

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

June 20, 1994

RE: 92 Auburn St., Portland, ME

Shaw's Realty
P.O. Box 600
East Bridgewater, MA 02333

Dear Sir or Madam,

Your application to construct three(3) additions, 3730 square feet, has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not preclude the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy can be issued until all requirements of this letter are met.

Site Plan Review

Inspection Division Approved W. Giroux, Zoning Administrator
Fire Department Approved LT. G. McDougal
Planning Division Approved C. Carrigan, PE-Planning Coordinator
Public Works Approved C. Carrigan, PE-Planning Coordinator

Building/Fire Code Requirements

1. All required Fire Alarm systems shall have the capability of "Zone Disconnect" via switches or key pad program provided the method is approved by the Fire Prevention Bureau.
2. All remote annunciators shall have a visible "trouble" indicator along with the Fire Alarm "Zone" indicators.
3. Any Master Box connected to the Municipal Fire Alarm System shall have a supervised Municipal Disconnect Switch.
4. All Master Box locations shall be approved by the Fire Department Director of Communications. A Master Box shall be located so that the center of the box is (5') five feet above finished floor.
5. All Master Box locations are required to have a locked box (knoxbox).
6. A fire alarm acceptance report shall be submitted to the Portland Fire Department.
7. Class A" mercantile establishments shall be connected to either a Master Box or an approved central monitoring station.
8. Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection.

Shaw's Realty

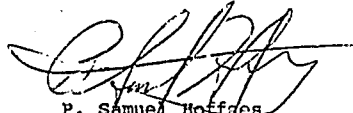
2

6/20/94

9. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,



P. Samuel Hoffges
Chief of Inspection Services

/el

cc: LT. Gaylen McDougal, Fire Prevention Bureau
William Giroux, Zoning Administrator
Craig Carrigan, PE, Development Review Coordinator

"BUILDING EXCELLENCE"
ALLIED

CONSTRUCTION CO., INC P.O. BOX 1396 • PORTLAND, ME 04104 • 207-772-2888

Shaw's Northgate
Remodel
Portland, Maine

Building Permit	
Construction Estimated Cost	\$900,000
Permit Cost	
\$25 for first \$1000	\$ 25.00
\$5/\$1000 there after	4,495.00

Total	\$4,520.00

Dump Permits	
Estimated 10 loads of a single axle dump	
10 x \$70/load	Total
	\$700.00

OFFICE: 208 FORE ST. PORTLAND, ME
207-772-2888

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant Shaw's Realty Co.
PO Box 600, East Bridgewater, MA 02333
 Mailing Address Supermarket
 Proposed Use of Site 3,575 sf additions
 Acreage of Site / Ground Floor Coverage

Date 7 April 1994
Auburn Street - 91 Northgate
 Address of Proposed Site
Tax Map 375, Lot 15
 Site Identifier(s) from Assessors Maps
B 2
 Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes (X) No
 Board of Appeals Action Required: () Yes (X) No
 Planning Board Action Required: () Yes (X) No

Proposed Number of Floors 1
 Total Floor Area 43,150 SF existing
46,725 proposed

Other Comments:

City Dept. Review Due:

see plans

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 - Requires Board of Appeals Action
 - Requires Planning Board/City Council Action

Explanation

- Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK, as applicable

DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOS. USA	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS
COMPLIES	_____																
COMPLIES CONDITIONALLY	_____																
DOES NOT COMPLY	_____																

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS:

NOT

 SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT—ORIGINAL

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Shaw's Realty Co.,

Date 7 Apr. 94

Applicant PO Box 600, East Bridgewater, MA 02333

Auburn Street

Mailing Address Supermarket

Address of Proposed Site Tax Map 373, Lot 15

Proposed Use of Site 3,575 sf additions

Site Identifier(s) from Assessors Maps B-2

Acreage of Site / Ground Floor Coverage

Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes (X) No

Proposed Number of Floors 1

Board of Appeals Action Required: () Yes (X) No

Total Floor Area 43,150 SF existing

Planning Board Action Required: () Yes (X) No

46,715 proposed

Other Comments: _____

Date Dept. Review Due: _____

FIRE DEPARTMENT REVIEW

4/10/94
(Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMASE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED									
APPROVED CONDITIONALLY									CONDITIONS SPECIFIED BELOW
DISAPPROVED									REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

[Signature]
SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Shaw's Realty Co., 7 April 1994
 Applicant Date
 PO Box 600, East Bridgewater, MA 02333 Auburn Street - 91 Northgate
 Mailing Address Address of Proposed Site
 Supermarket Tax Map 375, Lot 15
 Proposed Use of Site / 3,575 sf additions Site Identifier(s) from Assessors Maps
 Acraege of Site / Ground Floor Coverage B-2
 Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes (X) No Proposed Number of Floors 1
 Board of Appeals Action Required: () Yes (X) No Total Floor Area 43,150 SF existing
 Planning Board Action Required: () Yes (X) No 46,725 proposed

Other Comments: _____
 Date Dept. Review Due: _____

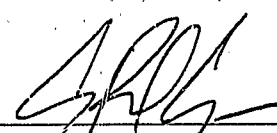
PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED														
APPROVED CONDITIONALLY														CONDITIONS SPECIFIED BELOW
DISAPPROVED														REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

 7/2/93

 SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant: Shaw's Realty Co.,

Date: 7 April 1994

Address: PO Box 603, East Bridgewater, MA 02333

Address of Proposed Site: Auburn Street @ Northgate

Proposed Use of Site: Market

Tax Map: 375, Lot 15

Acres of Site: 3,575 sf additional

Site Identifier(s) from Assessors Maps: B-2

Ground Floor Coverage

Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors: 1

Board of Appeals Action Required: () Yes () No

Total Floor Area: 43,150 SF existing

Planning Board Action Required: () Yes () No

46,725 proposed

Other Comments: _____

Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received) _____

- Major Development — Requires Planning Board Approval: Review Initiated
- Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED												
APPROVED CONDITIONALLY												CONDITIONS SPECIFIED BELOW
DISAPPROVED												REASONS SPECIFIED BELOW

REASONS: _____

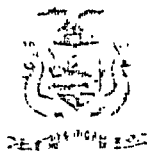
(Attach Separate Sheet if Necessary)

[Signature] 5/31/94

SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

Planning & Urban Development



Joseph E. Gray Jr.
Director

CITY OF PORTLAND

May 31, 1994

Leslie Evans P.E.
Shaw's Supermarkets, Inc.
P.O. Box 3566
Portland, ME 04104

Re: Shaw's Supermarket - Northgate

Dear Mr. Evans:

On May 31, 1994 the Portland Planning Authority granted minor site plan approval for a 3,575 sq. ft. building addition to the Shaw's Supermarket at 91 Auburn Street.

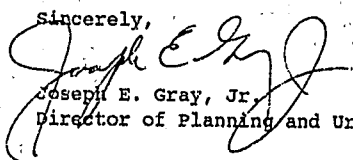
The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 1.7% of the performance guarantee will have to be posted before a building permit can be issued.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

If there are any questions, please contact the Planning Staff.

Sincerely,



Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
P. Samuel Hoffses, Chief of Building Inspections
William Giroux, Zoning Administrator
George Flaherty, Director of Parks and Public Works
John Ragus, Principal Engineer
Craig Carrigan, Development Review Coordinator
William Bray, Deputy Director of Parks and Public Works
Jeff Tarling, City Arborist
Paul Niehoff, Materials Engineer
Natalie Burns, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Approval Letter File

REVIEWED FOR
BARRIER - FREE
COMPLIANCE

STATE OF MAINE
DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
AUGUSTA
CONSTRUCTION PERMIT



Permit No. 6575

PERMISSION IS HEREBY GIVEN TO:
Shaw's Supermarkets, Inc.
220 MAINE MALL ROAD
South Portland, ME 04106

Location of project:
Avburn Street
Portland, ME

PROJECT TITLE:
Shaw's Northgate Remodel
OCCUPANCY CLASSIFICATION:
Mercantile

To construct or alter the afore referenced building accordina to t're plans hitherto filed with the Commissioner and now approved. No departure from such plans shall be made without prior approval in writing.

This permit will expire at midnight on December 15, 19 94.

This permit is issued under the provisions of Title 25, Chapter 317, Section 2448

Nothing herein shall excuse the holder of this permit for the failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.

Dated the 16th day of June A.D. 19 94

FEE \$ 200.00/200.00

*SPRINKLED

Col. Alfred R. Skolfield, AC
Commissioner - Public Safety

Planning & Urban Development



Joseph E. Gray Jr.
Director

CITY OF PORTLAND

May 31, 1994

Leslie Evans P.E.
Shaw's Supermarkets, Inc.
P.O. Box 3566
Portland, ME 04104

Re: Shaw's Supermarket - Northgate

Dear Mr. Evans:

On May 31, 1994 the Portland Planning Authority granted minor site plan approval for a 3,575 sq. ft. building addition to the Shaw's Supermarket at 91 Auburn Street.

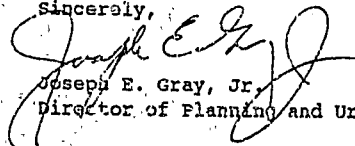
The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 17% of the performance guarantee will have to be posted before a building permit can be issued.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

If there are any questions, please contact the Planning Staff.

Sincerely,


Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
✓ P. Samuel Koffses, Chief of Building Inspections
William Giroux, Zoning Administrator
George Flaherty, Director of Parks and Public Works
John Rague, Principal Engineer
Craig Carrigan, Development Review Coordinator
William Bray, Deputy Director of Parks and Public Works
Jeff Farling, City Arborist
Paul Niehoff, Materials Engineer
Natalie Burns, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Approval Letter File



HARRIMAN
ASSOCIATES

June 14, 1994

Ms. Donna Emerson
Fire Protection Specialist
Office of State Fire Marshal
317 State Street
State House Station #52
Augusta, ME 04333-0052

Dear Donna:

Re: Shaw's
Northgate
Portland, Maine
Project No. 94.111-00

In response to your review comments and our phone conversation on June 13, 1994 regarding the above referenced project, we will incorporate the following to address your concerns:

1. We will leave the exit signs in Deli and at Doors #122 and #123B identifying an additional exit through the Deli area and the Perishable Receiving area, which is in excess of the number required by NFPA-101 Life Safety Code, but is required by the BOCA Building Code adopted and enforced by the City of Portland.
2. In addition, we will add a sign in the Deli area reading "THIS EXIT IS FOR EMERGENCY USE ONLY." This sign will be located and maintained in a conspicuous place.

Thank you for your consideration and cooperation in resolving this concern for the betterment and safety of this project.

Very truly yours,

Darryl L. Johnson

DLJ/ber

cc: Sam Hoffses, CEO City of Portland
Les Evans

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
R JUN 14 1994 D
RECEIVE

ARCHITECTS ■ ENGINEERS
ONE AUBURN BUSINESS PARK ■ AUBURN, MAINE 04210 ■ 207 • 784 • 5100 ■ FAX 207 • 782 • 3017

OFFICE OF STATE

Department of Public Safety
317 State Street (207) 287-3473
State House Station #52 FAX (207) 287-5163
Augusta, ME 04333



FIRE MARSHAL

Dennis Lundstedt
State Fire Marshal

June 3, 1994

Shaw's Supermarkets, Inc.
220 Maine Mall Road
South Portland, ME 04016

RE: Shaw's Northgate Remodel

Dear Sirs:

After reviewing your plans submitted to this office, I find they are in compliance with the existing requirements of the Life Safety Code and Barrier-Free Construction. They will be considered for approval on submission of complete plans and specifications. **CONSTRUCTION SHALL NOT BEGIN UNTIL PERMIT IS ISSUED.**

If I may be of further assistance to you in this matter, please do not hesitate to contact this office.

Yours for better fire protection,

Dennis Lundstedt
Dennis Lundstedt
State Fire Marshal

DLE/ago

Enclosure

OFFICE OF STATE FIRE MARSHAL
PLAN REVIEW SHEET

REVIEWER: DONNA L. EMERSON

X

TELEPHONE: (207) 287-3475

FAX #: (207) 287-5163

CONSTRUCTION PERMIT: X

SPRINKLER PERMIT: X

BARRIER/FREE PERMIT: X

PROJECT NAME: SHAW'S NORTHGATE

DATE: June 3, 1994

LOCATION: PORTLAND, ME

LOG NUMBER: 9178 CONTACT:

PHONE NUMBER:

FAX NUMBER:

ITEM# SHEET#

CODE VIOLATION/COMMENTS

- | ITEM# | SHEET# | CODE VIOLATION/COMMENTS |
|-------|--------|---|
| 1 | E-1 | Delete exit signs in Deli, and at door #122, and door #123B (on outside). |

These items need to be addressed in writing
before permit can be issued.

⊕



CONSTRUCTION CO., INC. P.O. BOX 1396 • PORTLAND, ME 04104 • 772-2888

FAX TRANSMITTAL

DATE: 7/25/94 FAX #: 773-4640
 TO: LES EVANS
 COMPANY: SHAW'S SUPERMARKETS
 RE: NORTHGATE RENOVATIONS
 # OF PAGES (INCLUDING THIS PAGE) 3
 COMMENTS: TIME WAIVER REQUEST SIGNED
BY BOB COOK AT THE PUBLIC WORKS DEPARTMENT

SIGNED: [Signature]

REPLY REQUESTED: YES NO

IF YOU HAVE ANY PROBLEMS WITH THIS FAX, PLEASE CALL AT THE NUMBER LISTED ABOVE.

cc AL GARDIN 878-3185

CITY OF PORTLAND, MAINE
DEPARTMENT OF PARKS & PUBLIC WORKS
TIME WAIVER REQUEST

DATE: 7/25/94

TO: Director of Parks & Public Works
389 Congress Street
Portland, Maine 04103

REGARDING: Request for Waiver of Established Work Hours for
Construction Activities -- Section 17-18 of the
Municipal Code

Dear Sir:

My firm of Allied Construction 208 Fore St. Portland ⁷⁷²⁻²⁸⁸⁸
(NAME OF FIRM) (ADDRESS) (TELEPHONE) (CONTACT PERSON) Peter Pelletier

requests a waiver of the City of Portland from its Municipal Code, Section
17.18 (see back of waiver request form) prohibiting construction activities
between the hours of 10:00 p.m. and 7:00 a.m. of the following morning.

We are doing RENOVATION type of construction
activity at NORTACATE SHAW'S AUBURN MS in Portland, Maine, and
request permission to begin work at 11 ^{PM}, and end work by 7 ^{PM} for
6 MO ^(s).

I understand and agree that if this waiver is approved, work will be of
a non-reoccurring nature as noted in the ordinance and is acceptable only for
the above listed company, location, single construction activity and time.

ALL NIGHT WORK TO BE
INSIDE OF EXISTING BUILDING
BUT SOME EQUIPMENT MOVEMENT
MAY HAPPEN OUTSIDE.

SIGNED: [Signature]
(SIGNATURE OF APPLICANT)
Allied Construction Co
(COMPANY)
7/25/94
(DATE)

APPROVED: [Signature]
(DIRECTOR OF PARKS & PUBLIC WORKS)
7/25/94
(DATE)

DMG/8/9/84

(OVER)

Sam Hoffses



HARRIMAN
ASSOCIATES

May 12, 1994

Mr. Les Evans
Shaw's Supermarkets, Inc.
220 Maine Mall Road
South Portland, Maine 04016

Dear Les:

Re: Shaw's
Northgate
Portland, Maine
Project No. 94.111-00
100% Review Documents

Enclosed are the 100% review documents for the subject store. We trust that you will find all 50% review comments resolved and the documents in good order. The final review meeting is presently scheduled for Thursday, May 26th, at 9:00 am at our office. Please contact Darryl Johnson or me with any clarifications or corrections which may be needed prior to that date.

The following people are also being sent copies of this review set;

Bill Burdwood	at Shaw's
Dick Perry	"
Rob Gobin	"
George Aloupis	at CID
Sam Hoffses	Portland CEO
Donna Emerson	State Fire Marshal's office
Sylvia Fanning	USDA office
Dave Cook	Allied Construction (reproducibles and 2 sets)

Mr. Les Evans
May 12, 1994
Page Two

Thank you for another opportunity to serve you on this project. We look forward to the May 26th meeting.

Sincerely yours,

Phil LaClaire
Project Manager

PML/ben

Enc.

cc: Bill Burdwood
Dick Perry
Rob Gobin
George Aloupis
Sams Hoffses
Donna Emerson
Sylvia Fanning
Dave Cook

Site Plan Shaw's Northgate
Box #10