

91-~~14~~<sup>45</sup> SUMMIT STREET



# PERMIT TO INSTALL PLUMBING

Date Issued **9/20/67**  
 Portland Plumbing Inspector  
 By **ERNOLD R. GOODWIN**

Address **115 Summit Park Avenue** PERMIT NUMBER **17638**  
 Installation For: **Remelling**  
 Owner of Bldg.: **Gloria Smith**  
 Owner's Address: **115 Summit Park Avenue**  
 Plumber: **Francis R. Capozza** Date: **9/20/67**

App. First Insp.  
 Date **SEP 21 1967**  
 By **ERNOLD R. GOODWIN**  
CHIEF PLUMBING INSPECTOR  
 App. Final Insp.  
 Date **SEP 21 1967**  
 By **ERNOLD R. GOODWIN**  
CHIEF PLUMBING INSPECTOR  
 Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

NEW	REPL.		NO.	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS FLOOR SURFACE		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
	<b>1</b>	HOUSE SEWERS	<b>1</b>	<b>2.00</b>
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
			<b>TOTAL</b>	<b>2.00</b>

Building and Inspection Services Dept.: Plumbing Inspection



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date 6-21, 1979  
 Receipt and Permit number A23971

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:  
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of  
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 105 Summit St.  
 OWNER'S NAME: Martin O'Brien ADDRESS: same (797-5863)

OUTLETS:	Receptacles _____	Switches _____	Plugmold _____	ft. TOTAL <u>1-30</u>	FEE
FIXTURES: (number of)	Incaandescent _____	Flourescent _____	(not strip) TOTAL _____		<u>3.00</u>
	Strip Flourescent _____	ft. _____			
SERVICES:	Overhead <input checked="" type="checkbox"/>	Underground _____	Temporary _____	TOTAL amperes <u>200</u>	<u>3.00</u>
METERS: (number of)	<u>1</u>				<u>.50</u>
MOTORS: (number of)	Fractional _____	1 HP or over _____			
RESIDENTIAL HEATING:	Oil or Gas (number of units) _____	Electric (number of rooms) <u>3</u>			<u>3.00</u>
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler) _____	Oil or Gas (by separate units) _____	Electric Under 20 kws _____	Over 20 kws _____	
APPLIANCES: (number of)	Ranges _____	Cook Tops _____	Wall Ovens _____	Dryers _____	Fans _____
	Water Heaters _____	Disposals _____	Dishwashers _____	Compactors _____	Others (denote) _____
	TOTAL _____				
MISCELLANEOUS: (number of)	Branch Panels _____	Transformers _____	Air Conditioners Central Unit _____	Separate Units (windows) _____	
	Signs 20 sq. ft. and under _____	Over 20 sq. ft. _____	Swimming Pools Above Ground _____	In Ground _____	
	Fire/Burglar Alarms Residential _____	Commercial _____	Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	over 30 amps _____	
	Circus, Fairs, etc. _____	Alterations to wires _____	Repairs after fire _____	Emergency Lights, battery _____	Emergency Generators _____
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	INSTALLATION FEE DUE:				
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	DOUBLE FEE DUE:				
	TOTAL AMOUNT DUE:				<u>9.50</u>

INSPECTION:  
 Will be ready on \_\_\_\_\_, 19\_\_; or Will Call   
 CONTRACTOR'S NAME: Louis Cavallaro  
 ADDRESS: 125 Sherwood St.  
 TEL.: 774-3813  
 MASTER LICENSE NO.: 1703  
 LIMITED LICENSE NO.: \_\_\_\_\_

SIGNATURE OF CONTRACTOR:  
*Louis Cavallaro*

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN





APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .. 000352

ZONING LOCATION R-2 PORTLAND, MAINE, .. 5-9-79

MAY 14 1979

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 105 Summit St. ... Fire District #1 [ ], #2 [ ]
1. Owner's name and address Martin O'Brien - same ... Telephone 727-5863
2. Lessee's name and address ... Telephone ...
3. Contractor's name and address P. E. Neal & Sons - Gray, Maine ... Telephone 657-3872
4. Architect ... Specifications ... Plans ... No. of sheets 3...
Proposed use of building addition to single family dwelling ... No. families ...
Last use ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$ 7,000 ... Fee \$ 32.50

FIELD INSPECTOR—Mr. ... GENERAL DESCRIPTION

This application is for: @ 775-5451 Ext. 234 To construct addition to single family dwelling, 16x29, as per plans.
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [x] 2 [ ] 3 [ ] 4 [ ]

Other: .....

DETAILS OF NEW WORK

Is any plumbing involved in this work? none Is any electrical work involved in this work? yes
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate 8' Height average grade to highest point of roof 13'
Size, front 16' depth 29' No. stories 1 solid or filled lane? solid earth or rock? earth
Material of foundation concrete slab Thickness, top 8" bottom cellar
Kind of roof Pitch Rise per foot 4/12 Roof covering asphalt shingle
No. of chimneys Material of chimneys of lining Kind of heat elec fuel
Framing Lumber—Kind spruce Dressed or full size? dressed Corner posts 4x6 Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x8 2nd 3rd roof 2x8
On centers: 1st floor 2x8 2nd 3rd roof 16"
Maximum span: 1st floor 2nd 3rd roof 18'

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? ..
ZONING: A.R. J.P. 5/14/79
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed? .. yes ..
Others: .....

Signature of Applicant Martin J. O'Brien ... Phone # 727-5863

Type Name of above Martin O'Brien ... 1 [x] 2 [ ] 3 [ ] 4 [ ]

Other ... and Address .....

FIELD INSPECTOR'S COPY

NOTES

May 18th/79

Foundation placed,

Location Ok. 31 feet

set back from the street

line.

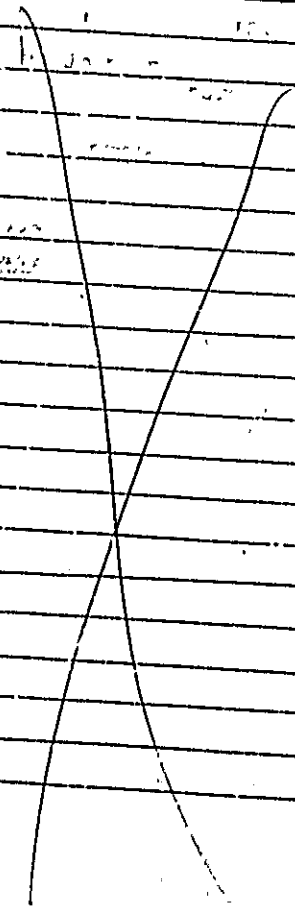
May 24/79

Framing

June 7/79 This addition is completed except for the interior. It will be insulated of

walls by the owner. I don't want that the owner would have to take out a building electrical permit.

Permit No. 79/352  
Location 1057  
Owner Martin G. Baker  
Date of permit 5-9-79  
Approved 5-14-79

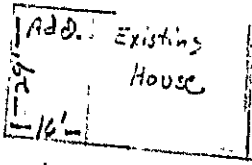


M.O. Orion

105 Summit St.

← 235' →

40'



35'

145'

Summit St.

RECEIVED  
MAY 14 1979  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND



File

FRANK M. HOBERTY, JR.  
COMMISSIONER

HAROLD E. TRANEY  
DEPUTY COMMISSIONER



CHARLES F. ROGAN  
DIRECTOR

HARRY B. ROLLINS  
ASSISTANT DIRECTOR

STATE OF MAINE

**Insurance Department**  
DIVISION OF STATE FIRE PREVENTION  
AUGUSTA, MAINE 04330

February 18, 1970

C  
O  
P  
Y

Mr. and Mrs. Charles R. Durost  
105 Summit Street  
Portland, Maine

Dear Mr. and Mrs. Durost:      Re: Boarding Home

In accordance with Title 25, Revised Statutes of 1964, a Supervising State Fire Inspector recently inspected your property and found the following conditions in violation of the statutes governing the fire laws of this State, as indicated below:

1. Provide Underwriters Laboratories approved 2 1/2 dry powder fire extinguisher for kitchen.

Please advise this office in writing when such violations of the fire laws have been corrected in order that this office may advise the Commissioner of the Department of Health and Welfare that your property complies with the statutory provisions relating to fire safety.

By direction of the Insurance Commissioner

*Charles F. Rogan*  
Director

WHR:cag  
cc: Health & Welfare Dept.  
Chief Joseph Creme  
Portland Building Inspector

ALWAYS PREVENT FIRE ALWAYS



R2 RESIDENTIAL ZONE

# APPLICATION FOR PERMIT

PERMIT ISSUED

JUL 14 1960

CITY OF PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, June 29, 1960

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 105 Summit St. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Charles R. Durost, 105 Summit St. Telephone 4-5353  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address owner Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ Telephone \_\_\_\_\_  
 Proposed use of building Dwelling No. of sheets \_\_\_\_\_  
 Last use \_\_\_\_\_ " \_\_\_\_\_ No. families 1  
 Material frame No. stories 1 Heat \_\_\_\_\_ Style of roof pitch Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 2000. Fee \$ 1.00  
 4.00 add. fee

## General Description of New Work

~~To construct concrete block foundation wall with footing for 1-story frame addition 12'x25'9"~~  
 To construct 1-story frame addition 12'x25'9"

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate 10' Height average grade to highest point of roof 16'  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ at least 4' below grade \_\_\_\_\_ solid or filled land? solid earth or rock? earth  
 Material of foundation concrete block Thickness, top 12" bottom 2" cellar yes  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof pitch Rise per foot 8" Roof covering asphalt roofing Class C Und. Lab.  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing Lumber - Kind hemlock Dressed or full size? dressed Corner posts 4x4 Sills 4x6  
 Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Kind and thickness of outside sheathing of exterior walls? \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor 2x8 2nd \_\_\_\_\_ 3rd \_\_\_\_\_, roof 2x6  
 On centers: 1st floor 16" 2nd \_\_\_\_\_ 3rd \_\_\_\_\_, roof 16"  
 Maximum span: 1st floor 12' 2nd \_\_\_\_\_ 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

H. E. 9th 7/14/60 W/Name

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Charles R. Durost

NOTES

9/20/60 - Replaced 6  
floor joists and  
rough excavations made  
for addition. E.S.S.

10/10/60 - Foundation  
footings made E.S.S.

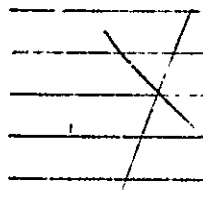
6/5/61 - Foundation  
appeal over, E.S.S.

7/3/61 - Same E.S.S.

7/19/61 - went over letter  
with Mr. Wilby who  
is to handle. E.S.S.

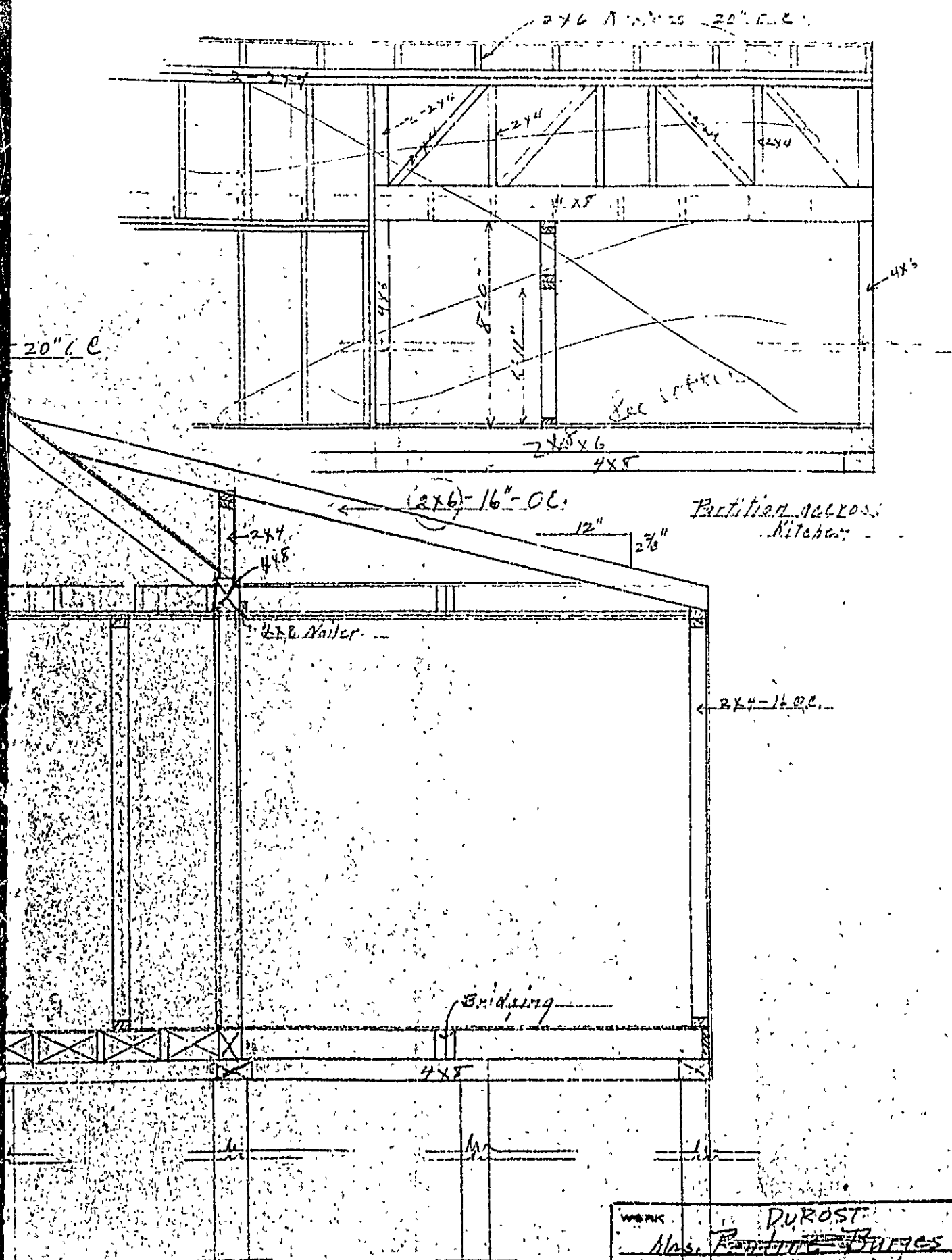
7/31/61 - Grant hereby  
will. Study in job 6  
incl. 24" O.C. E.S.S.

12/4/61 - No further imp.  
necessary left City.  
some steel eye to close  
in - JH

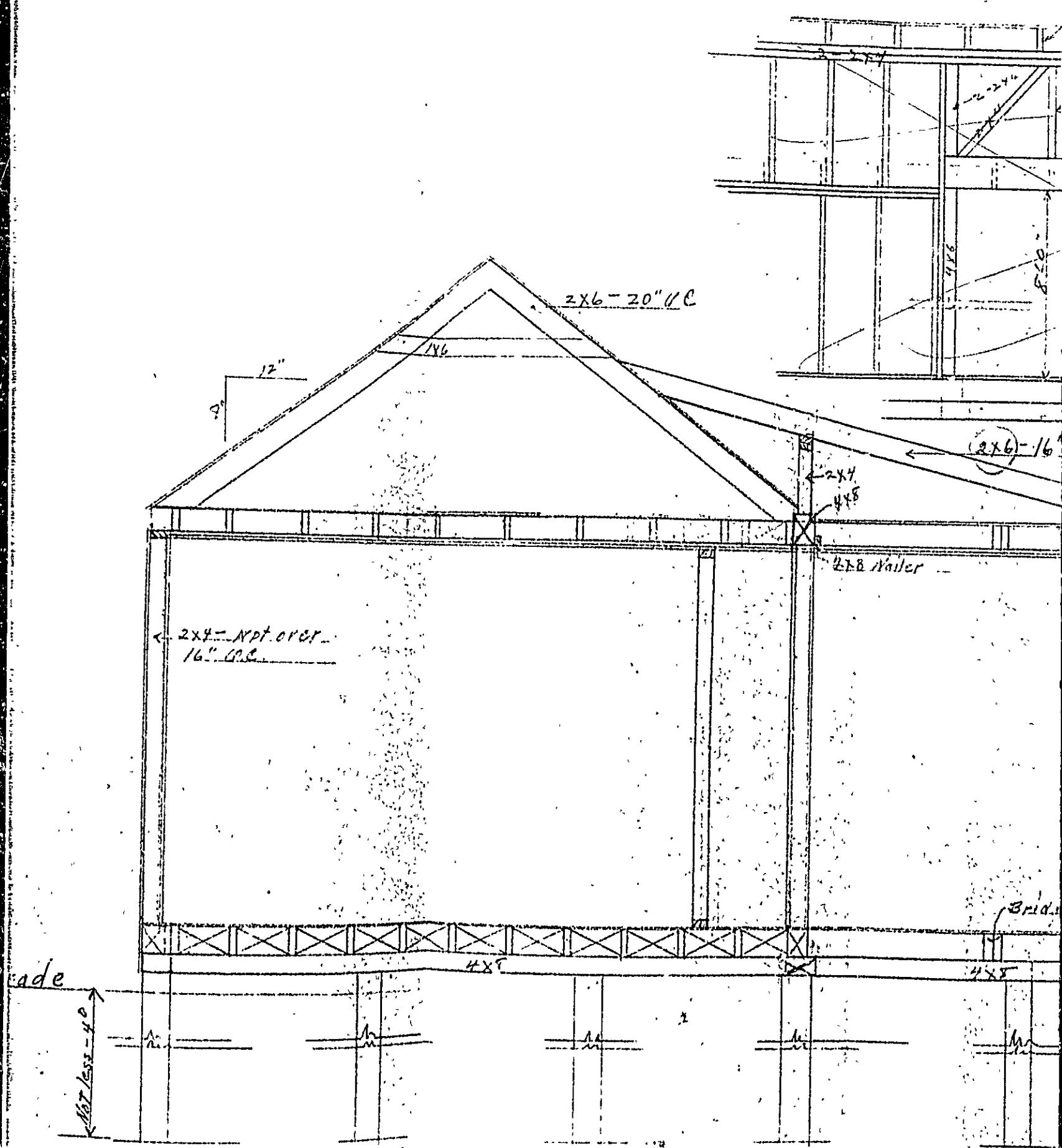


Permit No.	CO 1892
Location	105th Ave NW, Minneapolis, MN
Owner	Charles E. Hansen
Date of permit	9/14/60
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	7/21
Cert. of Occupancy Issued	
Staking Out Notice	
Form Check Notice	

*[Handwritten notes and signatures in the right margin, including dates like 9/20/60 and names like JH.]*



WORK	PURDOST	
MANAGER	Mrs. <del>XXXXXXXXXX</del> <del>XXXXXXXXXX</del>	
SCALE	1/2" = 1 ft.	
DATE	10/21/54	
PROPERTY OF	H. T. FOX CO., INC.	
PORTLAND, MAINE	REVISIONS SHEET NO.	5



2x6-20" OC

2x6

12"

9"

(2x6)-16"

2x4  
4x8

2x8 Waller

← 2x4-16" G.C.  
16" G.C.

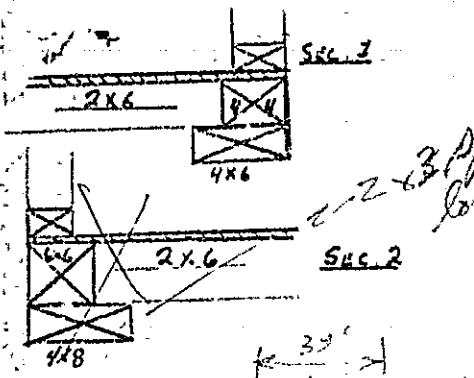
Brick

4x8

4x8

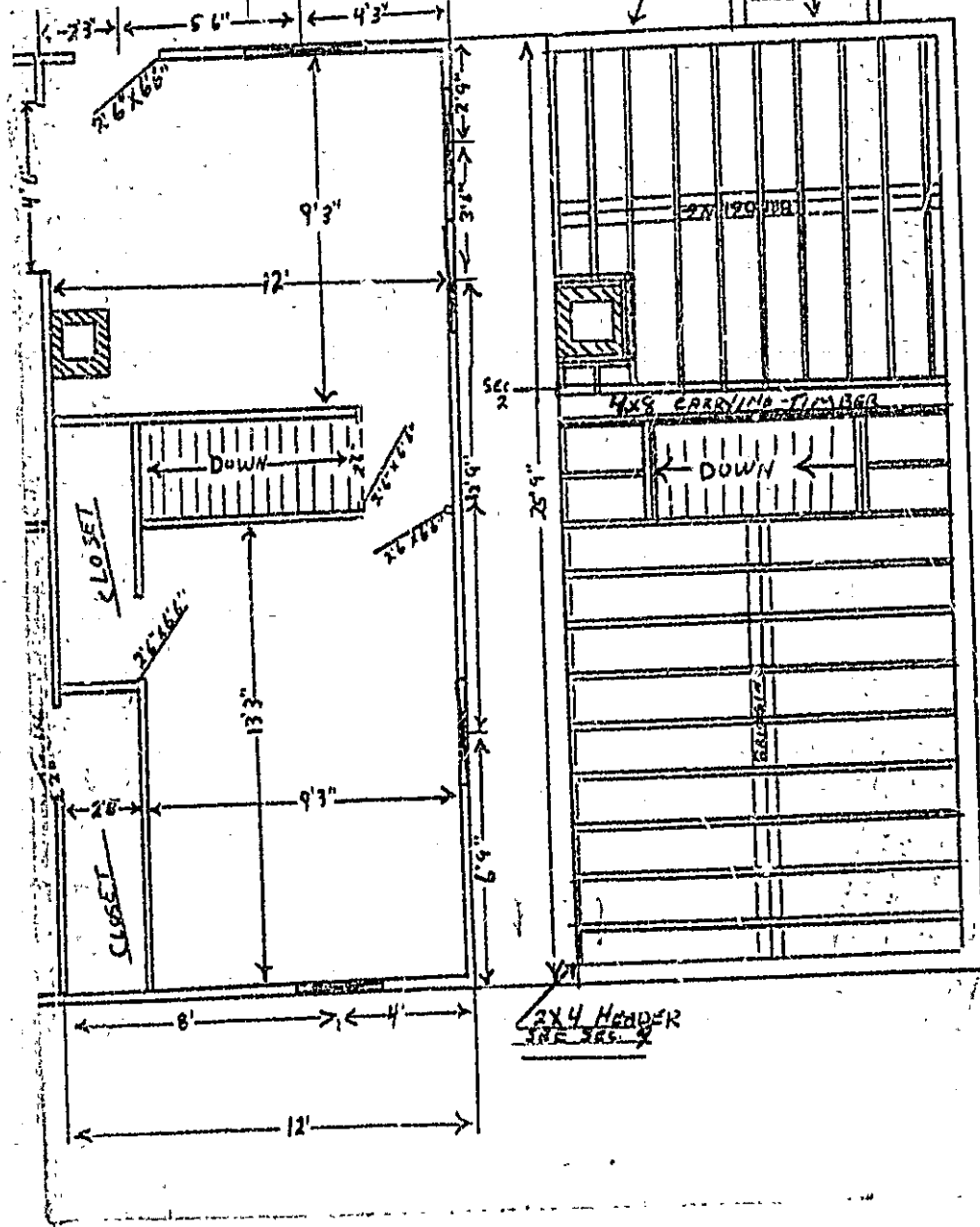
ade

Not less than 4"



*2-3' depth of  
base to sill*

HEM LOCK  
SUB FLOORING  
KITCHEN FLOOR  
3/4" PLYWOOD  
+ TILE  
BED ROOM FLOOR  
HARD WOOD



2x8 Hemlock  
FLOOR RAFTERS  
2x8 Box  
SILL

2x4 STRIPS  
HEMLOCK  
16" O.C.

FRAMING  
HEMLOCK  
THROUGH  
OUT

Roof Rafters  
2x6  
16" O.C.  
HEMLOCK

2x6  
CEILING  
JOISTS  
16" O.C.

FOUNDATION  
8" X 16"  
CEMENT  
FOUNTS AT  
LEAST  
4" BELOW  
GRADE  
112" CEMENT  
BLOCKS

2x4 HEADER  
SEE SEC. 2

AP-105 Summit Street

July 14, 1960

Mr. Charles R. Durost  
105 Summit Street

Dear Mr. Durost:

In accordance with the telephone conversation with you, we are issuing a permit to construct a one story frame addition in accordance with the following conditions:

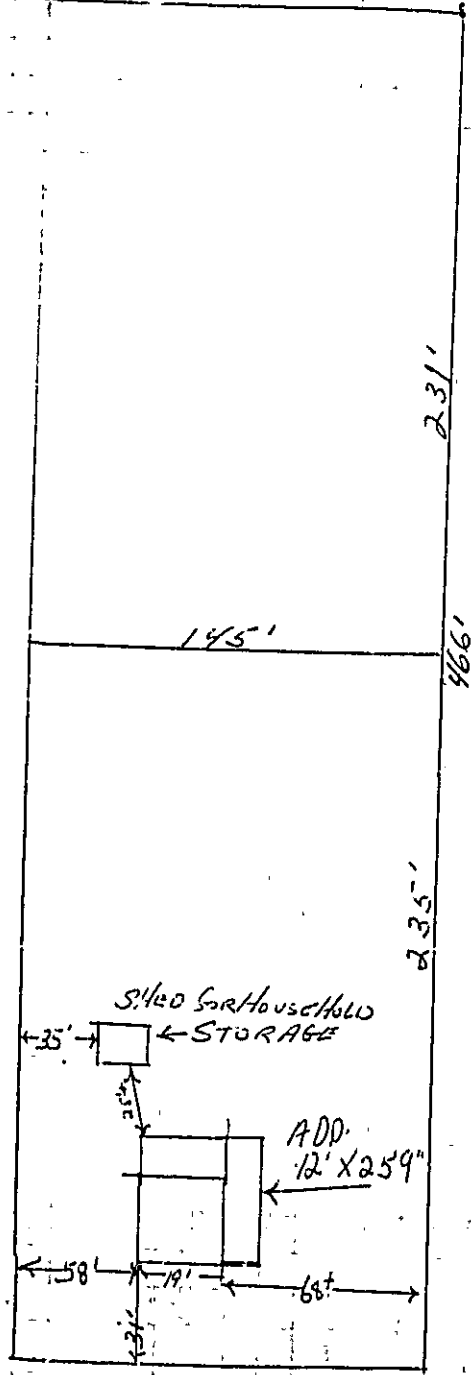
1. In accordance with the Code, the footing under the 12 inch block wall shall be a minimum size of 8 inches deep and 15 inches wide.
- ✓ 2. The carrying timber supporting a floor load and partition load at stairwell will need to be 4 inches by 10 inches.
- ✓ 3. If the floor timbers do not bear directly on the sill as shown in the sections then the joists shall be supported on a wooden strip no less than 2 inches by three 3 inches, nominal dimension, spiked or bolted to the wood sill.
- ✓ 4. Two by eight inch rafters will be required for a roof of this pitch and span.

Very truly yours,

GEM/js

Gerald E. Mayberry  
Deputy Inspector of Buildings

RECEIVED  
JUN 29 1960  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND



RECEIVED  
JUN 29 1960  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, November 17, 1959

PERMIT ISSUED 01728 NOV 17 1959 CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: 105 Summit St. Use of Building: Dwelling No. Stories: 1 1/2 New Building Existing: "

Name and address of owner of appliance: Charles Durost, 105 Summit St.

Installer's name and address: B.G. Pride Oil Co, 543 Main St, Westbrook Me. Telephone: 42-4-2595

General Description of Work

To install Forced warm air heating system and oil burning equipment in place of coal-fired warm air heat.

IF HEATER, OR POWER BOILER

Location of appliance: basement Any burnable material in floor surface or beneath? none If so, how protected? Kind of fuel? oil Minimum distance to burnable material, from top of appliance or casing top of furnace 2' From top of smoke pipe 2' From front of appliance over From sides or back of appliance over 3' Size of chimney flue 8x12 Other connections to same flue none If gas fired, how vented? Rated maximum demand per hour

Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

Hygrostat Warmair Unit MODEL O 55-95

IF OIL BURNER

Name and type of burner: Lencer-gun type Labelled by underwriters' laboratories? yes Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom Type of floor beneath burner: concrete Size of vent pipe 1 1/2" Location of oil storage: basement Number and capacity of tanks 1-275 gal. Low water shut off: Make No. Will all tanks be more than five feet from any flame? yes How many tanks enclosed? Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance: Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smoke pipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

.....

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: [Signature] 11/17/59

Will there be in charge of the above work a person competent see that the State and City requirements pertaining thereto observed? yes

B.G. Pride Oil Co.

Signature of Installer: [Signature]

CS 300

INSPECTION COPY

F-6





APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1
Portland, Maine, November 23, 1959

PERMIT ISSUED
NOV 24 1959
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 50/1728 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 105 Summit St. Within Fire Limits? Dist. No.
Owner's name and address Charles Durost, 105 Summit St. Telephone
Lessee's name and address Telephone
Contractor's name and address B.G. Pride Oil Co., 543 Main St., Westbrook, Me. Telephone UL-1-2593
Architect Plans filed No. of sheets
Proposed use of building Dwelling No. families 1
Last use No. families 1
Increased cost of work Additional fee 50

Description of Proposed Work

Instead of being in the basement the heater and oil tank will be in a shallow space below first floor, there being no basement. No less than 1" clearance will be provided between top of furnace and woodwork over it. No less than 9" between top and sides of smoke pipe and woodwork. Smoke pipe will pitch upwards at least 1/4" to the foot. Bottom of smoke pipe where it enters the flue will be at least 4" above the floor of the chimney flue.

The furnace and tank will be supported on concrete block so there will be at least 6" between ground and bottom of appliance. If this makes excavation necessary the rules of NBFU will be followed. If the situation is such that ground moisture is likely to run into the space below the furnace a waterproof pan or pit will be provided beneath the furnace in accordance with NBFU regulations.

Access to furnace will be by opening in exterior wall not smaller than 18" x 24". Under-floor passage ways to reach the furnace will be no less than 18" high by 24" wide. Warm air ducts and register boxes will be covered with 14-pound asbestos or equivalent.

Permit issued with Letter Details of New Work permit to B.G. Pride Oil Co.

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size? Size
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: 11/23/59 with letter
[Signature]

B.G. Pride Oil Company
Signature of Owner by: [Signature]
Approved: Albert J. Sears
Inspector of Buildings

INSPECTION COPY
CS-105

BP-105 Summit Street—Amendment to building permit for oil burning furnace in the building of Charles Durost by B. G. Pride Oil Co.

November 24, 1959

cc to: B. G. Pride Oil Co.  
543 Main Street  
Westbrook, Maine (with copy of amendment)

Mr. Charles Durost  
105 Summit Street

Dear Mr. Durost:

This installation of a warm air furnace in the space beneath the floor of your home includes some very unusual features which could prove dangerous to the building and its occupants. We are satisfied that the oil company will do a very careful job with all due regard for safety and good maintenance, but it appears important to tell you of some of the hazards which may come up after they have finished the job. It appears that you should not only bear these features and suggestions in mind for the safety of all concerned; but that you should communicate them to any parties other than yourself who might later buy the property or live in it as tenants.

Because of the cramped condition, it is likely that the bottom of the smoke pipe where it enters the chimney flue will be much closer to the bottom of the flue than is usual—perhaps no more than 4 inches. The apparent hazard here is that due to conditions beyond anyone's control, soot may accumulate in the bottom of the flue, and, unless periodically removed, may build up until it closes part or all of the smokepipe. Such a condition would immediately affect the draft and in an extreme case might mean a backfire or explosion.

We tell you this not to alarm you, but to make sure that whoever is responsible for the care of the building will frequently open the clean out door (we understand this to be outside of the building) and if there is an accumulation of soot or anything else, remove it.

The oil company has assured us that adequate arrangements will be made some where through the outside wall, lower than the first floor for admitting fresh air to the oil burner. This is important since it is necessary for the burner to get sufficient fresh air to operate properly and safely. During the cold months there may be a need to close up any such opening but it is not safe to do so unless you first consult the oil company and get its advice.

That you may be aware of the circumstances, there is below the statements concerning the conditions which appear on the application for the amendment to the permit, the amendment being necessary because the original application did not give the correct facts:

"Instead of being in the basement the heater and oil tank will be in a shallow space below first floor, there being no basement. No less than 1 inch

105 Summit Street

(2)

Nov. 24, 1959

clearance will be provided between top of furnace and woodwork over it. No less than 9" between top and sides of smokepipe and woodwork. Smokepipe will pitch upwards at least  $\frac{1}{4}$ " to the foot. Bottom of smokepipe where it enters the flue will be at least 4" above the floor of the chimney flue.

"The furnace and tank will be supported on concrete block so there will be at least 6" between ground and bottom of appliance. If this makes excavation necessary the rules of NBFU will be followed. If the situation is such that ground moisture is likely to run into the space below the furnace a waterproof pan or pit will be provided beneath the furnace in accordance with NBFU regulations.

"Access to furnace will be by opening in exterior wall not smaller than 18" x 24". Under-floor passage ways to reach the furnace will be no less than 18" high by 24" wide. Where air ducts and register boxes will be covered with 14-pound asbestos or equivalent."

Very truly yours,

W McD/JG

Warren McDonald  
Acting Deputy Insp.  
of Bldgs.

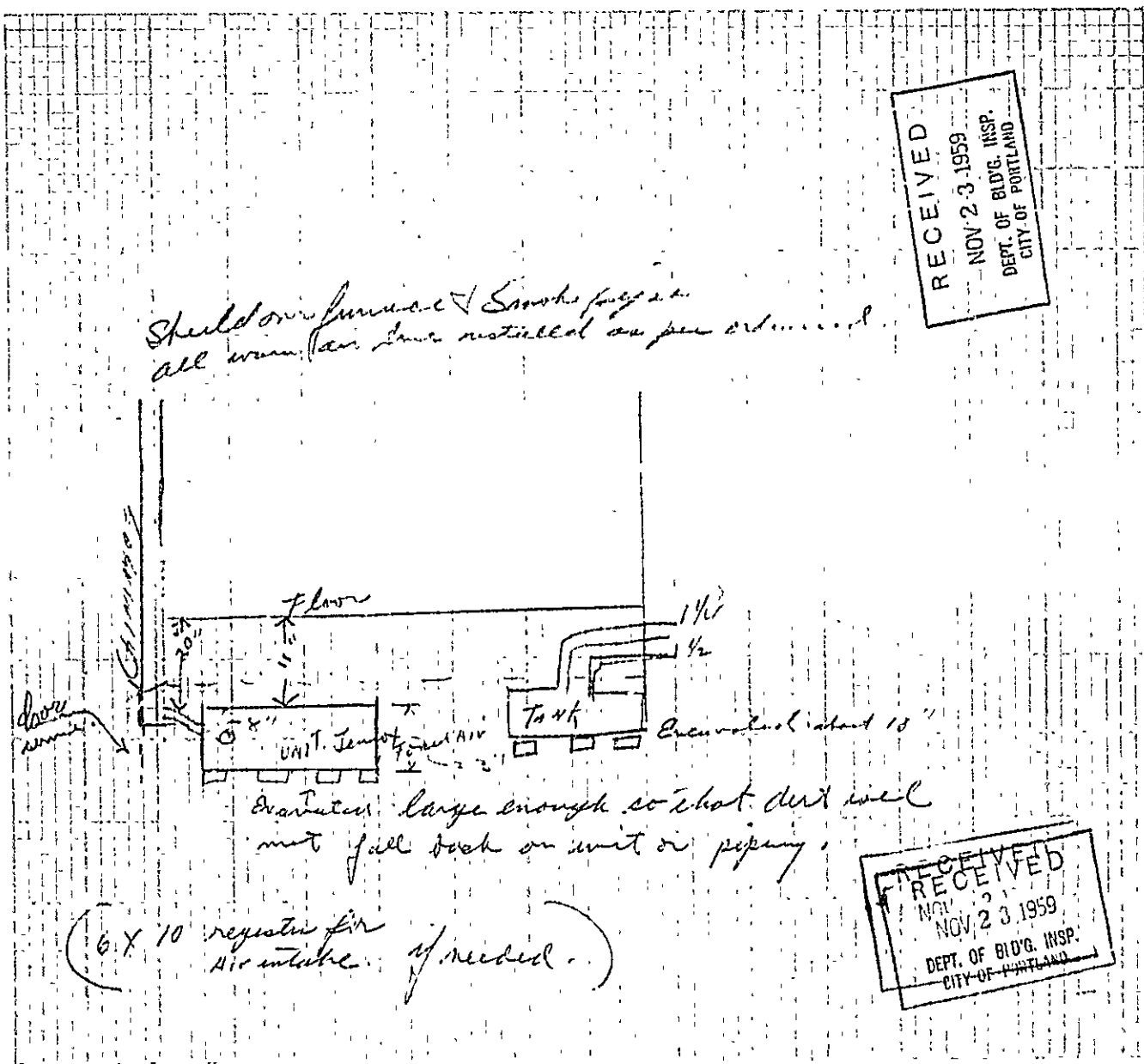
Shelby

1000 - Frame

1

B. S. Smith

Street Street St



Shield over furnace & Smoke pipes  
 all warm air lines installed as per ordinance.

Exhauster large enough so that dirt will  
 not fall back on unit or piping.

(6 x 10 registers for  
 air intake if needed.)

RECEIVED  
 NOV 23 1959  
 DEPT. OF BLD'G. INSP.  
 CITY OF PORTLAND

RECEIVED  
 NOV 23 1959  
 DEPT. OF BLD'G. INSP.  
 CITY OF PORTLAND

(COPY)



CITY OF PORTLAND, MAINE  
 Department of Building Inspection

# Certificate of Occupancy

LOCATION 105-115 Summit St.

Issued to Mrs. Pauline Burgess

Date of Issue April 13, 1955

This is to certify that the building, premises, or part thereof, at the above location, ~~was~~ altered —changed as to use under Building Permit No. 54/2067, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

One-family Dwelling House

Limiting Conditions:

This certificate supersedes  
 certificate issued

Approved:

4/12/55

(Date)

*Carl Smith*  
 Inspector

*Warren G. Gold*  
 Inspector of Buildings

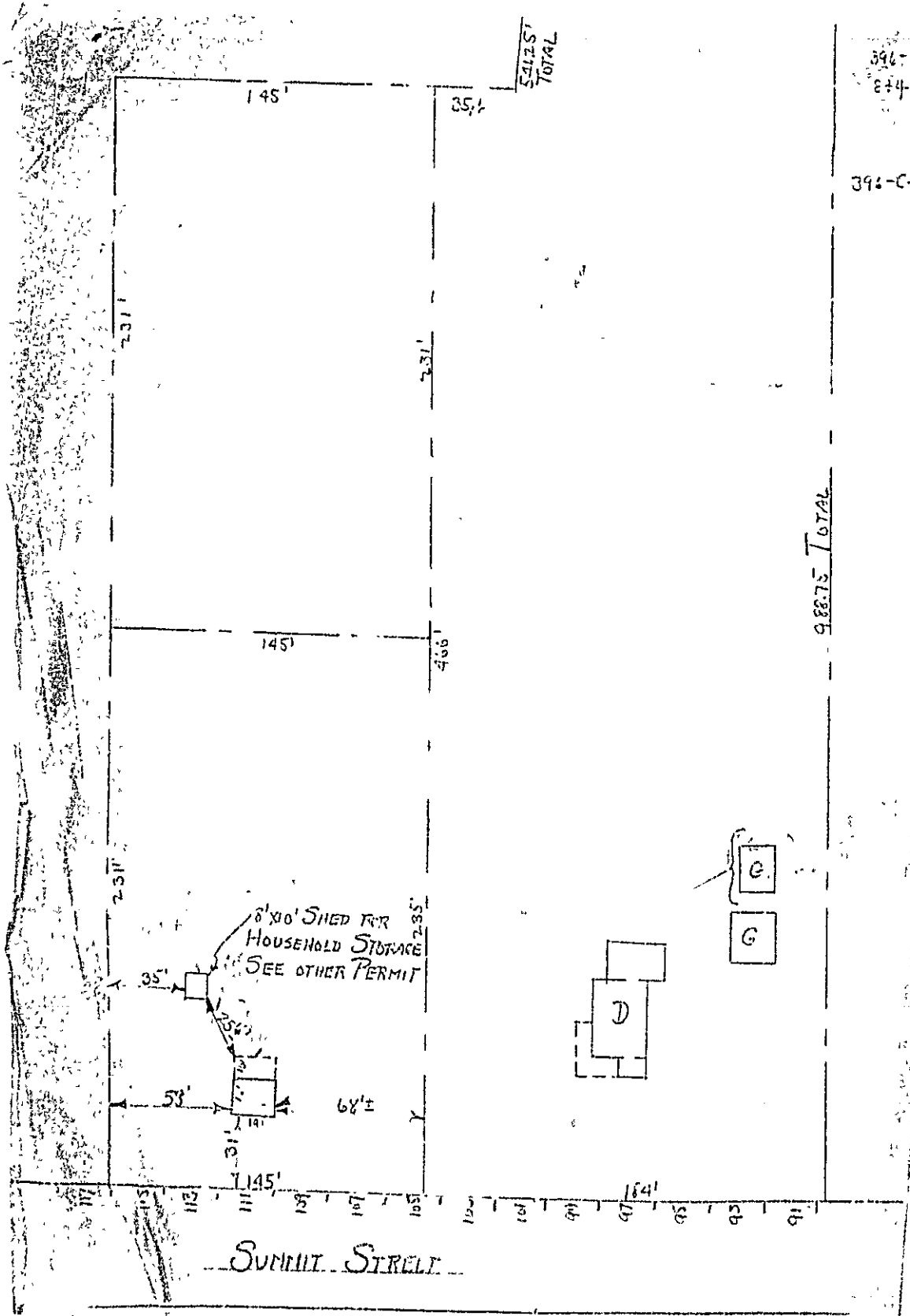
Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Clapboards to be removed from outside walls and 2x4 studs cut in from floor to under side of present plate between present wall studs, making studding 1 ft. on center. Same to be nailed through outside boarding.

All interior partitions walls & ceilings to be covered with 3/8 gypsum board.

*A. F. Patterson*





394-C  
 274  
 394-C-3

November 17, 1954

AP - 91-115 Summit Street

Contractor - <sup>o</sup> Mr. A. F. Patterson  
45 Leonard St.

Owner - <sup>c</sup> Mrs. Pauline Burgess  
95 Summit St.

Building permit for moving one story wood frame building formerly used as garage to new position on same property at the above location and to make alterations to change its use to a one family dwelling house is issued herewith based on revised plans filed November 1, 1954, but subject to the following conditions:-

- an additional cedar post is to be provided beneath the sill where the intermediate post supporting the 4x8 beam across ceiling of kitchen and passageway lands.
- foundation of outside chimney is to extend at least four feet below grade. Wall of chimney is to be kept at least one inch away from wall of building and, where the smokepipe entrance to chimney is to be located, the brickwork is to be extended through the building wall to the inside face of the studding.
- since the building is to be supported on cedar posts, it is likely that you will want to close off the space between the bottom of the sills and the ground in some manner. In doing this care needs to be taken to make sure that the construction is such that any frost action in the ground will not be transmitted to the sills.
- there has been some talk of the possibility of providing a central heating plant for the building at some later date. This permit is therefore issued without prejudice to any questions that may arise concerning the installation of such heating equipment.
- there is no indication of platforms and steps outside front and side entrance doors. If any are to be provided and if they are to be of wooden construction, an amendment to this permit is to be secured for their construction before the work is done. With the application for permit is to be furnished full information as to their foundations and framing.

As explained to Mr. Patterson, it is necessary that application be made for a separate permit to move the former poultry house to its new location. With that application will need to be furnished full information as to its new location on the lot, the use proposed for it, its construction and the manner in which it is to be supported. There is considerable question as to whether we shall be able to issue such a permit, but this cannot be determined until all details of the proposition are known.

PS - When the cedar post foundations have been put in and before the building is landed upon them it is necessary that this office be notified for check of location and that no further work be done until our inspector has approved the location by his sticker on the permit card which should be posted on a stout post on the front of the lot.

Warren McDonald  
Inspector of Buildings

*Part with side  
copy*

November 5, 1954

AP--91-115 Summit Street

Contractor--Mr. A. V. Patterson  
45 Leonard St.

Owner--Mrs. Pauline Burgess  
95 Summit St.

Revised plans and specifications filed with application for moving an existing garage to a new location on the same property at the above address, to construct an addition to it, and to convert both building and addition to dwelling house use will apparently provide compliance with Building Code requirements if an additional cedar post is provided directly beneath the intermediate post supporting the 4x8 beam in ceiling of kitchen and passageway; and that indication is made in application that the outside chimney is to have a foundation extending at least four feet below grade, that wall of chimney is to be kept at least one inch away from wood wall of building, and that brickwork of chimney is to be corbelled through wall of building to inside face of studding where the smokepipe entrance is located.

Before a permit can be issued, however, it is necessary that approval be secured for the method of sewage disposal which you plan to provide for the new dwelling, this matter being the subject of a separate letter which is attached.

It is noted that there has been added to the work proposed under this permit the moving of an existing poultry house to a new location on the same property. Since no information has been furnished as to the proposed use of this building in its new location, of distances to lot lines or other buildings, nor of its framing and foundation, we are unable to check the application of Zoning Ordinance and Building Code requirements to the proposition. Issuance of permit for moving of the other building will be delayed until information has been furnished to indicate that moving of poultry house is to be in compliance with all requirements. You, therefore, may prefer not to have the moving of the poultry house included in the same permit as the garage, but to file an application for a separate permit involving that part of the work.

AJS/B

Warren McDonald  
Inspector of Buildings

AP 95 Summit St.

November 4, 1954

Mrs. Pauline Burgess,  
95 Summit Street

Mr. A. F. Patterson,  
45 Leonard Street

Dear Mrs. Burgess and Mr. Patterson:

Application today by Mr. Patterson to change garage to dwelling house at 95 Summit Street indicates that no connection is possible to a public sewer, and that sewage disposal is proposed by septic tank.

The Building Code directs, where connection to a public sewer is not possible, that the proposed method of sewage disposal must be approved by the Health Officer before any building permit is issued.

That the Health Department may be aware of the proposed method of sewage disposal, you should explain, by plan or otherwise, the details and location of the septic tank system, including nature of the soil where overflow lines will be located, to Sanitary Engineer Norman Winch.

Very truly yours,

WMD/H

Inspector of Buildings

October 5, 1954

AP - 91-115 Summit Street

Owner - Mrs. Pauline Burgess  
95 Summit St.

Contractor - A. F. Patterson  
45 Leonard St.

An inspection of the existing two-car garage at the above location which you propose to move to another location on the same property and convert to dwelling house use discloses the following details of framing which do not comply with Building Code requirements for the proposed use:-

- the existing floor timbers are butted against the sides of the sills and toenailed to them instead of being notched over a 2x3 nailing piece spiked to the sides of the sills.
- ✓ -studs in outside walls are spaced 24 inches on centers instead of 16 inches on centers.
- ✓ -there is only a single 2x4 plate supporting rafters instead of the double 2x4 plate required.
- openings in walls do not have double 2x4 headers and jack studs at sides as required.

While the above construction complies with requirements for minor garages, it does not, as stated above, meet those specified by the Building Code for dwelling houses. We know of no acceptable way to make the building meet requirements short of practically taking it apart and rebuilding it. For this reason we are unable to issue a permit for the work proposed in the application for permit which has been filed.

*avg 7'-5" pitch to ft*

Warren McDonald  
Inspector of Buildings

AJS/G

Dear Mrs. Burgess:-

We talked over the phone about this job before this letter, prepared by our Mr. Sears, had come to me, and it was at my direction that he said in the letter above that we do not know any acceptable way of meeting the Building Code requirements.

Since our telephone conversation I have been thinking the matter over

(See Page 2)

Mrs. Pauline Burgess - - - - #2

October 5, 1954

and have talked it over with Mr. Sears again with the thought that there might be some way of really improving the existing garage to really make it equivalent to the normal required construction for a dwelling house. We are handicapped in passing upon the situation because the plans do not show full details, and although we have not checked out many of those details, it looks very much as though some of them would have to be changed--for instance, the spacing of cedar posts. We have no time in here to work out all the details for you, but perhaps your plan maker can work them out with the following suggestions from us. Now, as to the above deficiencies:

1. Where the floor joists are butted and probably "toe-nailed" to the sills and perhaps the center girder also - either notch out each floor joist and supply a 2x3 nailing strip snug against the upper part of the notch and spike to the side of one sills and center girders; or provide 4x8 laid with the eight inch dimension horizontal between the cedar posts and the underside of the sills with the outer edge of the 4x8 flush with the outer edge of the 6x6 sill so that it would project two inches beyond the 6x6 sill and afford a bearing for the floor joists. Under the center girder would be needed a 4x10 to give bearing on both sides, and nothing would be needed in this way under front and rear of the garage because the floor joists do not bear there.

2. Where uprights and outside wall are too far apart/<sup>and</sup> there is only a single, instead of a double 2x4 plate at their tops to support the rafters, it would only be acceptable to provide 2x4 studs between the present studs, if you would remove the clapboards and nail through the wooden sheathing into the new studs. If this is out of the question, your carpenter may be able to suggest something by way of a horizontal 2x4 cut between the studs half way between sill and plate and mitred braces provided from the top of the horizontal member to meet at the center of the underside of the single plate. This latter is experimental, and I am not sure that we could accept it.

3. It ought to be easy to provide suitable framing of the openings in the exterior walls, since I understand they are either all to be new or in new locations.

4. Where the large doorways are to be filled in, we shall expect standard construction - 2x4 studs 16 inches on centers running to the underside of a double plate.

5. Not mentioned above, but since the floor joists would be on spans of more than eight feet, they will have to have solid bridging at each span which would have to be applied from the underside.

Will you be good enough to go over the above with the carpenter, and if he believes these suggestions to be feasible, have him make detailed plans accordingly, showing all particulars as to what he proposes to do.

The plans which he has filed here are original drawings, and he may have them back to fix up and make the pencil lines and so on heavier. Then he should take them to the blueprint shop and get a set of prints (these are inexpensive) and file the prints here, keeping the originals himself from which as many copies can be taken as may be desired. The prints filed here, however, should have all of the information on them printed from the original.

*Mr. O. told that in many cases of this kind are better made by hand*  
10/11/54

Mrs. Pauline Burgess - - - - -#3

October 5, 1954

In event you are unable to go ahead on the above basis, please advise this office and return the receipt for the fee paid whereupon the money will be refunded to Mr. Patterson by voucher.

Very truly yours,

Warren E. Donald  
Inspector of Buildings

WMD/G

*Building Inspector*  
*agj*

CITY OF PORTLAND, MAINE  
Department of Building Inspection

SEPTIC TANKS  
Request for approval of

October 4, 1954

Location - 95 Summit Street  
Owner - Mrs. Pauline Burgess  
Contractor - A. F. Fatterson  
Type - g.-Chg. Use garage to dwelling

To the Health Director:

Application for building permit identified as above has been filed in this office; indicating that a septic tank installation is proposed, as a means of sewage disposal. Applicant represents that connection to a public sewer is not feasible.

Your approval as to the method of sewage disposal is requested before a building permit is issued, therefore will you complete and return the appended report as expeditiously as possible.

*Warren McDonald*  
Inspector of Buildings

Attachment:  
Copy of this notice

\*\*\*\*\*

Proposed sewage disposal method is ~~is not~~ approved.

Remarks: *Sandy soil. Perc Test made 12 Nov satisfactory*

*Edward Stubby*  
Health Director

Date. *12 Nov.*

RECEIVED  
NOV 12 1954  
DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, January 7, 1955

PERMIT ISSUED 00037 JAN 11 1955 CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

M-VC-ECC

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 105 Summit St. Use of Building Residence No. Stories 1 New Building
Name and address of owner of appliance Mrs. Pauline G. Burgess, 95 Summit St.
Installer's name and address Ballard Oil & Equipment Co. 135 Marginal Telephone 2-1991

General Description of Work

To install Coleman floor furnace

IF HEATER, OR POWER BOILER

Location of appliance 1st floor framing any burnable material in floor surface or beneath? none
If so, how protected? not applicable Kind of fuel? No. 1 oil
Minimum distance to burnable material, from top of appliance or casing top of furnace not applicable
From top of smoke pipe 18" From front of appliance 3' From sides or back of appliance 3'
Size of chimney flue 8x8 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour 5 GPH
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes

IF OIL BURNER

Name and type of burner Coleman vaporizing part of floor furnace Labelled by underwriter's laboratories? Yes
Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 1/4"
Location of oil storage outside Number and capacity of tanks 138 gall.
Low water shut off Not required Make No
Will all tanks be more than five feet from any flame? Yes How many tanks enclosed? None
Total capacity of any existing storage tanks for furnace burners None

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

The general contractor is providing a 6" reinforced concrete slab on the outside of the building for setting of the tank which will be mounted upon pipe legs on this concrete foundation.

Permit Issued with Letter

Amount of fee enclosed? 2.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: APPROVED [Signature] CHIEF OF FIRE DEPT.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

BALLARD OIL & EQUIPMENT CO.

[Signature] Richard J. Cole, Mgr. Oil Dept.

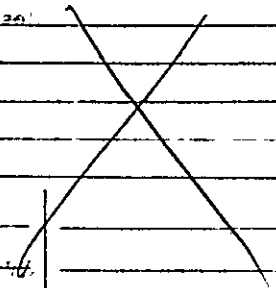
INSPECTION COPY

Signature of Installer

NOTES

3/7/55 - This work  
not to be done  
E.S.S.

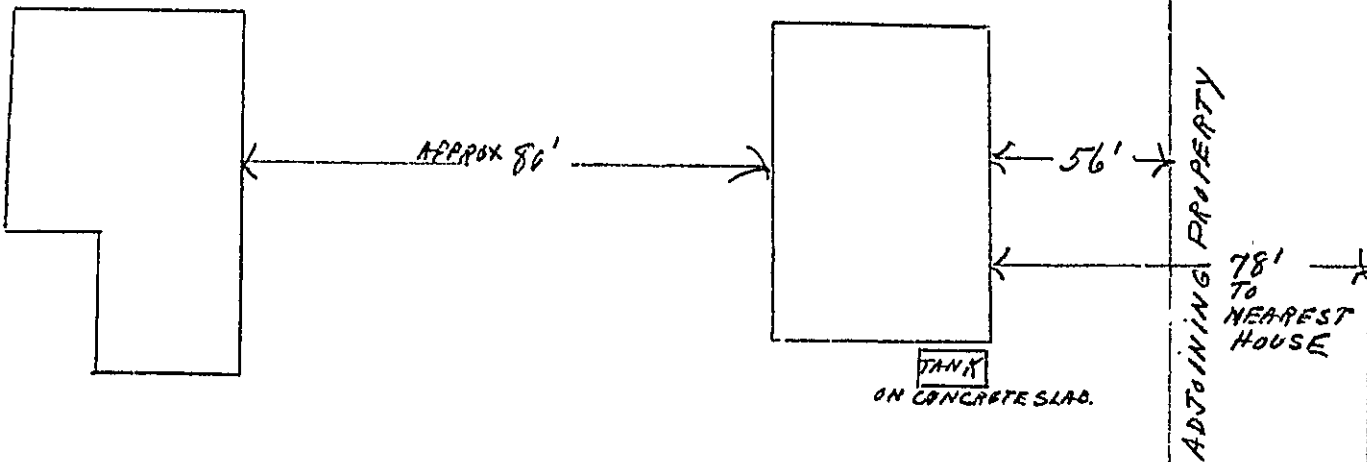
Permit No. 55/97  
Location 105 Franklin St.  
Owner Mrs. Pauline Bangas  
Date of permit 1/21/55  
Approved



1/11/55

SUMMIT ST. # 95-109

PAULINE BURGESS PROPERTY



RECEIVED  
JAN 4 1955  
DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND

SIXED ← 48' →

January 21, 1955

AP 105 Summit St.--Installation of oil burning floor furnace in a case where there is no cellar

Ballard Oil & Equipment Co.,  
135 Marginal Way  
Attn: Mr. Cole

Mrs. Pauline G. Burgess  
95 Summit St.

Dear Mrs. Burgess & Gentlemen:

Building permit for this installation is issued to the installer, herewith, subject to the conditions which follow. Delay in issuance has been caused by lack of information with the application in the first instance concerning the location of the outside tank, and concerning the clearance around the floor furnaces beneath the floor of the building and means of access to the floor furnace.

At least 6 inches clearance between the bottom of the floor furnace and the ground is required. Where excavation must be made to provide this clearance, the excavation is required to extend at least 12 inches beyond the furnace on all sides and not less than 18 inches on the control side.

We have been told that the soil beneath the building is sand or gravel and the ground contour and ground moisture conditions are such that water could not raise to within 6 inches of the bottom of the floor furnace. If that condition is not certain, or if the total excavation to provide clearances as above exceeds 12 inches in depth--in either case a water-tight pan constructed of copper, galvanized iron, or other suitable corrosion resistant material, properly anchored in place, or a water-proof concrete pit is required beneath the furnace. The sides of pan or pit are required to extend at least four inches above the general surface of the ground beneath the building.

The underside of the floor furnace must be made readily accessible. Openings for that purpose in the foundation walls and trap doors in the floors must be no smaller than 18 inches by 24 inches. If an under-floor passageway is provided to the furnace, it should be no less than 24 inches high by 24 inches wide.

If the above conditions are not understood, or, if the installer is unable or unwilling to comply with them, the installation should not be started, but this office should be contacted with additional information to show compliance with the regulations.

Very, truly yours,

Warren McDonald  
Inspector of Buildings

WMCD/B

B-A



(RA) RESIDENTIAL ZONE 1A

# APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Dec. 6, 1954

PERMIT ISSUED

02202  
1954

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish or install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 95 Summit St. (91-115) Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's name and address Mrs. Pauline Burgess, 95 Summit St. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address A. F. Patterson, 45 Leonard St. Telephone 4-5391  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
 Proposed use of building storage shed for household storage No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot dwelling house  
 Estimated cost \$ 200. Fee \$ 2.00

### General Description of New Work

To construct 1-story frame storage shed 8' x 10'.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** A. F. Patterson

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewerage? \_\_\_\_\_  
 Height average grade to top of plate 6ft 7" Height average grade to highest point of roof 9'  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories at least 4' below grade solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation cedar posts Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof shed-flat Rise per foot 3" Roof covering asphalt Glass C Und Lab  
 No. of chimneys none Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat none fuel \_\_\_\_\_  
 Framing lumber—Kind second hand Dressed or full size? full size  
 Corner posts 4x4 Sills 4x6 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor 2x7, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x4  
 On centers: 1st floor 16", 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 16"  
 Maximum span: 1st floor 10', 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 8'  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mrs. Pauline Burgess

APPROVED:

O.K. - 12/6/54 - ags

Signature of owner by: A. F. Patterson

INSPECTION COPY

NOTES

12/31/54 - Went over framing  
detail with contractor J. J.

1/10/55 - Work progressing slowly  
J. J.

1/20/55 - Same J. J. & J.

4/12/55 - Work done J. J. & J.

42

Permit No. 54-2-202

Location 25 Sunnyside St.

Owner Mrs. Pauline C. Cunniff

Date of permit 12/6/54

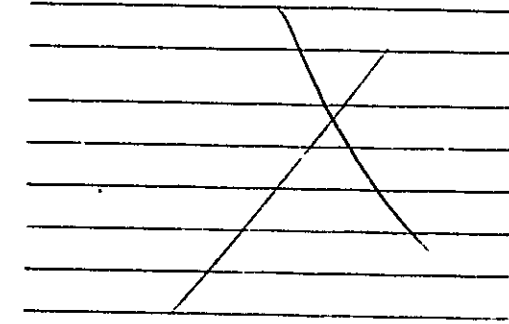
Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 4/2/55

Cert. of Occupancy issued

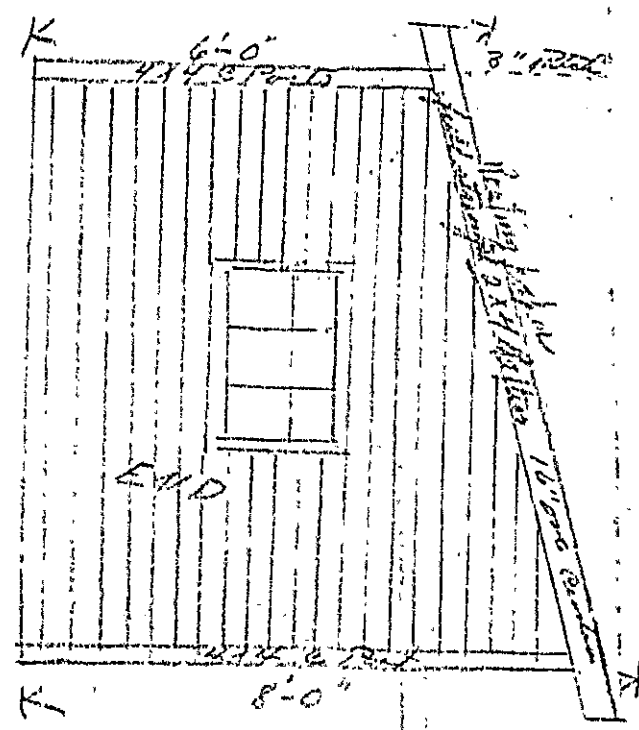
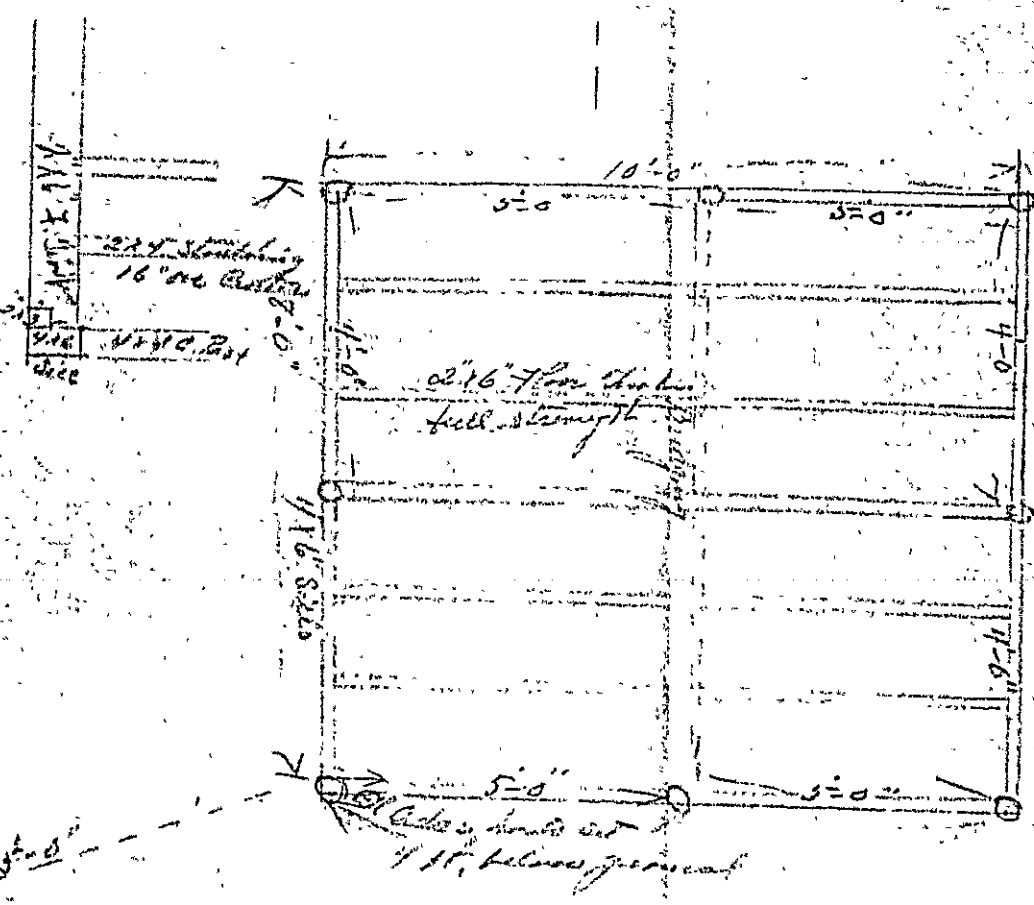


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5x4x45 = 900  
 4x6-4 = 1180  
 3503 } OK

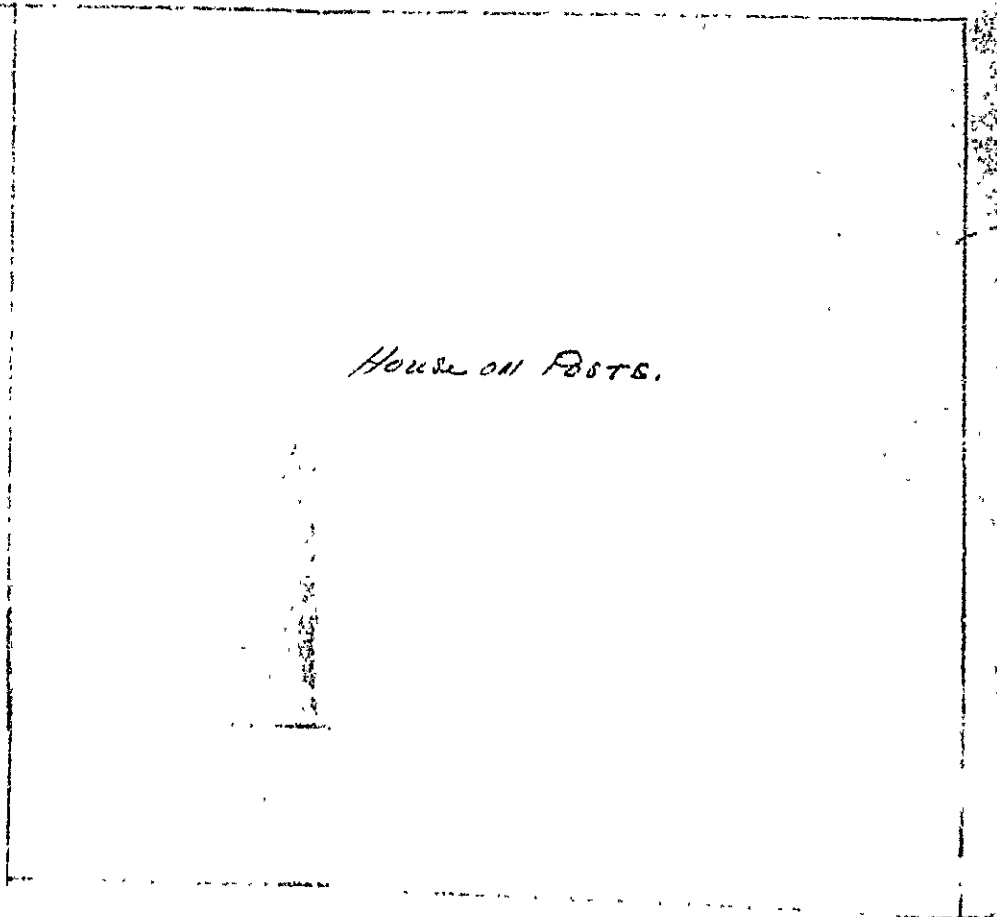
LOT LINE

35'-0"



$\frac{489}{8 \times 1/3} = 45^{\text{th}}$  pers. apt. - O.H.

Wm. Franklin Burgess 95 Summit St.



HOUSE ON POSTS.



$2 \times 7$  full size - 10' span = 1198#  
 $\frac{1198}{10 \times 1\frac{1}{3}} = 90^{\#}$  per sq ft. O.K.  
 $2 \times 4$  full size - 8' span = 489#  
 $\frac{489}{8 \times 1\frac{1}{3}} = 45^{\#}$  per sq ft. O.K.

$8 \times 5 \times 10 = 400\#$   
 $4 \times 5 \times 45 = 900\#$   
 $\frac{900}{13.00} = 69.23$   
 $4 \times 6 \times 5 = 240\#$  O.K.

Mr. Lawrence Bergman  
 95 Summit St.

House on Posts.

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for storage shed  
at 95 Summit St. Date 12/6/51

1. In whose name is the title of the property now recorded? Mrs. Pauline Surcess
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? stakes
3. Is the outline of the proposed work now staked out upon the ground? yes  
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? \_\_\_\_\_
4. What is to be maximum projection or overhang of eaves or drip? \_\_\_\_\_
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

A. F. Patterson



(RES) RESIDENCE ZONE - A

### APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Sept. 23, 1954

**PERMIT ISSUED**  
0206

NOV 18 1954

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~repair~~ ~~alter~~ ~~move~~ ~~relocate~~ ~~demolish~~ ~~all~~ the following building ~~structure~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 95 Summit St. 91-115 Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's name and address Mrs. Pauline Burgess, 95 Summit St. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address A. F. Patterson, 45 Leonard St. Telephone 4-5391  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 4  
 Proposed use of building dwelling house No. families 1  
 Last use garage and storage No. families \_\_\_\_\_  
 Material wood No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 2,750. Fee \$ 5.00

#### General Description of New Work

To move 1-story frame building on same property and change use to dwelling house as per plans.

To construct 10' x 19' <sup>addition</sup> on rear of building as per plans.

To ~~relocate existing poultry house on same property as per plan. Cedar post foundations.~~

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO A. F. Patterson

#### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? yes 11/4 Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation cedar posts at least 4' below grade \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering Asphalt Class C Und Lab  
 No. of chimneys 1 Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat stove fuel \_\_\_\_\_  
 Framing lumber—Kind hemlock Dressed or full size? dressed  
 Corner posts 4x4 Sills 4x6 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

#### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

*with letter by AJP*

#### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mrs. Pauline Burgess

Signature of owner by: *A. F. Patterson*

INSPECTION COPY

NOTES

10/4/54 - ...  
...  
... studs are 2x4 - 2x4 inches  
... centers with single  
plates - OK

1/20/55 - progressing slowly  
Building moved - party  
bonded in windows  
all changed - with  
double leaders & jacks  
where needed. E. S. S.

2/21/55 - MO on  
around. E. S. S.

2/29/55 - MO T quite  
ready for closing in  
E. S. S.

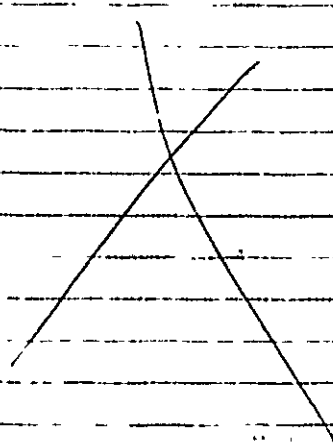
2/10/55 - L. T. C. J. to  
close in subject to  
the following - no  
wiring or plumbing to  
be done until pump  
appeared. E. S. S.

2/23/55 - Work progressing  
slowly. E. S. S.

3/1/55 - Plumbing etc - All  
3/4/55 - MO on around  
E. S. S.

3/7/55 - Can permission  
to close in. E. S. S.

4/12/55 - work done  
Certificate to be  
issued. E. S. S.



Permit No. 541206  
 Location 95  
 Owner Mrs. ...  
 Date of permit 11/18/54  
 Notif. closing-in 2/9/55 9:30 A.M.  
 Inspn. closing-in 3/1/55  
 Final Notif. 3/18/55  
 Final Inspn. 4/12/55  
 Cert. of Occupancy issued 4/3/55  
 Staking Out Notice  
 Form Check Notice



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

RECEIVED  
OCT 12 1938  
DEPT OF BLDG. INSP.  
CITY OF PORTLAND

Permit No. 1710  
OCT 13 1938

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT  
To the INSPECTOR OF BUILDINGS, PORTLAND, ME. Portland, Maine, Sept. 30, 1938

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 95 Summit street Use of Building Dwelling No. Stories           
Name and address of owner Mrs. Pauline G. Burgess, 95 Summit Street Ward           
Contractor's name and address Ballard Oil & Equip. Co. of Maine Telephone 2-1991

General Description of Work

To install Oil Burning Equipment - Steam

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

NOTIFICATION BEFORE LOCKING  
OR CLOSING IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? Yes If not, which story          Kind of Fuel Oil  
Material of supports of heater or equipment (concrete floor or  $\checkmark$  at kind) Concrete  
Minimum distance to wood or combustible materi., from top of boiler or casing top of furnace,           
from top of smoke pipe         , from front of heater          from sides or back of heater           
Size of chimney flue          Other connections to same flue         

IF OIL BURNER

Name and type of burner Model AX "T-H" Labeled and approved by Underwriters' Laboratories? Yes  
Will operator be always in attendance?          Type of oil feed (gravity or pressure) Pressure  
Location oil storage Basement No. and capacity of tanks 1 - 275-Gal.  
Will all tanks be more than seven feet from any flame? Yes How many tanks fireproofed?           
Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor By: R. J. [Signature]  
Mgr. - Oil Burner Division

INSPECTION COPY

911  
3078c

Ord 9 Permit No. 38/1710  
Location 95 Summit Street  
Owner Pauline Bengler  
Date of permit 10/12/38

Post Card sent \_\_\_\_\_

Notif. for insp. None

Approval Tag issued 12/7/38. CMA

Oil Burner Check List (date) 12/7/38

- 1. Kind of heat Stain
- 2. Label 158098
- 3. Anti-siphon
- 4. Oil storage
- 5. Tank distance
- 6. Vent pipe 11"
- 7. Fill pipe
- 8. Gauge
- 9. Rigidity
- 10. Feed safety
- 11. Pipe sizes and material
- 12. Control valve
- 13. Ash pit vent
- 14. Temp. or pressure safety
- 15. Instruction card
- 16. Height of stack in soil pipe

NOTE

12/9/38 #6 at 11' above fill  
CMA

12/16/38 -- no label -- none



(P) GENERAL RESIDENCE ZONE  
APPLICATION FOR PERMIT

PERMIT ISSUED  
0408  
APR 6 1938

Class of Building or Type of Structure Third Class

Portland, Maine, April 6, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 145 Summit Street Ward 9 Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's or Lessee's name and address W. E. Cunningham 145 Summit Street Telephone 4-1266  
Contractor's name and address William Cribb 1294 Riverside St. Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Plans filed \_\_\_\_\_ No. of sheets \_\_\_\_\_  
Proposed use of building poultry house No. families \_\_\_\_\_  
Other buildings on same lot dwelling house, 2 poultry houses at present  
Estimated cost \$ \_\_\_\_\_ Fee \$ .50

Description of Present Building to be Altered

Material wood No. stories 1 Heat no Style of roof shed Roofing asphalt  
Last use poultry house (Burgess) No. families \_\_\_\_\_

General Description of New Work

To move poultry house 10' x 12' from adjoining property (old No. 43)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_  
Height average grade to highest point of roof \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation blocking Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

ORIGINAL

Signature of owner W. E. Cunningham

15750

u 9 Permit No. 58/408

Location 143 Summit Street

Owner N. E. Cunningham

Date of permit 4/8/38

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES



Summit SA

(R) GENERAL RESIDENCE ZONE

300

Driv

Garage

Tool  
House

Pool  
House

30

Pool  
House

30

Pool  
House

30

Pool  
House

60



PERMIT ZONE

PERMIT ISSUED  
Permit No. 6306

# APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

MAR 19 1929

Portland, Maine, March 14, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ insert the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 43 Summit Street Ward 9 Within Fire Limits? No Dist. No. \_\_\_\_\_

Owner's ~~or Lessee's~~ name and address H. B. Burgess, 43 Summit Street Telephone F 75 W

Contractor's name and address Owner Telephone \_\_\_\_\_

Architect's name and address \_\_\_\_\_

Proposed use of building poultry house No. families \_\_\_\_\_

Other buildings on same lot dwg. garage, tool house, poultry houses

### Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

### General Description of New Work

To erect frame poultry house 10' x 12'

*Mr. Burgess will put 2x4 thru 2x4 support*  
NO ESCALATOR REQUIRED  
USING ONE LATHING  
FOR TOWLED.  
CERTIFICATE OF ACCURACY  
FOR

### Details of New Work

Size, front 10' depth 12' No. stories 1 Height average grade to highest point of roof 8' 7"

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation 4x5 shoes Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof flat (shed) 2" to foot Roof covering Asphalt roofing Class 0 Urd. Lath.

No. of chimneys no Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

Kind of heat no Type of fuel \_\_\_\_\_ Distance, heater to chimney \_\_\_\_\_

If oil burner, name and model \_\_\_\_\_

Capacity and location of oil tanks \_\_\_\_\_

Is gas fitting involved? no Size of service \_\_\_\_\_

Corner posts 4x4 Sills 4x4 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x1-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x3, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x4

On centers: 1st floor 16", 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 16"

Maximum span: 1st floor 10', 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 12'

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets 1

Estimated cost \$ 52. Fee \$ .50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? \_\_\_\_\_

Signature of owner \_\_\_\_\_

INSPECTION COPY

6320



REQUIREMENT ZONE

PERMIT LICENSED  
Permit No. 6295

# APPLICATION FOR PERMIT

Class of Building or Type of Structure third class

MAR 19 1929

Portland, Maine, March 14, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ insert the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 43 Summit Street Ward 9 Within Fire Limits? No Dist. No. \_\_\_\_\_  
 Owner's ~~or Lessee's~~ name and address H. R. Burgess, 43 Summit Street Telephone 778 W  
 Contractor's name and address Owner Telephone \_\_\_\_\_  
 Architect's name and address \_\_\_\_\_  
 Proposed use of building poultry house No. families \_\_\_\_\_  
 Other buildings on same lot dwg. garage, tool house, poultry houses

### Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_

### General Description of New Work:

To erect frame poultry house 10' x 13'

*Mr. Burgess will provide 2x4 thru 2x6 support material*  
 NOTIFICATION DETAIL KATHING  
 FOR CITY OF PORTLAND  
 DATE OF OCCUPANCY  
 1929

### Details of New Work

Size, front 10' depth 12' No. stories 1 Height average grade to highest point of roof 8 7'  
 To be erected on solid or filled land? solid earth or rock? earth  
 Material of foundation 4x8 stone Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof flat (shed) 2" to foot Roof covering Asphalt roofing Class C Uqd. Lab.  
 No. of chimneys no Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
 Kind of heat no Type of fuel \_\_\_\_\_ Distance, heater to chimney \_\_\_\_\_  
 If oil burner, name and model \_\_\_\_\_  
 Capacity and location of oil tanks \_\_\_\_\_  
 Is gas fitting involved? no Size of service \_\_\_\_\_  
 Corner posts 4x4 Sills 4x4 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x1-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
 Joists and rafters: 1st floor 2x3, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x4  
 On centers: 1st floor 16", 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 16"  
 Maximum span: 1st floor 10', 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 12'  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_ to be accommodated \_\_\_\_\_  
 Total number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
 Plans filed as part of this application? yes No. sheets 1  
 Estimated cost \$ 50. Fee \$ 50  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? \_\_\_\_\_

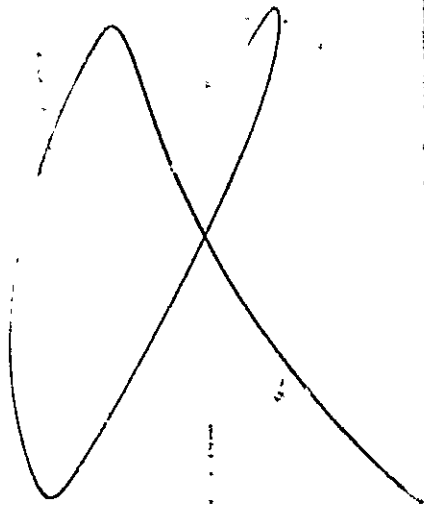
Signature of owner \_\_\_\_\_

INSPECTION COPY

6295

Ward 9 Permit No. 29/295  
L# 43 Summit H  
Owner H. R. Bingers  
Date of permit 3/19/29  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. 4/29/29 C.B.  
Cert. of Occupancy issued \_\_\_\_\_

NOTES



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PERMIT NO. 11155  
APR 12 1929

# APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, March 14, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ erect the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 43 Summit Street Ward 9 Within Fire Limits? No Dist. No. \_\_\_\_\_

Owner's or Lessee's name and address H. B. Burgess, 43 Summit St. Telephone F 75 W

Contractor's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Architect's name and address \_\_\_\_\_

Proposed use of building poultry house No. families \_\_\_\_\_

Other buildings on same lot dwelling, garage, tool house, poultry houses

### Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

### General Description of New Work

To erect frame poultry house 10' x 12'

*Mr. Burgess offered to put through center in front under center of existing building*

### Details of New Work

Size, front 10' depth 12' No. stories 1 Height average grade to highest point of roof 7'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation 4x6 shoes Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height Imberoid Thickness \_\_\_\_\_

Kind of roof flat (shed) 2" to foot Roof covering Asphalt roofing Class C Und. Lab.

No. of chimneys no Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

Kind of heat no Type of fuel \_\_\_\_\_ Distance, heater to chimney \_\_\_\_\_

If oil burner, name and model \_\_\_\_\_

Capacity and location of oil tanks \_\_\_\_\_

Is gas fitting involved? no Size of service \_\_\_\_\_

Corner posts 4x4 Sills 4x4 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x5, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x4

On centers: 1st floor 16", 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 16"

Maximum span: 1st floor 10', 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 12'

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes see 2170 No. sheets \_\_\_\_\_

Estimated cost \$ 50. Fee \$ 50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner H. B. Burgess

INSPECTION COPY

27

Ward 9 Permit No. 29/294  
Location 43 Summit St.  
Owner H. R. Burgers  
Date of permit 3/19/29  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. 4/29/29  
Cert. of Occupancy issued \_\_\_\_\_

NOTES

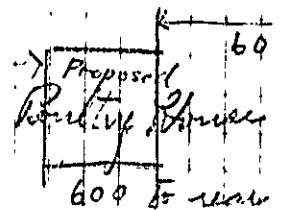
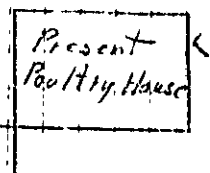
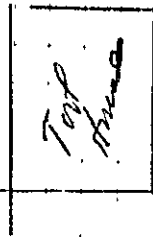
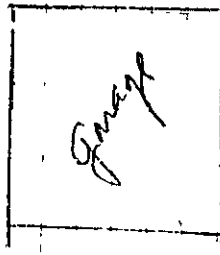
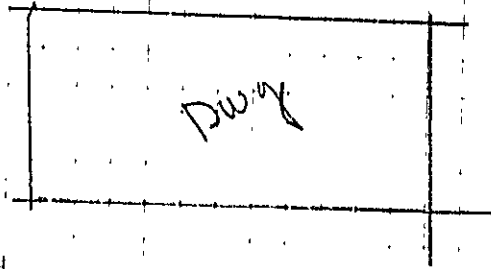
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~~(R) GENERAL RESIDENCE ZONE~~

Street with S

300





(R) GENERAL RESIDENCE ZONE  
APPLICATION FOR PERMIT

Permit No. 1840  
SEP 18 1928

Class of Building or Type of Structure Third Class

Portland, Maine, September 12, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 45 Summit Street Ward 9 Within Fire Limits? no Disc. No. \_\_\_\_\_  
Owner's ~~name~~ name and address H. R. Burgess, 45 Summit Street Telephone 7287  
Contractor's name and address owner Telephone \_\_\_\_\_  
Architect's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Proposed use of building poultry house No. families \_\_\_\_\_  
Other buildings on same lot garage, toolhouse, poultry house, dwelling

Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_

General Description of New Work

To erect frame poultry house, 10' x 12'.

REGISTRATION BEFORE FILING  
OR CLOSURE IS WAIVED

CERTIFICATE OF C.  
REQUIREMENT IS WAIVED

Details of New Work

Size, front 10 depth 12 No. stories 1 Height average grade to highest point of roof 7'-0  
To be erected on solid or filled land? solid earth or rock? earth  
Material of foundation rock Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof flat (shed) Roof covering Underwriters Lab. Class C  
No. of chimneys none Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat none Type of fuel \_\_\_\_\_ Distance, heater to chimney \_\_\_\_\_  
If oil burner, name and model \_\_\_\_\_  
Capacity and location of oil tanks \_\_\_\_\_  
Is gas fitting involved? no Size of service \_\_\_\_\_  
Corner posts 4x4 Sills 4x4 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x1-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor 2x3, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x2  
On centers: 1st floor 24, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 24  
Maximum span: 1st floor 12'-0, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 12'-0  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Plans filed as part of this application? yes No. sheets 1  
Estimated cost \$ 50 Fee \$ 50  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Harold R. Burgess

7495H



Permit No. 287849

Location 43 Summit St.

Owner H. P. Burger

Date of permit 9/13/28

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 12/19/28

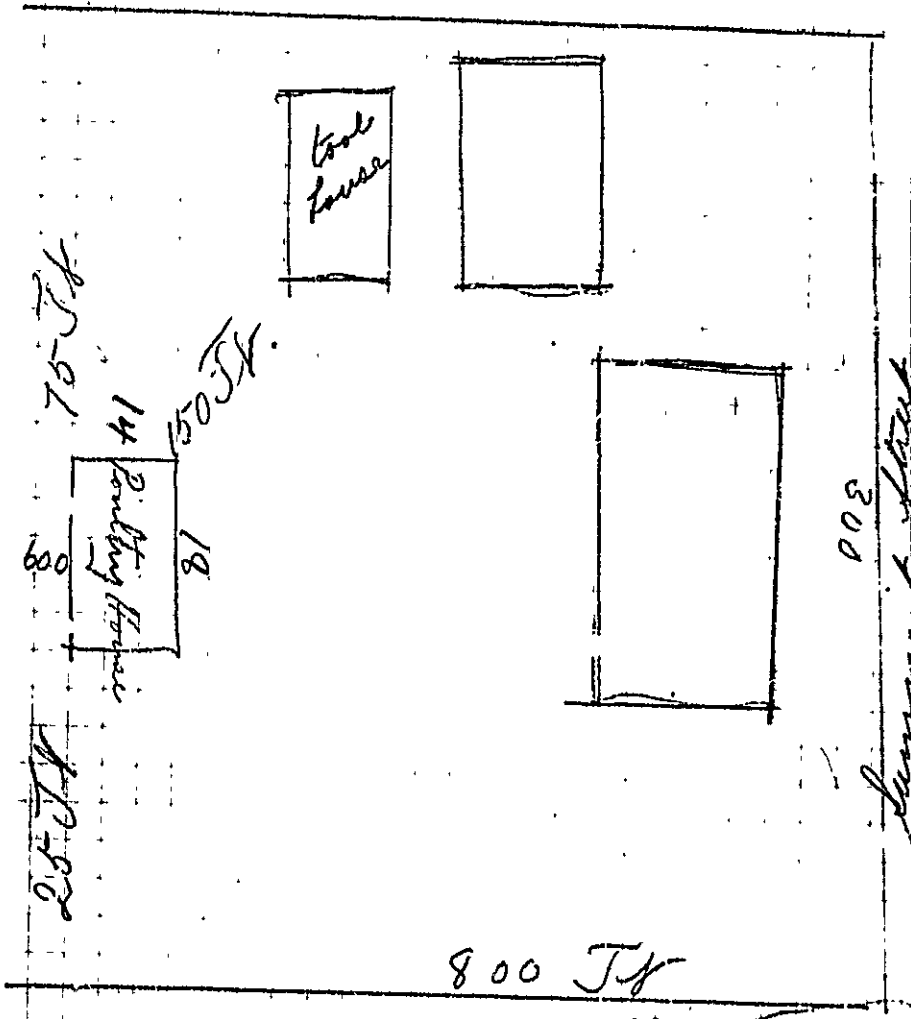
Cert. of Occupancy issued

NOTES



*[Faint, illegible handwritten notes on the right side of the page, possibly bleed-through from the reverse side.]*

(R) GENERAL RESIDENTIAL ZONE



May 9, 1928

Mr. H. B. Burgess  
43 Summitt Street  
Portland, Maine

Dear Sir:

Referring to your application for a building permit to erect a frame poultry house on your property at 43 Summitt Street; the 4x4 rafters shown in the roof are not heavy enough to comply with the Ordinance.

It is assumed that you intend to run the rafters the 14 foot way. If this is the case, it would be necessary for you to use either 2x8 roof joists no farther apart than 20 inches from center to center or introduce a center beam under the roof no less than 4x8 with posts under it no more than 6 feet from center to center to support the roof joists in the middle in which case 2x6 joists, 24 inches from center to center may be used as they would be on a 7 foot span.

Please notify this office by phone or by letter which method you propose to use so that we may be in a position to issue the permit.

In the meantime, it is unlawful for you to proceed with any of the work until the permit card is actually in your possession and posted upon the premises.

Very truly yours,

Inspector of Buildings

WM/EP

(R) GENERAL RESIDENCE ZONE

ISSUED



# APPLICATION FOR PERMIT

Permit No. \_\_\_\_\_

MAY 11 1929

Class of Building or Type of Structure Third Class **6233**

Portland, Maine, May 7, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ ~~the~~ ~~following~~ ~~building~~ ~~structure~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 43 Summit Street Ward 9 Within Fire Limits? no Dist. No. \_\_\_\_\_

Owner's name and address H. R. Burgess, 43 Summit Street Telephone P 75-7

Contractor's name and address owner Telephone \_\_\_\_\_

Architect's name and address \_\_\_\_\_

Proposed use of building poultry house No. families \_\_\_\_\_

Other buildings on same lot tool house, garage, 1 family dwelling

### Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

### General Description of New Work

To erect frame poultry house (18' x 14')

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED  
NOTIFICATION OF CITY ENGINEER  
BY CHECKING THIS SPACE

### Details of New Work

Size, front 18' depth 14' No. stories 1 Height average grade to highest point of roof 7'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation rock Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof shed Roof covering asphalt roofing Class 0

No. of chimneys no Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

Kind of heat no Type of fuel \_\_\_\_\_ Distance, heater to chimney \_\_\_\_\_

If oil burner, name and model \_\_\_\_\_

Capacity and location of oil tanks \_\_\_\_\_

Is gas fitting involved? no Size of service \_\_\_\_\_

Corner posts 4x4 Sills 4x6 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x4 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 4x4

On centers: 1st floor 10" 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 24"

Maximum span: 1st floor 9' 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 7'-2"

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will above work require removal or distancing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets 1

Estimated cost \$ 70.00 Fee \$ .50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner H. R. Burgess

62520