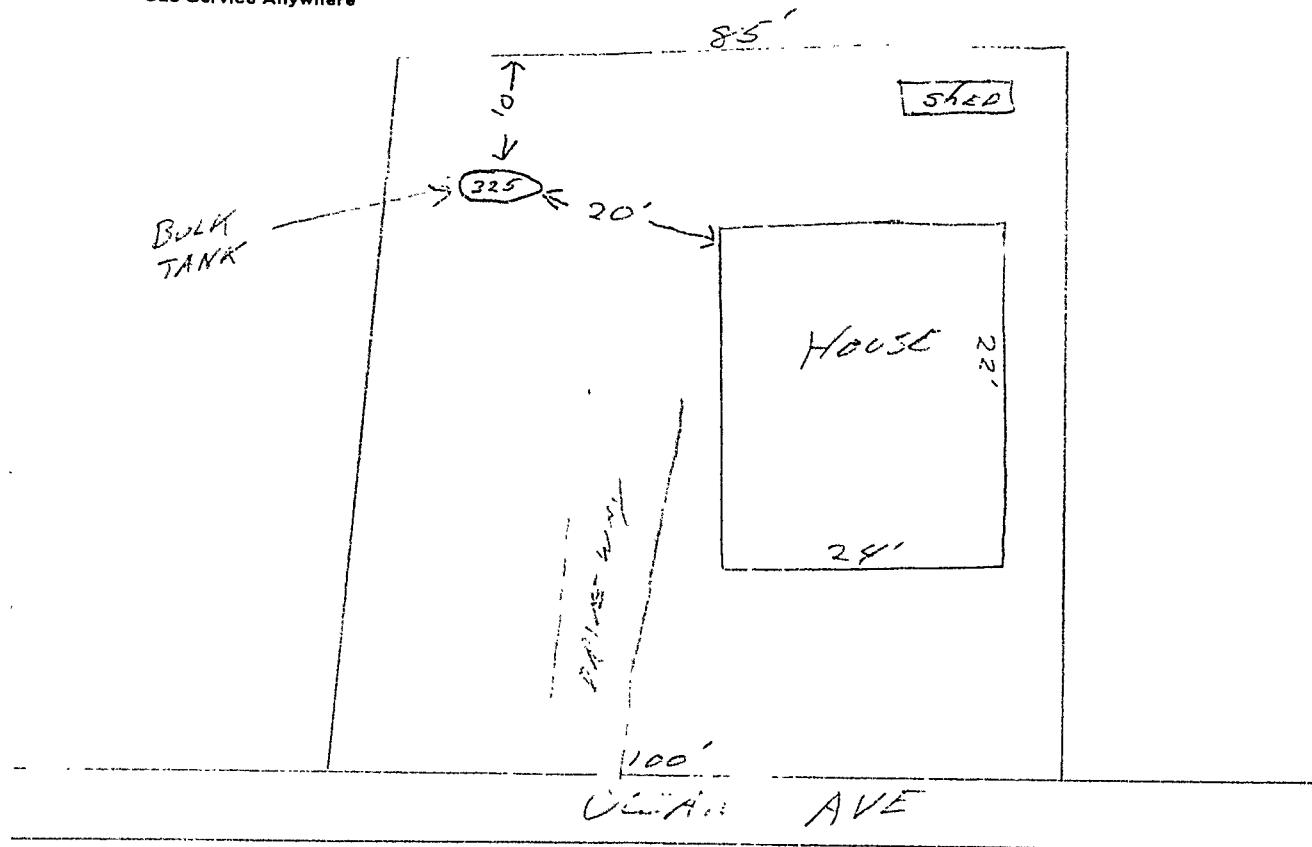
Gas Service Anywhere

THOMPSON'S POINT

Tel: 772-3307 (Area Code 207)

PORTLAND, MAINE

Reply to: Thompson's Point, Portland, Maine 04102



PERMIT REQUEST

325 GAL BULK GAS STORAGE TANK
For

JAMES PATTERSON

1060 Ocean Ave

Portland, ME

INSTALLED BY

SUBURBAN PROPANE

Thompson's Point

Portland, ME



R3 RESIDENCE ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation
Portland, Maine, September 14, 1966

PERMIT ISSUED
00900
SEP 20 1966
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1060 Ocean Ave.

Within Fire Limits? Dist. No.

Owner's name and address James Patterson, 1060 Ocean Ave. Telephone

Lessee's name and address Telephone

Contractor's name and address Suburban Propane Gas Co., Thompson's Point Telephone

Architect Specifications Plans No. of sheets

Proposed use of building Dwelling No. families

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated cost \$ Fee \$ 2.00

General Description of New Work

To install 1-325 gallon propane gas tank

Tank to set on concrete blocks

Sent to Fire Dept. 9/14/66
Rec'd from Fire Dept. 9/20/66

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Suburban Propane

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

J.R. Deno - Fire Chief 9/20/66
CHIEF OF FIRE DEPT.

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes James Patterson
Suburban Propane

CS 301

INSPECTION COPY

Signature of owner

James Patterson

1013

Permit No. 661900

Location 1600 Ocean Ave

Owner Jones Patterns

Date of permit 9/20/66

Notif. closing-in

Inspr. closing-in

Final Notif.

Final Inspr.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

N

10/13/66- Miss. Miss. Mach
et



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

RECEIVED
01282
CITY OF PORTLAND
CITY OF PORTLAND

Portland, Maine, Sept. 29, 1961

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1062 Ocean Ave. Use of Building dwelling No. Stories 2 New Building—
Name and address of owner of appliance Lloyd E. Chandler, 1062 Ocean Ave. Existing "

Installer's name and address Ballard Oil & Equip. Co., 135 Marginal Way Telephone

General Description of Work

To install oil-fired forced hot water boiler and oil burning equipment (replacement)
..... to heat second floor

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no
If so, how protected? Kind of fuel? oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 3'
From top of smoke pipe 2' From front of appliance over 4' From sides or back of appliance over 4'
Size of chimney flue 12x12 Other connections to same flue furnace
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to assure proper and safe combustion?

IF OIL BURNER

Name and type of burner ABC—gun type Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner cement Size of vent pipe 1 1/4"
Location of oil storage basement Number and capacity of tanks 2 x 150 gal
Low water shut off Make No.
Will all tanks be more than five feet from any flame? yes How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners 275 gal

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Sept. 29, 1961. R.M.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Ballard Oil & Equip. Co.

CS 300

INSPECTION COPY

Signature of Installer

Lloyd E. Chandler Ballard Oil

7/26/61

10-10

Permit No. 611292

Location 10602 Cherry Ave

Owner Lloyd E. Chandler

Date of permit 9/29/61

Approved

NOTES



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Dec. 13, 1958

PERMIT ISSUED

12/13/58
DEC 24 1958

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1062 Ocean Ave. Use of Building Dwelling No. Stories 1 $\frac{1}{2}$ New Building
Name and address of owner of appliance Lloyd A. Chandler, 1062 Ocean Ave. Existing "
Installer's name and address Ballard Oil & Equipment Co. 135 Marginalway Telephone 2-1991

General Description of Work

To install Oil burning equipment in connection with existing gravity warm air furnace heat
(conversion) replacement

IF HEATER, OR POWER BOILER

Location of appliance Ballard High Pressure Any burnable material in floor surface or beneath?
If so, how protected? Kind of fuel?
Minimum distance to burnable material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Ballard High Pressure-gumtyr Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 $\frac{1}{4}$ "
Location of oil storage basement Number and capacity of tanks 1-275 existing
Low water shut off Make No.
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? none
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

12/13/58 (initials)

Will there be in charge of the above work a person competent to
see that the State and City requirements pertaining thereto are
observed? yes

Ballard Oil & Equipment Co.

MAINE PRINTING CO.

INSPECTION COPY

Signature of Installer

Ballard Oil & Equipment Co.
by: (Signature)

TM

NOTES

1959/12/29

Permit No.

Location 100' S. 1st Street

Owner G. C. and G. C. Hanmer

Drainage permit 12/24/65

Approved 12/24/65

100' S. 1st Street
G. C. and G. C. Hanmer
Drainage permit 12/24/65
Approved 12/24/65

1959/12/29
G. C. and G. C. Hanmer
Drainage permit 12/24/65



LOCAL GOVERNMENT
APPLICATION FOR PERMIT

PERMIT ISSUED

01830

Oct. 13, 1948

Class of Building or Type of Structure Third Class

Portland, Maine, Sept. 21, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE
New plan 10/11/48

The undersigned hereby applies for a permit to erect ~~the proposed structure~~ the following building structure ~~in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:~~

Location 1056 Ocean Avenue Within Fire Limits? no Dist. No.

Owner's name and address Robert Lakefield, 1062 Ocean Avenue Telephone none

Lessee's name and address Telephone

Contractor's name and address Owner Telephone

Architect Specifications Plans yes No. of sheets 2

Proposed use of building Retail store (groceries) No. families

Last use No. families

Material frame No. stories 1 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost \$ 1500 Fee \$ 5.00

General Description of New Work
To erect one-story frame store 12' x 20'.

Health Notices to
Health Officer and thus

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in
the name of the heating contractor. PERMIT TO BE ISSUED TO Owner

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes

Height average grade to top of plate 12' Height average grade to highest point of roof 13'

Size, front 20' depth 12' No. stories 1 solid or filled land? solid earth or rock? rock

Material of foundation cedar posts at least 4' below grade Thickness, top bottom cellar no

Material of underpinning Height Thickness

Kind of roof flat Rise per foot 1" Roof covering Asphalt Class C Und Lab.

No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat stove fuel oil

Framing lumber Kind second-hand Dressed or full size?

Corner posts 6x8 Sills 6x8 Girt or ledger board? Size

Girders yes Size 6x8 Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2x6 2nd 3rd roof 2x6

On centers: 1st floor 16" 2nd 3rd roof 16"

Maximum span: 1st floor 6' 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

G.R. 10/13/48 AJS

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to
see that the State and City requirements pertaining thereto are
observed? yes

INSPECTION COPY

Signature of owner Robert Lakefield

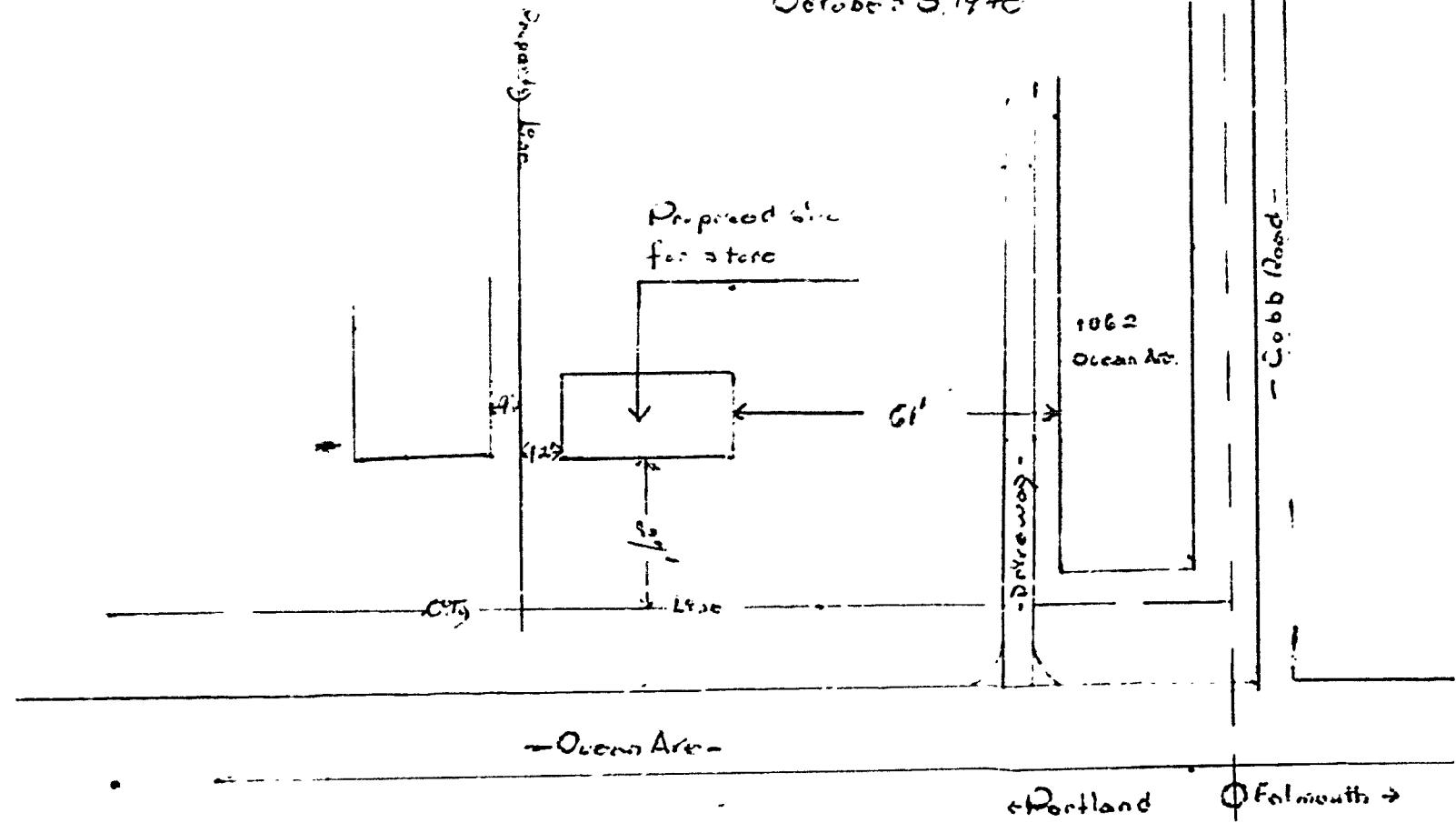
B

NOTES

9/20/18 - Section installed at
 1056 Ocean Ave.
 fronting one of the existing
 houses on Ocean Ave. in front
 of the 1056 Ocean Ave. building.
 The section is 10' x 10' and
 has a glass door and glass
 windows. It is to be
 installed in front of the
 front street door on abt. 1/2'
 10/1/18 - Section 015. E.S.
 88

11/10/18 - F1.000
 11/30/18 - Work progressing along E.S.
 12/7/18 - E.S.
 12/10/18 - E.S.
 1/5/19 - Frame, E.S. completed. E.S.
 1/21/19 - E.S.
 1/21/19 - Frame, E.S.
 1/21/19 - Frame, E.S.
 2/16/19 - Frame, E.S.
 3/6/19 - Frame, E.S.
 3/19/19 - Frame, E.S.
 8/17/19 - Frame, E.S.
 9/2/19 - Frame, E.S.
 11/1/19 - Nothing has been done on this building.
 Since 11/5/19, no neighbors, possibly frame.
 11/23/19 - The front door is now 22' wide.
 5/3/20 - Framework of building has been
 torn down to platform with 10' cedar posts.
 5/15/20 - This information said a Mr. Boxfield
 was going to take off the roof. 88

Robert H. Wakefield
1062 Ocean Ave.
Portland, Maine
October 3, 1948



STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for store
at 1056 Ocean Avenue Date Sept. 21, 1948

1. In whose name is the title or the property now recorded? Robert Wakefield
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? _____
3. Is the outline of the proposed work now staked out upon the ground? no
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? yes
4. What is to be maximum projection or overhang of eaves or drip? _____
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Robert Wakefield

1992-1993 - 1

50-000-2, 1948

Subject: Application for Permit for construction of
small mill in for retail store purposes at 1056
Sequoia by HUE

Digitized by srujanika@gmail.com

A copy of the application for a site filed with it raises the following question as to compliance with requirements of the Zoning Committee and the Building Code:

1. As required by Section 160 of the zoning ordinance the front wall of the building may be located no closer to the line of Ocean Avenue than the front wall of the existing dwelling on the adjoining lot. As stated on the ground and shown on plan the proposed location is about three feet nearer Ocean Avenue than the front wall of the dwelling and therefore does not comply with this requirement of the zoning ordinance.

Q 4. The top sills and girder in spans of about ten feet will not figure out to take care of the loads involved whenever the floor and roof joists are to be supported. For a ceiling of this size the building code specifies a minimum live load capacity of twenty-five pounds per square foot for the floor joists, while the live load on the flat roof must be figured as forty pounds per square foot. This will necessitate the use of larger timbers for sills and girder or the introduction of more cedar posts to support the ends. - C. L. Johnson - 6-6-14.

C. The 116 rafters spaced 16" on centers will not figure out on the span of twelve feet unless they are of full size, not pressed, lumber. No less than 1x3 cross bracing, or block bracing the same depth as the rafters, is required at the center of each 16' rafter.

4. The end bolesters on top of cedar posts between pente and sill as shown on plan are not required. The sills are required to rest directly on top of the posts.

plan are not suitable. The sills are required to extend six inches below the bottom of the walls of the building. The finished grade of the ground around the building must be kept at least six inches below the bottom of the sills instead of part way up on walls of building as suggested.

6. The floor timbers at the ends of the building beneath the end walls are required instead of being single as shown.

7. The outside chimney must be kept at least 1" from all brickwork in the outside wall of building and a concrete foundation extending at least four feet below grade is required. Where the smokepipe is to enter the chimney the brickwork of the chimney must be corollated through the wall of the building to a point flush with the inside face of the stones.

6. The plate at top of staves on which rafters are to rest, ~~must~~ ^{can} be double instead of single as shown. Care should be taken to secure a substantial job where the walls are to extend up beyond the roof line on the front and ends of the building by extending the short staves down to the plate, and securely splicing them to the sides of the rafters.

the short studs down to the floor. The header over

Mr. Robert A. Lakefield

October 2, 1948

the large window opening in the front wall. Jack studs as well as double headers are required at the sides of all openings.

10. The studs in the outside walls need not be 2x6 as shown, but 2x4's, 16" on centers may be used if adequate cross bracing in walls is provided.

Before we shall be able to issue a permit for construction of this building, it will be necessary that the location of the building be staked out in a position complying with Zoning Ordinance regulations and that the plan be revised to show compliance with Building Code requirements in the particular listed above. A copy of this letter is being enclosed for use of your architect should you care to give it to him.

Very truly yours,

A.J./G

Inspector of Buildings

Enclosure: Copy of letter for use of architect

CC: for architect

Memorandum from Department of Building Inspection, Portland, Maine

October 13, 1943

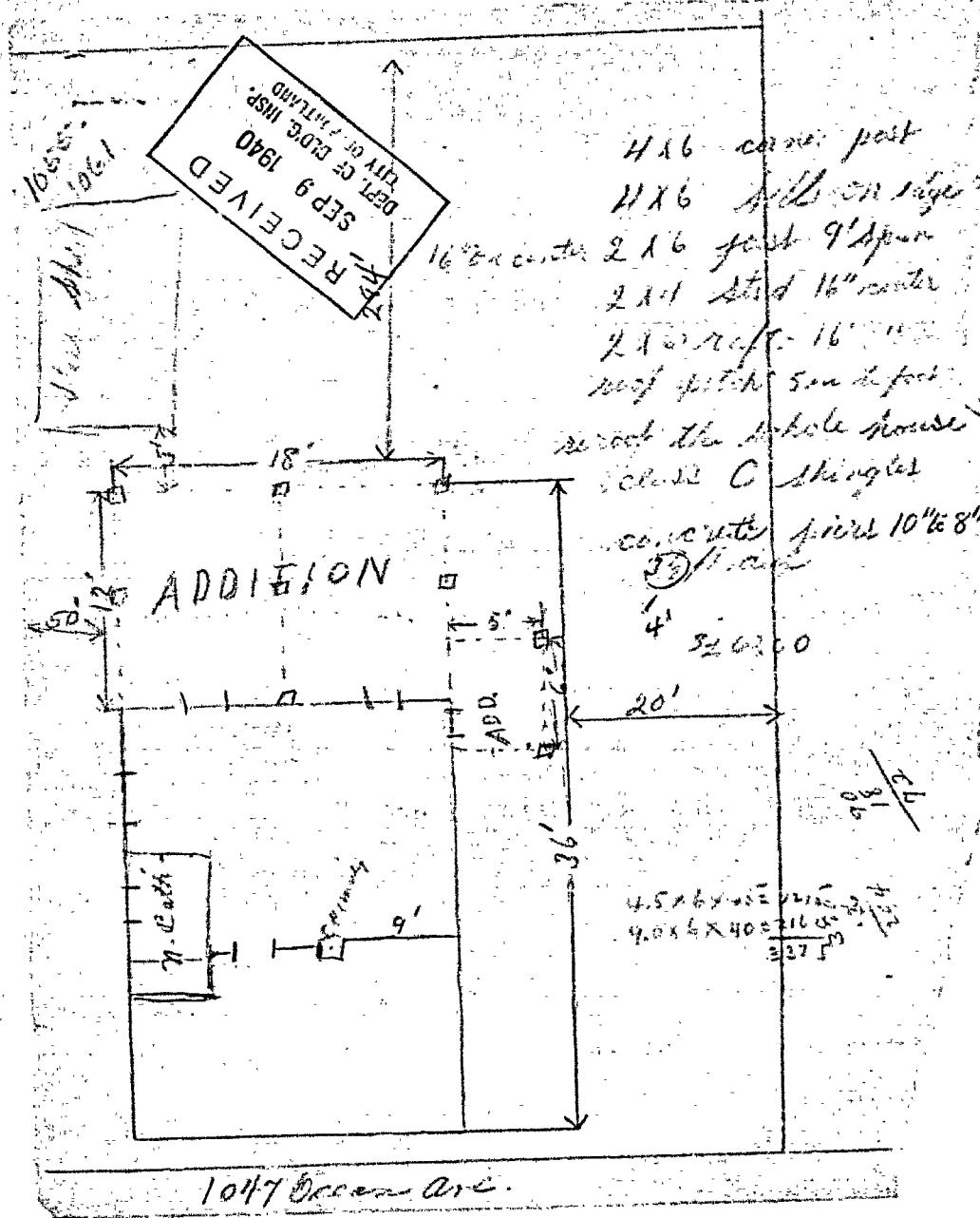
Mr. Robert Wakefield,
1062 Ocean Avenue,
Portland, Maine

Dear Sir:

If splicing of sills is necessary, such splices are required to come directly over the cedar posts and to be lapped at least eight inches instead of being butted as indicated on plan.

ADW/ln

(Signed) Warren McDonald
Inspector of Buildings



STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for a story rear room addition
at 1047 Cedar Avenue

Date 9/9/41

1. In whose name is the title of the property now recorded? Joseph Ladley
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Yes Steiner
3. Is the outline of the proposed work now staked out upon the ground? No If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? Yes
4. What is to be maximum projection or overhang of eaves or drip? 8 in
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes

Mr. Everett Swanson



(R) GENERAL RESIDENCE ZONE
APPLICATION FOR PERMIT *Permit No. 14290*

Class of Building or Type of Structure Third Class

Portland, Maine, September 9, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1047 Ocean Avenue Within Fire Limits? no Dist. No. _____
Owner or lessee's name and address Everett Swanson, 1047 Ocean Avenue Telephone no
Contractor's name and address owner Telephone _____
Architect _____
Proposed use of building Dwelling Plans filed yes No. of sheets 1
Other buildings on same lot Shed No. families 1
Estimated cost \$ 200 Fee \$.75

Description of Present Building to be Altered

Material frame No. stories 1 Heat Style of roof pitch Roofing asphalt roofing
Last use Dwelling No. families 1

General Description of New Work

To construct one story rear addition 12' x 18' and rear entrance porch 6' x 5'.
To cover roof of main house and new addition with asphalt roofing Class C Und. Lab. roofing.
To change two existing windows to two doors between new addition and existing kitchen.
To cut in new door between existing kitchen and new entrance porch.
To change door to window on side in kitchen.
To change existing toilet room to new bathroom 5' x 7'. Studs 2x4, 16" O.C.
Fit new window at least three square feet in area for ventilation of new bathroom.
To close up window in dining room living room.
To construct 9' non-bearing partition, studs 2x4, 16" O.C., between kitchen and living room. To cut in ordinary door between two rooms.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

*CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED*

Is any plumbing work involved in this work? yes
Is any electrical work involved in this work? yes Height average grade to top of plate 7'
Size, front 18' depth 12' No. stories 1 Height average grade to highest point of roof 15'
To be erected on solid or filled land? solid earth or rock? earth
Material of foundation concrete piers at least 4" below grade Thickness, top bottom cellar
Material of underpinning sills at least 8" above grade Height Thickness
Kind of Roof pitch 5" Rise per foot 5" Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys none Material of chimneys of lining
Kind of heat Type of fuel Is gas fitting involved?
Framing Lumber Kind Dressed or Full Size?
Corner posts 4x6 Sills 4x6 Girt or ledger board? Size
Material of columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x6, 2nd , 3rd , roof 2x6
On centers: 1st floor 16", 2nd , 3rd , roof 16"

Maximum span: 1st floor 9', 2nd , 3rd , roof

If one story building with masonry walls, thickness of walls 11/2" thru 6" height?

If garage:

No. cars now accommodated on same lot , to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSTRUCTION COPY

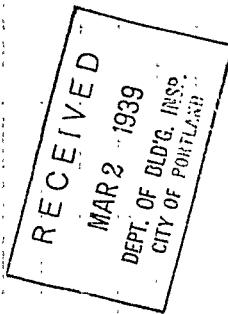
Signature of owner Everett Swanson

Permit No. 40/1329
105b
Location 1057 Ocean Avenue
Owner Everett Swanson
Date of permit 9/12/40
Notif. closing-in 10/29/40
Inspn. closing-in 11/21/40 I.T.
Final Notif.
Final Inspn. 5/29/41
Cert. of Occupancy issued None

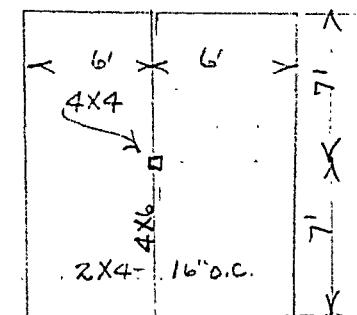
NOTES

9/14/40 Frame
9/14/40 Frame
10/8/40 Roofing

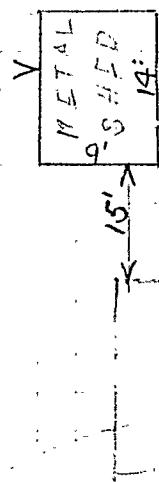
~~10/14/40~~



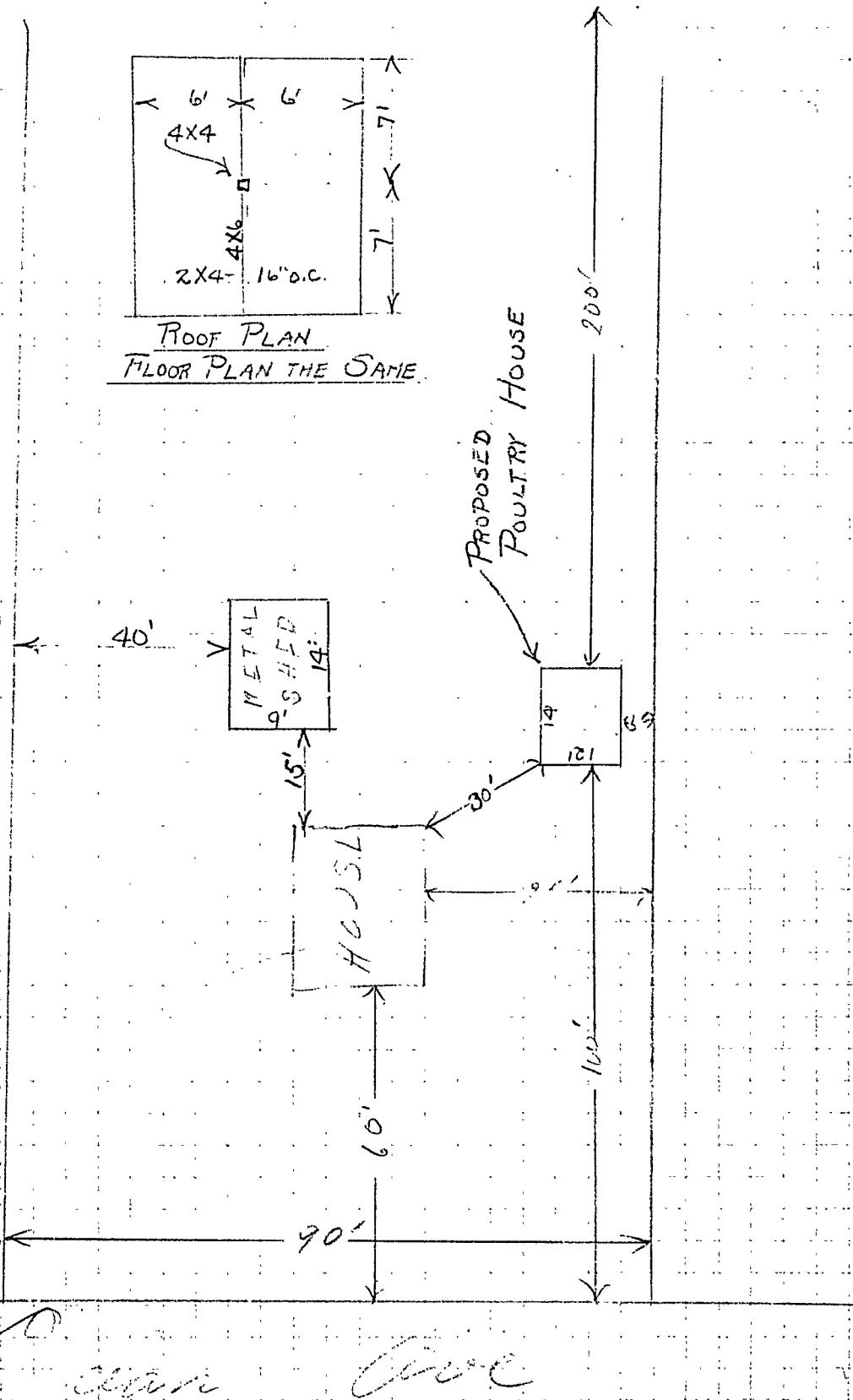
104



ROOF PLAN
FLOOR PLAN THE SAME



PROPOSED
POULTRY HOUSE



STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT
for poultry house
at 1047 Ocean Avenue Date March 2, 1939

1. In whose name is the title of the property now recorded? *Joseph Godfrey*
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? *by a trench*
3. Is the outline of the proposed work now staked out upon the ground? *yes* If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced?
4. What is to be maximum projection or overhang of eaves or drip? *10"*
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches, and other projections? *yes*
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? *yes*
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? *yes*

PS. Womson



APPLICATION FOR PERMIT **PERMIT ISSUED**

Class of Building or Type of Structure Third class

185

MAR 9 1939

Portland, Maine, March 2, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect after install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1047 Ocean Avenue Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address E. Stephen Swanson, 1047 Ocean Ave. Telephone no
Contractor's name and address Owner Telephone _____
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building Poultry house No. families _____
Other buildings on same lot Dwelling and shed _____
Estimated cost \$50 Fee \$.50

Description of Present Building to be Altered
Material no stories Heat Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To construct one story frame poultry house 12' x 14'

Sills and 4x6 beam under roof to be set with 6" inch dimension upright.

NOTIFICATION BEFORE LATHE
OR CLOSING-IN IS WAIVED
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Side walls to be covered with asphalt paper

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 12' depth 14' no stories 1 Height average grade to top of plate 5'
To be erected on solid or filled land? solid Height average grade to highest point of roof 8'
Material of foundation re stones Thickness, top bottom cellar
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof flat Rise per foot 3" Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys none Material of chimneys _____ of lining _____
Kind of heat none Type of fuel _____ Is gas fitting involved? _____
Framing Lumber—Kind hemlock or spruce Dressed or Full Size? full size
Corner posts 2-2x4 Sills 4x6 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor 2x4, 2nd _____, 3rd _____, roof 2x4
On centers: 1st floor 16", 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor 7', 2nd _____, 3rd _____, roof 7' 6"
If one story building with masonry walls, thickness of walls? _____ height? 4x6 thru center span

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner E. S. Swanson

Permit No. 39/185
Ld 1056 1047 Ocean Ave
Owner: E. Stephen Savaria
Da mit 3/3 1939
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 3/29/39 - 103.1
Cert. of Occupancy issued 3/29/39

~~More metal garage~~ NOTES

~~39/184~~
~~Sticker enclosed~~

~~3/29/39. Work about done
just to be put in order
and graded. C.R.~~

0184

APPLICATION FOR PERMIT ~~NOT ISSUED~~Class of Building or Type of Structure First ClassPortland, Maine, March 2, 1939 MAR 3 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ ^{install} the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

1056
Location 1047 Ocean AvenueWithin Fire Limits? no

Dist. No.

Owner's or Lessee's name and address E. Stephen Swanson, 1047 Ocean Avenue Telephone noContractor's name and address Owner Telephone _____Architect _____ Plans filed yes No. of sheets 1Proposed use of building Wood shed See poultry house No. families _____Other buildings on same lot Dwelling and poultry houseEstimated cost \$ 24x Fee \$xx24x .50

Description of Present Building to be Altered

Material metal No. stories 1 Heat _____ Style of roof pitch Roofing metalLast use Garage No. families _____

General Description of New Work

To move all metal one car garage from 14 Exeter Street to above location.

(See 38/1772 - which covered demolition of this building)

NOTIFICATION BEFORE LATENT
OR CLOSING-IN IS WAIVED
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

no

Size, front 9' depth 12' 14" No. stories 1 Height average grade to top of plate 8'Height average grade to highest point of roof 10'To be erected on solid or filled land? solid earth or rock? earthMaterial of foundation order posts Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof pitch Rise per foot _____ Roof covering metalNo. of chimneys none Material of chimneys _____ of lining _____Kind of heat none Type of fuel _____ Is gas fitting involved? _____

Framing Lumber-Kind _____ Dressed or Full Size? _____

Corner posts _____ Sills 4x4 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.Joists and rafters: 1st floor 5x6 2nd _____ 3rd _____ roof _____

On centers: 1st floor _____ 2nd _____ 3rd _____ roof _____

Maximum span: 1st floor _____ 2nd _____ 3rd _____ roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to car habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? noWill there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yesSignature of owner E. S. Swanson

INSPECTION COPY

Permit No. 39/184

1055
Location 1047 Ocean Ave

Owner E. Stephen Swanson

Date of permit 3/3/39.

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 3/29/39. C.O.

Cert. of Occupancy issued 3/29/39.

Poultry House
39/185

NOTES

~~39/185~~

PERMIT # 002559

TOWN, OF _____

BUILDING PERMIT APPLICATION

MAP #

LOT#

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Kenneth T. Forbes
Address: *1062 Ocean Ave. 774-9791 04103

LOCATION OF CONSTRUCTION 1062 Ocean Ave.

CONTRACTOR: William Forbes SUBCONTRACTORS: 773-3009
ADDRESS: 73 Congress Street

Est. Construction Cost: 850.00 Type of Use: 2 family

Past Use: _____

Building Dimensions: W. _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____

Is Proposed Use: Seasonal Condominium Apartment

Conversion - Explain: (garage) Permits for slab ONLY Bldg Permit to be taken out

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE later. Setbacks shown

Residential Buildings Only: # Of Dwelling Units: # Of New Dwelling Units: _____

Foundation:

1. Type of Soil: _____
2. Set Backs - Front: _____ Rear: _____ Side(s): _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other: _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size: _____ Spacing: _____
2. No. windows: _____
3. No. Doors: _____
4. Header Sizes: _____ Span(s): _____
5. Bracing: Yes: _____ No: _____
6. Corner Posts Size: _____ Size: _____
7. Insulation Type: _____ Size: _____
8. Sheathing Type: _____ Size: _____
9. Siding Type: _____ Weather Exposure: _____
10. Masonry Materials: _____
11. Metal Materials: _____

Interior Walls:

1. Studding Size: _____ Spacing: _____
2. Header Sizes: _____ Span(s): _____
3. Wall Covering Type: _____
4. Fire Wall if required: _____
5. Other Materials: _____

White-Tax Assesor

Yellow-GPCOG

For Official Use Only	
Date	September 5, 1989
Inside Fire Limits	Yes / No
Bldg Code	_____
Time Limit	_____
Estimated Cost	850.00
Value Structure	_____
Fee	25.00

Subdivision: Yes / No

Name: _____

Lot: _____

Block: _____

Permit Expiration: _____

Ownership: _____

Public

PERMIT ISSUED

SEP 8 1989

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size: _____ Spacing: _____
3. Type Ceilings: _____
4. Insulation Type: _____ Size: _____
5. Ceiling Height: _____

City Of Portland

Roof:

1. Truss or Rafter Size: _____ Span: _____
2. Sheathing Type: _____ Size: _____
3. Roof Covering Type: _____
4. Other: _____

Chimneys:

- Type: _____ Number of Fire Places: _____

Heating:

- Type of Heat: _____

Electrical:

- Service Entrance Size: _____ Smoke Detector Required Yes: _____ No: _____

Plumbing:

1. Approval of soil test if required Yes: _____ No: _____
2. No. of Tubs or Showers: _____
3. No. of Flushes: _____
4. No. of Lavatories: _____
5. No. of Other Fixtures: _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage: _____
3. Must conform to National Electrical Code and State Law: _____

Zoning:

- District: _____ Street Frontage Req.: _____ Provided: _____

- Required Setbacks: Front: _____ Back: _____ Side: _____

Review Required:

- Zoning Board Approval: Yes: _____ No: _____ Date: _____
- Planning Board Approval: Yes: _____ No: _____ Date: _____
- Conditional Use: _____ Variance: _____ Site Plan: _____ Subdivision: _____
- Shore and Floodplain Mgmt: _____ Special Exception: _____
- Other: _____ (Explain) _____
- Date Approved: _____

Permit Received By Deborah Gonde

Signature of Applicant William E. Forbes Date 9/5/89

Signature of CEO _____ Date _____

Inspection Dates: (1) BM White Tag -CEO

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City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 1062 Ocean Ave		Owner: Forbes, Kenneth & Madeline	Phone:	Permit No: 960081
Owner Address:		Leasee/Buyer's Name:	Phone:	BusinessName:
Contractor Name: William Forbes		Address: 1062 Ocean Ave Ptld, ME 04103	Phone: 774-9791	PERMIT ISSUED
Past Use: 2-car		Proposed Use: Same	COST OF WORK: \$ 7,000.00	PERMIT FEE: \$ 55.00
			FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group 1 Type 5B BOC-A-13
			Signature:	Signature: <i>Forbes</i>
Proposed Project Description: Rebuild Garage (Made Smaller) XXXXXXXXXXXX Construct Breezeway		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		
			Signature:	Date: <i>2/6/96</i>
Permit Taken By: Mary Gresik		Date Applied For:	02 February 1996	
Zoning Approval: 13-A-1 Use Area by Permit: <i>Rebuild Garage</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland 9-0-89 <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>OK-13</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan major <input type="checkbox"/> minor <input type="checkbox"/> mm				

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

K-3	414-A-004
Zoning Approval #3-A-1	
USE OKAY BY BLDG COUNCIL	
RE: Parcels 4 & 5, Utica	
Special Zone or Reviews:	
<input type="checkbox"/> Shoreland	9-8-89
<input type="checkbox"/> Wetland	
<input type="checkbox"/> Flood Zone	OK-183
<input type="checkbox"/> Subdivision	2/6/96
<input type="checkbox"/> Site Plan	maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

William E. Forbes 1062 Ocean Ave. 02 February
SIGNATURE OF APPLICANT William Forbes ADDRESS DATE

RESPONSIBLE PERSON IN CHARGE OF WORK TITLE

PHONE-

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public Elce Ivory Card-Inspector

CEO DISTRICT

6

A. Rose

Historic Preservation

Action:

- Approved
- Approved with Conditions
- Denied

000955

PERMIT # 000955 **CITY OF** BUILDING PERMIT APPLICATION **MAP #** LOT#

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Kenneth T. Forbes
Address: 1062 Ocean Ave
LOCATION OF CONSTRUCTION Portland, ME **Same**
CONTRACTOR: Self **SUBCONTRACTORS:** _____
ADDRESS: Same
Est. Construction Cost: 2,500.00 **Type of Use:** Two Family
Past Use: _____
Building Dimensions 122 W 20 **Sq. Ft.** _____ **# Stories:** _____ **Lot Size:** _____
Is Proposed Use: Seasonal Condominium Apartment
Conversion - Explain: construct attached garage

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
Residential Buildings Only:
Of Dwelling Units _____ **# Of New Dwelling Units** _____

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: 20' x 32' 4' 3 1/2"
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size 2x4 Spacing 16" C
2. No. windows 3
3. No. Doors 2
4. Header Size 2x6 Span(s) 10'
5. Bracing: Yes _____ No. _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type 3/8 T-1-11 Size 4' x 4'
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size 2x4 Spacing 16" C
2. Header Size 2x6 Span(s) 10' + 7'
3. Wall Covering Type Sheet Rock
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only

Date <u>August 8, 1988</u>	Subdivision: Yes / No
Inside Fire Limits _____	Name _____
Building Code _____	Lot _____
Time Limit _____	Block _____
Estimated Cost <u>2,500.00</u>	Permit Expiration: _____
Value/Structure <u>35.00</u>	Ownership: <u>Public</u> <u>Private</u>
Fee _____	

PERMIT ISSUED AUG 8 1988 **CITY OF PORTLAND**

Ceiling:

1. Ceiling Joists Size: - XC
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceilings: _____
4. Insulation Type 1 1/2" 96 in Size 16' x 12'
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size - XC
2. Covering Type 3/4" plywood Size _____
3. Roof Covering Type 1/2" shingle
4. Other _____

Chimneys:

Type: Brick Number of Fire Places (1)

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: x Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning: District R-3 Street Frontage Req.: _____ Provided _____
Required Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
Shore and Floodplain Mgmt: _____ Special Exception _____
Other _____ (Explain) _____
Date Approved OK, M. T. Forbes Aug 8/88

Permit Received By Joanne Quint
Signature of Applicant Kenneth T. Forbes Date 5-5-88
Signature of CEO _____ Date _____
Inspection Dates _____

White-Tax Assessor

Yellow-GPCOG

White Tag CEO

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117 Myrtle St. W.

PLOT PLAN

N

FEES (Breakdown From Front)
Base Fee \$ 35.00
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Inspection Record

Type

Date

/	/
/	/
/	/
/	/
/	/

COMMENTS 4-19-91 Permit void, work never started.

Signature of Applicant Kenneth Forbe

Date 8-8-88

PERMIT # 2559

TOWN OF

BUILDING PERMIT APPLICATION

MAP #

LOT#

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Kenneth T. Forbes
 Address: 1062 Ocean Ave. 774-9791 94103

LOCATION OF CONSTRUCTION 1062 Ocean Ave.

CONTRACTOR: William Forbes SUBCONTRACTORS: 773-3009
 ADDRESS: 73 Congress Street

Est. Construction Cost: 350.00 Type of Use: 2 family
 Past Use: _____
 Building Dimensions L W Sq. Ft. # Stories Lot Size: _____
 Is Proposed Use: Seasonal Condominium Apartment
(garage) Conversion - Explain Permit for slab only Bldg Permit to be taken out later. Effects shown _____
 COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE later. Effects shown _____
 Residential Buildings Only:
 # Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Door:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

For Official Use Only

Date <u>September 5 1989</u>	Subdivision: Yes / No
Inside Fire Limit: _____	Name: _____
Bldg Code: _____	Lot: _____
Time Limit: _____	Block: _____
Estimated Cost: <u>350.00</u>	Permit Expiration: _____
Value Structure: _____	Ownership: Public _____
Fee: <u>5.00</u>	Private _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size: _____
 3. Type Ceilings: _____
 4. Insulation Type: _____ Size: _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size: _____ Span: _____
 2. Sheathing Type: _____
 3. Roof Covering Type: _____
 4. Other: _____

Chimneys:
 Type: _____ Number of Fire Places: _____

Heating: Type of Heat: _____

Electrical: Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage: _____
 3. Must conform to National Electrical Code and State Law.

Zoning:
 District: _____ Street Frontage Req.: _____ Provided: _____
 Require Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shore and Floodplain Mgmt: _____ Special Exception _____
 Other: _____ (Explain) _____
 Date Approved: CK WDT 9-5-89

Permit Received By Deborah Goode

Signature of Applicant William T. Forbes Date 9/5/89

Signature of CEO _____ Date _____

Inspection Dates _____

White-Tax Assessor White-Tax Assessor Yellow-GPCOG Yellow-GPCOG White-Tag -CEO White-Tag -CEO Copyright GPCOG 1987

PLOT PLAN

N

FEES (Breakdown From Front)
Base Fee \$ _____
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Inspection Record	
Type	Date
	/ /
	/ /
	/ /
	/ /
	/ /
	/ /

COMMENTS

Permit expired 4-19-91. Work never started.

Signature of Applicant William E. Forbes Date 9/5/89

CITY OF PORTLAND, MAINE



389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

1062 Ocean Avenue

September 5, 1989

Mr. William E. Forbes
73 Congress Street
Portland, Maine 04101

Dear Mr. Forbes:

This is in reference to your recent application for a building permit for a slab for a garage at 1062 Ocean Avenue in the R-3 Residence Zone for Mr. Kenneth T. Forbes. We have checked our records and find no permit was issued for a change of use for the building at 1062 Ocean Avenue to approve its conversion from a single to a two family dwelling.

Can you investigate this matter and advise whether a variance, or conditional use were ever granted for the conversion of this building from a single to a two family dwelling? This office will require some additional information concerning this conversion before a building permit can be issued for the slab for the proposed garage.

Sincerely,

WDG
William D. Giroux
Zoning Enforcement Officer

cc: Joseph E. Gray, Jr., Director, Planning & Urban Development
P. Samuel Hoffses, Chief, Inspection Services
Marge Schmuckal, Deputy Chief, Inspection Services
Burt MacIsaac, Code Enforcement Officer
Warren J. Turner, Administrative Assistant

See Permit
copy attached
for 2 family
9/7/89
W.D.G.

To 955 CITY OF Building Permit Application

I certify any part which applies to job. Proper plans must accompany form.

Kenneth T. Forbes
1002 Ocean Ave.
NO OF CONTRACTORS: 1
Architect, Inc. Same
TYPE: SSI/P SUBCONTRACTORS
1 Story
2,500 sq ft Type of Use Two Family

Number of Units 1 Total 1 Story 1 Story

z. Use Residential Condition Unfinished AUG 9, 1988

Conversion - Explain construct a detached garage

NOTE ONLY IF THE NUMBER OF UNITS WILL CHANGE

1st Buildings Only: 0 Of New Dwelling Units

oos:

- Type of Soil:
- Set Backs - Front _____ Rear _____ Side(s) _____
- Footings Size: _____
- Foundation Size: 20' x 32' 4" 314
- Other _____

Skylight: _____ Bills must be anchored.

- Gutter Size: _____
- Lally Columns Spacing: _____ Size: _____ Spacing 16" O.C.
- Joints Size: _____
- Bridging Type: _____ Size: _____
- Fiber Sheathing Type: _____ Size: _____
- Other Material: _____

Walls:

- Shedding Size 2x4 Spacing 16" C
- No. windows 3
- No. Doors 1
- Header Size 2x6 Span(s) 10'
- Bracing: Yes Yes No No
- Ground Posts Size: _____
- Insulation Type: _____ Size: _____
- Sheathing Type 3/8" OSB Size 32" x 8" Weather Exposure: _____
- Bracing Type: _____
- Wall Covering Type: Sheet Rock
- Fire Wall if required: _____
- Other Materials: _____

PERMIT ISSUED

City of Portland

MAP # L

For Official Use Only

Date Application Rec'd	Permit Issued
Address of Job	Name
Address of Owner	Address
Permit Type	Permit Number
Permit Status	Permit Status
Permit Expiration	Permit Expiration
Permit Type	Permit Type
Permit Status	Permit Status
Permit Expiration	Permit Expiration
Value of Work	Value of Work
Fee	Fee

Ceilings:

- Ceiling Joists 4" x 12" 2x6" Spacing _____
- Ceiling Spacing Size _____
- Truss or Rafters Size: _____
- Insulation Type: 13 Fiber-glass Size: 16"
- Other: _____

Chimneys:

Type: Brick Number of Fire Places: 0

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required: _____

Plumbing:

- Approval of soil test if required: Yes _____
- No. of Tubs or Showers: _____
- No. of Flushes: _____
- No. of Lavatories: _____
- No. of Other Fixtures: _____

Swimming Pools:

- Type: _____
- Pool Size: _____ x _____ Square Footage: _____
- Must conform to National Electrical Code and State Law.

Zoning:

District: _____ Street Frontage Req.: _____ Previous Zoning: _____

Setbacks: Front: _____ Back: _____ Side: _____

Review Required:

Zoning Board Approval: Yes Yes No No Date: _____

Planning Board Approval: Yes Yes No No Date: _____

Conditional Use: _____ Variance: _____ Site Plan: _____

Shore and Floodplain Mgmt: _____ Special Exception: _____

Other: _____ (Explain) _____

Date Approved: _____

Permit Received By: Joanne Quint

Signatures of Applicant: Kenneth Forbes Date: _____

Signature of CEO: _____ Date: _____

Inspection Dates: _____

White Tax Assessor: Yellow-GPCOG White Tag: Copyright



DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

CITY OF PORTLAND, MAINE

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