

**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 51 Bramblewood		Owner: Sautley, William	Phone: 874-5111	Permit No: <b>940694</b>
Owner Address: 51A F216, ME 04103	Leasee/Buyer's Name:	Phone:	Business Name:	Mary Greese
Contractor Name:	Address:	Phone:	Permit issued: JUL 11 1994	
Past Use: i-fca	Proposed Use: i-fca w/Deck	COST OF WORK: \$ 2,000.00	PERMIT FEE: \$ 35.00	CITY OF PORTLAND Zone: 377-B-012 Zoning Approval:
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group/Type: 2	
Proposed Project Description:  Construct Deck as per plans.		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

05 July 1994

SIGNATURE OF APPLICANT William Sautley ADDRESS: \_\_\_\_\_ DATE: \_\_\_\_\_ PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

Action:

Varance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

Date: 7/11/94

CEO DISTRICT 7

Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-3703, FAX: 874-8716**

Location of Construction: <b>51 Bramblewood Dr</b>		Owner: <b>Souley, William</b>	Phone: <b>874-5111</b>	Permit No: <b>940694</b>
Owner Address: <b>SAs Ptd, ME 04103</b>	Leasee/Buyer's Name:	Phone:	Business Name:	<b>Mary Cassie</b>
Contractor Name:	Address:	Phone:	Permit Issued: <b>ISSUED</b>	
Past Use: <b>i-fan</b>	Proposed Use: <b>i-fan</b>	COST OF WORK: <b>\$ 2,860.00</b>	PERMIT FEE: <b>\$ 35.00</b>	<b>JUL 11 1994</b> <b>CITY OF PORTLAND</b> Zone: <b>ICH</b> 377-E-012 Signature: <i>[Signature]</i>
	<b>v/Deck</b>	FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>B</b> Type: <b>B</b>	
Proposed Project Description: <b>Construct Deck as per plans.</b>		Signature: _____ Date: _____		Zoning Approval: <input type="checkbox"/> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>

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SIGNATURE OF APPLICANT William Souley ADDRESS: \_\_\_\_\_ DATE: 08 July 1994 PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_  
 White-Form Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**PERMIT ISSUED**

**JUL 11 1994**

**CITY OF PORTLAND**

Zone: **ICH** 377-E-012

Signature: *[Signature]*

Zoning Appeal

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

Historic Preservation

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:

Approved  
 Approved with Conditions  
 Denied

Date: 7/11/94

*[Signature]*

CEO DISTRICT **7**

*[Signature]*

COMMENTS

Empty lined area for handwritten comments.

Type	Inspection Record	Date
Foundation:	<i>no permit / son's in</i>	<i>7-11-94</i>
Framing:	<i>OK</i>	<i>7-14-94</i>
Plumbing:		
Final:		
Other:	<i>OK</i>	<i>7-17-94</i>

BUILDING PERMIT REPORT

Address 51 Bramblewood DR, Date 11/July/94  
Reason for Permit To Construct deck  
Bldg. Owner: William Saufley  
Contractor: SAA P/LD, ME, 04103  
Permit Applicant: 1711  
Approval: \*1 \*10 \*12

CONDITION OF APPROVAL:

1. Before concrete for foundation is placed, approvals from ~~Public Works and~~ Inspection Services must be obtained. (A 24 hour notice is required prior to inspection).
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hr., including fire doors with selfclosers.
5. Each apartment shall have access to (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 5 gallons per minute, per square foot of floor throughout the entire area. An ISOLATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.
7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of special knowledge or separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping room must have minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq.ft.

8. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the building code 919.3.2 (BOCA National Building Code 1993), and NFPA 101 Chapter 18 & 19. (smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

9. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by Fire Partitions and floor/ceiling assembly; lies which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993).

\* 10. Guardrails & Handrails - A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Group 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

11. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023.0 & 1024.0 of the City's building code (The BOCA National Building Code/1993).

\* 12. Stair construction in Use Group R-3, R-4 is a minimum of 9" tread and 8-1/4" maximum rise.


13. Headroom in habitable space is a minimum of 7'6".

14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.

15. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final certificate or occupancy is issued or demolition permit is granted.

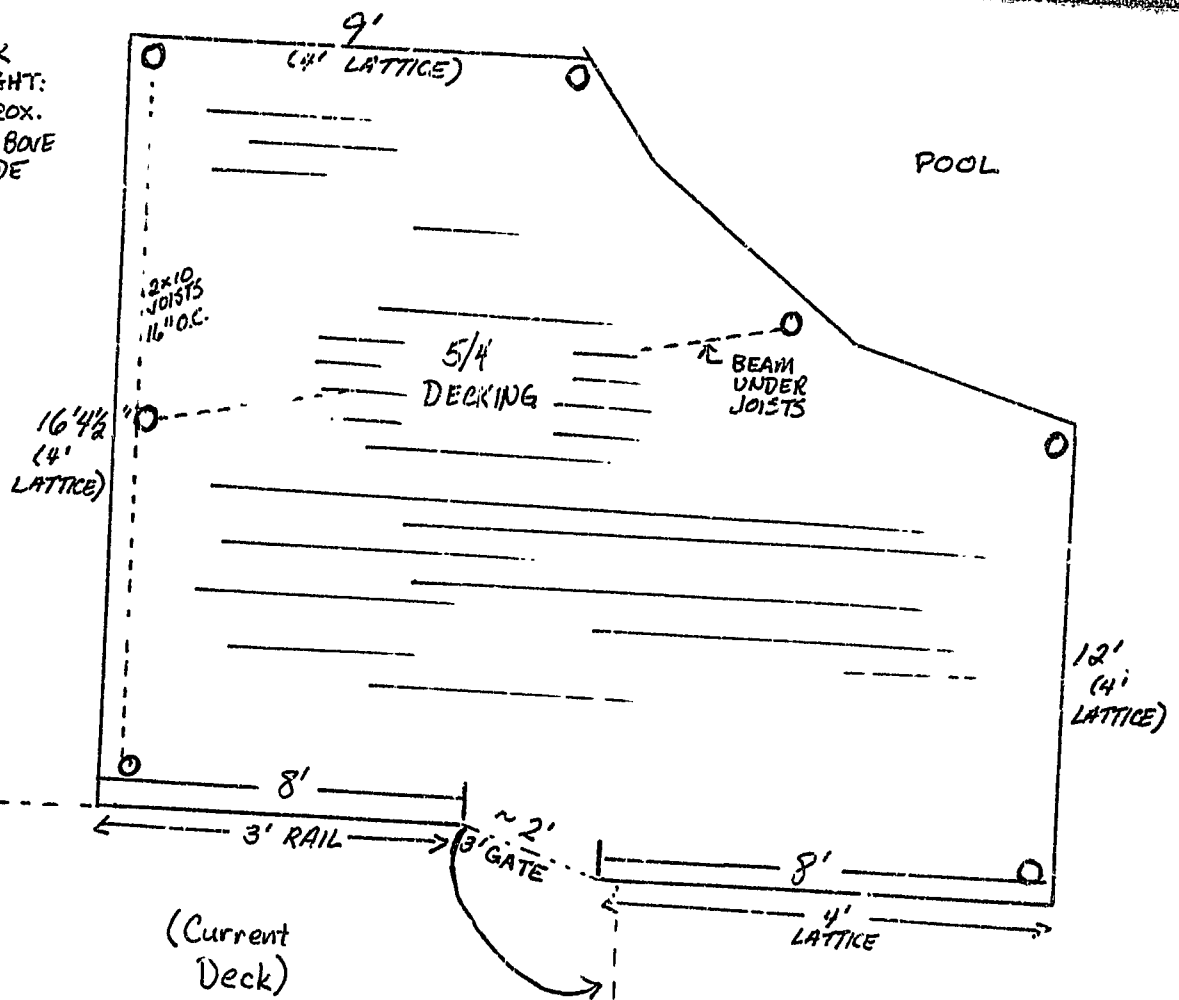
16. Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

17. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

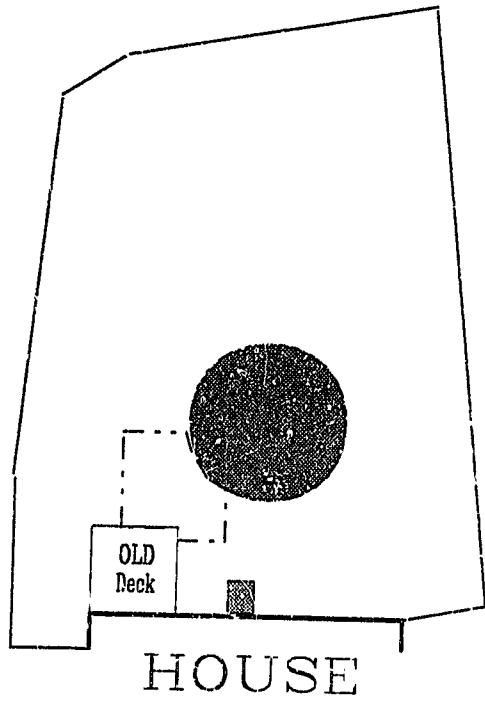
  
P. Samuel Hoffses  
Chief of Inspections

/dmm 01/14/94(redo w/additions)

DECK  
HEIGHT:  
APPROX.  
4' ABOVE  
GRADE



(Current  
Deck)



CONTRACTOR: Cornerstone Builders

NEEDS FOR PERMITS

please check off the appropriate description

FOUNDATION \_\_\_\_\_ Frost Wall, min 4" below grade.  
 8" thick

\_\_\_\_\_ Sono Tube, 4" below grade.  
 6" min. on footing, hard pan or  
 bedrock.

\_\_\_\_\_ Other

SILL \_\_\_\_\_ Size

SPAN OF SILL \_\_\_\_\_ Distance between foundation supports

JOISTS SPAN 8' \_\_\_\_\_

JOISTS SIZE \_\_\_\_\_ 2 x 6 \_\_\_\_\_ 2 x 8  2 x 10

DISTANCE BETWEEN JOISTS  15" O.C. \_\_\_\_\_ 24" O.C. \_\_\_\_\_ other

DECKING  5/4 \_\_\_\_\_ other explain

GUARD HEIGHT \_\_\_\_\_ 32"  36" \_\_\_\_\_ 42"

DISTANCE BETWEEN BALUSTER  4" spacing between

STAIR CONSTRUCTION minimum 9" tread   
 maximum 8 1/4" rise

please use space below for drawing of deck with measurements.



Permit # **940568**

Portland BUILDING PERMIT APPLICATION Fee 40.00 Zone \_\_\_\_\_ Map # \_\_\_\_\_ Lot# \_\_\_\_\_

Owner: William & Leigh Saufley Phone # 874-5111

Address: 51 Bramblewood Dr Prld, ME 04103

LOCATION OF CONSTRUCTION: 51 Bramblewood Dr.

Contractor: Sebage Lake Pools Sub. \_\_\_\_\_

Address: \_\_\_\_\_ Phone # 856-7000

Est. Construction Cost 3,500 Proposed Use: 1-fam w/AG Pool

Past Use: 1-fam

# of Existing Res. Units \_\_\_\_\_ # of New Res. Units \_\_\_\_\_

Building Dimensions L \_\_\_\_\_ W \_\_\_\_\_ Total Sq. Ft \_\_\_\_\_

# Stories \_\_\_\_\_ # Bedrooms \_\_\_\_\_ Lot Size: \_\_\_\_\_

Proposed Use: Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Conversion \_\_\_\_\_

Explain conversion: install above-ground pool

377-E-012 Foundation:

- 1. Type of Soil: \_\_\_\_\_
- 2. Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Side(s) \_\_\_\_\_
- 3. Footings Size: \_\_\_\_\_
- 4. Foundation Size: \_\_\_\_\_
- 5. Other \_\_\_\_\_

Floor:

- 1. Sills Size: \_\_\_\_\_ Sills must be anchored.
- 2. Girder Size: \_\_\_\_\_
- 3. Lally Column Spacing: \_\_\_\_\_ Size: \_\_\_\_\_
- 4. Joists Size: \_\_\_\_\_ Spacing 16" O.C.
- 5. Bridging Type: \_\_\_\_\_ Size: \_\_\_\_\_
- 6. Floor Sheathing Type: \_\_\_\_\_ Size: \_\_\_\_\_
- 7. Other Material: \_\_\_\_\_

Exterior Walls:

- 1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_
- 2. No. windows \_\_\_\_\_
- 3. No. Doors \_\_\_\_\_
- 4. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_
- 5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_
- 6. Corner Posts Size \_\_\_\_\_
- 7. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_
- 8. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_
- 9. Siding Type \_\_\_\_\_
- 10. Masonry Materials \_\_\_\_\_ Weather Exposure \_\_\_\_\_

Interior Walls:

- 1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_
- 2. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_
- 3. Wall Covering Type \_\_\_\_\_
- 4. Fire Wall if required \_\_\_\_\_
- 5. Other Materials \_\_\_\_\_

White - Tax Assessor

**For Official Use Only**

Date 13 June 1994 Subdivision: \_\_\_\_\_ Name: \_\_\_\_\_ JUN 16 1994

Inside Fire Limits \_\_\_\_\_ Lot: \_\_\_\_\_

Bldg Code \_\_\_\_\_ Ownership: \_\_\_\_\_ Public \_\_\_\_\_ Private \_\_\_\_\_

Time Limit \_\_\_\_\_ Estimated Cost \_\_\_\_\_

Zoning: \_\_\_\_\_

Street Frontage Provided: \_\_\_\_\_

Provided Setbacks: Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_

Review Required: \_\_\_\_\_

Zoning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_

Planning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_

Conditional Use: \_\_\_\_\_ Variance \_\_\_\_\_ Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_

Shoreland Zoning Yes \_\_\_\_\_ No \_\_\_\_\_ Floodplain Yes \_\_\_\_\_ No \_\_\_\_\_

Special Exception (Explain) \_\_\_\_\_

Ceiling: \_\_\_\_\_

1. Ceiling Joist Size: \_\_\_\_\_

2. Ceiling Strapping Size \_\_\_\_\_ Spacing \_\_\_\_\_ **HISTORIC PRESERVATION**

3. Type Ceiling: \_\_\_\_\_ **Not in District nor Landmark**

4. Insulation Type \_\_\_\_\_ Size: \_\_\_\_\_ **Does not require review**

5. Ceiling Height: \_\_\_\_\_ **Requires Review**

Roof: \_\_\_\_\_

1. Truss or Rafter Size \_\_\_\_\_ Spacing \_\_\_\_\_ **Approved**

2. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_ **Approved with Conditions**

3. Roof Covering Type \_\_\_\_\_ **Denied**

Chimneys: \_\_\_\_\_

Type: \_\_\_\_\_ Number of Fire Places \_\_\_\_\_ Signature: \_\_\_\_\_

Heating: \_\_\_\_\_

Type of Heat: \_\_\_\_\_

Electrical: \_\_\_\_\_

Service Entrance Size: \_\_\_\_\_ Smoke Detector Required Yes \_\_\_\_\_ No \_\_\_\_\_

Plumbing: \_\_\_\_\_

1. Approval of soil test if required Yes \_\_\_\_\_ No \_\_\_\_\_

2. No. of Tubs or Showers \_\_\_\_\_

3. No. of Flushes \_\_\_\_\_

4. No. of Lavatories \_\_\_\_\_

5. No. of Other Fixtures \_\_\_\_\_

Swimming Pools: \_\_\_\_\_

1. Type: \_\_\_\_\_

2. Pool Size: \_\_\_\_\_ Square Footage \_\_\_\_\_

3. Must conform to National Electrical Code and State Law.

Permit Received By Mary Gray (Applicant) \_\_\_\_\_ Date 13 June 1994

William Saufley

**PERMIT ISSUED WITH REQUIREMENTS**

**PERMIT ISSUED WITH REQUIREMENTS**

CONTINUED ON REVERSE SIDE

Ivory Tag - CEO [Signature]

6-27-94 (pool installed, yard is surrounded  
by fence, pool sides OK, set backs OK)

(Deck added in future?)

7-11-94 (Deck is added (no permit for deck)  
(pool is complete)

7-19-94 (Permit in deck + pool OK)

# NAVAJO

## SPECIFICATIONS AND FEATURES

**LEDGE** 6-in extruded aluminum bull nose ledge. Non-skid surface area. Ledges used on in-ground pools.

**VERTICAL** 6-in extruded aluminum. Accent strips included.

**RAILS** Aluminum rectangular 1" universal top & bottom rails.

**PLATES** Aluminum universal top and bottom plates.

**COVERS** Full contour design - structural foam for greater strength - complete with anchor medallion stainless steel top cover hardware.

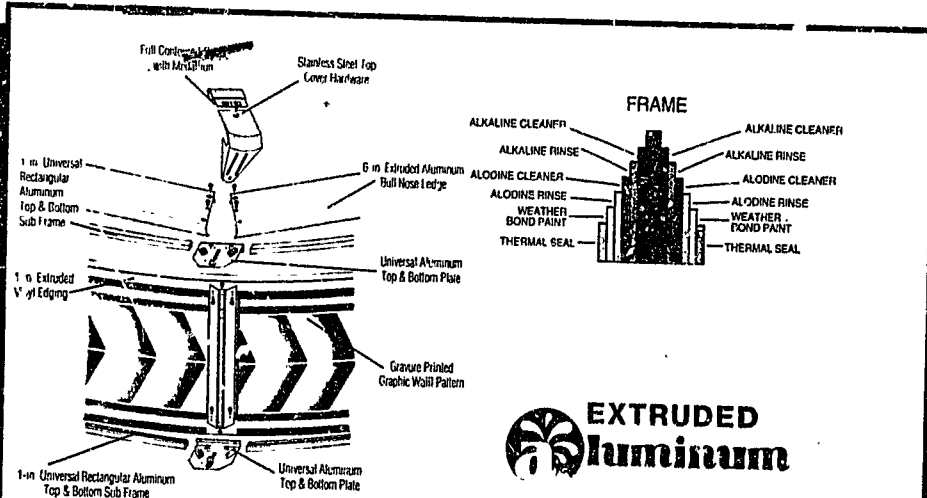
**ASSEMBLY** Universal sub structure combined with modular ledges and verticals provides a post-lock frame construction for easy assembly.

**METAL PROTECTION** Alkaline cleaned powderized coating chromic seal. Full coat of baked outdoor enamel weather bond paint.

**LINER PROTECTOR** Extruded vinyl edging

**WALL** Patented four-bar wall closure system ensures proper assembly and maximum strength (US Patent #422349). Corrugation of walls provide vertical strength. Walls are scored for installation of thru-wall-skimmer and return fitting.

**WALL DECOR** Early American graphics with desert color motif.



**EXTRUDED Aluminum**

### DECOR

Desert colored graphic wall with coordinated frame, contoured covers and feature strips.

### POOL SIZES AND CAPACITIES

ROUND POOL		OVAL POOL	
SIZE	CAPACITY	SIZE	CAPACITY
12 ft. x 48-in.	4,300 gal.	18-ft. x 12-ft. x 48-in.	5,525 gal.
15-ft. x 48-in.	5,525 gal.	24-ft. x 12-ft. x 48-in.	7,688 gal.
18-ft. x 48-in.	7,700 gal.	24-ft. x 15-ft. x 48-in.	10,000 gal.
21-ft. x 48-in.	10,400 gal.	30-ft. x 15-ft. x 48-in.	12,000 gal.
24-ft. x 48-in.	13,500 gal.	33-ft. x 18-ft. x 48-in.	16,000 gal.
27-ft. x 48-in.	17,100 gal.		

## SPECIFICATIONS AND FEATURES FOR OVAL POOLS

**STRUCTURALS** Exclusive extruded aluminum I-beam buttress assembly - High strength tension bolts. Patented hold down pressure sheets Aluminum in. (patent #253,910). ing post and strap

**30**

Thirty year limited warranty first two seasons, no charge for parts.



**WARNING:** POOLS ARE NOT DESIGNED FOR DIVING OR JUMPING



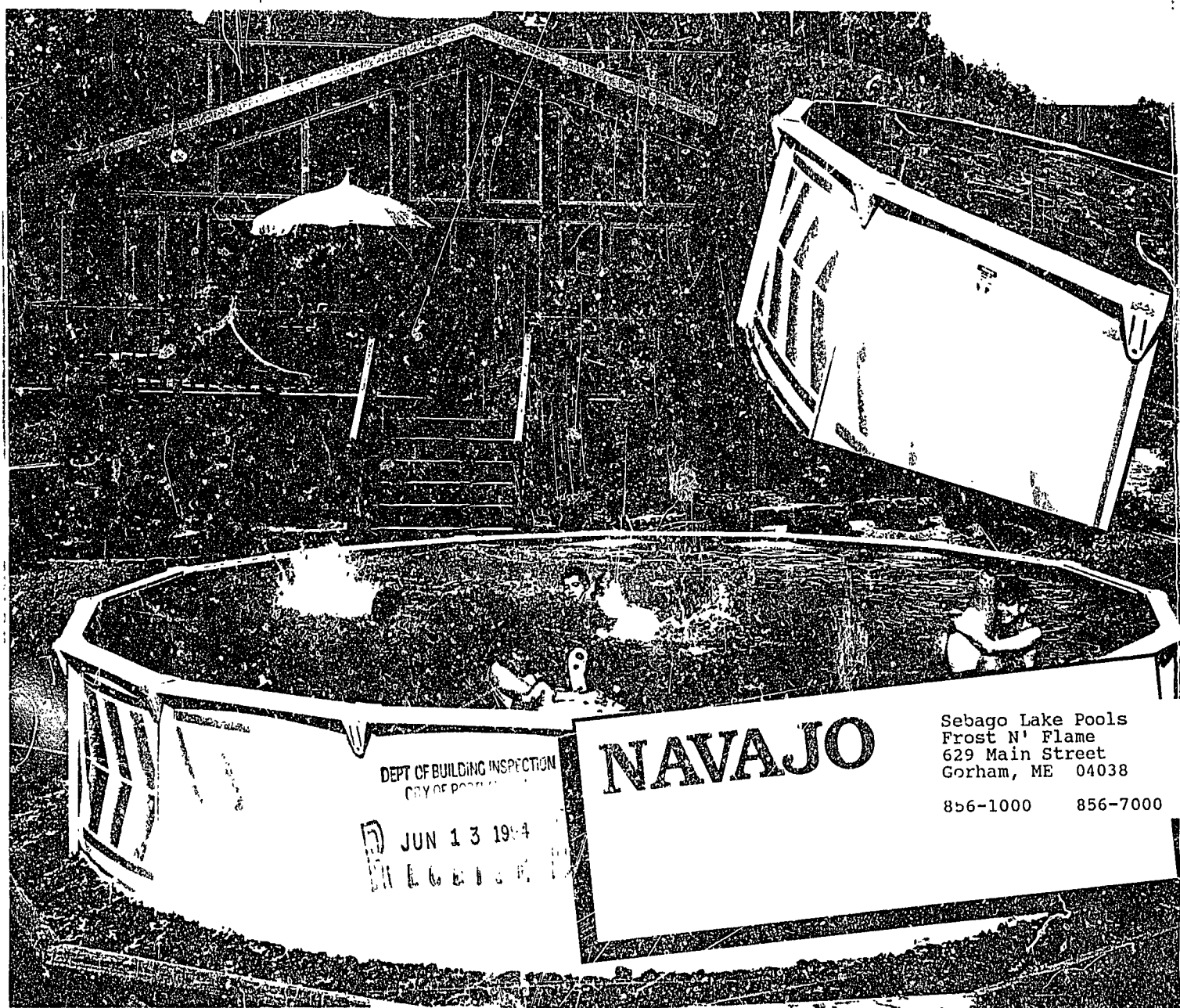
**Swim'n Play, Inc.**  
Makers of the Above Ground Pools

313 Regina Avenue  
Rahway, NJ 07065-4891  
Phone: (908) 574-1500  
Fax: (908) 574-1551

Manufacturer reserves the right to alter specifications without notice. All pool sizes are approximate

White - Tax Assessor

Ivory Tag - CEO



DEPT OF BUILDING INSPECTION  
CITY OF PORTLAND

JUN 13 1984

**NAVAJO**

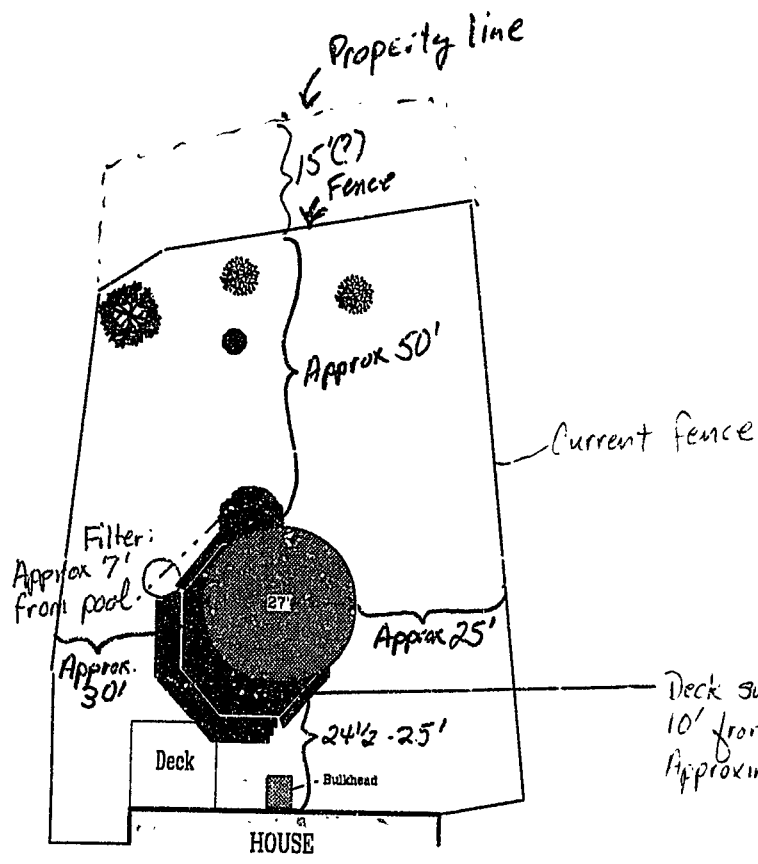
Sebago Lake Pools  
Frost N' Flame  
629 Main Street  
Gorham, ME 04038

856-1000 856-7000

White - Tax Assessor

Ivory Tag - CEO

*LTJ 11/18 Jenderson*



Deck surround contemplated  
 10' from current deck to pool  
 Approximately 25' house to pool

White - Tax Assessor

Ivory Tag - CEO

LI 11/19 Jordan

design and constructed to comply with all of the requirements of this code for on-site and prefabricated construction.

**420.2 Construction:** Residential mobile units shall be of an approved design and shall be constructed in accordance with the applicable ordinances and statutes. All other mobile units shall be designed and constructed in accordance with the requirements of this code. All mobile units on a permanent foundation shall be evaluated, inspected and labeled in plant in accordance with Section 1703.3.

**420.3 Location:** Mobile units shall be located in approved spaces. The provisions of this code shall not be construed to repeal, modify or constitute an alternative to any lawful zoning regulations. In case of conflict between this code and any other ordinance or statute, the most rigid requirements shall apply.

**420.3.1 Anchorage and tie-down:** Every parking space for mobile units shall be provided with devices for anchoring the unit to prevent overturning or uplift. The owner of the parking space shall anchor or cause to be anchored all mobile units located on the parking space. Where concrete platforms are provided for the parking of mobile units, anchorage shall be provided by eyelets embedded in the concrete with adequate anchor plates or hooks, or other suitable means. The anchorage shall be adequate to withstand wind forces and uplift as required in Chapter 16 for buildings and structures, based upon the size and weight of the units.

**SECTION 421.0 SWIMMING POOLS**

**421.1 General:** Swimming and bathing pools shall conform to the requirements of this section provided that these regulations shall not be applicable to any such pool less than 24 inches (610 mm) deep or having a surface area less than 250 square feet (23.25 m<sup>2</sup>), except where such pools are permanently equipped with a water-recirculating system or involve structural materials. For the purposes of this code, pools are classified as private swimming pools or public swimming pools, as defined in Section 421.2. Materials and constructions used in swimming pools shall comply with the applicable requirements of this code.

**421.2 Definitions:** The following words and terms shall, for the purposes of this section and as used elsewhere in this code, have the meanings shown herein.

**Pools, swimming, hot tubs and spas**

**Above-ground/on-ground pool:** See definition of private swimming pool.

**Barrier:** A fence, a wall, a building wall or a combination thereof which completely surrounds the swimming pool and obstructs access to the swimming pool.

**Hot tub:** See definition of private swimming pool.

**Indoor pool:** See definition of private swimming pool.

**Private swimming pool:** Any structure that contains water (610 mm) in depth and which is used, or intended to be used, for swimming or recreational bathing in an occupancy in Use Group R-3 and which is for the family and guests of the householder. Includes above-ground and on-ground swimming pools and spas.

**Private swimming pool, indoor:** Any private swimming pool that is totally contained within a private structure and surrounded on all four sides by walls of said structure.

**Private swimming pool, outdoor:** Any private swimming pool that is not an indoor pool.

**Public swimming pool:** Any swimming pool other than a private swimming pool.

**Spa:** See definition of private swimming pool.

**421.3 Permits and construction documents:** A swimming pool or appurtenances thereto shall not be constructed, installed, enlarged or altered until construction documents have been submitted and a permit has been obtained from the code official. The approval of all city, county and state authorities having jurisdiction over swimming pools shall be obtained before applying to the code official for a permit. Certified copies of these approvals shall be filed as part of the supporting data for the permit application.

**421.3.1 Construction documents:** Construction documents shall accurately show dimensions and construction of the pool and appurtenances and properly established distances to lot lines, buildings, walks and fences, as well as details of the water supply system, drainage and water disposal systems, and all appurtenances pertaining to the swimming pool. Detailed construction documents of structures, vertical elevations and sections through the pool showing depth shall be included.

**421.4 Locations:** Private swimming pools shall not encroach on any front or side yard required by this code or by the governing zoning law, unless in accordance with specific rules of the jurisdiction in which the pool is located. A wall of a swimming pool shall not be located less than 6 feet (1829 mm) from any rear or side property line or 10 feet (3048 mm) from any street property line, unless in accordance with specific rules of the jurisdiction in which the pool is located.

**421.5 Structural design:** The pool structure shall be engineered and designed to withstand the expected forces to which the pool will be subjected.

**421.5.1 Wall slopes:** To a depth up to 2 feet 9 inches (838 mm) from the top, the wall slope shall not be more than one unit horizontal in five units vertical (1:5).

**421.5.2 Floor slopes:** The slope of the floor on the shallow side of the transition point shall not exceed one unit vertical to seven units horizontal (1:7). For public pools greater than 1,200 square feet (111.6 m<sup>2</sup>), the slope of the floor on the shallow side of the transition point shall not exceed one unit vertical to ten units horizontal (1:10). The transition point between shallow and deep water shall not be more than 5 feet (1524 mm) deep.

**421.5.3 Surface cleaning:** All swimming pools shall be provided with a recirculating skimming device or overflow gutters to remove scum and foreign matter from the surface of the water. Where skimmers are used for private pools, there shall be at least one skimming device for each 1,000 square feet (93 m<sup>2</sup>) of surface area or fraction thereof. For public pools where water skimmers are used, there shall be at least one skimming device for each 600 square feet (55.8 m<sup>2</sup>) of

surface area or fraction thereof. Overflow gutters shall not be less than 2 inches (76 mm) deep and shall be pitched to a slope of one unit vertical to 48 units horizontal (1:48) toward drains, and constructed so that such gutters are safe, cleanable and that matter entering the gutters will not be washed out by a sudden surge of entering water.

**421.5.4 Walkways:** All public swimming pools shall have walkways not less than 4 feet (1219 mm) in width extending entirely around the pool. Curbs or sidewalks around any swimming pool shall have a slip-resistant surface for a width of not less than 1 foot (305 mm) at the edge of the pool, and shall be so arranged as to prevent return of surface water to the pool.

**421.5.5 Steps and ladders:** At least one *means of egress* shall be provided from private pools. Public pools shall provide ladders to other *means of egress* at both sides of the diving section and at least one *means of egress* at the shallow section; or at least one *means of egress* in the deep section and the shallow section if diving boards are not provided. Treads of steps and ladders shall have slip-resistant surfaces and handrails on both sides, except that handrails are not required where there are not more than four steps or where the steps extend the full width of the side or end of the pool.

**421.6 Water supply:** All swimming pools shall be provided with a potable water supply, free of cross connections with the pool or its equipment.

**421.6.1 Water treatment:** Public swimming pools shall be designed and installed so that there is a pool water turnover at least once every 8 hours. Filters shall not filter water at a rate in excess of 3 gallons per minute per square foot (0.0020 m<sup>3</sup>/s · m<sup>2</sup>) of surface area. The treatment system shall be designed and installed so that at all times when the pool is occupied, the water is provided with exact chlorine of not less than 0.4 parts per million (ppm) or more than 0.6 ppm, or excess chloramine between 0.7 and 1.0 ppm, or disinfection shall be provided by other approved means. Acidity/alkalinity of the pool water shall not be below 7.0 or more than 7.5. All recirculating systems shall be provided with an approved hair and lint strainer installed in the system ahead of the pump.

Private swimming pools shall be designed and installed so that there is a pool water turnover at least once every 18 hours. Filters shall not filter water at a rate in excess of 5 gallons per minute per square foot (0.0034 m<sup>3</sup>/s · m<sup>2</sup>) of surface area. The pool owner shall be instructed in the care and maintenance of the pool by the supplier or builder, including treatment with high-test calcium hypochlorite (dry chlorine), sodium hypochlorite (liquid chlorine) or equally effective germicide and algicide, and the importance of proper pH (alkalinity and acidity) control.

**421.6.2 Drainage systems:** The swimming pool and equipment shall be equipped to be emptied completely of water and the discharged water shall be disposed of in an approved manner that will not create a nuisance to adjoining property.

**421.7 Appurtenant structures:** All appurtenant structures, installations and equipment, such as showers, dressing rooms, equipment houses or other buildings and structures, including

plumbing, heating and air conditioning systems, shall comply with all applicable requirements of this code.

**421.7.1 Accessories:** All swimming pool accessories shall be designed, constructed and installed so as not to be a safety hazard. Installations or structures for diving purposes shall be properly arranged to insure stability.

**421.8 Equipment installations:** Pumps, filters and other mechanical and electrical equipment for public swimming pools shall be enclosed in such a manner as to provide access only to authorized persons and not to bathers. Construction and drainage shall be arranged to avoid the entrance and accumulation of water in the vicinity of electrical equipment.

**421.9 Enclosures for public swimming pools:** Public swimming pools shall be provided with an enclosure surrounding the pool area. The enclosure shall meet the provisions of Sections 421.9.1 through 421.9.3.

**421.9.1 Enclosure:** The enclosure shall extend not less than 4 feet (1219 mm) above the ground. All gates shall be self-closing and self-latching with latches placed at least 4 feet (1219 mm) above the ground.

**421.9.2 Construction:** Enclosure fences shall be constructed so as to prohibit the passage of a sphere larger than 4 inches (102 mm) in diameter through any opening or under the fence. Fences shall be designed to withstand a horizontal concentrated load of 200 pounds (91 kg) applied on a 1-square-foot (0.093 m<sup>2</sup>) area at any point of the fence.

**421.9.3 Alternative devices:** A natural barrier, pool cover or other protective device approved by the governing body shall be an acceptable enclosure as long as the degree of protection afforded by the substituted device or structure is not less than the protection afforded by the enclosure, gate and latch described herein.

**421.10 Enclosures for private swimming pools, spas and hot tubs:** Private swimming pools, spas and hot tubs shall be enclosed in accordance with Sections 421.10.1 through 421.10.4 or by other approved barriers.

**421.10.1 Outdoor private swimming pool:** An outdoor private swimming pool, including an in-ground above-ground or on-ground pool, hot tub or spa shall be provided with a barrier which shall comply with the following.

1. The top of the barrier shall be at least 48 inches (1219 mm) above finished ground level measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between finished ground level and the barrier shall be 2 inches (51 mm) measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above finished ground level, such as an above-ground pool, the barrier shall be at finished ground level, such as the pool structure, or shall be mounted on top of the pool structure. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches (102 mm).

2. Openings in the barrier shall not allow passage of a 4-inch (102 mm) diameter sphere.
3. Solid barriers shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.
4. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches (1143 mm), the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 1 3/4 inches (44 mm) in width. Decorative cutouts shall not exceed 1 3/4 inches (44 mm) in width.
5. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches (1143 mm) or more, spacing between vertical members shall not exceed 4 inches (102 mm). Decorative cutouts shall not exceed 1 3/4 inches (44 mm) in width.
6. Maximum mesh size for chain link fences shall be a 1 1/4-inch (32 mm) square unless the fence is provided with slats fastened at the top or the bottom which reduce the openings to not more than 1 3/4 inches (44 mm).
7. Where the barrier is composed of diagonal members, such as a lattice fence, the maximum opening formed by the diagonal members shall be not more than 1 3/4 inches (44 mm).
8. Access gates shall comply with the requirements of items 1 through 7 of Section 421.10.1, and shall be equipped to accommodate a locking device. Pedestrian access gates shall open outwards away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian access gates shall have a self-latching device. Where the release mechanism of the self-latching device is located less than 54 inches (1372 mm) from the bottom of the gate: (a) the release mechanism shall be located on the pool side of the gate at least 3 inches (76 mm) below the top of the gate; and (b) the gate and barrier shall not have an opening greater than 1/2 inch (13 mm) within 18 inches (457 mm) of the release mechanism.
9. Where a wall of a dwelling serves as part of the barrier, one of the following shall apply:
  - 9.1. All doors with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door and its screen, if present, are opened. The alarm shall sound continuously for a minimum of 30 seconds immediately after the door is opened. The alarm shall have a minimum sound pressure rating of 85 dBA at 10 feet (3048 mm) and the sound of the alarm shall be distinctive from other household sounds such as smoke alarms, telephones and door bells. The alarm shall automatically reset under all conditions. The alarm shall be equipped with manual means such as touchpads or switches, to deactivate temporarily the alarm for a single opening from either direc-

tion. Such deactivation shall last for not more than 15 seconds. The deactivation touchpads or switches shall be located at least 54 inches (1372 mm) above the threshold of the door.

9.2. The pool shall be equipped with an approved power safety cover.

10. Where an above-ground pool structure is used as a barrier or where the barrier is mounted on top of the pool structure, and the means of access is a fixed or removable ladder or steps, the ladder or steps shall be surrounded by a barrier which meets the requirements of items 1 through 9 of Section 421.10.1. A removable ladder shall not constitute an acceptable alternative to enclosure requirements.

421.10.2 Indoor private swimming pool: All walls surrounding an indoor private swimming pool shall comply with Section 421.10.1, item 9.

421.10.3 Prohibited locations: Barriers shall be located so as to prohibit permanent structures, equipment or similar objects from being used to climb the barriers.

421.10.4 Exemptions: The following shall be exempt from the provisions of this section.

1. A spa or hot tub with an approved safety cover.
2. Fixtures which are drained after each use.

421.11 Diving boards: Minimum water depths and distances for diving hoppers for pools, based on board height above water, shall comply with Table 421.11(1) for public pools and Table 421.11(2) for private pools.

The maximum slope, permitted between point D<sub>2</sub> and the transition point shall not exceed one unit vertical to three units horizontal (1:3) in private and public pools. D<sub>1</sub> is the point directly under the end of the diving boards. D<sub>2</sub> is the point at which the floor begins to slope upwards to the transition point. See Figure 421.11.

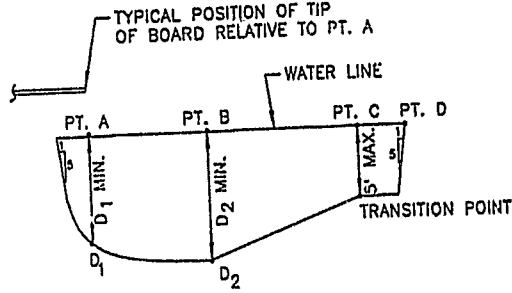


Figure 421.11  
MINIMUM WATER DEPTHS AND DISTANCES BASED ON BOARD  
HEIGHT FOR PUBLIC AND PRIVATE POOLS



Table 421.11(1)  
MINIMUM WATER DEPTHS AND DISTANCES BASED ON BOARD  
HEIGHT FOR PUBLIC POOLS

Board height	Minimum depth <sup>a</sup> at D <sub>1</sub> directly under end of board	Distance <sup>a</sup> between D <sub>1</sub> and D <sub>2</sub>	Minimum depth <sup>a</sup> at D <sub>2</sub>
2'2" (2/3 meter)	7'0"	8'0"	8'6"
2'6" (3/4 meter)	7'6"	9'0"	9'0"
1 meter	8'6"	10'0"	10'0"
3 meter	11'0"	10'0"	12'0"

<sup>a</sup>Note a. 1 foot = 304.8 mm.

Table 421.11(2)  
MINIMUM WATER DEPTHS AND DISTANCES BASED ON BOARD  
HEIGHT FOR PRIVATE POOLS

Board height	Minimum depth <sup>a</sup> at D <sub>1</sub> directly under end of board	Distance <sup>a</sup> between D <sub>1</sub> and D <sub>2</sub>	Minimum depth <sup>a</sup> at D <sub>2</sub>
1'8"	6'0"	7'0"	7'6"
2'2" (2/3 meter)	6'6"	7'6"	8'0"
2'6" (3/4 meter)	7'0"	8'0"	8'0"
3'4" (1 meter)	8'6"	9'0"	9'0"

<sup>a</sup>Note a. 1 foot = 304.8 mm.

hotel erected above the ground floor of a building where the ground floor is designed exclusively for business purposes.

(Code 1968, § 602.19.J)

**\* Sec. 14-432. Swimming pools.**

Outdoor swimming pools accessory to dwellings, apartment houses, hotels or motels shall be permitted on lots, provided the following conditions are met:

(1) No swimming pool shall be sited in the front yard.

(2) No part of any swimming pool shall be located closer than ten (10) feet from the principal structure, nor closer than ten (10) feet from the side or rear lot lines.

(Code 1968, § 602.19.K, Ord. No. 271-77, 5-16-77; Ord. No. 90-88, 7-19-88)

**Editor's note--**Ord. No. 90-88, adopted July 19, 1988, amended § 14-432 to read as herein set out. See also the editor's note to Art. III of this chapter for additional provisions relative to Ord. No. 90-88.

**Sec. 14-433. Lots of record and accessory structure setbacks for existing buildings.**

Any lot of record as of June 5, 1957, and held under separate and distinct ownership from adjacent lots and having a street frontage of forty (40) feet, or to which a means of access has been previously approved by the city council as provided elsewhere in this article, may be considered a buildable lot in any residential zone except as provided below for island residential zones, with a minimum lot size of five thousand (5,000) square feet, except that a lot in the R-6 zone may have a minimum lot size of three thousand (3,000) square feet, provided that the applicable yard dimensions can be met.

A lot in the R-1, R-2, R-3, R-4, R-5, R-5A or R-6 zones that was described in a subdivision plat approved by the planning board after June 5, 1981, or a lot of record that conformed to the applicable lot size requirement, lot width and street frontage as of June 5, 1984, shall be considered a buildable lot, provided that the applicable yard dimensions can be met.

Where such a lot has a principal structure which existed as of July 19, 1988, an accessory structure or building addition may be located within the following side and rear yards, provided that the normal applicable yard requirements cannot be met:

- a. *R-1, R-2:*  
Rear yard: Ten (10) feet.  
Side yard: Five (5) feet.
- b. *R-3, R-4, R-5, R-5A, R-6:*  
Rear yard: Five (5) feet  
Side yard: Five (5) feet

Any lot of record as of July 15, 1985, and held under separate and distinct ownership from adjacent lots and meeting the applicable street frontage requirements of that time may be