

1053-1062 0000000000



Full cut # 920R - First cut # 9202R - Third cut # 9203R - Fifth cut # 9205R

Address 1060 Ocean Ave. PERMIT NUMBER 1521

## Remodeling

OTHER \_\_\_\_\_

TOTAL	13.00
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Building and Inspection Services Dept.: Plumbing Inspection

# CERTIFICATE OF APPROVAL

FOR WASTEWATER DISPOSAL FOR THE TOWN/CITY OF

Portland

Town/City Code 05170 LPI Number 00123 Date Issued 11/25/80  
Month Day Year

EC

Certificate of App. Number

Installer's Name LITROCAPES A F.I. M.I.

- Installer Code
- 1. Owner
  - 2. Builder
  - 3. Installer
  - 4. Developer
  - 5. Realtor
  - 6. Other

Owner Litrocapex, A  
Address 1050 Ocean Ave  
Maine

Location where system was installed and inspected.

THE SUBSURFACE WASTEWATER DISPOSAL SYSTEM OR COMPONENT(S) INSTALLED PURSUANT TO THE ABOVE CERTIFICATE OF APPROVAL NUMBER HAS BEEN PERSONALLY EXAMINED AND HAS BEEN PROPERLY INSTALLED IN COMPLIANCE WITH THE MUNICIPAL AND STATE SUBSURFACE WASTEWATER DISPOSAL RULES AND THE HHE-200 FORM PERFORMED BY

3 ON 10/29/80  
(Site Evaluator Number) Month, Day, Year

OWNER'S COPY

Signature of LPI

Date Inspected

HHE-210 RV 7/80

# CERTIFICATE OF APPROVAL

FOR WASTEWATER DISPOSAL FOR THE TOWN/CITY OF

Portland

Town/City Code 05170 LPI Number 00123 Date Issued 11/25/80  
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  - 5. Realtor
  - 6. Other

Owner Litrocapex, A  
Address 1050 Ocean Ave  
Maine

Location where system was installed and inspected.

THE SUBSURFACE WASTEWATER DISPOSAL SYSTEM OR COMPONENT(S) INSTALLED PURSUANT TO THE ABOVE CERTIFICATE OF APPROVAL NUMBER HAS BEEN PERSONALLY EXAMINED AND HAS BEEN PROPERLY INSTALLED IN COMPLIANCE WITH THE MUNICIPAL AND STATE SUBSURFACE WASTEWATER DISPOSAL RULES AND THE HHE-200 FORM PERFORMED BY

3 ON 10/29/80  
(Site Evaluator Number) Month, Day, Year

TOWN'S COPY

Signature of LPI

Date Inspected

Division of Health Engineering  
Station No. 10  
State House  
Augusta, Maine 04333

# APPLICATION FOR SUBSURFACE WASTEWATER DISPOSAL PERMIT

This Is NOT A Permit; This Form When Completed Must Be  
Presented To The Local Plumbing Inspector To Obtain A Permit

HHE-200  
Page 1 of 2

This Application is For: <input type="radio"/> New System <input type="radio"/> Replacement Of Entire System <input type="radio"/> Expanded System <input type="radio"/> Replacement Of Disposal Area Only <input type="radio"/> Conversion Permit		Variance: <input type="radio"/> None Required <input type="radio"/> New System Variance <input type="radio"/> Replacement System Variance With LPI Approval <input type="radio"/> Dept. Review
PROPERTY LOCATION: <u>Portland</u> Town, Plantation		1050 Ocean Ave. Street, House
PROPERTY OWNER OR APPLICANT: <u>Pasquale Lombard Jr.</u>		Tax Map <u>415 Block A</u> Lot No. <u>7</u>
Mailing Address: <u>59 Bay Street</u> Suite <u>773-5949</u>		
Portland Maine 04103 ZIP Code		
LOCATION PLAN OF PROPERTY:		TYPE OF STRUCTURE, DESIGN FLOW: <input checked="" type="radio"/> Single Family Dwelling Number of Bedrooms <u>3</u> Design Flow <u>360</u> GPD Design Flow based on: <input type="radio"/> Minimum <input checked="" type="radio"/> Moderate <input type="radio"/> Conservative <input type="radio"/> Reduction in Design Flow due to Water Conservation If so, specify type (s) _____ <input type="radio"/> Other Establishment Specify _____ Type of Facility _____ (Number of Employees, Seating Capacity, Building Size, etc.) Design Flow _____ GPD If greater than 2000 GPD, Specify Professional Engineer
ROADS, LANDMARKS, DISTANCES		PROPERTY INFORMATION: Area of Property <u>8500</u> Sq. Ft. <input type="radio"/> Acres <input checked="" type="radio"/> Zoned <input type="radio"/> Not Zoned If zoned, type of zoning <u>R-3 Residential</u> Property on Water Body, If so, Name of Water Body _____ Water Supply is: <input checked="" type="radio"/> Public Utility <input type="radio"/> Drilled Well _____ depth <input type="radio"/> Dug Well _____ depth <input type="radio"/> Well Point <input type="radio"/> Spring <input type="radio"/> Surface Water

## SOIL PROFILE DESCRIPTION Location of Observation Holes shown on page 2

TEXTURAL DESCRIPTION OF EACH SOIL STRATUM ENCOUNTERED	Observation Hole No. <u>1</u> <input checked="" type="radio"/> Test Pit <input type="radio"/> Boring	Observation Hole No. _____ <input type="radio"/> Test Pit <input type="radio"/> Boring	Observation Hole No. _____ <input type="radio"/> Test Pit <input type="radio"/> Boring
	Organic Strata or (Existing Fill) <u>sod</u> Thickness <u>4</u> "	Organic Strata or (Existing Fill) _____ Thickness _____ "	Organic Strata or (Existing Fill) _____ Thickness _____ "
	1st Original Mineral Soil Strata <u>Brown Sandy Loam</u> Depth from <u>0</u> " to <u>9</u> " Thickness <u>9</u> "	1st Original Mineral Soil Strata _____ Depth from _____ " to _____ " Thickness _____ "	1st Original Mineral Soil Strata _____ Depth from _____ " to _____ " Thickness _____ "
	2nd <u>Brown Clayey Loam</u> Depth from <u>9</u> " to <u>14</u> " Thickness <u>5</u> "	2nd _____ Depth from _____ " to _____ " Thickness _____ "	2nd _____ Depth from _____ " to _____ " Thickness _____ "
	3rd <u>Lt. Gray Brown Clayey Sand</u> Depth from <u>14</u> " to <u>19</u> " Thickness <u>5</u> "	3rd _____ Depth from _____ " to _____ " Thickness _____ "	3rd _____ Depth from _____ " to _____ " Thickness _____ "
	4th <u>Gray Clay w/ Red Mottles</u> Depth from <u>19</u> " to <u>40</u> " Thickness <u>21+</u> "	4th _____ Depth from _____ " to _____ " Thickness _____ "	4th _____ Depth from _____ " to _____ " Thickness _____ "
Depth from top of ORIGINAL MINERAL SOIL	Total Depth of Observation Hole <u>40</u> "	Total Depth of Observation Hole _____ "	Total Depth of Observation Hole _____ "
	Maximum Seasonal High Ground <input type="radio"/> None evident <input type="radio"/> Water Table Depth <u>15</u> "	Maximum Seasonal High Ground <input type="radio"/> None evident <input type="radio"/> Water Table Depth _____ "	Maximum Seasonal High Ground <input type="radio"/> None evident <input type="radio"/> Water Table Depth _____ "
	Depth to Restrictive Layer <input type="radio"/> None evident <input type="radio"/> _____ <u>19</u> "	Depth to Restrictive Layer <input type="radio"/> None evident <input type="radio"/> _____ "	Depth to Restrictive Layer <input type="radio"/> None evident <input type="radio"/> _____ "
	Depth to Bedrock <input type="radio"/> None evident <input type="radio"/> _____ "	Depth to Bedrock <input type="radio"/> None evident <input type="radio"/> _____ "	Depth to Bedrock <input type="radio"/> None evident <input type="radio"/> _____ "
PROFILE CONDITION SLOPE <u>3</u> <u>C</u> <u>2.5%</u>		PROFILE CONDITION SLOPE _____%	

## DISPOSAL SYSTEM PROPOSED Location of system and Details on Proposed Plans on page 2

TYPE OF SYSTEM <input checked="" type="radio"/> Combined System <input type="radio"/> Separated System If separated system, type of black waste disposal system to be used: <input type="radio"/> Compost <input type="radio"/> Pit Privy <input type="radio"/> Sealed Vault Privy <input type="radio"/> Other _____ Specify: _____ <input type="radio"/> Separated Laundry System <input type="radio"/> Primitive System <input type="radio"/> Holding Tank	TREATMENT TANK <input checked="" type="radio"/> Septic Tank Existing <input type="radio"/> Aerobic Tank Size <u>1000</u> Gals. DOSAGE <input checked="" type="radio"/> Pumping is not required <input type="radio"/> Pumping is required The dose should be: _____ Gals. Dosage chamber capacity shall be _____ Gals. <input checked="" type="radio"/> System should be vented	SUBSURFACE DISPOSAL AREA/TYPE <input type="radio"/> Trench Disposal Area Total linear feet of trench _____ ft. Number of Trench lines _____ ft. Length of each trench line _____ ft. Depth of Stone _____ inches. Reduction on trench length due to stone depth _____ % <input checked="" type="radio"/> Bed Disposal Area Total bed area <u>1200</u> sq. ft. Number of beds <u>1</u> Width <u>20</u> ft. Length <u>60</u> ft. <input type="radio"/> Chamber Disposal Area Total chamber area _____ sq. ft. Number of clusters _____ Width _____ ft. Length _____ ft. <input type="radio"/> H 20 required	SYSTEM SIZE RATING <input type="radio"/> Small <input type="radio"/> Medium <input checked="" type="radio"/> Medium Large <input type="radio"/> Large <input type="radio"/> Extra Large DISPOSAL AREA ELEVATION <u>3</u> inches. Depth of Upslope Fill required _____ inches. Depth of Downslope Fill required _____ inches. Reference Elevation Point established at <u>50.00</u> Elevation. Disposal Area Bottom to be established at <u>48.50</u> Elevation. Top of Distribution Lines or Top of Chamber <u>49.08</u> Elevation. <input checked="" type="radio"/> Yes <input type="radio"/> No: The proposed subsurface disposal area will be located at least 100 feet from any and all wells, springs, surface water bodies and courses (lake, pond, ocean, brook, stream, river), swamps, marshes, and bogs. <input checked="" type="radio"/> Yes <input type="radio"/> No: The proposed subsurface disposal area will be located at least 300 feet from any and all wells and springs producing 2000 gallons or more of water per day and any public water supplies.
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### FOR USE BY SITE EVALUATOR

On 10-11-80 (date), a site investigation for this project was completed. I conducted this soil evaluation and certify that the results indicated above best represent the soil conditions found. I recommend the above type and size of subsurface wastewater disposal system. I also recommend the proposed disposal system layout and location shown on page 2.

### FOR USE BY APPLICANT

I certify that the information submitted is true and correct to the best of my knowledge. I understand that any falsification of this application is reason to deny a permit to install a disposal system and that the permit is valid for a six (6) month period from the date of permit issuance. I also understand that no guarantee is intended or implied by reason of any advice or approval given.

### FOR USE BY LPI

☐ This Application is approved. If conditions, specify: \_\_\_\_\_  
☐ This Application is denied due to: ☐ System is not in accordance with Rules.  
☐ Application is incomplete. ☐ Application is unclear. ☐ Development is in violation of other Regulations. Specify: \_\_\_\_\_

Signature of Site Evaluator: William B. Jordan Site Evaluator License Number: 00003  
Date signed: OCT 29 1980

Signature of Owner/Applicant: Pasquale Lombard Jr.  
Date signed: \_\_\_\_\_

Signature of LPI: Ernest J. Jones PERMIT NO. 37865

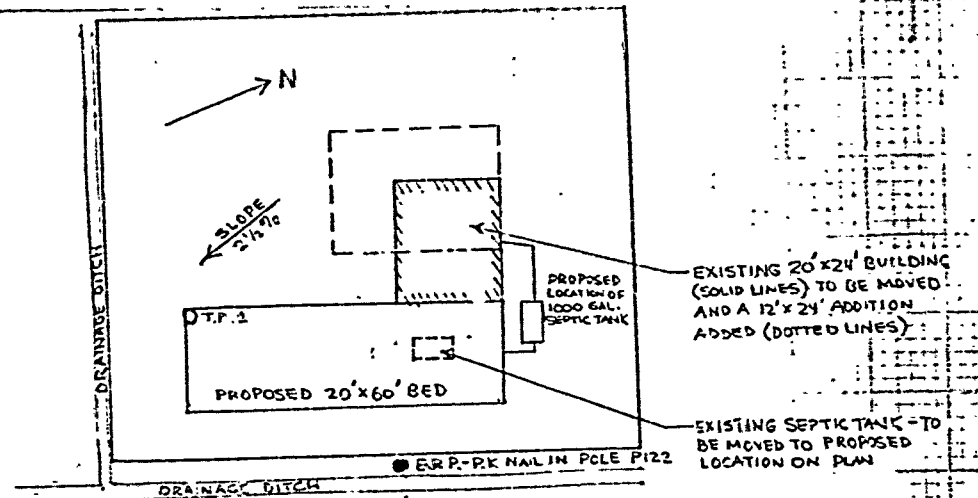
Date Issued: 1 19  
HHE-200 RV

# APPLICATION FOR SUBSURFACE WASTEWATER DISPOSAL PERMIT

PROPERTY LOCATION Portland	Town, Plantation	1050 Ocean Ave.	Tax Map 15 Block A Lot 7
PROPERTY OWNER or APPLICANT Pasquale Lapomarda Jr.	DISPOSAL AREA ELEVATION Depth of Upslope Fill required _____ inches Depth of Downslope Fill required _____ inches	Reference Elevation Point established at 20.50 Elevation Disposal Area Bottom to be established at 48.50 Elevation Top of Distribution Lines or Top of Chamber 49.50 Elevation	

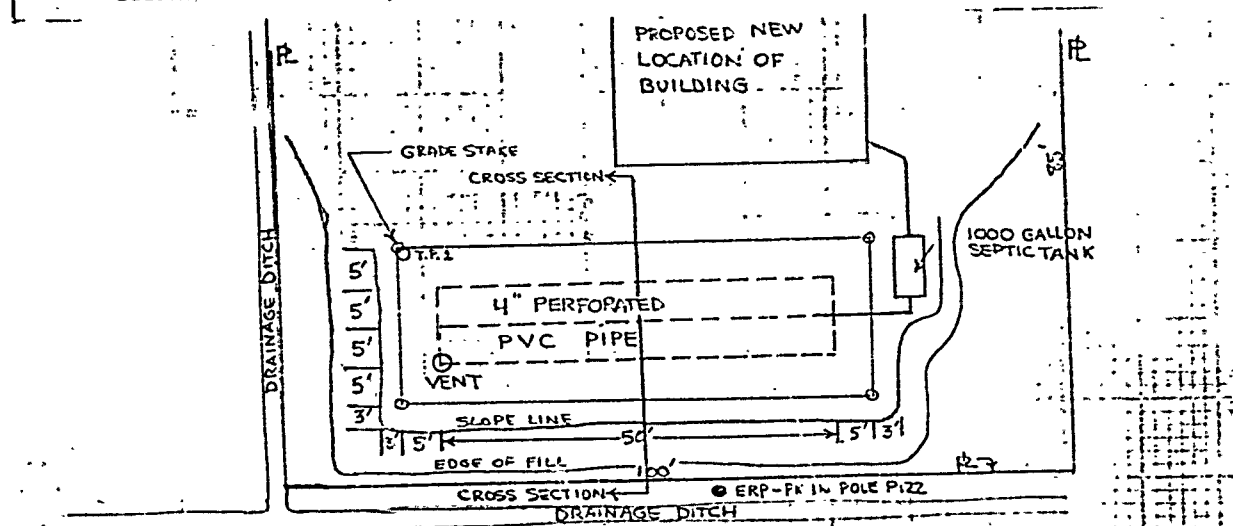
Site Plan

Scale 1" = 30 ft.



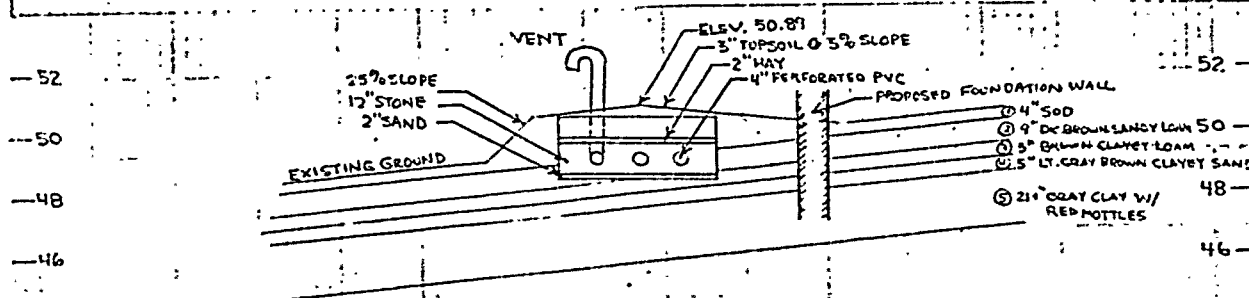
Subsurface Wastewater Disposal Plan

Scale 1" = 20' drawn by N.V. TWADDEL



Subsurface Wastewater Disposal Area Cross-section

Scale: Vertical: 1" = 5'  
Horizontal: 1" = 20'



Site Evaluator's Signature  
*William B. Goodwin*

Date OCT 29 1980

License Number 00003

HHE-20-A

## Replacement System Variance Request

### THE LIMITATIONS OF THE REPLACEMENT SYSTEM VARIANCE REQUEST

This form shall be attached to an Application for the proposed replacement system which is in non-compliance with the Rules. The LPI shall review the Replacement System Variance Request and Application and may approve the Request if all of the following requirements with LPI approval limitations can be met.

1. The replacement system is correcting a malfunction or an unlicensed wastewater discharge system.
2. A replacement system cannot be designed and installed in total compliance with the Rules.
3. The design flow is less than 500 GPD.
4. There will be no change in use of the structure.
5. The replacement system does not conflict with Seasonal Conversion Permit (30 MRSA § 3223) or with Mandatory Shoreland Zoning (12 MRSA § 4811).
6. The replacement system is determined by the Site Evaluator and LPI to be the most practical method to treat and dispose of the wastewater.

### GENERAL INFORMATION

Town of Portland Maine

Town Code 05170

Permit No. 371955 E

Date Permit Issued 11/25/80  
month/day/yr.

Property Owner's Name: Pasquale Lapomarda Jr. Tel. No. 773-5949

System's Location: 1050 Ocean Avenue  
Street

Portland MAINE 04103  
Town State Zip

Property Owner's Address:  
(if different from above) 59 Bay Street  
Street

Portland Maine 04103  
Town State Zip

### Specific Instructions to the:

LPI: If any of the variances exceed your approval authority and/or do not meet all of the requirements listed under the Limitations Section above, then you are to send this Replacement System Variance Request, along with the Application, to the Department for review and approval consideration before issuing a Permit. (See reverse side for Comments Section and your signature)

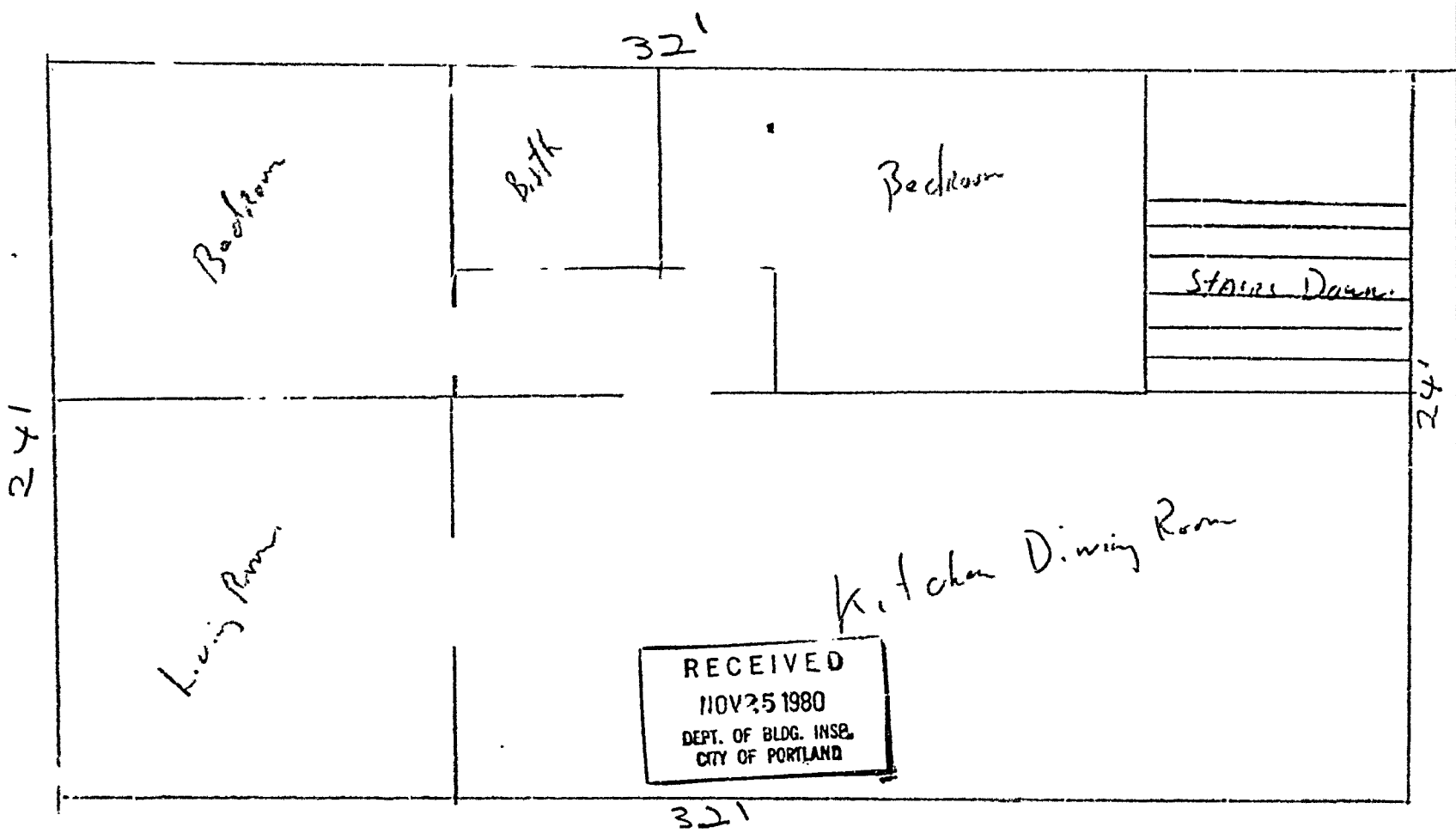
Site Evaluator: If after completing the Application, you find that a variance for the proposed replacement system is needed, then complete the Replacement Variance Request with your signature on reverse side of form.

Property Owner: It has been determined by the Site Evaluator that a variance to the Rules is required for the proposed replacement system. This variance request is due to physical limitations of the site and/or soil conditions. Both the Site Evaluator and the LPI have considered the site/soil restrictions and have concluded that a replacement system in total compliance with the Rules is not possible.

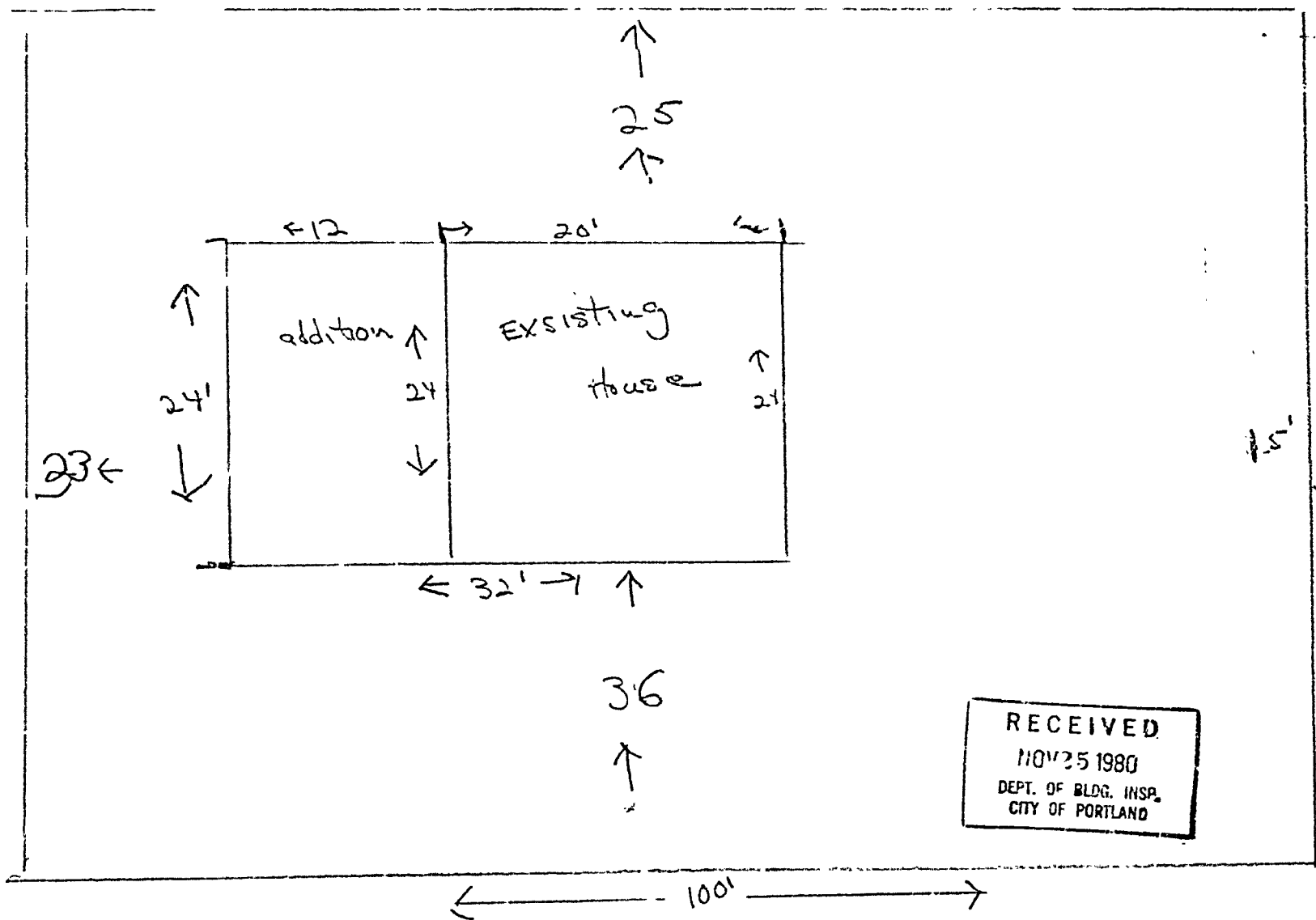
The Owner shall sign this statement. Therefore, having read both this Replacement Variance Request and the attached Application, I understand that the proposed system is not in total compliance with the Rules and hereby release all those concerned with this Variance, provided they have performed their duties in a reasonable and proper manner.

Pasquale Lapomarda Jr.  
Property Owner's Signature

11/25/80  
Date



RECEIVED  
NOV 25 1980  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND







# APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, Nov. 25, 1980

PERMIT ISSUED

NOV 25 1980

1002

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 1050 Ocean Ave.

1. Owner's name and address Pasquale Lapomarda Fire District #1 ☐ #2 ☐  
2. Lessee's name and address Angelo W Litrocapes Telephone 774-8486  
3. Contractor's name and address owners Telephone  
4. Architect owners Specifications Plans No. of sheets  
Proposed use of building dwelling No. families 1  
Last use No. stories Heat Style of roof Roofing  
Material No. stories Heat Style of roof Roofing  
Other buildings on same lot  
Estimated contractual cost \$ 12,000 Fee \$ 55.

FIELD INSPECTOR—Mr.

This application is for:

Dwelling  
Garage  
Masonry Bldg.  
Bldg.  
Alterations  
Demolitions  
Change of Use

@ 775-5451  
Ext. 234

## GENERAL DESCRIPTION

To move existing dwelling onto foundation as per plan

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☒ 2 ☐ 3 ☐ 4 ☐  
Other:

## DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes  
Is connection to be made to public sewer? If not, what is proposed for sewage?  
Has septic tank notice been sent? Form notice sent?  
Height average grade to top of plate Height average grade to highest point of roof  
Size, front depth No. stories solid or graded land? earth or rock?  
Material of foundation Thickness, top bottom cellar  
Kind of roof Rise per foot Roof covering Kind of heat fuel  
No. of chimneys Material of chimneys of lining Sills  
Framing Lumber—Kind Dressed or full size? Corner posts  
Size Girder Columns under girders Size Max. on centers  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor 2nd 3rd roof  
On centers: 1st floor 2nd 3rd roof  
Maximum span: 1st floor 2nd 3rd roof  
If one story building with masonry walls, thickness of walls? height

## IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

## APPROVALS BY:

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

DATE

## MISCELLANEOUS

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant

Type Name of above Lapomarda & Litrocapes

Phone #

1 ☐ 2 ☐ 3 ☐ 4 ☐

Other

and Address

FIELD INSPECTOR'S COPY

NOTES

Dec 2, 1980

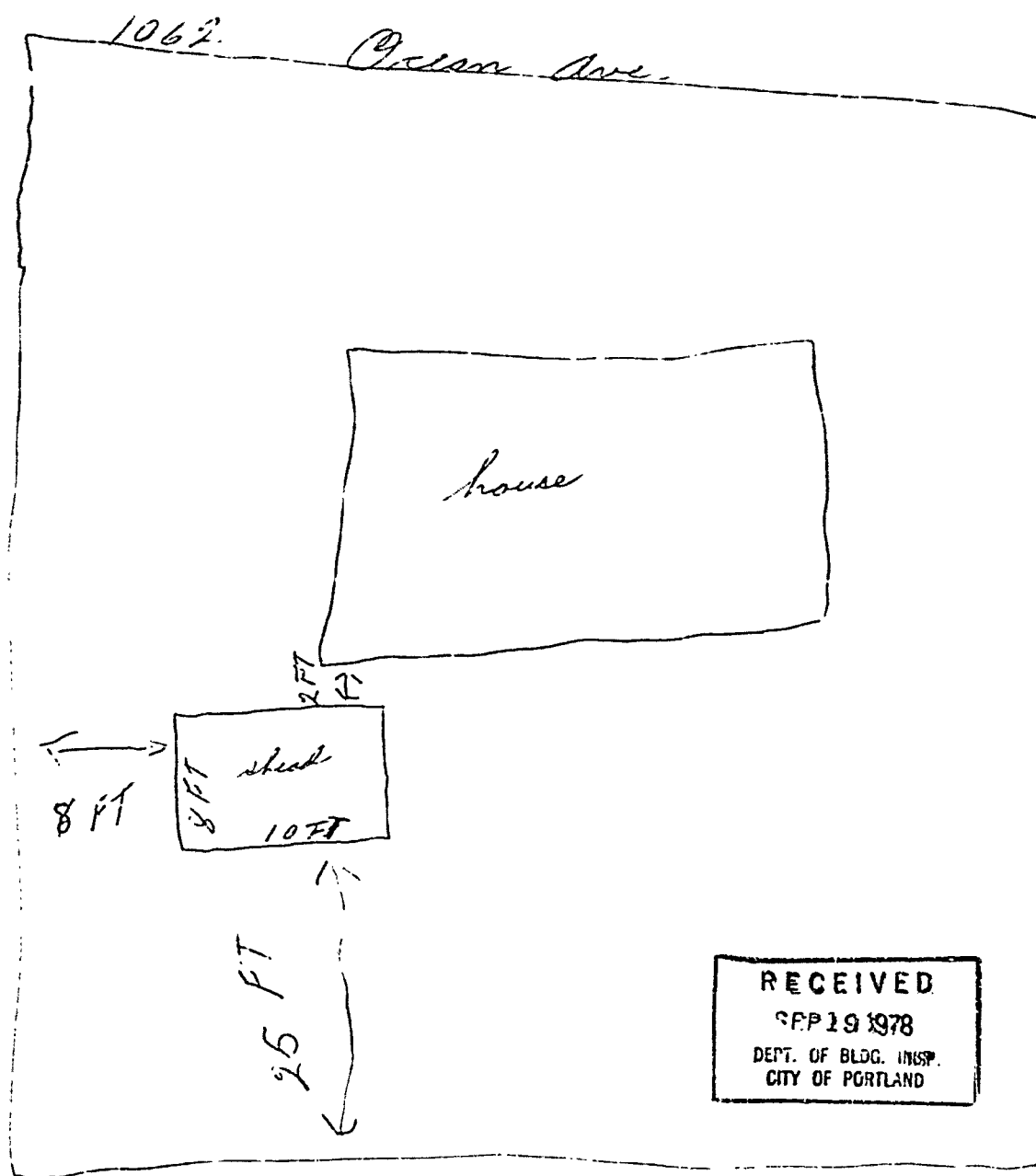
Nothing started, no foundation, no building etc.  
No foundation plan?

Jan. 25, 1981 Nothing started.

8-27-81 Nothing started  
just old foundation  
on front.

Nothing done

Permit No. 80/1002  
Location 1050 Green Ave  
Owner Kitchener  
Date of permit 11-25-80  
Approved



RECEIVED  
SEP 19 1978  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND



# APPLICATION FOR PERMIT

S.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION .....

PORTLAND, MAINE, 9-19-78

PERMIT ISSUED

SEP 19 1978

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 1062 Ocean Avenue  
1. Owner's name and address ~~XXXX~~ Williams - same Fire District #1 ☐ #2 ☐  
2. Lessee's name and address Telephone 774-2953  
3. Contractor's name and address same Telephone  
4. Architect Specifications Plans No. of sheets  
Proposed use of building utility shed No. families  
Last use No. families  
Material No. stories Heat Style of roof Roofing  
Buildings on same lot  
Estimated contractual cost \$ 60.00 Fee \$ 5.00

FIELD INSPECTOR—Mr.

GENERAL DESCRIPTION

This application is for:

775-5451

Dwelling .....

Ext. 234

To build 8x10 utility shed, as per plan.

Garage .....

Masonry Bldg. ....

Metal Bldg. ....

Alterations .....

Demolitions .....

Change of Use .....

Other .....

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☒ 2 ☐ 3 ☐ 4 ☐

Other: .....

## DETAILS OF NEW WORK

Is any plumbing involved in this work? .....

Is any electrical work involved in this work? .....

Is connection to be made to public sewer? .....

If not, is proposed for sewage? .....

Has septic tank notice been sent? .....

Form notice sent? .....

Height average grade to top of plate 8'1" .....

Height average grade to highest point of roof 17'1" .....

Size, front 10' depth 8' No. stories 1 solid or filled land? earth or rock? .....

Material of foundation .....

Thickness, top bottom cellar .....

Kind of roof Pitch Rise per foot .....

Roof covering asphalt shingles .....

No. of chimneys 1 Material of chimneys .....

Kind of heat fuel .....

Framing Lumber—Kind Pressed or full size? .....

Corner posts 4x4 Sills 4x4 .....

Size Girder Columns under girders Size Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof 2x6 .....

On centers: 1st floor 2nd 3rd roof 2x4 .....

Maximum span: 1st floor 2nd roof 4' .....

If one story building with masonry walls, thickness of walls? .....

height? .....

## IF A GARAGE

No. cars now accommodated on same lot ....., to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER .....

Will work require disturbing of any tree on a public street? .....

ZONING: O.K. 8. 9/19/78 .....

BUILDING CODE: O.K. 8. 9/19/78 .....

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Fire Dept.: .....

Health Dept.: .....

Others: .....

Signature of Applicant ~~XXXX~~ Williams Phone # .....

Type Name of above ~~XXXX~~ Williams 1 ☒ 2 ☐ 3 ☐ 4 ☐

Other .....

and Address .....

FIELD INSPECTOR'S COPY

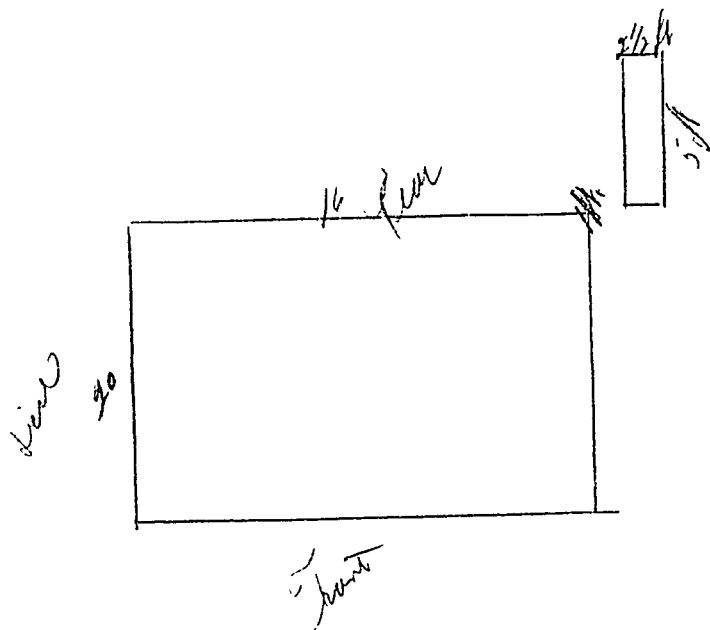
Oct/98

Location #1 to 2 Cotton Creek.

Owner Walt J. Williams

Date of permit 9-19-78

Approved 9-19-25



# 1060 Ocean Ave.



**FILL IN AND SIGN WITH INK**

APPLICATION FOR PERMIT FOR  
HEATING, COOKING OR POWER EQUIPMENT

November 22 1968  
Portland, Maine, .....

PERMIT ISSUED  
DEC 5 1968  
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned, hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1060 Ocean Ave. Use of Building Dwelling No. Stories 1 1/2 ~~NEW~~ Building  
Name and address of owner of appliance James Patterson, 1060 Ocean Ave. Existing "  
Installer's name and address Portland Furnace Company, 45 India St. Telephone 775-1854  
c/s Micoed Store.

### General Description of Work

To install Oil-fired forced hot water heating system in place of stove heat.

IF HEATER, OR POWER BOILER

Location of appliance first floor Any burnable material in floor surface or beneath? yes  
in kitchen area under stair way  
If so, how protected? with asbestos board. Kind of fuel? oil  
Minimum distance to burnable material, from top of appliance or casing top of furnace 2' 12" with asbestos board  
12" with asbestos board  
From top of smoke pipe 28 gauge steel From front of appliance over 4' From sides or back of appliance back-2'  
28 gauge steel sides-8"  
Size of chimney flue 8x10 Other connections to same flue none with asbestos board.  
If gas fired, how vented? \_\_\_\_\_ Rated maximum demand per hour \_\_\_\_\_  
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Crane-gunttype ..... Labelled by underwriters' laboratories? yes  
Will operator be always in attendance? ..... Does oil supply line feed from top or bottom of tank? bottom  
Type of floor beneath burner wood ..... Size of vent pipe 1 1/2"  
with 1 course 4" tile block with steel plate on top  
Location of oil storage outside above ground ..... Number and capacity of tanks 275 gals.  
Low water shut off ..... Make ..... No. ....  
Will all tanks be more than five feet from any flame? yes ..... How many tanks enclosed? .....  
Total capacity of any existing storage tanks for furnace burners: 1100

IF COOKING APPLIANCE

Location of appliance ..... Any burnable material in floor surface or beneath? .....  
 If so, how protected? ..... Height of Legs, if any .....  
 Skirting at bottom of appliance? ..... Distance to combustible material from top of appliance? .....  
 From front of appliance ..... From sides and back ..... From top of smokepipe .....  
 Size of chimney flue ..... Other connections to same flue .....  
 Is hood to be provided? ..... If so, how vented? ..... Forced or gravity? .....  
 If gas fired, how vented? ..... Rated maximum demand per hour .....

## MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION:

Tank to set on 4" concrete slab.

of fee enclosed? 2.00 (\$2.00 for one heater, etc.; \$1.00 additional for each additional heater, etc., in same same time.)

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Portland ~~Furnace~~ Company

*Signature of Installer*

1. 1000 ✓  
2. 1000 ✓  
3. 1000 ✓  
4. 1000 ✓  
5. 1000 ✓  
6. 1000 ✓  
7. 1000 ✓  
8. 1000 ✓  
9. 1000 ✓  
10. 1000 ✓  
11. 1000 ✓  
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95. 1000 ✓  
96. 1000 ✓  
97. 1000 ✓  
98. 1000 ✓  
99. 1000 ✓  
100. 1000 ✓

Permit No. 601266

Date of permit 05/03/2008

2/11 Concrete  
blocks with steel  
plate over form.  
EEL





R3 RESIDENCE ZONE

## APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class  
Portland, Maine, May 16, 1968

PERMIT ISSUED

MAY 16 1968

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1060 Ocean Ave. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address James B Patterson, 1060 Ocean Ave. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Waynard J Gagne 42 State St. Telephone 774-3732  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
Proposed use of building Dwelling No. families 1  
Last use \_\_\_\_\_ " \_\_\_\_\_ No. families 1  
Material frame No. stories 1 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 600.00 Fee \$ 5.00

## General Description of New Work

To change out existing foundation under dwelling from cement post to 8" concrete block foundation with footing. (no cellar)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? yes  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation 8" concrete blocks at least 4 below grade Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof with 12 x 16 footing Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_; Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairs be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## APPROVED:

A.K. - 5/16/68 - All  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

James B Patterson

CS 301

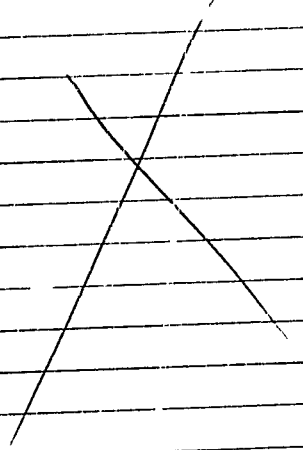
INSPECTION COPY

Signature of owner by: Mrs. James B. Patterson774

1968  
19472  
26

NOTES

5/27/68 - Told owners to  
be sure and call when  
forting was to be poured.  
E.S.S.  
6/5/68 - Forting in progress.  
E.S.S.  
6/11/68 - Work done  
E.S.S.



Permit No. 681 457  
Location 1060 Ocean Ave.  
Owner James H. Patterson  
Date of permit 5/16/68  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_



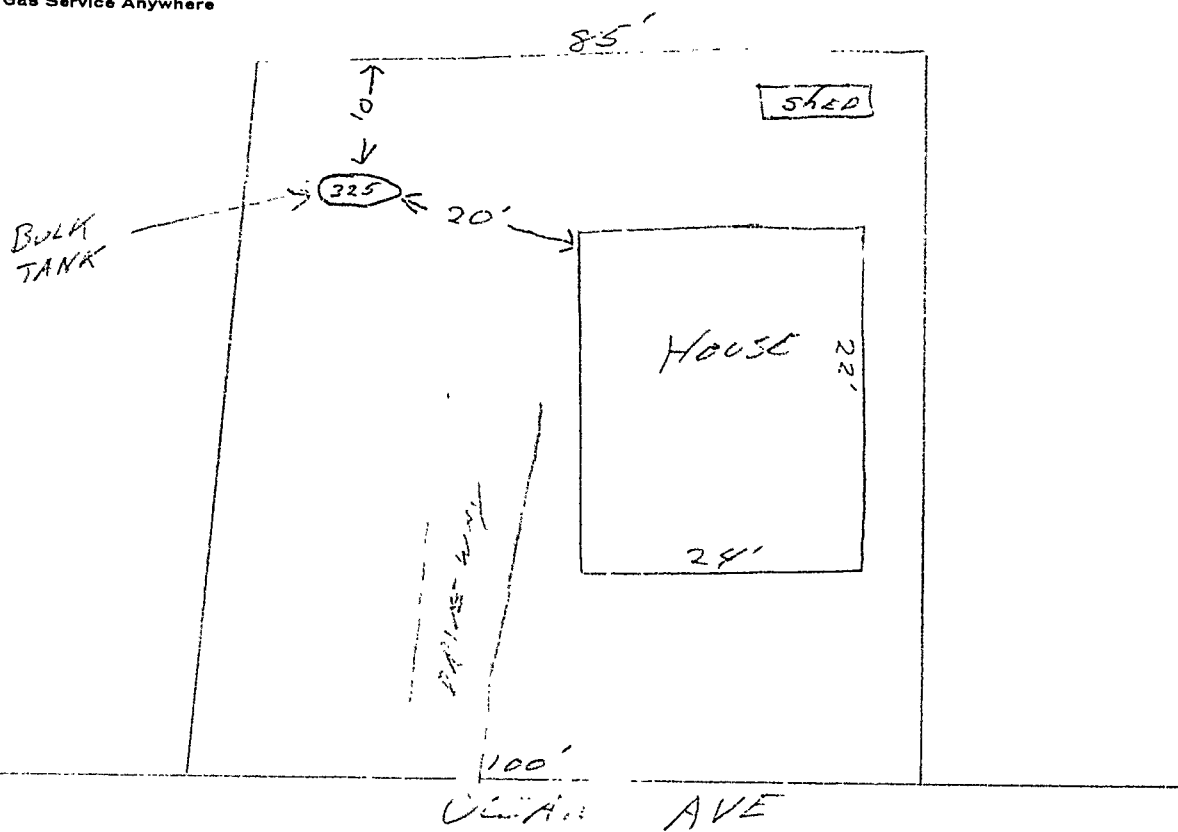
Gas Service Anywhere

THOMPSON'S POINT

Tel: 772-3307 (Area Code 207)

PORTLAND, MAINE

Reply to: Thompson's Point, Portland, Maine 04102



PERMIT REQUEST

325 GAL BULK GAS STORAGE TANK  
FOR

JAMES PATTERSON

1060 OCEAN AVE

PORTLAND, ME

INSTALLED BY

SUBURBAN PROPANE

THOMPSON'S POINT

PORTLAND, ME



R3 RESIDENCE ZONE

## APPLICATION FOR PERMIT

Class of Building or Type of Structure InstallationPortland, Maine, September 14, 1966PERMIT ISSUED  
00900

SEP 20 1966

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1060 Ocean Ave. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address James Patterson, 1060 Ocean Ave. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Suburban Propane Gas Co., Thompson's Point Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets \_\_\_\_\_  
Proposed use of building Dwelling No. families \_\_\_\_\_  
Last use \_\_\_\_\_ " \_\_\_\_\_ No. families \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fire \$ 2.00

## General Description of New Work

To install 1-325 gallon propane gas tank

Tank to set on concrete blocks

Sent to Fire Dept. 9/14/66  
Rec'd from Fire Dept. 9/20/66

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Suburban Propane

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

J. R. Bono Fire Chief 9/20/66  
CHIEF OF FIRE DEPT.

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

James Patterson  
Suburban Propane

CS 301

INSPECTION COPY

Signature of owner

By

James Patterson

10/13

Permit No. 66/9.c  
Location 1060 Ocean Ave  
Owner James Pittman  
Date of permit 9/20/66  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_

N  
10/13/66- 1000 imp. mach  
JP



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR  
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Sept. 29, 1961

01282  
SEP 29 1961

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1062 Ocean Ave. Use of Building dwelling No. Stories 2 ~~New Building~~  
Name and address of owner of appliance Lloyd E. Chandler, 1062 Ocean Ave. Existing "  
Installer's name and address Ballard Oil & Equip. Co., 135 Marginal Way Telephone

General Description of Work

To install oil-fired forced hot water boiler and oil burning equipment (replacement)  
to heat second floor

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no  
If so, how protected? Kind of fuel? oil  
Minimum distance to burnable material, from top of appliance or casing top of furnace 3'  
From top of smoke pipe 2' From front of appliance over 4' From sides or back of appliance over 4'  
Size of chimney flue 12x12 Other connections to same flue furnace  
If gas fired, how vented? Rated maximum demand per hour  
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner ABC-gun type Labelled by underwriters' laboratories? yes  
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom  
Type of floor beneath burner cement Size of vent pipe 1 1/2"  
Location of oil storage basement Number and capacity of tanks existing  
Low water shut off Make No.  
Will all tanks be more than five feet from any flame? yes How many tanks enclosed?  
Total capacity of any existing storage tanks for furnace burners 275 gal.

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?  
If so, how protected? Height of legs, if any  
Skirting at bottom of appliance? Distance to combustible material from top of appliance?  
From front of appliance From sides and back From top of smokepipe  
Size of chimney flue Other connections to same flue  
Is hood to be provided? If so, how vented? Forced or gravity?  
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

9.29.61. [Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Ballard Oil & Equip. Co.

Signature of Installer

[Signature]

CS 300

INSPECTION COPY





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR  
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Dec. 23, 1958

PERMIT ISSUED

DEC 24 1958

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1062 Ocean Ave. Use of Building Dwelling No. Stories 1 1/2 New Building  
Name and address of owner of appliance Lloyd A. Chandler, 1062 Ocean Ave. Existing "  
Installer's name and address Ballard Oil & Equipment Co. 135 Mainway Telephone 2-1991

General Description of Work

To install Oil burning equipment in connection with existing gravity warm air furnace heat  
(conversion) replacement

IF HEATER, OR POWER BOILER

Location of appliance Ballard High Pressure Any burnable material in floor surface or beneath?  
If so, how protected? Kind of fuel?  
Minimum distance to burnable material, from top of appliance or casing top of furnace  
From top of smoke pipe From front of appliance From sides or back of appliance  
Size of chimney flue Other connections to same flue  
If gas fired, how vented? Rated maximum demand per hour  
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Ballard High Pressure-gunit Labelled by underwriters' laboratories? yes  
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom  
Type of floor beneath burner concrete Size of vent pipe 1 1/2"  
Location of oil storage basement Number and capacity of tanks 1-275 existing  
Low water shut off Make No.  
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? none  
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?  
If so, how protected? Height of Legs, if any  
Skirting at bottom of appliance? Distance to combustible material from top of appliance?  
From front of appliance From sides and back From top of smokepipe  
Size of chimney flue Other connections to same flue  
Is hood to be provided? If so, how vented? Forced or gravity?  
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

12-23-58

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Ballard Oil & Equipment Co.

by:

Signature of Installer

MAINE PRINTING CO.

INSPECTION COPY

FTM



1970

Permit No.	1-24-58/1779
Location	146-3 (Marine) Place
Owner	City of St. Lawrence
Date of Permit	1/7/24/8-58
Approved	1-15-58 74 [Signature]

1-9-59 to 15-11-59  
Start



(LOCAL) ONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Sept. 21, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~at the above location~~ the following building ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1056 Ocean Avenue Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's name and address Robert Wakefield, 1062 Ocean Avenue Telephone none  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Owner Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 2  
Proposed use of building Retail store (groceries) No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Material frame No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 1500

General Description of New Work

To erect one-story frame store 12' x 20'.

Fee \$ 5.00

Health Notices to  
Health Officer and thus ✓

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Owner

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes  
Height average grade to top of plate 12' Height average grade to highest point of roof 13'  
Size, front 20' depth 12' No. stories 1 solid or filled land? solid earth or rock? rock  
Material of foundation cedar posts at least 4' below grade Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar no  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof Flat Rise per foot 1" Roof covering Asphalt Class C Und. Lab. \_\_\_\_\_  
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat stove fuel oil  
Framing lumber—Kind second-hand Dressed or full size? \_\_\_\_\_  
Corner posts 6x8 Sills 6x8 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders yes Size 6x8 Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor 2x6 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 2x6  
On centers: 1st floor 16" 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 16"  
Maximum span: 1st floor 6' 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

C.R. 10/13/48 ags

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Robert Wakefield

## NOTES

[illegible]

10/11-1/48 - location 015. 05. 03. 04.

11/10/18 - 91.800 22.2

11/30/48 - Wols progressing slowly E28

197/85 - 197/85 - 197/85

*[Faint handwritten notes at the bottom of the page]*

4/5/49 - Remay, Little G. ... 28

4/27/99

11/3/1999

*[Faint handwritten notes at the bottom of the page]*

2/16/47 - Same 5.85

3/5/49 - Same as 20

4/19/49. ... was ...  
4/17/49. ...

8/17/49- 2000 551  
9/1/49 2000 551

9/22/75. Nothing has been done

115-149 - Walling has been seen on 7/10/49  
115-149 - In appearance partially female

~~11/8/49~~ 11/23/49 - 1st letter about Defaced Signet to 22

11/23/19 - 2019

5-15-50. Framework of building has been

From down to play more healthy on cedar plants.

*[Handwritten signature]*

5/15/50 Mrs. W. A. Hilditch said Mr. B. J. Hilditch

moving to the platform early. 24

Handwritten musical notation on a five-line staff, featuring a treble clef and several notes.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

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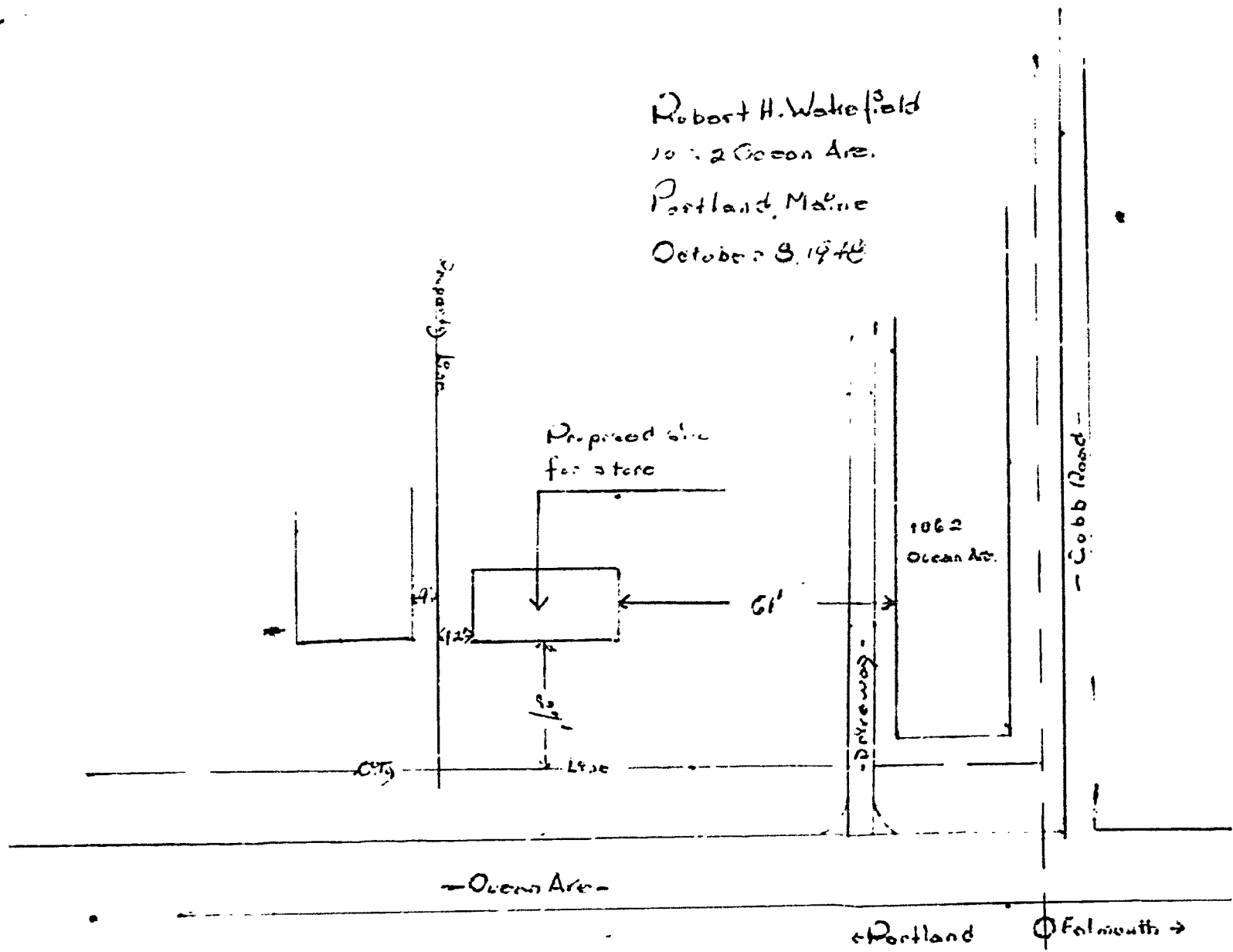
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6

6

Permit No.	148/1890
Location	1056 Ocean Ave.
Owner	Philip Wakefield
Date of permit	10/13/48
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	5/16/50
Cert. of Occupancy issued	11/18/48

Robert H. Wakefield  
1062 Ocean Ave.  
Portland, Maine  
October 8, 1948



STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for store  
at 1056 Ocean Avenue Date Sept. 21, 1942

1. In whose name is the title of the property now recorded? Robert Wakefield
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how?
3. Is the outline of the proposed work now staked out upon the ground? no  
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? yes
4. What is to be maximum projection or overhang of eaves or drip?
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Robert Wakefield

October 2, 1948

Subject: Application for permit for construction of  
fill wall in for retail store purposes at 1056  
Green Ave. S.W.

Real Size:

A check of the application in the case filed with it raises the following questions as to compliance with requirements of the Housing Finance and the Building Code:

2. As required by Section 160 of the zoning Ordinance the front wall of the new building may be located no closer to the line of Ocean Avenue than the front wall of the existing dwelling on the adjoining lot. As shown on the plan and shown on plan the proposed location is about three feet nearer Ocean Avenue than the front wall of the dwelling and therefore the location does not comply with the requirement of the zoning Ordinance.

OK. The end sills and girder on spans of more than feet will not figure out to take care of the loads involved wherever the floor and roof joists are to be supported. For a building of this size the building Code specifies a minimum live load capacity of seventy-five pounds per square foot for the floor joists, while that is to be on the flat roof must be figured as forty pounds per square foot. This will necessitate the use of larger timbers for sills and girder or the introduction of more cedar posts to support the EMB's. - *Added to 10-6-62 plans.*

OK. The 2x6 rafters spaced 16" on centers will not figure out on the span of twelve feet unless they are of full size, not dressed, lumber. No less than 1x3 cross bracing, or block bracing the same depth as the rafters, is required at the center of span of rafters. *See drawing 10-108*

4. The end bolsters on top of outer posts between posts and sills as shown on plan are not allowable. The sills are required to rest directly on top of the posts.

5. The finished grade of the ground around the building must be kept at least six inches below the bottom of the sills instead of part way up on walls of building as shown on plan.

6. All floor slabs at the ends of the building beneath the end walls are required to be double instead of being single as shown.

7. The outside chimney must be kept at least 1" from all work in the outside wall of building and a concrete foundation extending at least four feet below grade is required. Where the smokepipe is to enter the chimney the brickwork of the chimney must be corbelled through the wall of the building to a point flush with the inside face of the studs.

Q. 8. The plate at top of stucco on which rafters are to rest, must be double instead of single as shown. Care should be taken to secure a substantial job where the walls are to extend up beyond the roof line on the front and ends of the building by extending the short studs down to the plate and securely spiking them to the sides of the rafters.

9. No less than a 1x6 or a double 2x6 on edge is required for the header over

Mr. Robert M. Wakefield-----2

October 2, 1948

the large window opening in the front wall. Jack studs as well as double headers are required on the sides of all openings.

10. The studs in the outside walls need not be 2x6 as shown, but 2x4's, 16" on centers may be used if adequate cross bracing in walls is provided.

Before we shall be able to issue a permit for construction of this building, it will be necessary that the location of the building be staked out in a position complying with Zoning Ordinance regulations and that the plan be revised to show compliance with Building Code requirements in the particulars listed above. A copy of this letter is being enclosed for use of your architect should you care to give it to him.

Very truly yours,

AJG/G

- Inspector of Buildings

Enclosure: Copy of letter for use of architect

CC: for architect

Memorandum from Department of Building Inspection, Portland, Maine

October 13, 1943

Mr. Robert Wakefield,  
1062 Ocean Avenue,  
Portland, Maine

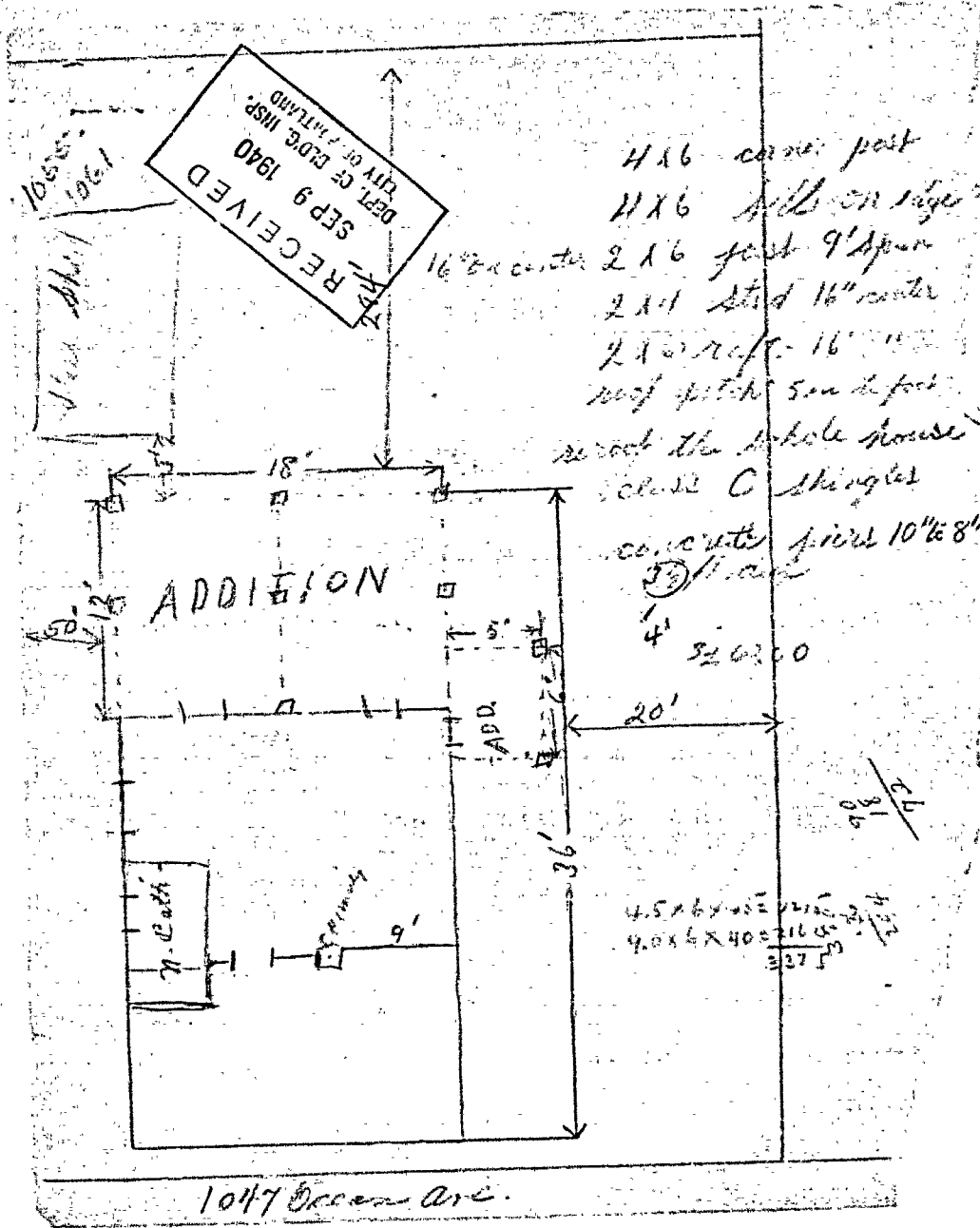
Dear Sir:

If splicing of sills is necessary, such splices are required to come directly over the cedar posts and to be lapped at least eight inches instead of being butted as indicated on plan.

WJM/n

(Signed) Warren McDonald  
Inspector of Buildings





STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for a 1st floor frame addition  
at 1027 Ocean Avenue

Date 9/9/41

1. In whose name is the title of the property now recorded? *Joseph H. Odgers*
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? *yes Stakes*
3. Is the outline of the proposed work now staked out upon the ground? *no* If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? *yes*
4. What is to be maximum projection or overhang of eaves or drip? *8 in.*
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? *yes*
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? *yes*
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? *yes*

*Mr. Everett Swanson*



(R) GENERAL RESIDENCE ZONE

## APPLICATION FOR PERMIT

Permit No.

1229D

Class of Building or Type of Structure Third class

Portland, Maine, September 9, 1943

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1047 Ocean Avenue Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's or Lessee's name and address Everett Swanson, 1047 Ocean Avenue Telephone no  
Contractor's name and address Owner Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Plans filed yes No. of sheets 1  
Proposed use of building Dwelling No. families 1  
Other buildings on same lot Shed  
Estimated cost \$ 200. Fee \$ .75

## Description of Present Building to be Altered

Material frame No. stories 1 Heat \_\_\_\_\_ Style of roof pitch Roofing asphalt roofing  
Last use Dwelling No. families 1

## General Description of New Work

To construct one story rear addition 12' x 18' and rear entrance porch 6' x 5'.  
To cover roof of main house and new addition with asphalt roofing Class C Und. Lab.  
To change two existing windows to two doors between new addition and existing kitchen.  
To cut in new door between existing kitchen and new entrance porch.  
To change door to window on side in kitchen.  
To change existing toilet room to new bathroom 5' x 7'. Studs 2x4, 16" O.C.  
To set new window at least three square feet in area for ventilation of new bathroom.  
To close up window in dining room-living room.  
To construct 9' non-bearing partition, studs 2x4, 16" O.C., between kitchen and living room. To cut in ordinary door between two rooms.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

## Details of New Work

Is any plumbing work involved in this work? yes  
Is any electrical work involved in this work? yes Height average grade to top of plate 7'  
Size, front 18' depth 12' No. stories 1 Height average grade to highest point of roof 15'  
To be erected on solid or filled land? solid earth or rock? earth  
Material of foundation concrete piers at least 4' below grade  
Material of underpinning sills at least 8" above grade  
Kind of Roof pitch Rise per foot 5" Roof covering asphalt roofing Class C Und. Lab.  
No. of chimneys none Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Bracing Lumber—Kind \_\_\_\_\_ Dressed or Built Size? \_\_\_\_\_  
Corner posts 4x6 Sills 4x6 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material lumber under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor 2x6 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 2x6  
On centers: 1st floor 16" 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 16"  
Maximum span: 1st floor 9' 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_  
If a Garage: \_\_\_\_\_

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

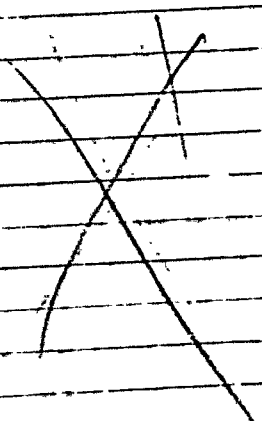
INSTRUCTION COPY

Signature of owner Mrs. Everett Swanson

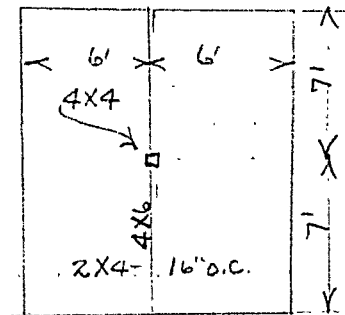
Permit No. 40/1329  
Location 1056 Ocean Avenue  
Owner Ernest L. Hanson  
Date of permit 9/12/40  
Notif. closing-in 10/29/40  
Inspn. closing-in 11/21/40 J.T.  
Final Notif.  
Final Inspn. 5/29/41  
Cert. of Occupancy issued None

NOTES

9/12/40 Permit issued  
9/12/40 Permit issued  
9/12/40 Permit issued  
10/29/40 Permit issued

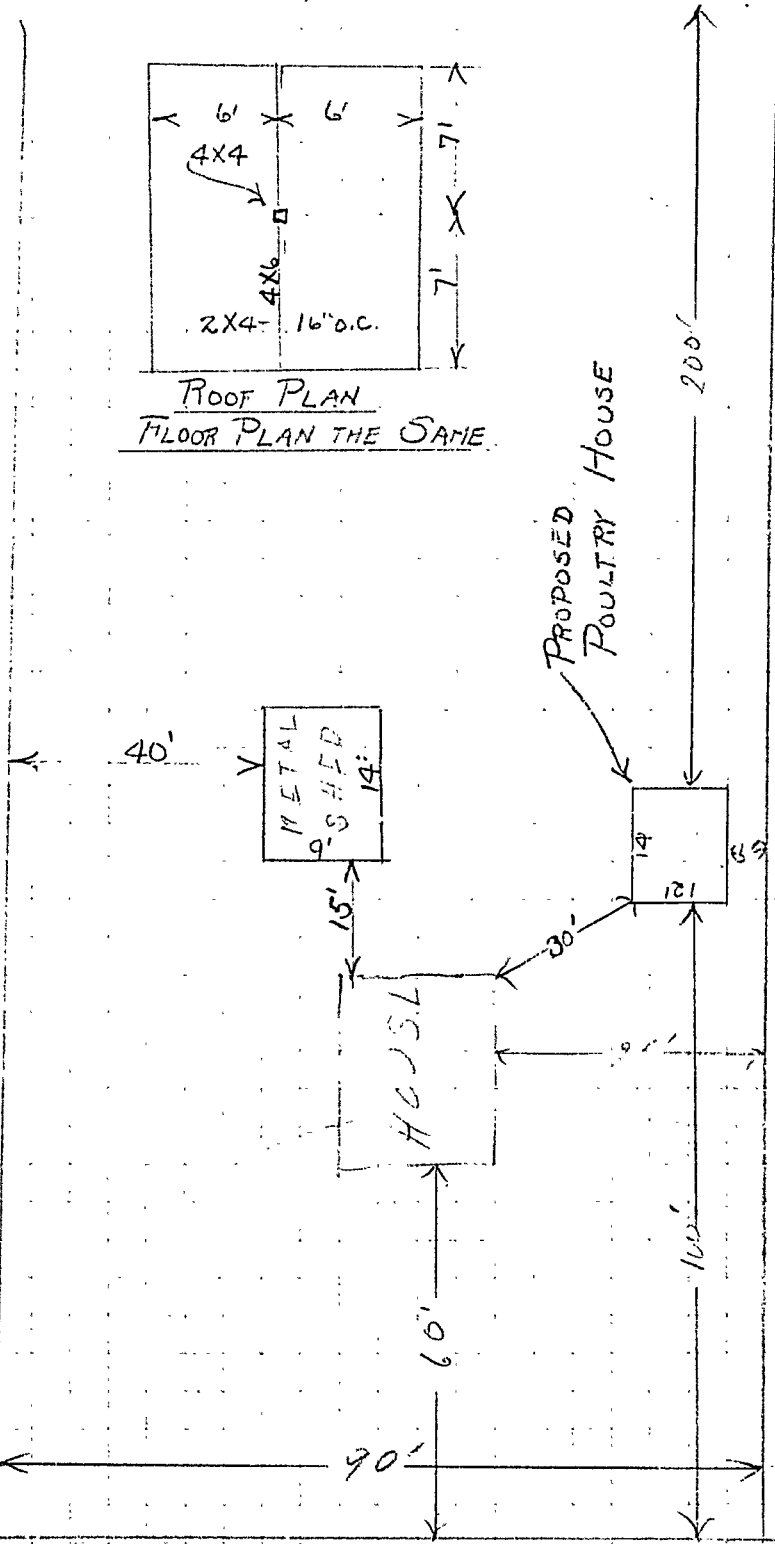


RECEIVED  
MAR 2 1939  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND



ROOF PLAN  
FLOOR PLAN THE SAME

PROPOSED  
POULTRY HOUSE



#104

Clear Area

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for poultry house  
at 1047 Ocean Avenue

Date March 2, 1939

1. In whose name is the title of the property now recorded? *Joseph Bodney*
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? *by a fence*
3. Is the outline of the proposed work now staked out upon the ground? *yes* If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced?
4. What is to be maximum projection or overhang of eaves or drip? *10"*
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches, and other projections? *yes*
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? *yes*
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? *yes*

*C. S. Swanson*



# APPLICATION FOR PERMIT **PERMIT ISSUED**

Class of Building or Type of Structure Third Class

Portland, Maine, March 2, 1939 **185** **9 1939**

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1047 Ocean Avenue Within Fire Limits? no Dist. No. no  
Owner's or Lessee's name and address F. Stephen Swanson, 1047 Ocean Ave. Telephone no  
Contractor's name and address Owner Telephone no  
Architect no Plans filed yes No. of sheets 1  
Proposed use of building Poultry house No. families no  
Other buildings on same lot Dwelling and shed  
Estimated cost \$ 51. Fee \$ .50  
Description of Present Building to be Altered  
Material no No. stories no Heat no Style of roof no Roofing no  
Last use no No. families no

## General Description of New Work

To construct one story frame poultry house 12' x 14'

*Sills and 4x6 beam under roof to be set with 6" inch dimension upright.*

NOTIFICATION BEFORE LATENT OR CLOSING-IN IS WAIVED. REQUIREMENT IS WAIVED.

Side walls to be covered with asphalt paper

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

## Details of New Work

Size, front no depth no No. stories 1 Height average grade to top of plate 5'  
To be erected on solid or filled land? solid Height average grade to highest point of roof 8'  
Material of foundation no stones earth or rock? earth  
Material of underpinning no Thickness, top no bottom no cellar no  
Kind of Roof flat Rise per foot 3" Roof covering asphalt roofing Class C Und. Lab.  
No. of chimneys none Material of chimneys no of lining no  
Kind of heat none Type of fuel no Is gas fitting involved? no  
Framing Lumber—Kind hardwood or spruce Dressed or Full Size? full size  
Corner posts 2-2x4 Sills 4x6 Girt or ledger board? no Size no  
Material columns under girders no Size no Max. on centers no  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor 2x4, 2nd no, 3rd no, roof 2x4  
On centers: 1st floor 16", 2nd no, 3rd no, roof 16"  
Maximum span: 1st floor 7', 2nd no, 3rd no, roof 7' 6"  
If one story building with masonry walls, thickness of walls? no height? 4x6 thru center

## If a Garage

No. cars now accommodated on same lot no, to be accommodated no  
Total number commercial cars to be accommodated no  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner F. S. Swanson

39116

Permit No. 39/185  
Lo. <sup>1056</sup> 1047 Ocean Ave  
Owner: E. Stephen Swanson  
Da. mit 3/3 /39.

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 3/29/39. G.I.

Cert. of Occupancy issued *Handwritten*

*More metal garage* NOTES

39/184  
St. does enclosed

3/29/39. Work about done  
first to be put up  
roof girders. G.I.C.





# APPLICATION FOR PERMIT 0184 PERMIT ISSUED

Class of Building or Type of Structure First Class

Portland, Maine, March 2, 1939 MAR 9 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1056 10<sup>th</sup> Ocean Avenue Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's or Lessee's name and address F. Stephen Swanson, 1017 Ocean Avenue Telephone no  
Contractor's name and address Owner Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Plans filed yes No. of sheets 1  
Proposed use of building Wood shed See poultry house No. families \_\_\_\_\_  
Other buildings on same lot Dwelling and poultry house  
Estimated cost \$ 211 Fee \$22.50

## Description of Present Building to be Altered

Material metal No. stories 1 Heat \_\_\_\_\_ Style of roof pitch Roofing metal  
Last use Garage No. families \_\_\_\_\_

## General Description of New Work

To move all metal one car garage from 14 Exeter Street to above location.  
(See 38/1772 - which covered demolition of this building)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

NOTIFICATION BEFORE LATENESS  
OR CLOSING-IN IS WAIVED  
CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

## Details of New Work

no \_\_\_\_\_ Height average grade to top of plate 8'  
Size, front 9' depth 14' No. stories 1 Height average grade to highest point of roof 10'  
To be erected on solid or filled land? solid earth or rock? earth  
Material of foundation concrete posts Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of Roof pitch Rise per foot \_\_\_\_\_ Roof covering metal  
No. of chimneys none Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat none Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Dressed or Full Size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills 4x4 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger, Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor girt, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner F. S. Swanson

INSPECTION COPY

394784

Permit No. 39/184

Location 1047 Ocean Ave

Owner E. Stephen Swanson

Date of permit 3/3/39

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 3/29/39. G.C.B.

Cert. of Occupancy issued

Poultry House  
39/185

NOTES

PERMIT # 955

CITY OF

# BUILDING PERMIT APPLICATION

MAP #

LOT#

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Kenneth T. Forbes

Address: 1042 Ocean Ave.

LOCATION OF CONSTRUCTION Portland, Me. Same

CONTRACTOR: Self

SUBCONTRACTORS:

ADDRESS: Same

Est. Construction Cost: \$2,500.00

Type of Use: two family

Fast Use:

Building Dimensions 12'2" W 20' Sq. Ft. # Stories: Lot Size:

Is Proposed Use: Seasonal Condominium Apartment

Conversion - Explain construct detached garage

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only:

# Of Dwelling Units # Of New Dwelling Units

Foundation:

1. Type of Soil:

2. Set Backs - Front

Rear

Side(s)

3. Footings Size:

4. Foundation Size:

20'x 32' 4" 5/8"

5. Other

Floor:

1. Sills Size:

Sills must be anchored.

2. Girder Size:

3. Lally Column Spacing:

Size:

4. Joists Size:

Spacing 16" O.C.

5. Bridging Type:

Size:

6. Floor Sheathing Type:

Size:

7. Other Material:

Exterior Walls:

1. Studding Size:

Spacing

16" C

2. No. windows

3. No. Doors

4. Header Sizes

Span(s)

10'

5. Bracing:

Yes

No.

6. Corner Posts Size

7. Insulation Type

Size

8. Sheathing Type

5/8" T-11 4'x8'

9. Siding Type

Weather Exposure

10. Masonry Materials

11. Metal Materials

Interior Walls:

1. Studding Size

Spacing

16" C

2. Header Sizes

Span(s)

10' x 4'

3. Wall Covering Type

Sheet Rock

4. Fire Wall if required

5. Other Materials

## For Official Use Only

Date August 8, 1988

Subdivision: Yes / No

Inside Fire Limits

Name

Bldg Code

Lot

Time Limit

Block

Estimated Cost 2,500.00

Permit Expiration:

Value/Structure

Ownership

Fee 35.00

Public

Private

Ceiling:

1. Ceiling Joists Size:

2x6"

2. Ceiling Strapping Size

Spacing

3. Type Ceilings:

4. Insulation Type

1 1/2 Fiberglass Size 16'x15'

5. Ceiling Height:

Roof:

1. Truss or Rafter Size

2x6"

Span

27' 6" 2' C

2. Sheathing Type

5/8 plywood

Size

3. Roof Covering Type

Asphalt

4. Other

Chimneys:

Type: Brick

Number of Fire Places

2

Heating:

Type of Heat:

Electrical:

Service Entrance Size:

Smoke Detector Required

Yes

No

Plumbing:

1. Approval of soil test if required

Yes

No

2. No. of Tubs or Showers

3. No. of Flushes

4. No. of Lavatories

5. No. of Other Fixtures

Swimming Pools:

1. Type:

2. Pool Size:

x

Square Footage

3. Must conform to National Electrical Code and State Law.

Zoning:

District

Street Frontage Req.:

Provided

Required Setbacks: Front

Back

Side

Side

Review Received:

Zoning Board Approval: Yes

No

Date:

Planning Board Approval: Yes

No

Date:

Conditional Use:

Variance

Site Plan

Subdivision

Shore and Floodplain Mgmt.

Special Exception

Other (Explain)

Date Approved

Permit Received By

Joanne Quint

Signature of Applicant

Kenneth Forbes

Date

8-8-88

Signature of CEO

1

Date

Inspection Dates

White-Tax Assessor

Yellow-GPCOG

White Tag -CEO

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PERMIT # 002559

TOWN OF

BUILDING PERMIT APPLICATION

MAP #

LOT #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Kenneth T. Forbes

Address: \*1062 Ocean Ave. 774-9791 04103

LOCATION OF CONSTRUCTION 1062 Ocean Ave.

CONTRACTOR: William Forbes SUBCONTRACTORS: 773-3009

ADDRESS: 73 Congress Street

Est. Construction Cost: 850.00 Type of Use: 2 family

Past Use:

Building Dimensions L W Sq. Ft. # Stories Lot Size:

Is Proposed Use: Seasonal Condominium Apartment

Conversion - Explain (garage)

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE later. Setbacks shown

Residential Buildings Only:

# Of Dwelling Units # Of New Dwelling Units

Foundation:

1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:

1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size: Spacing 16" O.C.
4. Joists Size:
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:

1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes Span(s)
5. Bracing: Yes No
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size Weather Exposure
9. Siding Type
10. Masonry Materials
11. Metal Materials

Interior Walls:

1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

White-Tax Assessor

Yellow-GPCOG

White Tag -CEO

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For Official Use Only

Date: September 5, 1989  
Inside Fire Limits  
Bldg Code  
Time Limit  
Estimated Cost: 850.00  
Value/Structure  
Fee: 25.00

Subdivision: Yes / No  
Name  
Lot  
Block  
Permit Expiration: Public  
Ownership

PERMIT ISSUED

SEP 8 1989

Ceiling:

1. Ceiling Joists Size: Spacing
2. Ceiling Strapping Size
3. Type Ceilings: City Of Portland
4. Insulation Type Size
5. Ceiling Height:

Roof:

1. Truss or Rafter Size Span
2. Sheathing Type Size
3. Roof Covering Type
4. Other

Chimneys:

- Type: Number of Fire Places

Heating:

- Type of Heat:

Electrical:

- Service Entrance Size: Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:

1. Type: Square Footage
2. Pool Size: x
3. Must conform to National Electrical Code and State Law.

Zoning:

- District: Street Frontage Req. Provided
- Required Setbacks: Front Back Side

Review Required:

- Zoning Board Approval: Yes No Date
- Planning Board Approval: Yes No Date
- Conditional Use: Variance Site Plan Subdivision
- Shore and Floodplain Mgmt. Special Exception
- Other (Explain)
- Date Approved

Permit Received By Deborah Goode

Signature of Applicant William E. Forbes Date 9/5/89

Signature of CEO Date

Inspection Dates BM

**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 1062 Ocean Ave		Owner: Forbes, Kenneth & Madeline		Phone:	Permit No: <b>960081</b>
Owner Address:		Lease/Buyer's Name:		Phone:	Business Name:
Contractor Name: William Forbes		Address: 1062 Ocean Ave Portland, ME 04103		Phone: 774-9791	
Past Use: 2-iam		Proposed Use: Same		COST OF WORK: \$ 7,000.00	PERMIT FEE: \$ 55.00
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type: 5B Signature: [Signature]	
Proposed Project Description: Rebuild Garage (Make Smaller) <del>XXXXXXXXXXXX</del> Construct Breezeway		Signature:		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: Date:	
Permit Taken By: Mary Gresik		Date Applied For: 02 February 1996			

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

William E. Forbes 1062 Ocean Ave. 02 February 1996 774-9791  
SIGNATURE OF APPLICANT William Forbes ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**PERMIT ISSUED**

Permit Issued:  
**FEB - 7 1996**

**CITY OF PORTLAND**

Zone: CBL: 414-A-004

Zoning Approval: 13-A-1  
Use: 1062 Ocean Ave  
Special Zone or Reviews:  
☐ Shoreland 9-8-89  
☐ Wetland  
☐ Flood Zone  
☐ Subdivision  
☐ Site Plan major ☐ minor ☐ mm ☐

**Zoning Appeal**  
☐ Variance  
☐ Miscellaneous  
☐ Conditional Use  
☐ Interpretation  
☐ Approved  
☐ Denied

**Historic Preservation**  
☐ Not in District or Landmark  
☒ Does Not Require Review  
☐ Requires Review

**Action:**  
☐ Approved  
☐ Approved with Conditions  
☐ Denied  
Date: [Signature]

CEO DISTRICT

**6**

A. Rowe

**PERMIT ISSUED  
WITH LETTER**

000955

## PERMIT # \_\_\_\_\_ CITY OF \_\_\_\_\_ BUILDING PERMIT APPLICATION

MAP # \_\_\_\_\_

LOT# \_\_\_\_\_

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Kenneth T. ForbesAddress: 1062 Ocean AveLOCATION OF CONSTRUCTION Portland Me SameCONTRACTOR: Self SUBCONTRACTORS: \_\_\_\_\_ADDRESS: SameEst. Construction Cost: 2,500.00 Type of Use: two family

Past Use: \_\_\_\_\_

Building Dimensions L 32 W 20 Sq. Ft. \_\_\_\_\_ # Stories: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Is Proposed Use: \_\_\_\_\_ Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Apartment \_\_\_\_\_

Conversion - Explain construct detached garage

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only:

# Of Dwelling Units \_\_\_\_\_ # Of New Dwelling Units \_\_\_\_\_

Foundation:

1. Type of Soil: \_\_\_\_\_
2. Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Side(s) \_\_\_\_\_
3. Footings Size: \_\_\_\_\_
4. Foundation Size: 20' x 32' 4' 5/46
5. Other \_\_\_\_\_

Floor:

1. Sills Size: \_\_\_\_\_ Sills must be anchored.
2. Girder Size: \_\_\_\_\_
3. Lally Column Spacing: \_\_\_\_\_ Size: \_\_\_\_\_
4. Joists Size: \_\_\_\_\_ Spacing 16" O.C.
5. Bridging Type: \_\_\_\_\_ Size: \_\_\_\_\_
6. Floor Sheathing Type: \_\_\_\_\_ Size: \_\_\_\_\_
7. Other Material: \_\_\_\_\_

Exterior Walls:

1. Studding Size: 2x4 Spacing 16" C
2. No. windows 3
3. No. Doors 2
4. Header Sizes: 2x2 Span(s) 10'
5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_
6. Corner Posts Size: \_\_\_\_\_
7. Insulation Type: \_\_\_\_\_ Size: \_\_\_\_\_
8. Sheathing Type: 5/8 T-11 Size: 4' x 8'
9. Siding Type: \_\_\_\_\_ Weather Exposure \_\_\_\_\_
10. Masonry Materials \_\_\_\_\_
11. Metal Materials \_\_\_\_\_

Interior Walls:

1. Studding Size: 2x4 Spacing 16" C
2. Header Sizes: 2x2 Span(s) 10' + 2'
3. Wall Covering Type: Sheet Rock
4. Fire Wall if required \_\_\_\_\_
5. Other Materials \_\_\_\_\_

## For Official Use Only

Date <u>August 8, 1988</u>	Subdivision: Yes / No _____
Inside Fire Limits _____	Name _____
Adg Code _____	Lot _____
Time Limit _____	Block _____
Estimated Cost: <u>2,500.00</u>	Permit Expiration: _____
Value/Structure _____	Ownership: _____ Public _____ Private _____
Fee: <u>33.00</u>	

Ceiling:

1. Ceiling Joists Size: 2x6 Spacing \_\_\_\_\_
2. Ceiling Strapping Size \_\_\_\_\_
3. Type Ceilings: \_\_\_\_\_
4. Insulation Type: 1/2" Fiberglass Size: 16" x 12"
5. Ceiling Height: \_\_\_\_\_

Roof:

1. Truss or Rafter Size: 2x6 Span 27' 6" 2' C
2. Sheathing Type: 1/2" plywood Size \_\_\_\_\_
3. R.o.f Covering Type: Asph/Flt
4. Other \_\_\_\_\_

Chimneys:

- Type: Brick Number of Fire Places 0

Heating:

- Type of Heat: \_\_\_\_\_

Electrical:

- Service Entrance Size: \_\_\_\_\_ Smoke Detector Required Yes \_\_\_\_\_ No \_\_\_\_\_

Plumbing:

1. Approval of soil test if required Yes \_\_\_\_\_ No \_\_\_\_\_
2. No. of Tubs or Showers \_\_\_\_\_
3. No. of Flushes \_\_\_\_\_
4. No. of Lavatories \_\_\_\_\_
5. No. of Other Fixtures \_\_\_\_\_

Swimming Pools:

1. Type: \_\_\_\_\_
2. Pool Size: \_\_\_\_\_ x \_\_\_\_\_ Square Footage \_\_\_\_\_
3. Must conform to National Electrical Code and State Law.

Zoning:

- District: R-3 Street Frontage Req.: \_\_\_\_\_ Provided \_\_\_\_\_

Review Required:

- Required Setbacks: Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_
- Zoning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_
- Planning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_
- Conditional Use: \_\_\_\_\_ Variance \_\_\_\_\_ Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_
- Shore and Floodplain Mgmt. \_\_\_\_\_ Special Exception \_\_\_\_\_
- Other (Explain) \_\_\_\_\_
- Date Approved: AK M. Peterson Aug 5, 1988

Permit Received By Joanne QuintSignature of Applicant Kenneth Forbes Date 8-8-88

Signature of CEO \_\_\_\_\_ Date \_\_\_\_\_

Inspection Dates \_\_\_\_\_

White-Tax Assessor

Yellow-GPCOG

White-Tag-CEO

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117 Mr. Wier

PLOT PLAN

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**FEES (Breakdown From Front)**  
 Base Fee \$ 35.00  
 Subdivision Fee \$ \_\_\_\_\_  
 Site Plan Review Fee \$ \_\_\_\_\_  
 Other Fees \$ \_\_\_\_\_  
 (Explain) \_\_\_\_\_  
 Late Fee \$ \_\_\_\_\_

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS 4-19-91 Permit void, work never started.

Signature of Applicant Kenneth Forbe

Date 8-8-88

PERMIT # 5559 TOWN OF \_\_\_\_\_ BUILDING PERMIT APPLICATION MAP # \_\_\_\_\_ LOT# \_\_\_\_\_  
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Kenneth L. Forbes  
Address: 1062 Ocean Ave. 774-9791 94103  
LOCATION OF CONSTRUCTION 1062 Ocean Ave.  
CONTRACTOR: William Forbes SUBCONTRACTORS: 773-3009  
ADDRESS: 73 Congress Street

Est. Construction Cost: 350.00 Type of Use: 2 family  
Past Use: \_\_\_\_\_  
Building Dimensions L \_\_\_\_\_ W \_\_\_\_\_ Sq. Ft. \_\_\_\_\_ # Stories: \_\_\_\_\_ Lot Size: \_\_\_\_\_  
Is Proposed Use: \_\_\_\_\_ Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Apartment \_\_\_\_\_

Conversion - Explain (garage) Permit for slab ONLY Bldg Permit to be taken out later. setbacks shown  
**COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE**  
Residential Buildings Only:  
# Of Dwelling Units \_\_\_\_\_ # Of New Dwelling Units \_\_\_\_\_

Foundation:  
1. Type of Soil: \_\_\_\_\_  
2. Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Side(s) \_\_\_\_\_  
3. Footings Size: \_\_\_\_\_  
4. Foundation Size: \_\_\_\_\_  
5. Other \_\_\_\_\_

Floor:  
1. Sills Size: \_\_\_\_\_ Sills must be anchored.  
2. Girder Size: \_\_\_\_\_  
3. Lally Column Spacing: \_\_\_\_\_ Size: \_\_\_\_\_  
4. Joists Size: \_\_\_\_\_ Spacing 16" O.C.  
5. Bridging Type: \_\_\_\_\_ Size: \_\_\_\_\_  
6. Floor Sheathing Type: \_\_\_\_\_ Size: \_\_\_\_\_  
7. Other Material: \_\_\_\_\_

Exterior Walls:  
1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
2. No. windows \_\_\_\_\_  
3. No. Doors \_\_\_\_\_  
4. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_  
5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_  
6. Corner Posts Size \_\_\_\_\_  
7. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_  
8. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
9. Siding Type \_\_\_\_\_ Weather Exposure \_\_\_\_\_  
10. Masonry Materials \_\_\_\_\_  
11. Metal Materials \_\_\_\_\_

Interior Walls:  
1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
2. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_  
3. Wall Covering Type \_\_\_\_\_  
4. Fire Wall if required \_\_\_\_\_  
5. Other Materials \_\_\_\_\_

**For Official Use Only**  
Date September 31 1989 Subdivision: Yes / No \_\_\_\_\_  
Inside Fire Limits \_\_\_\_\_ Name \_\_\_\_\_  
Bldg Code \_\_\_\_\_ Lot \_\_\_\_\_  
Time Limit \_\_\_\_\_ Block \_\_\_\_\_  
Estimated Cost: 350.00 Permit Expiration: \_\_\_\_\_  
Value/Structure \_\_\_\_\_ Ownership: \_\_\_\_\_ Public \_\_\_\_\_ Private \_\_\_\_\_  
Fee 25.00

Ceiling:  
1. Ceiling Joists Size: \_\_\_\_\_  
2. Ceiling Strapping Size \_\_\_\_\_  
3. Type Ceilings: \_\_\_\_\_  
4. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_  
5. Ceiling Height: \_\_\_\_\_  
Roof:  
1. Truss or Rafter Size \_\_\_\_\_ Span \_\_\_\_\_  
2. Sheathing Type \_\_\_\_\_ Side \_\_\_\_\_  
3. Roof Covering Type \_\_\_\_\_  
4. Other \_\_\_\_\_

Chimneys:  
Type: \_\_\_\_\_ Number of Fire Places \_\_\_\_\_

Heating:  
Type of Heat: \_\_\_\_\_

Electrical:  
Service Entrance Size: \_\_\_\_\_ Smoke Detector Required Yes \_\_\_\_\_ No \_\_\_\_\_

Plumbing:  
1. Approval of soil test if required Yes \_\_\_\_\_ No \_\_\_\_\_  
2. No. of Tubs or Showers \_\_\_\_\_  
3. No. of Flushes \_\_\_\_\_  
4. No. of Lavatories \_\_\_\_\_  
5. No. of Other Fixtures \_\_\_\_\_

Swimming Pools:  
1. Type: \_\_\_\_\_  
2. Pool Size: \_\_\_\_\_ x \_\_\_\_\_ Square Footage \_\_\_\_\_  
3. Must conform to National Electrical Code and State Law.

Zoning:  
District \_\_\_\_\_ Street Frontage Req.: \_\_\_\_\_ Provided \_\_\_\_\_  
Require i Setbacks: Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_ Side \_\_\_\_\_

Review Required:  
Zoning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Planning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Conditional Use: \_\_\_\_\_ Variance \_\_\_\_\_ Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_  
Shore and Floodplain Mgmt. \_\_\_\_\_ Special Exception \_\_\_\_\_  
Other (Explain) \_\_\_\_\_  
Date Approved W.D.H. 9-5-89

Permit Received By Peborah Goode

Signature of Applicant William L. Forbes Date 9/6/89

Signature of CEO \_\_\_\_\_ Date \_\_\_\_\_

Inspection Dates \_\_\_\_\_



**PLOT PLAN**



**FEES (Breakdown From Front)**

Base Fee \$ \_\_\_\_\_  
 Subdivision Fee \$ \_\_\_\_\_  
 Site Plan Review Fee \$ \_\_\_\_\_  
 Other Fees \$ \_\_\_\_\_  
 (Explain) \_\_\_\_\_  
 Late Fee \$ \_\_\_\_\_

**Type**

**Inspection Record**

**Date**

_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____

**COMMENTS**

Permit expired 4-19-91. Work never started.

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Signature of Applicant

*William E. Forbes*

Date

*9/5/89*



CITY OF PORTLAND, MAINE

389 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF  
INSPECTION SERVICES DIVISION

1062 Ocean Avenue

September 5, 1989

Mr. William E. Forbes  
73 Congress Street  
Portland, Maine 04101

Dear Mr. Forbes:

This is in reference to your recent application for a building permit for a slab for a garage at 1062 Ocean Avenue in the R-3 Residence Zone for Mr. Kenneth T. Forbes. We have checked our records and find no permit was issued for a change of use for the building at 1062 Ocean Avenue to approve its conversion from a single to a two family dwelling.

Can you investigate this matter and advise whether a variance, or conditional use were ever granted for the conversion of this building from a single to a two family dwelling? This office will require some additional information concerning this conversion before a building permit can be issued for the slab for the proposed garage.

Sincerely,

  
William D. Giroux  
Zoning Enforcement Officer

cc: Joseph E. Gray, Jr., Director, Planning & Urban Development  
P. Samuel Hoffses, Chief, Inspection Services  
Marge Schmuckal, Deputy Chief, Inspection Services  
Burt MacIsaac, Code Enforcement Officer  
Warren J. Turner, Administrative Assistant

*See Permit  
copy attached -  
for 2 Family  
9/7/89*

**T#** 955 **CITY OF** \_\_\_\_\_ **BUILDING PERMIT APPLICATION** **MAP #** L

I enclose part which applies to job. Proper plans must accompany form.

**Name:** Kenneth T. Forbes

**Address:** 1002 Ocean Ave.

**NAME OF CONSTRUCTION:** Garage

**SUBJECT:** SLIP **SUBCONTRACTOR:** \_\_\_\_\_

**Location:** 2.500 **Type of Use:** Two Family

**Exemptions:** 1.21 & 2.21 **Other Exemptions:** \_\_\_\_\_

**Use:** Residential **Construction:** Unfinished

**Conversion:** None **Construct:** detached garage

**NOTE ONLY IF THE NUMBER OF UNITS WILL CHANGE**

**Total Buildings Only:** \_\_\_\_\_ **Off New Dwelling Units:** \_\_\_\_\_

**1. Type of Soil:** \_\_\_\_\_

**2. Slope Backs - Front:** \_\_\_\_\_ **Rear:** \_\_\_\_\_ **Side(s):** \_\_\_\_\_

**3. Footing Size:** \_\_\_\_\_

**4. Foundation Size:** 20' x 32' 4" slab

**5. Other:** \_\_\_\_\_

**6. Sills:** \_\_\_\_\_ **Sills must be anchored**

**7. Girder Size:** \_\_\_\_\_

**8. Lally Column Spacing:** \_\_\_\_\_ **Size:** \_\_\_\_\_

**9. Joist Size:** \_\_\_\_\_ **Spacing:** 16" O.C.

**10. Bridging Type:** \_\_\_\_\_ **Size:** \_\_\_\_\_

**11. Floor Sheathing Type:** \_\_\_\_\_ **Size:** \_\_\_\_\_

**12. Other Material:** \_\_\_\_\_

**Walls:** \_\_\_\_\_

**1. Studding Size:** 2x4 **Spacing:** 16" C

**2. No. windows:** \_\_\_\_\_

**3. No. Doors:** \_\_\_\_\_

**4. Header Size:** 2x6 **Span(s):** 10'

**5. Bracing:** Yes **No:** \_\_\_\_\_

**6. Corner Posts Size:** \_\_\_\_\_ **Size:** \_\_\_\_\_

**7. Insulation Type:** \_\_\_\_\_ **Size:** \_\_\_\_\_

**8. Sheathing Type:** 5/8" Ply **Size:** 4' x 8'

**9. Walling Type:** \_\_\_\_\_ **Weather Exposure:** \_\_\_\_\_

**10. Secondary Materials:** \_\_\_\_\_

**11. Metal Materials:** \_\_\_\_\_

**12. Filler:** \_\_\_\_\_

**1. Studding Size:** 2x4 **Spacing:** 16" C

**2. Header Size:** 2x6 **Span(s):** 10' + 4'

**3. Wall Covering Type:** Sheet Rock

**4. Fire Wall (if required):** \_\_\_\_\_

**5. Other Materials:** \_\_\_\_\_

**For Official Use Only**

**Date:** August 8, 1988 **Name:** \_\_\_\_\_

**Inspector's Initials:** \_\_\_\_\_ **License:** \_\_\_\_\_

**Time Taken:** \_\_\_\_\_ **Permit Number:** \_\_\_\_\_

**Estimated Cost:** \$4,000.00 **Owner's:** \_\_\_\_\_

**Value Added:** \_\_\_\_\_ **Fee:** \$5.00

**Ceilings:**

**1. Ceiling down to floor:** 2' x 6" **Spacing:** \_\_\_\_\_

**2. Ceiling up to floor:** \_\_\_\_\_

**3. Ceiling Type:** \_\_\_\_\_

**4. Insulation Type:** 1/2 Fiberglass **Size:** 16"

**5. Ceiling Height:** \_\_\_\_\_

**Floor:**

**1. Truss or Rafter Size:** 2' x 6" **Span:** 3'

**2. Sheathing Type:** 5/8 plywood **Size:** \_\_\_\_\_

**3. Roof Covering Type:** Asphalt

**4. Other:** \_\_\_\_\_

**Chimneys:**

**Type:** Brick **Number of Fire Places:** (1)

**Heating:**

**Type of Heat:** \_\_\_\_\_

**Electrical:**

**Service Entrance Size:** \_\_\_\_\_ **Smoke Detector Required:** \_\_\_\_\_

**Plumbing:**

**1. Approval of soil test if required:** \_\_\_\_\_ **Yes:** \_\_\_\_\_

**2. No. of Tubs or Showers:** \_\_\_\_\_

**3. No. of Flushes:** \_\_\_\_\_

**4. No. of Lavatories:** \_\_\_\_\_

**5. No. of Other Fixtures:** \_\_\_\_\_

**Swimming Pools:**

**1. Type:** \_\_\_\_\_

**2. Pool Size:** \_\_\_\_\_ **x** \_\_\_\_\_ **Square Footage:** \_\_\_\_\_

**3. Must conform to National Electrical Code and State Law.**

**Zoning:**

**District:** \_\_\_\_\_ **Street Frontage Req.:** \_\_\_\_\_ **Provi-**

**Approved Setbacks:** **Front:** \_\_\_\_\_ **Back:** \_\_\_\_\_ **Side:** \_\_\_\_\_

**Review Required:**

**Zoning Board Approval:** **Yes:** \_\_\_\_\_ **No:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Planning Board Approval:** **Yes:** \_\_\_\_\_ **No:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Conditional Use:** \_\_\_\_\_ **Variance:** \_\_\_\_\_ **Site Plan:** \_\_\_\_\_

**Shore and Floodplain Mgmt.:** \_\_\_\_\_ **Special Exception:** \_\_\_\_\_

**Other (Explain):** \_\_\_\_\_

**Date Approved:** \_\_\_\_\_

**Permit Received By:** Joanne Quint

**Signature of Applicant:** Kenneth Forbes **Date:** \_\_\_\_\_

**Signature of CEO:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Inspection Dates:** \_\_\_\_\_

**White-Tax Assessor Yellow-GPCOG White Tag**

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CITY OF PORTLAND, MAINE

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Sincerely,

  
William D. Giroux  
Zoning Enforcement Officer

cc: Joseph E. Gray, Jr., Director, Planning & Urban Development  
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