

91-~~14~~⁴⁵ SUMMIT STREET

PERMIT TO INSTALL PLUMBING

PERMIT NUMBER **1740**

Address **93 Summit Street**
Installation for **one family**
Owner of Bldg.: **Norman Z. McLeod**
Owner's Address **same**
Plumber: **Headowner** Date: **10-11-78**

Date Issued **10-11-78**
Portland Plumbing Inspector
By **ERNOLD R GOODWIN**

App. First Insp.

Date

By

App. Final Insp.

Date

By

Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

OCT 16 1978
ERNOLD R. GOODWIN
Chief Plumber Inspector

SINKS			
LAVATORIES			
TOILETS			
BATH TUBS			
SHOWERS			
DRAINS FLOOR SURFACE			
HOT WATER TANKS			
TANKLESS WATER HEATERS			
GARBAGE DISPOSALS			
SEPTIC TANKS			
HOUSE SEWERS			
ROOF LEADERS		1	2.00
AUTOMATIC WASHERS			
DISHWASHERS			
OTHER		base fee	3.00

TOTAL **5.00**

Building and Inspection Services Dept.; Plumbing Inspection



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 6-21, 1979
 Receipt and Permit number A23971

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 105 Summit St.
 OWNER'S NAME: Martin O'Brien ADDRESS: same (797-5863)

OUTLETS:	Receptacles _____	Switches _____	Plugmold _____	ft. TOTAL <u>1-30</u>	FEE \$ <u>3.00</u>
FIXTURES: (number of)	Incandescent _____	Flourescent _____	(not strip) TOTAL _____		
	Strip Flourescent _____	ft. _____			
SERVICES:	Overhead <input checked="" type="checkbox"/> _____	Underground _____	Temporary _____	TOTAL amperes <u>200</u>	FEE \$ <u>3.00</u>
METERS: (number of)	<u>1</u>				FEE \$ <u>50</u>
MOTORS: (number of)	Fractional _____	1 HP or over _____			
RESIDENTIAL HEATING:	Oil or Gas (number of units) _____	Electric (number of rooms) <u>3</u>			FEE \$ <u>3.00</u>
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler) _____	Oil or Gas (by separate units) _____	Electric Under 20 kws _____	Over 20 kws _____	
APPLIANCES: (number of)	Ranges _____	Cook Tops _____	Wall Ovens _____	Dryers _____	Fans _____
	Water Heaters _____	Disposals _____	Dishwashers _____	Compactors _____	Others (denote) _____
	TOTAL _____				
MISCELLANEOUS: (number of)	Branch Panels _____	Transformers _____	Air Conditioners Central Unit _____	Separate Units (windows) _____	
	Signs 20 sq. ft. and under _____	Over 20 sq. ft. _____	Swimming Pools Above Ground _____	In Ground _____	
	Fire/Burglar Alarms Residential _____	Commercial _____	Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	over 30 amps _____	
	Circus, Fairs, etc. _____	Alterations to wires _____	Repairs after fire _____	Emergency Lights, battery _____	Emergency Generators _____
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	INSTALLATION FEE DUE: _____	DOUBLE FEE DUE: _____			
FOR REMOVAL OF A "STOP ORDER" (304-16.b)			TOTAL AMOUNT DUE: <u>9.50</u>		

INSPECTION: Will be ready on _____, 19__; or Will Call

CONTRACTOR'S NAME: Louis ~~XXXXXXXX~~ Cavallaro

ADDRESS: 125 Sherwood St.

TEL.: 774-3813

MASTER LICENSE NO.: 1703

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR: *[Signature]*

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP ... B.O.C.A. TYPE OF CONSTRUCTION ... 000352 ... ZONING LOCATION R-2 PORTLAND, MAINE, 5-9-79

MAY 14 1979 CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 105 Summit St. ... Fire District #1 [] #2 []
1. Owner's name and address Martin O'Brien - same ... Telephone 797-5863
2. Lessee's name and address ... Telephone ...
3. Contractor's name and address D.E. Neal & Sons - Gray, Maine ... Telephone 657-3872
4. Architect ... Specifications ... Plans ... No. of sheets ... 3...
Proposed use of building addition to single family dwelling ... No. families ...
Last use ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$ 7,000.00 ... Fee \$ 37.50

FIELD INSPECTOR—Mr. ... GENERAL DESCRIPTION
This application is for: @ 775-5451 To construct addition to single family
Dwelling Ext. 234 dwelling, 16x29, as per plans.
Garage ...
Masonry Bldg. ...
Metal Bldg. ... Stamp of Special Conditions
Alterations ...
Demolitions ...
Change of Use ...
Other ...

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [x] 2 [] 3 [] 4 []
Other: ...

DETAILS OF NEW WORK

Is any plumbing involved in this work? none Is any electrical work involved in this work? YES
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate 8' Height average grade to highest point of roof 13'
Size, front 18' depth 29' No. stories 1 solid or filled lane? earth or rock? earth
Material of foundation concrete slab Thickness, top 8" bottom cellar
Kind of roof Pitch Rise per foot 4/12 Roof covering asphalt shingle
No. of chimneys Material of chimneys of lining Kind of heat elec. fuel
Framing Lumber—Kind spruce Dressed or full size? dressed Corner posts 4x6 Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x8, 2nd, 3rd, roof 2x8
On centers: 1st floor 2x8, 2nd, 3rd, roof 16'
Maximum span: 1st floor, 2nd, 3rd, roof 18'
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING: O.R. 5/14/79
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed? YES
Others:

Signature of Applicant Martin J. O'Brien Phone # 797-5863
Type Name of above Martin O'Brien 1 [x] 2 [] 3 [] 4 []
Other ...
and Address ...

FIELD INSPECTOR'S COPY

NOTES

May 15th/79

Foundation placed,

Location OK, 31 feet
set back from the street
line.

May 24/79 Framing

June 7/79 This addition
is completed except for the
interior. It will be insulated &
sided by the owner.

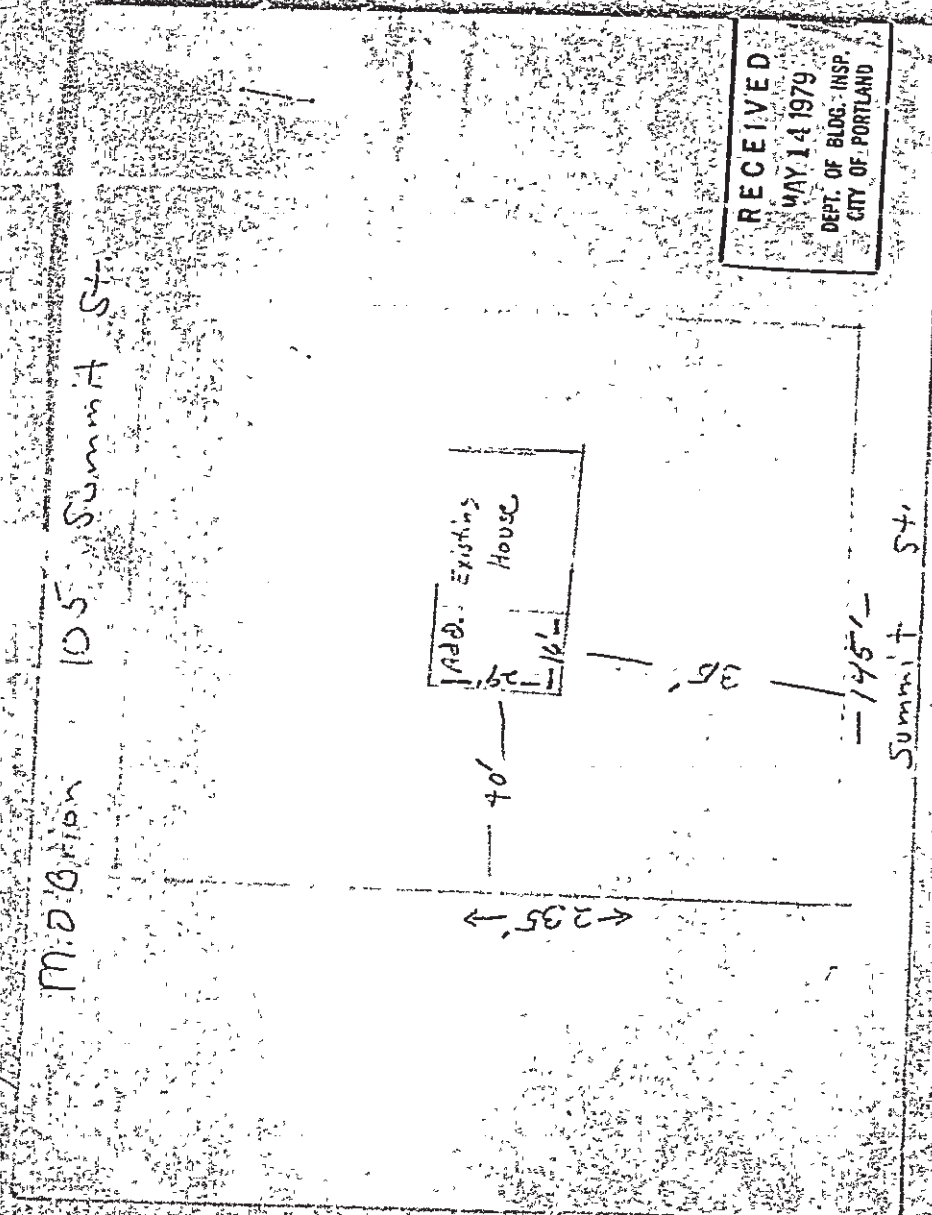
Next word that the owner would
have to take out a building electrical
permit.

Permit No. 79/352
 Location 1057 Summit St
 Owner Martin G. Davis
 Date of permit 5-9-79
 Approved 5-11-79



M. D. O'Brien

105 Summit St.



RECEIVED
MAY 14 1979
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Summit St.

File

FRANK M. HOBERTY, JR.
COMMISSIONER

HAROLD E. TRANEY
DEPUTY COMMISSIONER



CHARLES F. ROSAN
DIRECTOR

HARRY S. ROLLINS
ASSISTANT DIRECTOR

STATE OF MAINE

Insurance Department
DIVISION OF STATE FIRE PREVENTION
AUGUSTA, MAINE 04330

February 18, 1970

C
O
P
Y

Mr. and Mrs. Charles R. Durost
105 Summit Street
Portland, Maine

Dear Mr. and Mrs. Durost: Re: Boarding Home

In accordance with Title 25, Revised Statutes of 1964, a Supervising State Fire Inspector recently inspected your property and found the following conditions in violation of the statutes governing the fire laws of this State, as indicated below:

1. Provide Underwriters Laboratories approved 2 1/2 dry powder fire extinguisher for kitchen.

Please advise this office in writing when such violations of the fire laws have been corrected in order that this office may advise the Commissioner of the Department of Health and Welfare that your property complies with the statutory provisions relating to fire safety.

By direction of the Insurance Commissioner

Charles F. Rogan
Director

WHR:ag
cc: Health & Welfare Dept.
Chief Joseph Crenc
Portland Building Inspector

ALWAYS PREVENT FIRE ALWAYS



R2 RESIDENTIAL ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

1960

JUL 14 1960

CITY OF PORTLAND

Class of Building or Type of Structure Third CLASS

Portland, Maine, June 22, 1960

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 105 Summit St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Charles R. Durant, 105 Summit St. Telephone 4-5353
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building Dwelling No. families 1
 Last use _____ No. families 1
 Material frame No. stories 1 Heat _____ Style of roof pitch Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 2000. Fee \$ 1.00
 4.00 add. fee

General Description of New Work

to construct
 To construct concrete block foundation wall with footing for 1-story frame addition 12'x25'9"
 To construct 1-story frame addition 12'x25'9"

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owner**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate 10' Height average grade to highest point of roof 16'
 Size, front _____ depth _____ No. stories 1 solid or filled land? solid earth or rock? earth
 Material of foundation concrete block Thickness, top 12" bottom 2" cellar yes
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof pitch Rise per foot 8" Roof covering asphalt roofing Class C Und. Lab.
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber - Kind hemlock Dressed or full size? dressed Cover posts 4x4 Sills 4x6
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Kind and thickness of outside sheathing of exterior walls? _____
 Studs (outside walls and carrying partitions) 2x4-10" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x8 2nd _____ 3rd _____ roof 2x6
 On centers: 1st floor 16" 2nd _____ 3rd _____ roof 16"
 Maximum span: 1st floor 12' 2nd _____ 3rd _____ roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

W. E. M. 7/14/60 W/Prima

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Charles R. Durant

NOTES

9/20/60 - Replaced 6
 floor joists and
 made excavation made
 for addition. E.S.S.

10/10/60 - Forming of
 footing work. E.S.S.

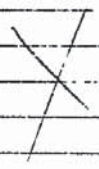
6/5/61 - Foundation
 Capped over. E.S.S.

7/3/61 - Same E.S.S.

7/12/61 - went over letter
 with Mr. Williams
 in to do work. E.S.S.

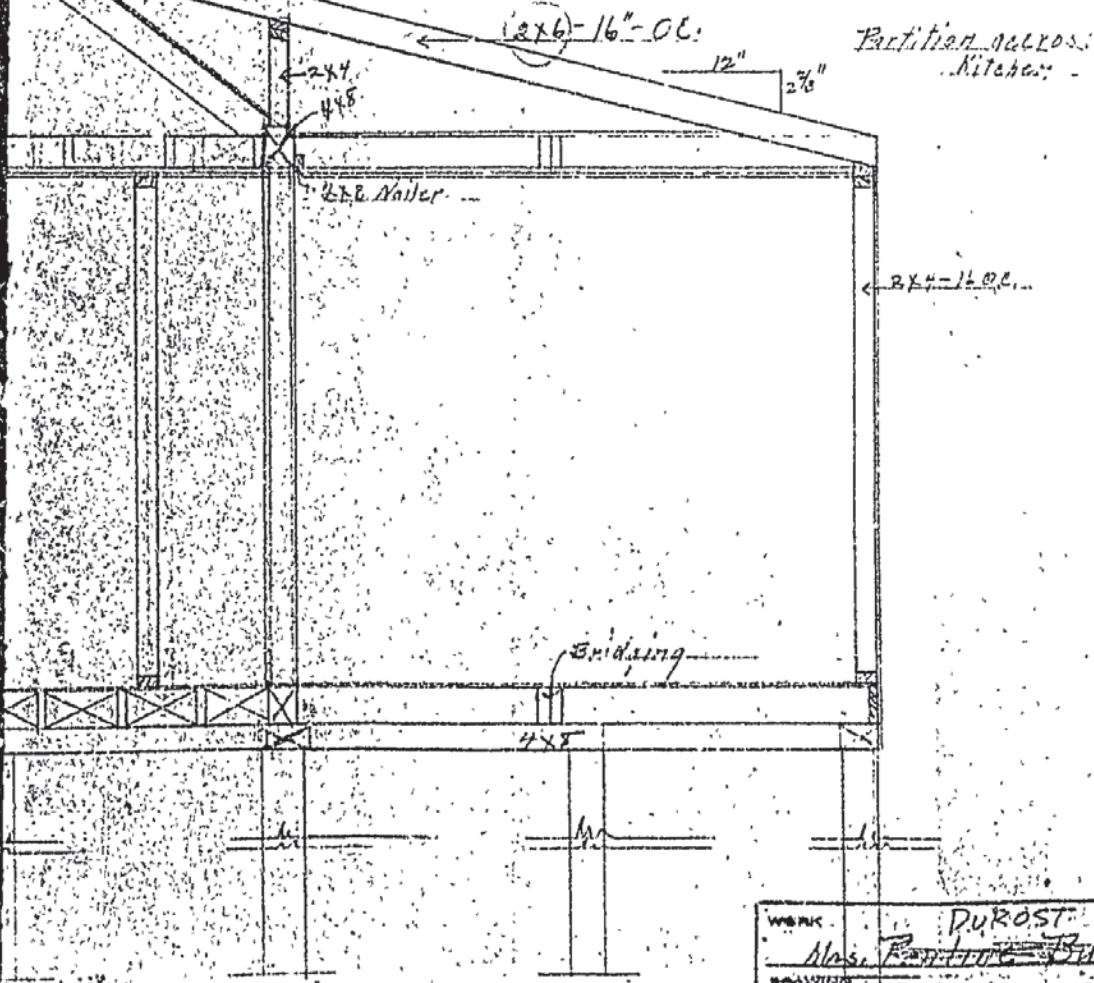
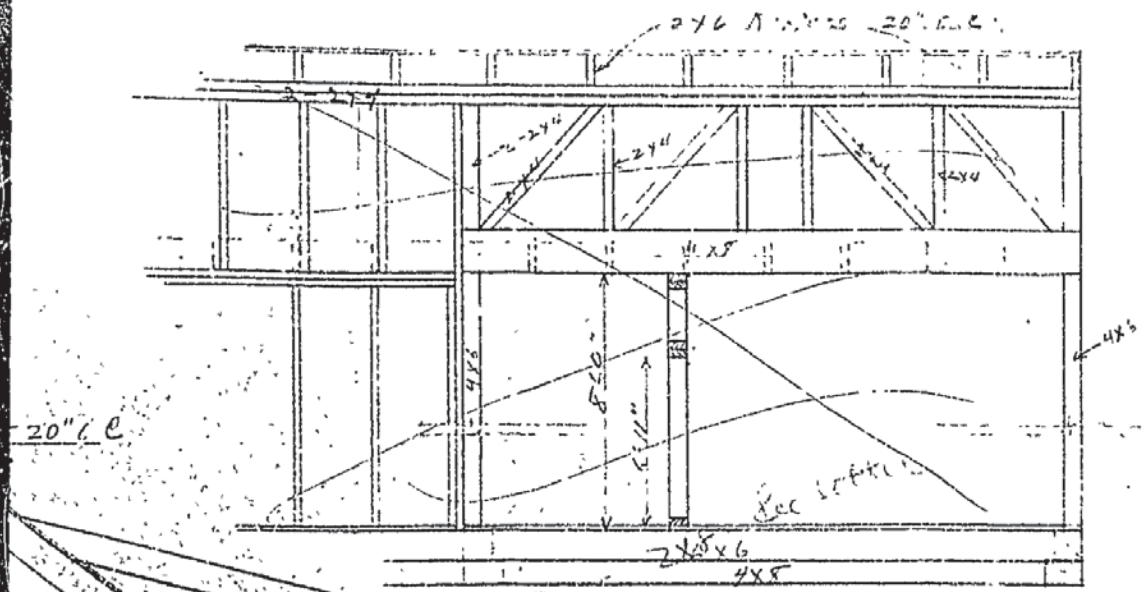
7/31/61 - Spent hours
 with Mr. Streets in job. E
 incl. 24" O.C. E.S.S.

12/4/61 - McJunkin's imp.
 necessary. left G.I.
 some time ago to close
 in. E.S.S.

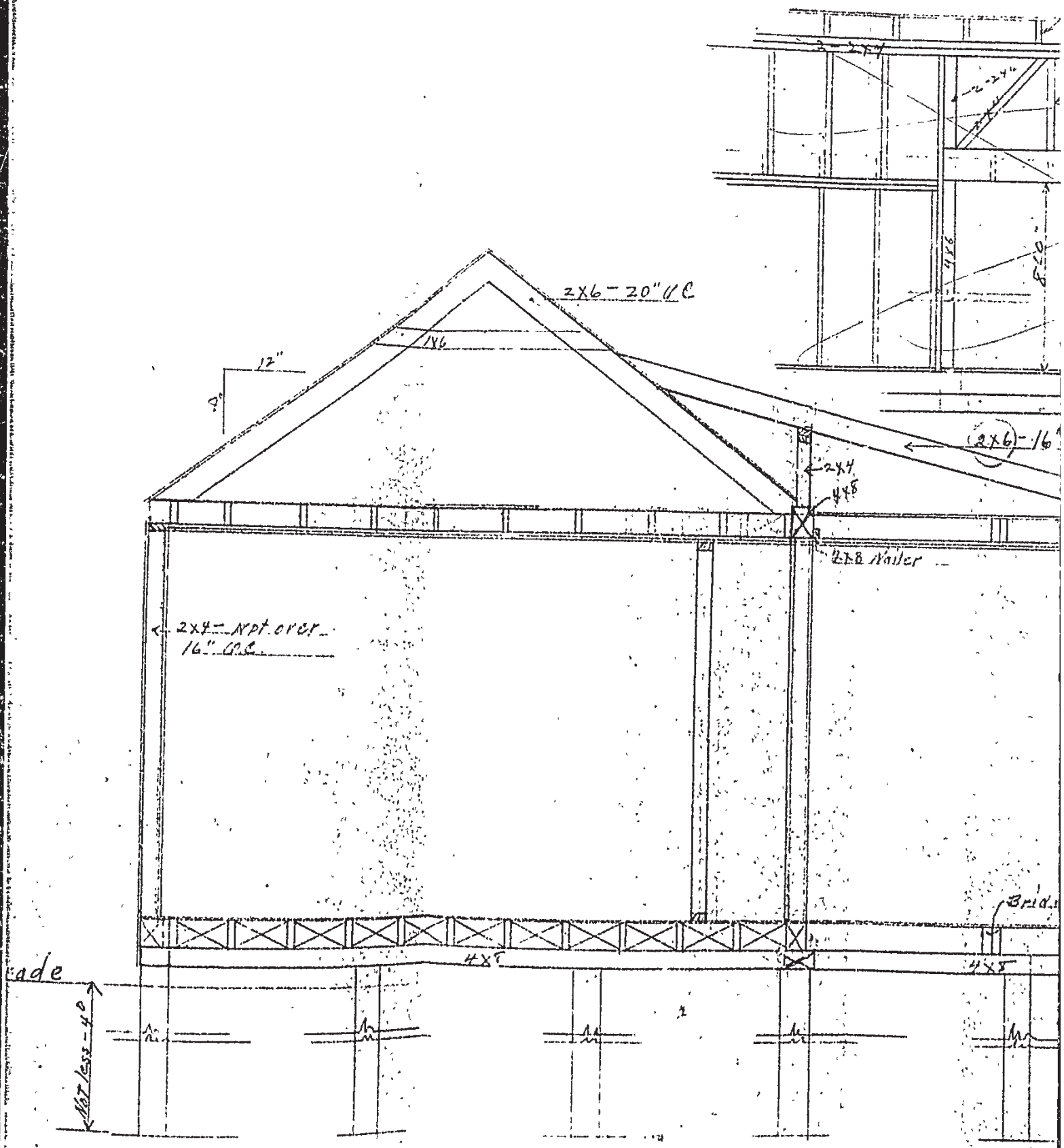


Permit No. 601-892
 Location 101st Ave. N.W.
 Owner Charles Johnson
 Date of permit 9/14/60
 Notif. design-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 7-27
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

9/18/60 - [unclear]
 9/20/60 - [unclear]
 10/10/60 - [unclear]
 10/15/60 - [unclear]
 10/20/60 - [unclear]
 10/25/60 - [unclear]
 11/1/60 - [unclear]
 11/5/60 - [unclear]
 11/10/60 - [unclear]
 11/15/60 - [unclear]
 11/20/60 - [unclear]
 11/25/60 - [unclear]
 12/1/60 - [unclear]
 12/5/60 - [unclear]
 12/10/60 - [unclear]
 12/15/60 - [unclear]
 12/20/60 - [unclear]
 12/25/60 - [unclear]



WORK	Durost	
CLASS	Alas. Parting Surges	
DRAWING	Section	
SCALE	PROPERTY OF	REVISIONS AND NO.
$\frac{1}{8}'' = 1' - 0''$	H. T. FOX CO., INC.	
DATE	PORTLAND, MAINE	5
10/21/54		



2x6-20" OC

12"

9°

1x6

(2x6)-16"

2x4
4x8

2x8 Nailer

← 2x4 - NPT over
16" G.C.

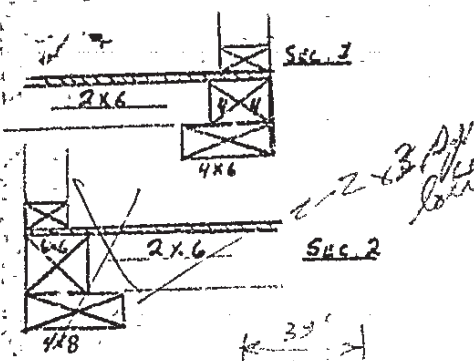
Bridg

4x8

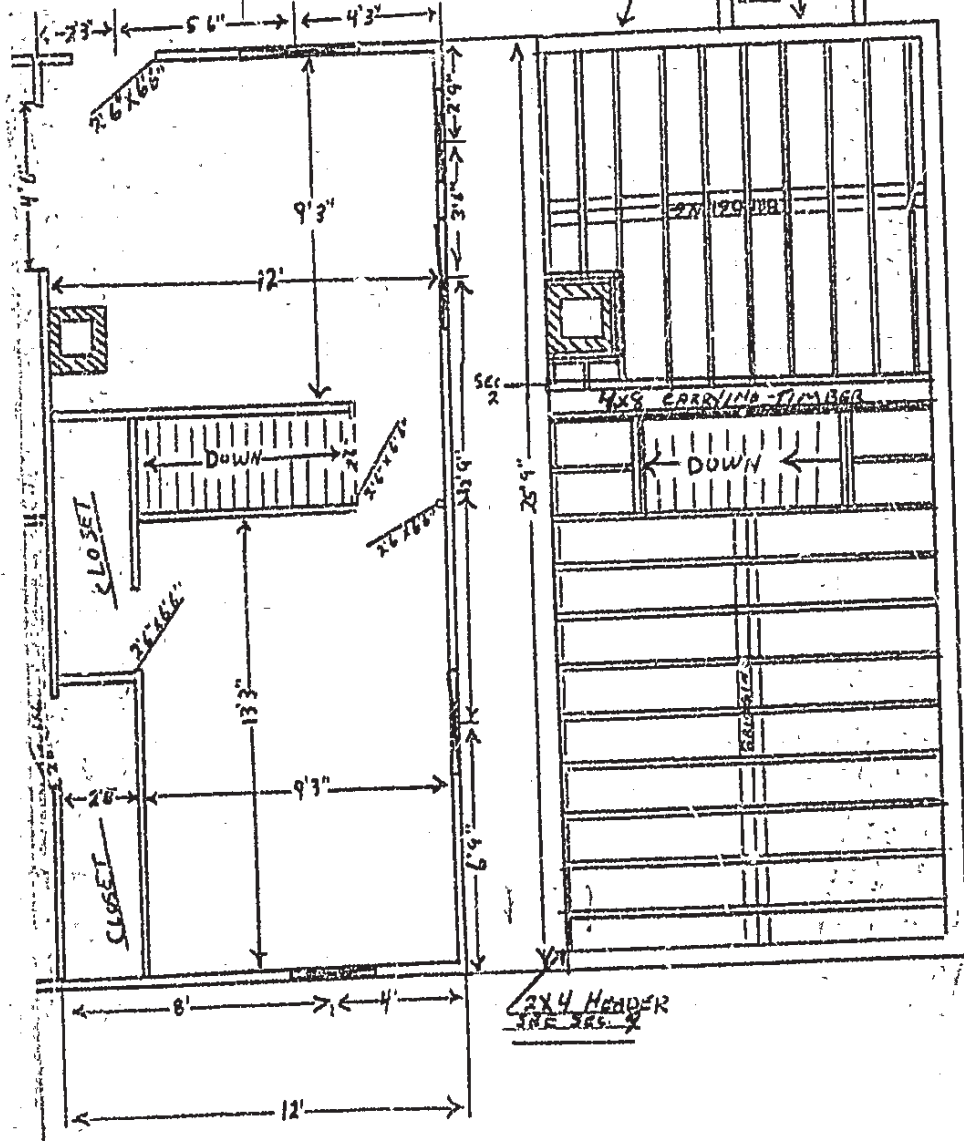
4x8

Grade

1187/1533-40



HEMLOCK
 SUB FLOORING
 Kitchen FLOOR
 3/4" PLY WOOD
 + TILE
 BED ROOM FLOOR
 HARD WOOD



2x8 Hemlock
 Floor Joists
 2x8 Box
 Sill

2x4 Studs
 Hemlock
 16" O.C.

FRAMING
 HEMLOCK
 THROUGH
 OUT

Roof Rafters
 2x6
 16" O.C.
 Hemlock

2x6
 CEILING
 JOISTS
 16" O.C.

FOUNDATION
 8" x 16"
 CONCRETE
 FOOTING AT
 LEAST
 4" ABOVE
 GRADE
 12" CEMENT
 Blocks

AP-105 Summit Street

July 14, 1960

Mr. Charles R. Durost
105 Summit Street

Dear Mr. Durost:

In accordance with the telephone conversation with you, we are issuing a permit to construct a one story frame addition in accordance with the following conditions:

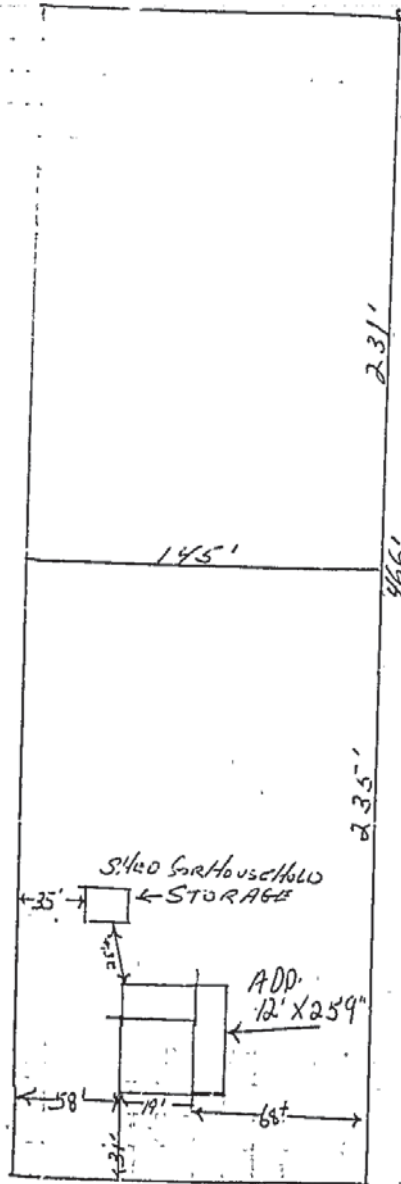
1. In accordance with the Code, the footing under the 12 inch block wall shall be a minimum size of 8 inches deep and 15 inches wide.
- ✓ 2. The carrying timber supporting a floor load and partition load at stairwell will need to be 4 inches by 10 inches.
- ✓ 3. If the floor timbers do not bear directly on the sill as shown in the sections then the joists shall be supported on a wooden strip no less than 2 inches by three 3 inches, nominal dimension, spiked or bolted to the wood sill.
- ✓ 4. Two by eight inch rafters will be required for a roof of this pitch and span.

Very truly yours,

GEM/jg

Gerald E. Mayberry
Deputy Inspector of Buildings

RECEIVED
JUN 29 1960
DEPT. OF BLDG. INSP.
CITY OF PORTLAND



RECEIVED
JUN 29 1960
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

RECEIVED



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, November 17, 1959

PERMIT ISSUED 01728 NOV 17 1959 CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: 105 Summit St. Use of Building: Dwelling No. Stories: 1 1/2 New Building Existing: Existing Name and address of owner of appliance: Charles Durost, 105 Summit St. Installer's name and address: B.G. Pride Oil Co, 543 Main St, Westbrook Me. Telephone: 42-4-2595 General Description of Work: SP 40473 To install: Forced warm air heating system and oil burning equipment in place of coal-fired warm air heat.

IF HEATER, OR POWER BOILER

Location of appliance: basement Any burnable material in floor surface or beneath?: none If so, how protected? Kind of fuel?: oil Minimum distance to burnable material, from top of appliance or casing top of furnace: 2' From top of smoke pipe: 2' From front of appliance: over 3' From sides or back of appliance: over 3' Size of chimney flue: 8x12 Other connections to same flue: none If gas fired, how vented? Rated maximum demand per hour: Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?: yes

Horizontal Warmair Unit MOD. # 053-93 IF OIL BURNER

Name and type of burner: Lennox-gunt type Labeled by underwriters' laboratories?: yes Will operator be always in attendance?: Does oil supply line feed from top or bottom of tank?: bottom Type of floor beneath burner: concrete Size of vent pipe: 1 1/2" Location of oil storage: basement Number and capacity of tanks: 1-275 gal. Low water shut off: Make: No. Will all tanks be more than five feet from any flame?: yes How many tanks enclosed?: Total capacity of any existing storage tanks for furnace burners: none

IF COOKING APPLIANCE

Location of appliance: Any burnable material in floor surface or beneath?: If so, how protected? Height of Legs, if any: Skirting at bottom of appliance? Distance to combustible material from top of appliance: From front of appliance: From sides and back: From top of smokepipe: Size of chimney flue: Other connections to same flue: Is hood to be provided?: If so, how vented? Forced or gravity?: If gas fired, how vented? Rated maximum demand per hour:

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: G. H. 11.19.59 [Signature]

Will there be in charge of the above work a person competent see that the State and City requirements pertaining thereto observed? yes

B.G. Pride Oil Co.

bj: [Signature]

CS 300

INSPECTION COPY

Signature of Installer

F6

12-16-

Permit No. 59/11738

Location: 105 Summit St

Owner: Charles Street

Date of permit: 11/17/59

Approved:

NOTES

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

12-15-59. Went to the
 elevator open I was
 unable to see
 clearly every thing
 in this basement
 from what I
 could see every
 thing appearing to
 be in a box taken
 care of

12-16

Blank lined area for additional notes.



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1
Portland, Maine, November 23, 1959

PERMIT ISSUED
NOV 24 1959
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 50/1728 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 105 Summit St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Charles Durost, 105 Summit St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address B.G. Pride Oil Co., 543 Main St., Westbrook, Me. Telephone UL-4-2593
 Architect _____ Plans filed _____ No. of sheets _____
 Proposed use of building Dwelling _____ No. families 1
 Last use " _____ No. families 1
 Increased cost of work _____ Additional fee 50

Description of Proposed Work

Instead of being in the basement the heater and oil tank will be in a shallow space below first floor, there being no basement. No less than 1" clearance will be provided between top of furnace and woodwork over it. No less than 9" between top and sides of smoke pipe and woodwork. Smoke pipe will pitch upwards at least 1/4" to the foot. Bottom of smoke pipe where it enters the flue will be at least 4" above the floor of the chimney flue.

The furnace and tank will be supported on concrete block so there will be at least 6" between ground and bottom of appliance. If this makes excavation necessary the rules of NBFU will be followed. If the situation is such that ground moisture is likely to run into the space below the furnace a waterproof pan or pit will be provided beneath the furnace in accordance with NBFU regulations.

Access to furnace will be by opening in exterior wall not smaller than 18" x 24". Under-floor passage ways to reach the furnace will be no less than 18" high by 24" wide. Warm air ducts and register boxes will be covered with 14-pound asbestos or equivalent.

Permit Issued with Letter

Details of New Work permit to B.G. Pride Oil Co.

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled lan? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Framing lumber—Kind _____ Dressed or full size? _____ Size _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved: 11/23/59 with letter
[Signature]

B.G. Pride Oil Company

Signature of Owner by: [Signature]

Approved: Albert J. Sears
Inspector of Buildings

BP-105 Summit Street—Amendment to building permit for oil burning furnace in the building of Charles Durost by B. G. Pride Oil Co.

November 24, 1959

cc to: B. G. Pride Oil Co.
543 Main Street
Westbrook, Maine (with copy of amendment)

Mr. Charles Durost
105 Summit Street

Dear Mr. Durost:

This installation of a warm air furnace in the space beneath the floor of your home includes some very unusual features which could prove dangerous to the building and its occupants. We are satisfied that the oil company will do a very careful job with all due regard for safety and good maintenance, but it appears important to tell you of some of the hazards which may come up after they have finished the job. It appears that you should not only bear these features and suggestions in mind for the safety of all concerned; but that you should communicate them to any parties other than yourself who might later buy the property or live in it as tenants.

Because of the cramped condition, it is likely that the bottom of the smoke pipe where it enters the chimney flue will be much closer to the bottom of the flue than is usual—perhaps no more than 4 inches. The apparent hazard here is that due to conditions beyond anyone's control, soot may accumulate in the bottom of the flue, and, unless periodically removed, may build up until it closes part or all of the smokepipe. Such a condition would immediately affect the draft and in an extreme case might mean a backfire or explosion.

We tell you this not to alarm you, but to make sure that whoever is responsible for the care of the building will frequently open the clean out door (we understand this to be outside of the building) and if there is an accumulation of soot or anything else, remove it.

The oil company has assured us that adequate arrangements will be made some where through the outside wall, lower than the first floor for admitting fresh air to the oil burner. This is important since it is necessary for the burner to get sufficient fresh air to operate properly and safely. During the cold months there may be a need to close up any such opening but it is not safe to do so unless you first consult the oil company and get its advice.

That you may be aware of the circumstances, there is below the statements concerning the conditions which appear on the application for the amendment to the permit, the amendment being necessary because the original application did not give the correct facts:

"Instead of being in the basement the heater and oil tank will be in a shallow space below first floor, there being no basement. No less than 1 inch

105 Summit Street

(2)

Nov. 24, 1959

clearance will be provided between top of furnace and woodwork over it. No less than 9" between top and sides of smokepipe and woodwork. Smokepipe will pitch upward at least $\frac{1}{4}$ " to the foot. Bottom of smokepipe where it enters the flue will be at least 4" above the floor of the chimney flue.

"The furnace and tank will be supported on concrete block so there will be at least 6" between ground and bottom of appliance. If this makes excavation necessary the rules of NBFU will be followed. If the situation is such that ground moisture is likely to run into the space below the furnace a waterproof pan or pit will be provided beneath the furnace in accordance with NBFU regulations.

"Access to furnace will be by opening in exterior wall not smaller than 18" x 24". Under-floor passage ways to reach the furnace will be no less than 18" high by 24" wide. All air ducts and register boxes will be covered with 14-pound asbestos or equivalent."

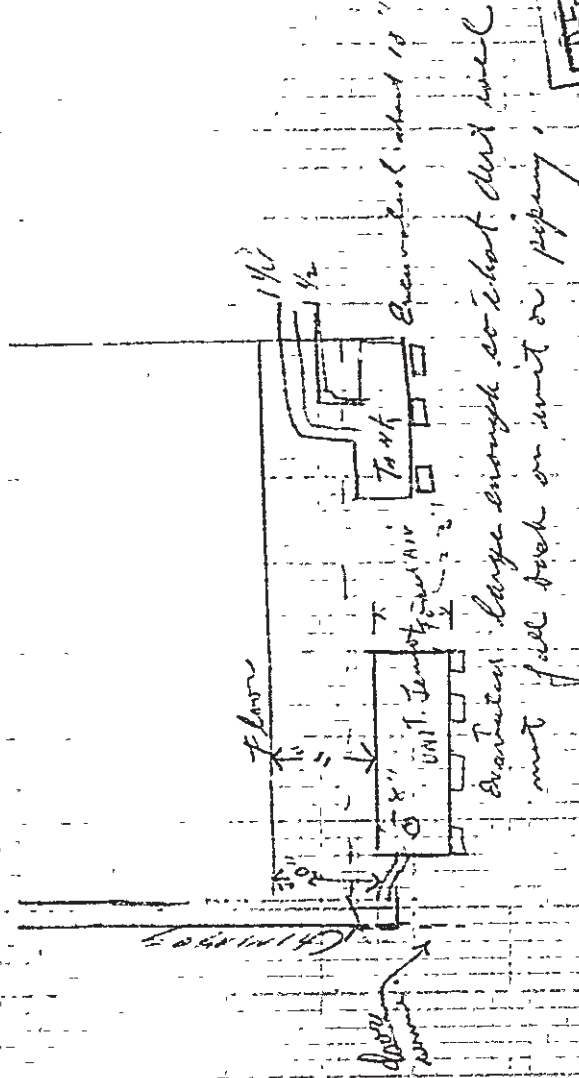
Very truly yours,

W McD/JG

Warren McDonald
Acting Deputy Insp.
of Bldgs.

RECEIVED
NOV 23 1959
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Should over furnace & should furnace
all warm air have installed on per order.



Drainage large enough so that dirt will
not fall back on unit or piping.

(6 x 10) replace for
Air intake if needed.

RECEIVED
NOV 23 1959
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

W. B. Brink
Lent + Lent 14



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 105-115 Summit St.

Issued to Mrs. Pauline Burgess

Date of Issue April 13, 1955

This is to certify that the building, premises, or part thereof, at the above location, ~~was~~ altered —changed as to use under Building Permit No. 54/2067, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

One-family Dwelling House

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

4/12/55. *Carl Smith*
(Date) Inspector

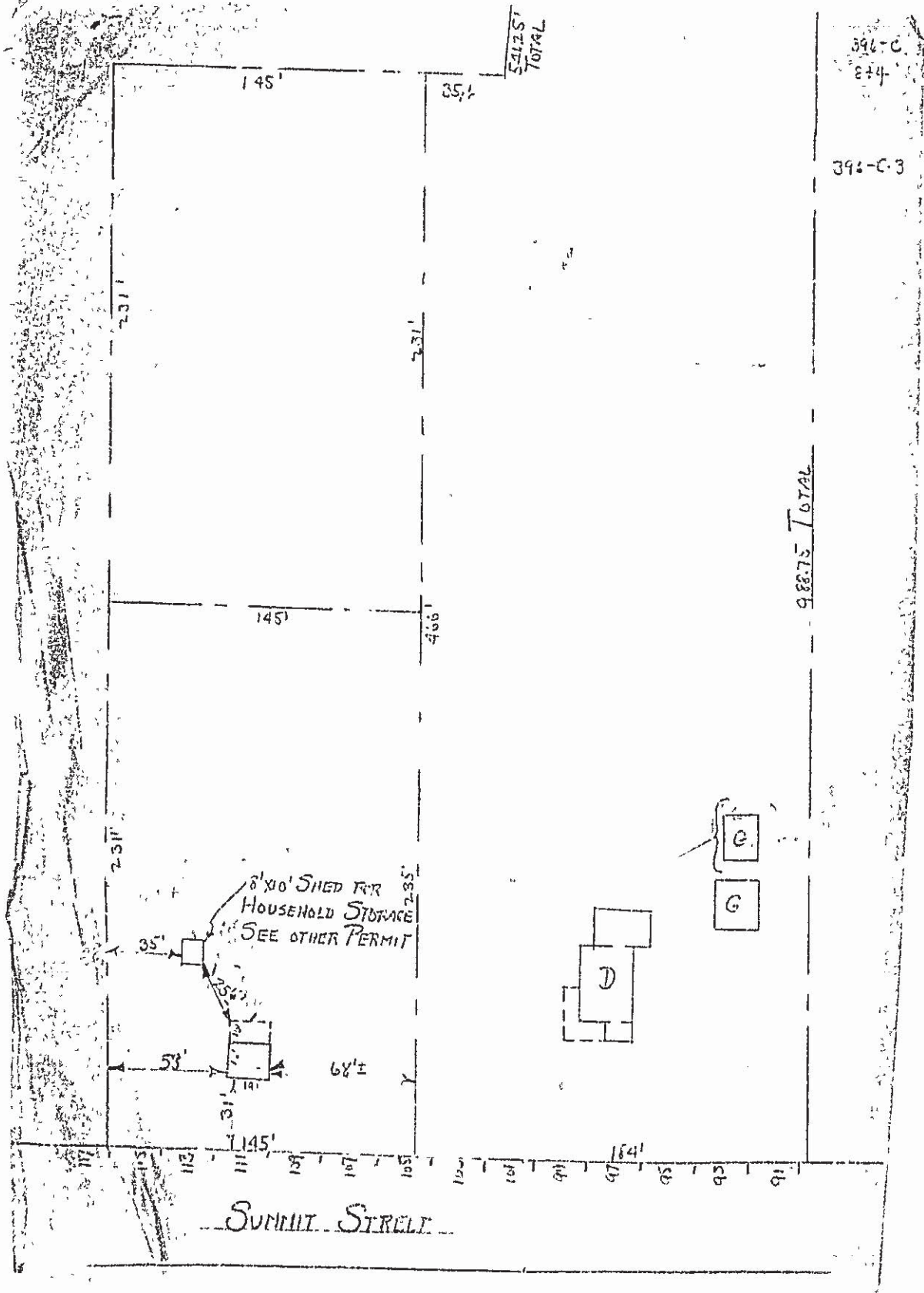
Warren G. Galt
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Clapboards to be removed from outside walls and 2x4 studs cut in from floor to under side of present plate between present wall studs, making studding 1 ft. on center. Same to be nailed through outside boarding.

All interior partition, walls & ceilings to be covered with 3/8 gypsum board.

A. F. Carlson



November 17, 1954

AP - 91-115 Summit Street

Contractor - Mr. A. F. Patterson
45 Leonard St.

Owner - Mrs. Pauline Burgess
95 Summit St.

Building permit for moving one story wood frame building formerly used as garage to new position on same property at the above location and to make alterations to change its use to a one family dwelling house is issued herewith based on revised plans filed November 1, 1954, but subject to the following conditions:-

- an additional cedar post is to be provided beneath the sill where the intermediate post supporting the 4x8 beam across ceiling of kitchen and passageway lands.
- foundation of outside chimney is to extend at least four feet below grade. Wall of chimney is to be kept at least one inch away from wall of building and, where the smokepipe entrance to chimney is to be located, the brickwork is to be extended through the building wall to the inside face of the studding.
- since the building is to be supported on cedar posts, it is likely that you will want to close off the space between the bottom of the sills and the ground in some manner. In doing this care needs to be taken to make sure that the construction is such that any frost action in the ground will not be transmitted to the sills.
- there has been some talk of the possibility of providing a central heating plant for the building at some later date. This permit is therefore issued without prejudice to any questions that may arise concerning the installation of such heating equipment.
- there is no indication of platforms and steps outside front and side entrance doors. If any are to be provided and if they are to be of wooden construction, an amendment to this permit is to be secured for their construction before the work is done. With the application for permit is to be furnished full information as to their foundations and framing.

As explained to Mr. Patterson, it is necessary that application be made for a separate permit to move the former poultry house to its new location. With that application will need to be furnished full information as to its new location on the lot, the use proposed for it, its construction and the manner in which it is to be supported. There is considerable question as to whether we shall be able to issue such a permit, but this cannot be determined until all details of the proposition are known.

PS - When the cedar post foundations have been put in and before the building is landed upon them it is necessary that this office be notified for check of location and that no further work be done until our inspector has approved the location by his sticker on the permit card which should be posted on a stout post on the front of the lot.

Warren McDonald
Inspector of Buildings

*Not with file
Copy*

November 5, 1954

AP--91-115 Summit Street

Contractor--Mr. A. V. Patterson
45 Laurel St.

Owner--Mrs. Pauline Burgess
95 Summit St.

Revised plans and specifications filed with application for moving an existing garage to a new location on the same property at the above address, to construct an addition to it, and to convert both building and addition to dwelling house use will apparently provide compliance with Building Code requirements if an additional cedar post is provided directly beneath the intermediate post supporting the 4x8 beam in ceiling of kitchen and passageway; and that indication is made in application that the outside chimney is to have a foundation extending at least four feet below grade, that wall of chimney is to be kept at least one inch away from wood wall of building, and that brickwork of chimney is to be corbelled through wall of building to inside face of studding where the smokepipe entrance is located.

Before a permit can be issued, however, it is necessary that approval be secured for the method of sewage disposal which you plan to provide for the new dwelling, this matter being the subject of a separate letter which is attached.

It is noted that there has been added to the work proposed under this permit the moving of an existing poultry house to a new location on the same property. Since no information has been furnished as to the proposed use of this building in its new location, of distances to lot lines or other buildings, nor of its framing and foundation, we are unable to check the application of Zoning Ordinance and Building Code requirements to the proposition. Issuance of permit for moving of the other building will be delayed until information has been furnished to indicate that moving of poultry house is to be in compliance with all requirements. You, therefore, may prefer not to have the moving of the poultry house included in the same permit as the garage, but to file an application for a separate permit involving that part of the work.

AJS/B

Warren McDonald
Inspector of Buildings

AP 95 Summit St.

November 4, 1954

Mrs. Pauline Burgess,
95 Summit Street

Mr. A. F. Patterson,
45 Leonard Street

Dear Mrs. Burgess and Mr. Patterson:

Application today by Mr. Patterson to change garage to dwelling house at 95 Summit Street indicates that no connection is possible to a public sewer, and that sewage disposal is proposed by septic tank.

The Building Code directs, where connection to a public sewer is not possible, that the proposed method of sewage disposal must be approved by the Health Officer before any building permit is issued.

That the Health Department may be aware of the proposed method of sewage disposal, you should explain, by plan or otherwise, the details and location of the septic tank system, including nature of the soil where overflow lines will be located, to Sanitary Engineer Norman Winch.

Very truly yours,

WMD/H

Inspector of Buildings

October 5, 1954

AP - 91-115 Summit Street

Owner - Mrs. Pauline Burgess
95 Summit St.

Contractor - A. F. Patterson
45 Leonard St.

An inspection of the existing two-car garage at the above location which you propose to move to another location on the same property and convert to dwelling house use discloses the following details of framing which do not comply with Building Code requirements for the proposed use:-

- the existing floor timbers are butted against the sides of the sills and toenailed to them instead of being notched over a 2x3 nailing piece spiked to the sides of the sills.
- ✓ - studs in outside walls are spaced 24 inches on centers instead of 16 inches on centers.
- ✓ - there is only a single 2x4 plate supporting rafters instead of the double 2x4 plate required.
- openings in walls do not have double 2x4 headers and jack studs at sides as required.

While the above construction complies with requirements for minor garages, it does not, as stated above, meet those specified by the Building Code for dwelling houses. We know of no acceptable way to make the building meet requirements short of practically taking it apart and rebuilding it. For this reason we are unable to issue a permit for the work proposed in the application for permit which has been filed.

may 7'-5" pitch to 1 ft

Warren McDonald
Inspector of Buildings

AJS/G

Dear Mrs. Burgess:-

We talked over the phone about this job before this letter, prepared by our Mr. Sears, had come to me, and it was at my direction that he said in the letter above that we do not know any acceptable way of meeting the Building Code requirements.

Since our telephone conversation I have been thinking the matter over

(See Page 2)

Mrs. Pauline Burgess - - - - #2

October 5, 1954

and have talked it over with Mr. Sears again with the thought that there might be some way of really improving the existing garage to really make it equivalent to the normal required construction for a dwelling house. We are handicapped in passing upon the situation because the plans do not show full details, and although we have not checked out many of these details, it looks very much as though some of them would have to be changed—for instance, the spacing of cedar posts. We have no time in here to work out all the details for you, but perhaps your plan maker can work them out with the following suggestions from us. Now, as to the above deficiencies:

1. Where the floor joists are butted and probably "toe-nailed" to the sills and perhaps the center girder also - either notch out each floor joist and supply a 2x3 nailing strip snug against the upper part of the notch and spike to the side of one sills and center girders; or provide 4x8 laid with the eight inch dimension horizontal between the cedar posts and the underside of the sills with the outer edge of the 4x8 flush with the outer edge of the 6x6 sill so that it would project two inches beyond the 6x6 sill and afford a bearing for the floor joists. Under the center girder would be needed a 4x10 to give bearing on both sides, and nothing would be needed in this way under front and rear of the garage because the floor joists do not bear there.

2. Where uprights and outside wall are too far apart ^{and} there is only a single, instead of a double 2x4 plate at their tops to support the rafters, it would only be acceptable to provide 2x4 studs between the present studs, if you would remove the clapboards and nail through the wooden sheathing into the new studs. If this is out of the question, your carpenter may be able to suggest something by way of a horizontal 2x4 cut between the studs half way between sill and plate and mitred braces provided from the top of the horizontal member to meet at the center of the underside of the single plate. This latter is experimental, and I am not sure that we could accept it.

3. It ought to be easy to provide suitable framing of the openings in the exterior walls, since I understand they are either all to be new or in new locations.

4. Where the large doorways are to be filled in, we shall expect standard construction - 2x4 studs 16 inches on centers running to the underside of a double plate.

5. Not mentioned above, but since the floor joists would be on spans of more than eight feet, they will have to have solid bridging at each span which would have to be applied from the underside.

Will you be good enough to go over the above with the carpenter, and if he believes these suggestions to be feasible, have him make detailed plans accordingly, showing all particulars as to what he proposes to do.

The plans which he has filed here are original drawings, and he may have them back to fix up and make the pencil lines and so on heavier. Then he should take them to the blueprint shop and get a set of prints (these are inexpensive) and file the prints here, keeping the originals himself from which as many copies can be taken as may be desired. The prints filed here, however, should have all of the information on them printed from the original.

Mr. O. told they would remove the clapboards and nail through the wooden sheathing into the new studs. If this is out of the question, your carpenter may be able to suggest something by way of a horizontal 2x4 cut between the studs half way between sill and plate and mitred braces provided from the top of the horizontal member to meet at the center of the underside of the single plate. This latter is experimental, and I am not sure that we could accept it.

Mrs. Pauline Burgess - - - -#3

October 5, 1954

In event you are unable to go ahead on the above basis, please advise this office and return the receipt for the fee paid whereupon the money will be refunded to Mr. Patterson by voucher.

Very truly yours,

Warren A. Donald
Inspector of Buildings

WMD/G

Building Inspector
ags

SEPTIC TANKS
Request for approval of

CITY OF PORTLAND, MAINE
Department of Building Inspection

October 4, 1954

Location - 95 Summit Street
Owner - Mrs. Pauline Burgess
Contractor - A. F. Fatterson
Type - G.-Chg. Use garage to dwelling

To the Health Director:

Application for building permit identified as above has been filed in this office; indicating that a septic tank installation is proposed, as a means of sewage disposal. Applicant represents that connection to a public sewer is not feasible.

Your approval as to the method of sewage disposal is requested before a building permit is issued, therefore will you complete and return the appended report as expeditiously as possible.

Warren McDonald
Inspector of Buildings *H*

Attachment:
Copy of this notice

Proposed sewage disposal method is ~~is not~~ approved.

Remarks: *Sandy soil. Perc Test made 12 Nov satisfactory*

Edward Welby
Health Director

Date. *12 Nov.*

RECEIVED
NOV 12 1954
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, January 7, 1955

PERMIT ISSUED

00007
JAN 11 1955

CITY OF PORTLAND

M-VC-ECC

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE:

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 105 Summit St. Use of Building Residence No. Stories 1 New Building
Name and address of owner of appliance Mrs. Pauline G. Burgess, 95 Summit St. Existing
Installer's name and address Ballard Oil & Equipment Co. 135 Marginal Telephone 2-1991

General Description of Work

To install Coleman floor furnace

IF HEATER, OR POWER BOILER

Location of appliance 1st floor framing, any burnable material in floor surface or beneath? none
If so, how protected? not applicable Kind of fuel? No. 1 oil
Minimum distance to burnable material, from top of appliance or casing top of furnace not applicable
From top of smoke pipe 18" From front of appliance 3' From sides or back of appliance 3'
Size of chimney flue 8x8 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour 5 GPH
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes

IF OIL BURNER

Name and type of burner Coleman vaporizing part of floor furnace Labeled by underwriter's laboratories? Yes
Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 1/4"
Location of oil storage outside Number and capacity of tanks 138 gall.
Low water shut off Not required Make No
Will all tanks be more than five feet from any flame? Yes How many tanks enclosed? None
Total capacity of any existing storage tanks for furnace burners None

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

The general contractor is providing a 6" reinforced concrete slab on the outside of the building for setting of the tank which will be mounted upon pipe legs on this concrete foundation.

Permit Issued with Letter

Amount of fee enclosed? 2.00. (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:
APPROVED
CHIEF OF FIRE DEPT.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

BALLARD OIL & EQUIPMENT CO.

INSPECTION COPY

Signature of Installer

Richard J. Cole, Mgr. Oil Dept.

NOTES

3/7/55 - Yhirwals
not to be done
E.R.R.

Approved

Date of permit

1/21/55

Owner

105

Location

55/97

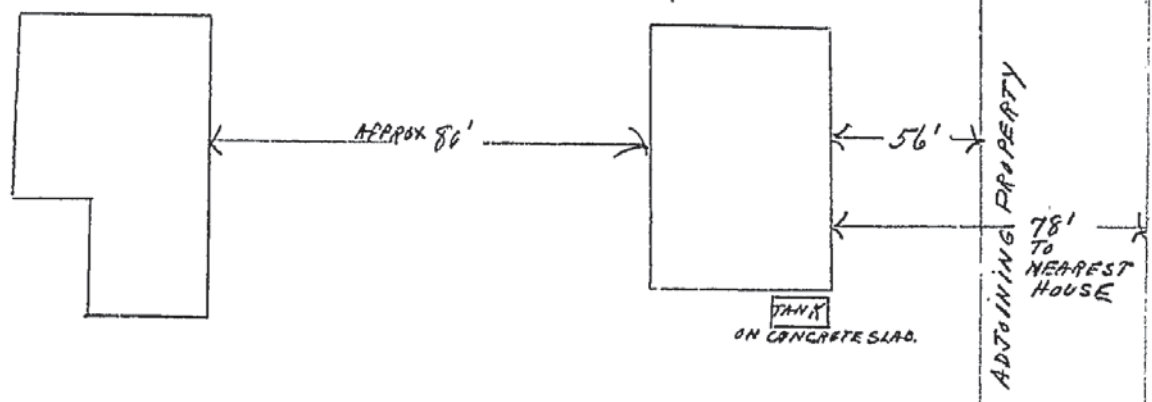
Permit No.

Lined paper with a large 'X' drawn across the middle section.

1/11/55

SUMMIT ST. # 95-109

PAULINE BURGESS PROPERTY



RECEIVED
JAN 6 1955
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

SHED ← 48' →

January 21, 1955

AP 105 Summit St.--Installation of oil burning floor furnace in a case where there is no cellar

Ballard Oil & Equipment Co.,
135 Marginal Way
Attn: Mr. Cole

Mrs. Pauline G. Burgess
95 Summit St.

Dear Mrs. Burgess & Gentlemen:

Building permit for this installation is issued to the installer, herewith, subject to the conditions which follow. Delay in issuance has been caused by lack of information with the application in the first instance concerning the location of the outside tank, and concerning the clearance around the floor furnace beneath the floor of the building and means of access to the floor furnace.

At least 6 inches clearance between the bottom of the floor furnace and the ground is required. Where excavation must be made to provide this clearance, the excavation is required to extend at least 12 inches beyond the furnace on all sides and not less than 18 inches on the control side.

We have been told that the soil beneath the building is sand or gravel and the ground contour and ground moisture conditions are such that water could not raise to within 6 inches of the bottom of the floor furnace. If that condition is not certain, or if the total excavation to provide clearances as above exceeds 12 inches in depth--in either case a water-tight pan constructed of copper, galvanized iron, or other suitable corrosion resistant material, properly anchored in place, or a water-proof concrete pit is required beneath the furnace. The sides of pan or pit are required to extend at least four inches above the general surface of the ground beneath the building.

The underside of the floor furnace must be made readily accessible. Openings for that purpose in the foundation walls and trap doors in the floors must be no smaller than 18 inches by 24 inches. If an under-floor passageway is provided to the furnace, it should be no less than 24 inches high by 24 inches wide.

If the above conditions are not understood, or, if the installer is unable or unwilling to comply with them, the installation should not be started, but this office should be contacted with additional information to show compliance with the regulations.

Very, truly yours,

Warren McDonald
Inspector of Buildings

WMC/D

PA



(RA) RESERVATION ZONE 1A

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Dec. 6, 1954

PERMIT ISSUED

02202
1954

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect after repairs to which is attached the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 95 Summit St. (91-115) Within Fire Limits? no Dist. No. _____
 Owner's name and address Mrs. Pauline Burgess, 95 Summit St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address A. F. Fatterson, 45 Leonard St. Telephone 4-5391
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building storage shed for household storage No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot dwelling house
 Estimated cost \$ 200. Fee \$ 2.00

General Description of New Work

To construct 1-story frame storage shed 8' x 10'.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO A. F. Fatterson

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Height average grade to top of plate 4' 7" Height average grade to highest point of roof 9'
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation concrete posts at least 4" below grade Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof shed-flat Rise per foot 3" Roof covering asphalt Class C Und Lab
 No. of chimneys none Material of chimneys _____ of lining _____ Kind of heat none fuel _____
 Framing lumber—Kind second hand Dressed or full size? full size
 Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x7 2nd _____ 3rd _____ roof 2x4
 On centers: 1st floor 16" 2nd _____ 3rd _____ roof 16"
 Maximum span: 1st floor 10' 2nd _____ 3rd _____ roof 8'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.K. - 12/6/54 ags.

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mrs. Pauline Burgess

Signature of owner by: A. F. Fatterson

INSPECTION COPY

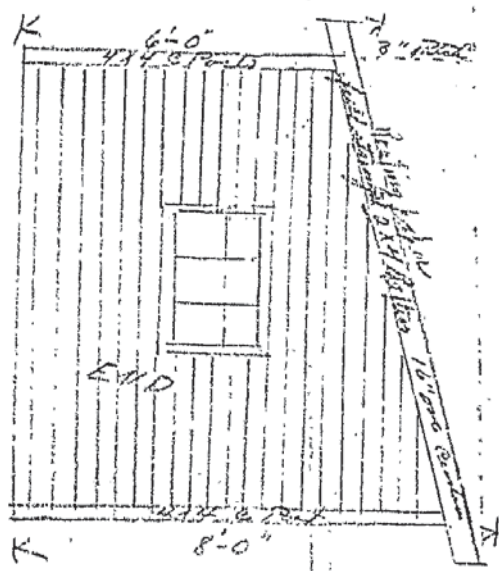
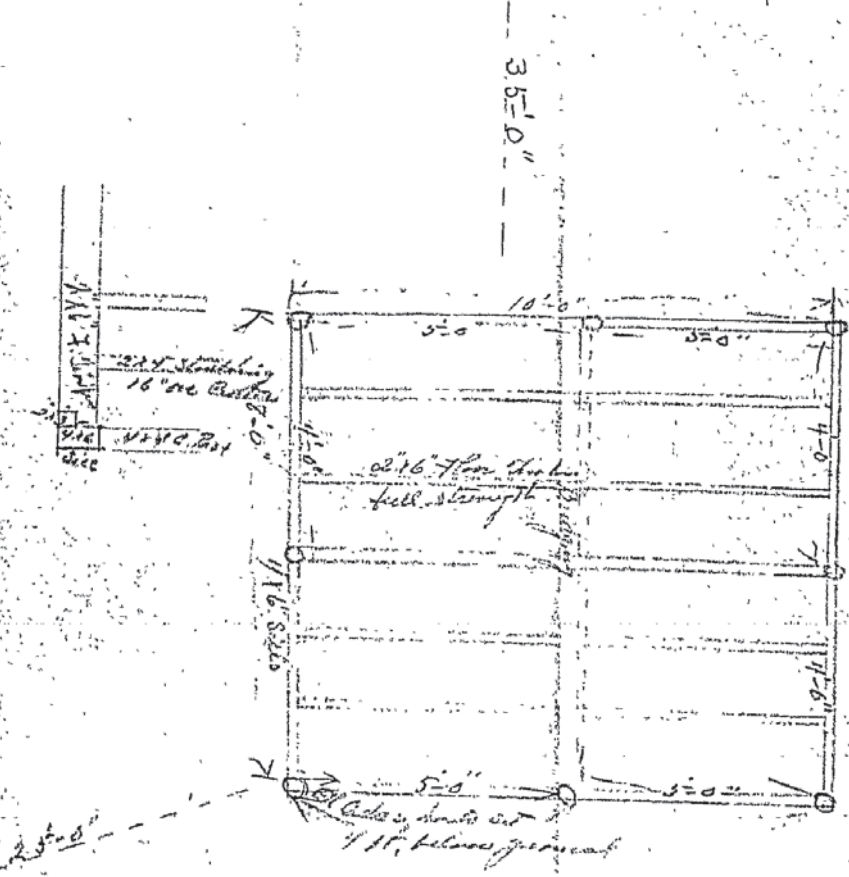
NOTES

12/31/54 - Went on painting
 details with contractor J.S.
 1/10/55 - Work progressing slowly
 1/20/55 - Same J.S.
 4/12/55 - Work done J.S.

Permit No. 54-2205
 Location 25 Summit St.
 Owner Mr. Paul C. Craggs
 Date of permit 12/6/54
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 4/2/55
 Cert. of Occupancy issued

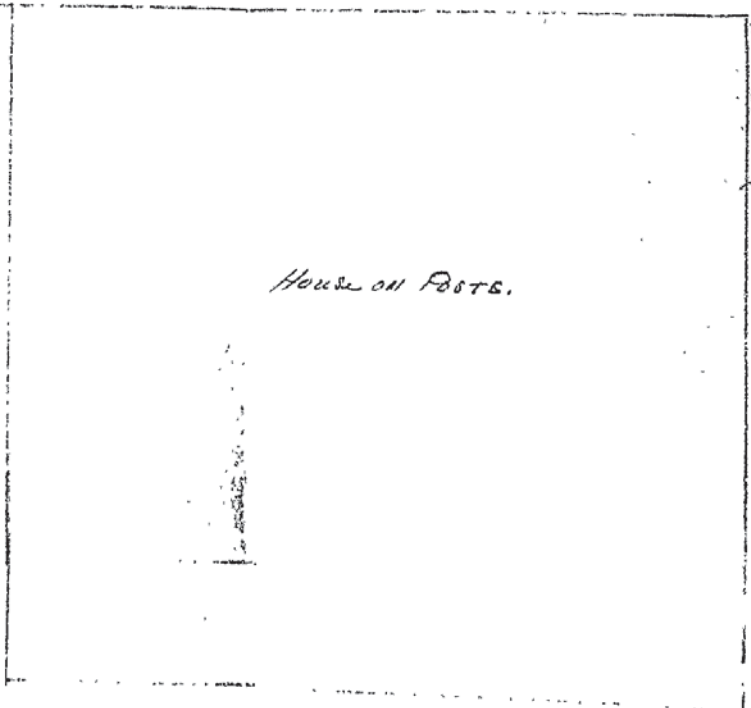
(This section contains a large handwritten 'X' over the lined area, indicating it is unused or crossed out.)

5x4x4s-900
 4x6-4' 1180# } OK
 3503"
 LOT LINE



$\frac{4487}{8 \times 11/3} = 45''$ manuscript $\odot N$

Wm Franklin Burgess 95 Summit St.



House on Posts.

2x7 full size - 10' span = 1198"
 $\frac{1198}{10 \times 1/3} = 95 \frac{1}{3}$ posts OK
2x4 full size - 8' span = 489"
 $\frac{489}{8 \times 1/3} = 45 \frac{1}{3}$ posts OK

8x5x10 = 400 ft
4x5x45 = 900 ft
1300 ft OK
4x6x5 = 2800 ft OK

W. Lawrence Burgess 95' Main St.

House on Posts.

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for storage shed
at 95 Summit St. Date 12/6/51

1. In whose name is the title of the property now recorded? Mrs. Pauline Burgess
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? stakes
3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? _____
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

A. F. Patterson

(17-) RESIDENCE ZONE - A

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Sept. 23, 1954

PERMIT ISSUED
0208

NOV 18 1954

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~alter~~ ~~repair~~ ~~rebuild~~ ~~the~~ ~~following~~ ~~building~~ ~~structure~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 95 Summit St. Within Fire Limits? no Dist. No. 7-113
Owner's name and address Mrs. Pauline Burgess, 95 Summit St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address A. E. Patterson, 45 Leonard St. Telephone 4-5391
Architect _____ Specifications _____ Plans yes No. of sheets 4
Proposed use of building dwelling house No. families 1
Last use garage and storage No. families _____
Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 2,750. Fee \$ 5.00

General Description of New Work

To move 1-story frame building on same property and change use to dwelling house as per plans.
To construct 10' x 19' ^{addition} on rear of building as per plans.
~~To relocate existing poultry house on same property as per plan. Cdnr post foundations.~~

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO A. F. Patterson

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? yes 11/4 Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories 1 solid or filled land? _____ earth or rock? _____
Material of foundation cedar posts at least 4" below grade and 4" on centers bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering Asphalt Class C Und Lab
No. of chimneys 1 Material of chimneys _____ of lining _____ Kind of heat stove fuel _____
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobiles repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mrs. Pauline Burgess

Signature of owner by: A. F. Patterson

INSPECTION COPY

APPROVED:

with letter by agd

NOTES

10/4/54 - W.C. Sullivan
 10/10/54 - W.C. Sullivan
 size 2x6 are brilled and
 tab rounded to ends of sills
 studs are 2x10-2x12 inches
 on centers with single
 plates - OK

1/10/55 - preparing study
 Building moved - partly
 foundation windows
 all changed - with
 double leaders & jacks
 also needed. E. S. S.

2/21/55 - NO one
 around. E. S. S.

2/19/55 - NOT quite
 ready for closing in
 of C. S. S.

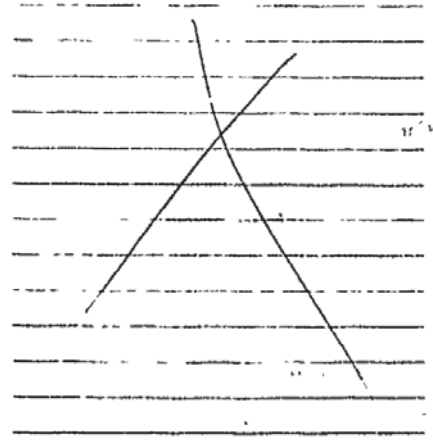
2/10/55 - J.T.C. T. to
 close in subject to
 the following - no
 wiring or plumbing to
 be done and initial pump
 approved. E.S.

2/23/55 - Work progressing
 slowly. E. S. S.

3/1/55 - Work being done - utility
 3/4/55 - NO one around
 E. S. S.

3/7/55 - Can permission
 to close in. E. S. S.

4/12/55 - Work done
 Certificate to be
 issued. E. S. S.



Permit No. 54-2067
 Location 95
 Owner: W.C. Sullivan
 Date of Permit 11/18/54
 Notif. closing in 2/19/55 - 9:20 A.M.
 Inspn. closing in 3/1/55
 Final Inspn. 4/12/55
 Cert. of Occupancy issued 4/3/55
 Staking Out Notice
 Form Check Notice

4/12/55
 4/12/55



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

RECEIVED
OCT 12 1938
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Permit No. 1710
OCT 13 1938

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME., Portland, Maine, Sept. 30, 1938

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 95 Summit street Use of Building Dwelling No. Stories _____
Name and address of owner Mrs. Pauline G. Burgess, 95 Summit Street Ward _____
Contractor's name and address Ballard Oil & Equip. Co. of Maine Telephone 2-1991

General Description of Work

To install Oil Burning Equipment - Steam

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED
NOTIFICATION BEFORE L.A.
OR CLOSING IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? Yes If not, which story _____ Kind of Fuel Oil
Material of supports of heater or equipment (concrete floor or _____ at kind) Concrete
Minimum distance to wood or combustible materi., from top of boiler or casing top of furnace, _____
from top of smoke pipe _____, from front of heater _____ from sides or back of heater _____
Size of chimney flue _____ Other connections to same flue _____

IF OIL BURNER

Name and type of burner Model AX "T-H" Labeled and approved by Underwriters' Laboratories? Yes
Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) Pressure
Location oil storage Basement No. and capacity of tanks 1 - 275-Gal.
Will all tanks be more than seven feet from any flame? Yes How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of contractor By: [Signature]
Mgr. Oil Burner Division

3076c



(P) GENERAL RESIDENCE ZONE PERMIT ISSUED
 APPLICATION FOR PERMIT 0408

Class of Building or Type of Structure Third Class
 Portland, Maine, April 6, 1938 APR 6 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~build~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 143 Summit Street Ward 9 Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address W. E. Cunningham 143 Summit Street Telephone 4-1266
 Contractor's name and address William Cribb 1294 Riverside St. Telephone _____
 Architect _____ Plans filed _____ No. of sheets _____
 Proposed use of building poultry house No. families _____
 Other buildings on same lot dwelling house, 2 poultry houses at present
 Estimated cost \$ _____ Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 Heat no Style of roof shed Roofing asphalt
 Last use poultry house (Burgess) No. families _____

General Description of New Work

To move poultry house 10' x 12' from adjoining property (old No. 43)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation blocking Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

ORIGINAL

Signature of owner W. E. Cunningham

NOTIFICATION BEFORE
 OR CLOSING IN IS WAIVED
 CERTIFICATE OF OCCUPANCY
 REQUIREMENT IS WAIVED

15450

d 9 Permit No. 58/408

Location 143 Summit Street

Owner W. E. Cunningham

Date of permit 4/6/38

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

Summit St

(R) GENERAL RESIDENCE ZONE

300

Driv

Garage

Tool House

Poul House

30

Poul House

30

Poul House

30

Poul House

60



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

PERMIT ISSUED
Permit No. 633

MAR 19 1929

Portland, Maine, March 16, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ erect the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 43 Summit Street Ward 9 Within Fire Limits? No Dist. No. _____

Owner's ~~or Lessee's~~ name and address H. B. Burgess, 43 Summit Street Telephone 76 W

Contractor's name and address Owner Telephone _____

Architect's name and address _____

Proposed use of building poultry house No. families _____

Other buildings on same lot dwg. garage, tool house, poultry houses

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To erect frame poultry house 10' x 12'

Mr. Burgess will put 2x4 through rafters support main beam

Details of New Work

Size, front 10' depth 12' No. stories 1 Height average grade to highest point of roof 9'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation 4x4 posts Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof flat (shed) 2" to foot Roof covering Asphalt roofing Glass C Und. Lab.

No. of chimneys no Material of chimneys _____ of lining _____

Kind of heat no Type of fuel _____ Distance, heater to chimney _____

If oil burner, name and model _____

Capacity and location of oil tanks _____

Is gas fitting involved? no Size of service _____

Corner posts 4x4 Sills 4x4 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x1-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x3, 2nd _____, 3rd _____, roof 2x4

On centers: 1st floor 16", 2nd _____, 3rd _____, roof 16"

Maximum span: 1st floor 10', 2nd _____, 3rd _____, roof 12'

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets 1

Estimated cost \$ 50. Fee \$ 50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

Signature of owner _____

INSPECTION COPY

6670



PERMIT REQUIRED
Permit No. 6230

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class MAR 19 1920
Portland, Maine, March 14, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~and insert~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 43 Summit Street Ward 9 Within Fire Limits? No Dist. No. _____
Owner's name and address H. R. Burgess, 43 Summit Street Telephone F 75 W
Contractor's name and address Owner Telephone _____
Architect's name and address _____
Proposed use of building poultry house No. families _____
Other buildings on same lot dwg. garage, tool house, poultry houses

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To erect frame poultry house 10' x 13'

Mr. Burgess will provide the 2x4's through out the structure
NOTICE: THIS BUILDING CANNOT BE OCCUPIED UNTIL APPROVED BY THE CITY ENGINEER.
CITY OF PORTLAND, ME. STATE OF OCCUPANCY

Details of New Work

Size, front 10' depth 12' No. stories 1 Height average grade to highest point of roof 8'
To be erected on solid or filled land? solid earth or rock? earth
Material of foundation 4x6 stone Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof flat (shed) 2" to foot Roof covering Asphalt roofing Class O U.S. Lab.
No. of chimneys no Material of chimneys _____ of lining _____
Kind of heat no Type of fuel _____ Distance, heater to chimney _____
If oil burner, name and model _____
Capacity and location of oil tanks _____
Is gas fitting involved? no Size of service _____
Corner posts 4x4 Sills 4x4 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x1-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sill and corner posts all one piece in cross section.
Joists and rafters: 1st floor 2x3, 2nd _____, 3rd _____, roof 2x4
On centers: 1st floor 16", 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor 10', 2nd _____, 3rd _____, roof 12'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

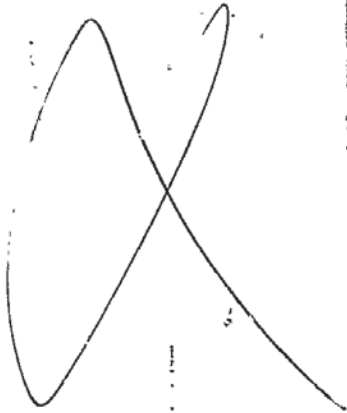
Will above work require removal or disturbing of any shade tree on a public street? no
Plans filed as part of this application? yes No. sheets 1 Fee \$.80
Estimated cost \$.50
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____
Signature of owner _____

INSPECTION COPY

6270

Ward 9 Permit No. 29/295
L: 43 Summit St
Owner H. R. Binger
Date of permit 3/19/29
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 4/29/29 U.B.
Cert. of Occupancy issued _____

NOTES



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PERMIT ZONE
Permit No. 1115

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

MAR 18 1929

Portland, Maine, March 14, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ erect the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 45 Summit Street Ward 9 Within Fire Limits? No Dist. No. _____
 Owner's ~~or Lessee's~~ name and address H. R. Burgess, 45 Summit St. Telephone F 75 W
 Contractor's name and address Owner Telephone _____
 Architect's name and address _____
 Proposed use of building poultry house No. families _____
 Other buildings on same lot dwelling, garage, tool house, poultry houses
 Description of Precent Building to be Altered
 Material _____ No. stories _____ Heat _____ Style of roof _____
 Last use _____ No. families _____

General Description of New Work

To erect frame poultry house 10' x 12'

Mr. Burgess proposed to have 2x4 through center in roof with post under center

Details of New Work

Size, front 10' depth 12' No. stories 1 Height average grade to highest point of roof 7'
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation 4x6 sills Thickness, top _____ bottom _____
 Material of underpinning _____ Height subsoil Thickness _____
 Kind of roof flat (shed) 2" to foot Roof covering Asphalt Shingles Class C Umd. Lab.
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat no Type of fuel _____ Distance, heater to chimney _____
 If oil burner, name and model _____
 Capacity and location of oil tanks _____
 Is gas fitting involved? no Size of service _____
 Corner posts 4x4 Sills 4x4 Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor 2x5 2nd _____ 3rd _____ roof 2x4
 On centers: 1st floor 16" 2nd _____ 3rd _____ roof 16"
 Maximum span: 1st floor 10' 2nd _____ 3rd _____ roof 12'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Plans filed as part of this application? yes see P. 70 No. sheets _____
 Estimated cost \$ 50. Fee \$ 50
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner H. R. Burgess

INSPECTION COPY

767

Ward 9 Permit No. 29/294
Location 43 Summit St.
Owner H. R. Burgers
Date of permit 3/19/29
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 4/29/29
Cert. of Occupancy issued _____

NOTES

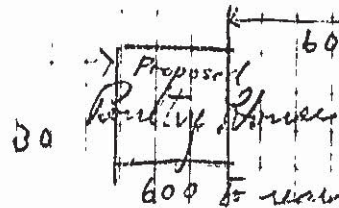
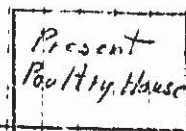
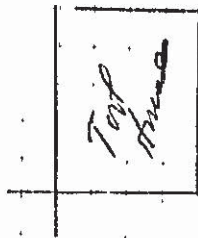
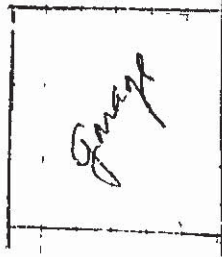
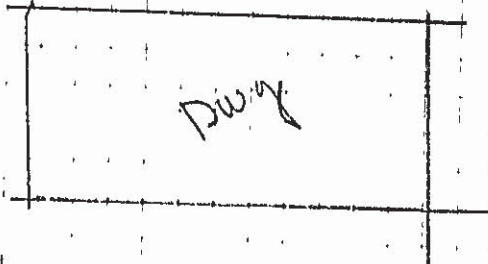
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GENERAL RESIDENCE ZONE

Street SW

300





(R) GENERAL RESIDENCE ZONE
APPLICATION FOR PERMIT

Permit No. 1840
SEP 18 1928

Class of Building or Type of Structure Third Class

Portland, Maine, September 12, 1928.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure ~~in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:~~

Location 45 Summit Street Ward 9 Within Fire Limits? no Dist. No. _____
Owner's ~~address~~ name and address H. R. Burgess, 45 Summit Street Telephone ET8W
Contractor's name and address owner Telephone _____
Architect's name and address _____ Telephone _____
Proposed use of building poultry house No. families _____
Other buildings on same lot garage, toolhouse, poultry house, dwelling

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To erect frame poultry house, 10' x 12'.

NOTIFICATION BEFORE FILING
OR CLOSING IS WAIVED
CERTIFICATE OF C.
REQUIREMENT IS WAIVED

Details of New Work

Size, front 10 depth 12 No. stories 1 Height average grade to highest point of roof 7'-0
To be erected on solid or filled land? solid earth or rock? earth
Material of foundation rock Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof flat (shed) Roof covering Underwriters Lab, Class G
No. of chimneys none Material of chimneys _____ of lining _____
Kind of heat none Type of fuel _____ Distance, heater to chimney _____
If oil burner, name and model _____
Capacity and location of oil tanks _____
Is v.s fitting involved? no Size of service _____
Corner posts 4x4 Sills 4x4 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x1-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor 2x6 2nd _____ 3rd _____ roof 2x6
On centers: 1st floor 24 2nd _____ 3rd _____ roof 24
Maximum span: 1st floor 12'-0 2nd _____ 3rd _____ roof 12'-0
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Plans filed as part of this application? yes No. sheets 1
Estimated cost \$ 50 Fee \$.60
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Homer R Burgess

INSPECTION COPY

74954

Permit No. 287849

Location 43 Summit St.

Owner H.P. Burgess

Date of permit 9/13/28

Notif. closing-in

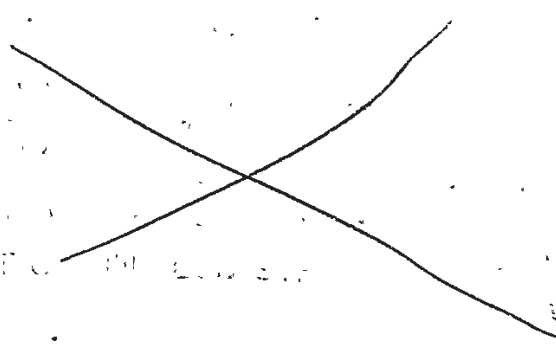
Inspn. closing-in

Final Notif.

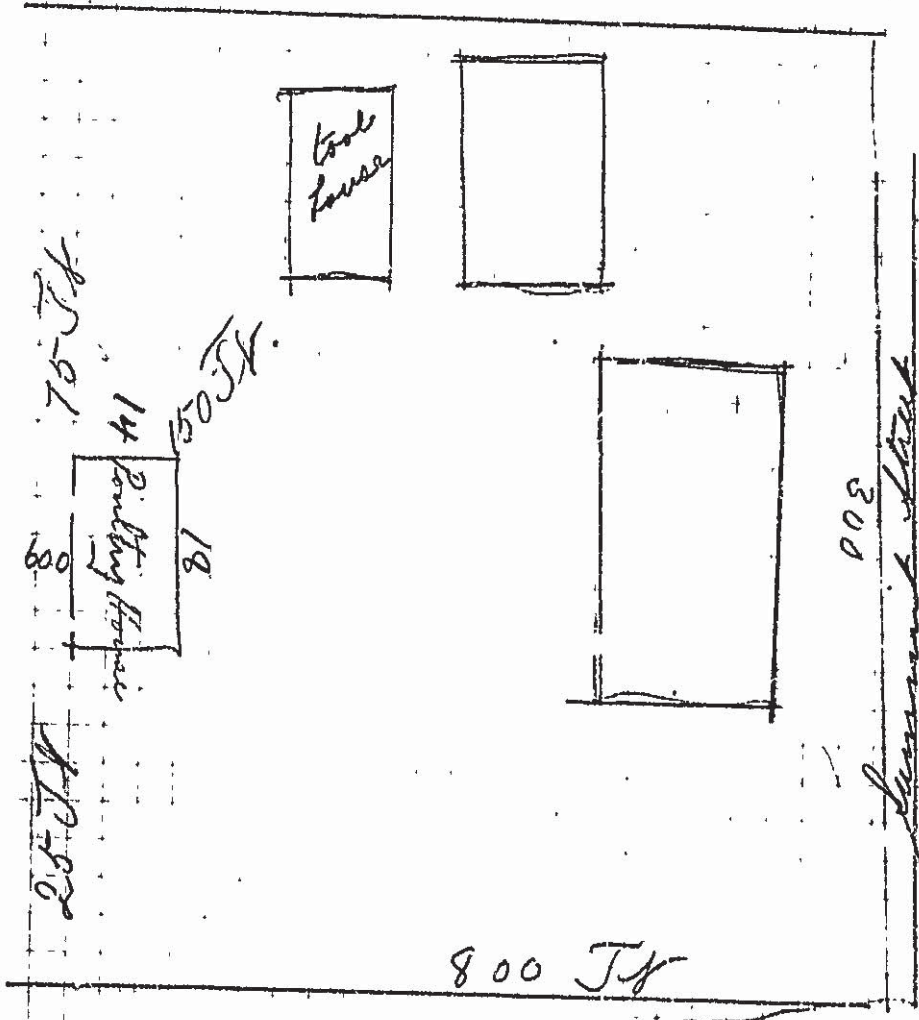
Final Inspn. 12/19/28

Cert. of Occupancy issued

NOTES



(R) GENERAL RESIDENTIAL ZONE



May 9, 1928

Mr. H. R. Burgess
43 Summitt Street
Portland, Maine

Dear Sir:

Referring to your application for a building permit to erect a frame poultry house on your property at 43 Summitt Street; the 4x4 rafters shown in the roof are not heavy enough to comply with the Ordinance.

It is assumed that you intend to run the rafters the 14 foot way. If this is the case, it would be necessary for you to use either 2x8 roof joists no farther apart than 20 inches from center to center or introduce a center beam under the roof no less than 4x8 with posts under it no more than 6 feet from center to center to support the roof joists in the middle in which case 2x6 joists, 24 inches from center to center may be used as they would be on a 7 foot span.

Please notify this office by phone or by letter which method you propose to use so that we may be in a position to issue the permit.

In the meantime, it is unlawful for you to proceed with any of the work until the permit card is actually in your possession and posted upon the premises.

Very truly yours,

Inspector of Buildings

WM/EP

(R) GENERAL RESIDENCE ZONE

ISSUED



APPLICATION FOR PERMIT

Permit No. _____
MAY 11 1929

Class of Building or Type of Structure Third Class 6233

Portland, Maine, May 7, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~and alter~~ the following building ~~and its~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 43 Summit Street Ward 9 Within Fire Limits? no Dist. No. _____

Owner's ~~of~~ name and address H. R. Burgess, 43 Summit Street Telephone P 75-7

Contractor's name and address owner Telephone _____

Architect's name and address _____

Proposed use of building poultry house No. families _____

Other buildings on same lot tool house, garage, 1 family dwelling

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To erect frame poultry house (18' x 14')

CERTIFICATE OF OCCUPANCY
REGISTRATION IS WAIVED
BY 67620-201, 201-201

Details of New Work

Size, front 18' depth 14' No. stories 1 Height average grade to highest point of roof 7'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation rock Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof shed Roof covering asphalt roofing Class C

No. of chimneys no Material of chimneys _____ of lining _____

Kind of heat no Type of fuel _____ Distance, heater to chimney _____

If oil burner, name and model _____

Capacity and location of oil tanks _____

Is gas fitting involved? no Size of service _____

Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 3x4, 2nd _____, 3rd _____, roof 4x4

On centers: 1st floor 10", 2nd _____, 3rd _____, roof 24"

Maximum span: 1st floor 9', 2nd _____, 3rd _____, roof 7'-2"

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets 1

Estimated cost \$ 70.00 Fee \$ 1.50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner H R Burgess

62520