

**CITY OF PORTLAND, MAINE**  
**SITE PLAN REVIEW**  
 Processing Form

Applicant Dr. Jay Black Date Feb. 25, 1968  
 Mailing Address 110 Western Avenue 757-7756 Address of Proposed Site \_\_\_\_\_  
 Proposed Use of Site \_\_\_\_\_ Site Identifier(s) from Assessors Maps \_\_\_\_\_  
 Acreage of Site / Ground Floor Coverage \_\_\_\_\_ Zoning of Proposed Site \_\_\_\_\_  
 Proposed Number of Floors \_\_\_\_\_  
 Total Floor Area \_\_\_\_\_  
 Site Location Review (DEP) Required: ( ) Yes ( ) No  
 Board of Appeals Action Required: ( ) Yes ( ) No  
 Planning Board Action Required: ( ) Yes ( ) No  
 Other Comments: \_\_\_\_\_  
 Date Dept. Review Due: \_\_\_\_\_

**PLANNING DEPARTMENT REVIEW**

(Date Received)

- Major Development — Requires Planning Board Approval: Review Initiated  
 Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED												
APPROVED CONDITIONALLY												
DISAPPROVED												

CONDITIONS SPECIFIED BELOW  
 REASONS SPECIFIED BELOW

REASONS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

(Attach Separate Sheet if Necessary)

SIGNATURE OF REVIEWING STAFF/DATE  
 PLANNING DEPARTMENT COPY

NOTES

3/31/86 - Working started

April 1 - Same

April 2 -

4/22/86 Foundation placed

4/25/86 Back filling & compacting - exterior around back fill

4/25 - Log Curb

4/29 - " "

5/2/86 Talked with contractor went through the structure of plans - progressing as per plans

8/4/86 - ~~Plans in~~ - OK date done in 8/4/86

10/10/86 - ~~Work completed~~

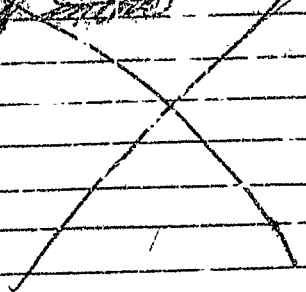
11/4/86 ~~Work started~~ - Progressing as per plans - ~~Interior about completed~~

1/87 - ~~Exterior finished on interior work~~

2/23/87 - ~~all work about completed~~

2/25/87 Completed, some touch up work to be done with the drywalling - ~~Plans were the Co of OJ -   
 Drawing completed & opening of shops of large   
 excavation will be completed in   
 3/87~~

NO. 86/319  
DATE: 11/1/86  
BY: [Signature]  
CHECKED: [Signature]  
DATE OF REPORT: 26.8.86  
APPROVED: 27.8.86  
SIGNATURE: [Signature]



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

000319

B.O.C.A. TYPE OF CONSTRUCTION

PERMIT ISSUED

MAR 27 1968

ZONING LOCATION R-P PORTLAND, MAINE Feb. 28, 1968

CITY OF

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby apply for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 110 Auburn Street ... District #1 ... Telephone 797-7750
1 Owner's name and address DE. Jay Stackhouse ... Telephone ...
2 Lessee's name and address ... Telephone ...
3 Contractor's name and address Design Extension & Builders Box ... Telephone 865-4317 ... No. of sheets

Proposed use of building medical office ... No. families ...
Last use ... No. families ...
Material ... No. stories ... Heat ... Structure of roof ... Roofing ...

Other buildings or same lot ...
Estimated contractual cost \$ 110,000.00 ... Appeal Fees \$ ...
FIELD INSPECTOR: M. ... Base Fee 300.00

late Fee ...
TOTAL \$ 570.00

minor site plan review
To construct 60 x 40 addition to existing
medical building

Stamp of Special Condition

PERMIT ISSUED WITH LETTER

ISSUE PERMIT TO #1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
Is connection to be made to public sewer? ... if not, what is proposed for sewer? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plat ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4 16" O. C. Bridging in every floor and flat roof span over 2 feet.
Joists or rafters: 1st floor ... 2nd ... 3rd ... roof ...
On ceiling: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height?

IF A GARAGE

No. cars to be accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will any public repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED BY: BUILDING INSPECTION PLAN EXAMINER ... DATE ... MISCELLANEOUS: Will work require disturbing of any tree on a public street?
ZONING: R-C-28 ...
BUILDING CODE: ...
Fire Dept: ...
Health Dept: ...
Others: ...
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining hereto are observed? ...

Signature of Applicant Ken Guimond ... Phone # ...
Type Name of above Ken Guimond for ... 1 2 3 4
Design Extension & Builders Other ...
and Address ...

PERMIT ISSUED WITH LETTER

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

Handwritten signature and initials



# CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

March 27, 1986

RE: 110 Auburn Street

Dr. Jay Stackhouse  
110 Auburn Street  
Portland, Maine 04103

Dear Dr. Stackhouse:

Your application to construct a 40' x 60' addition to existing medical building has been reviewed and a building permit is herewith issued subject to the following requirements:

#### Site Plan Review Requirements

Inspection Services Approved with Condition:  
Parking spaces accessible from Sanborn Street across sidewalk should be deleted from site plan Mr. W. J. Turner 3/21/86

Fire Department Approved Lt. J. P. Collins 3/5/86

Public Works Approved with conditions:  
1. The parking lot and driveways should be paved and striped to facilitate traffic circulation and drainage; and,  
2. Timber guard rails should be placed along the property line to keep parking cars off abutting property. Mr. R. Roy 3/20/86

Planning Division Not required W. J. Turner

If you have any questions on these requirements, please call this office.

Sincerely,

*P. Samuel Polifoes* H-T

P. Samuel Polifoes  
Chief of Inspection Services

PSA/el

Applicant: Mr. Jay Hackman

Date: March 21, 1981

Address: 110 Auburn St.

Assessors No.: 375-A-21

CHECK LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-2P

Interior or corner lot - Corner Auburn St & Auburn St

Use - Expansion of Chiropractor's office bldg

Sewage Disposal - City

Rear Yards - 47' no required

Side Yards - 20' and 35' Side Yard on side street

Front Yards - 32' no required Required 15 Ft

Projections - Side One story bldg 10ft. Yard

Height - One story

Lot Area - 12898 sq ft

Building Area - 2400 sq ft

Area per Family - NA

Width of Lot - 14 2' approx

Lot Frontage - 18'

Off-street Parking - 14 car spaces

Loading Fays -

Site Plan - E.S.S.

Shoreland Zoning -

Flood Plains -



CITY OF PORTLAND, MAINE  
Department Building Inspection

# Certificate of Occupancy

Issued to **DR J STACHOVAS**

LOCATION **110 AUBURN ST**

Date of Issue **2/25/87**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed to use under Building Permit No. **020719/87**, has had final inspection, has been found to conform substantially to requirements of zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF FURNISHING OR PURCHASES

APPROVED OCCUPANCY

APPROVED OCCUPANCY

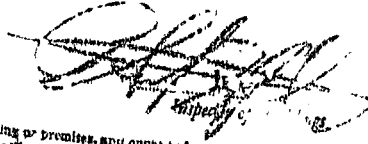
MEDICAL OFFICE

Limiting Conditions:

**None**

This certificate certifies issued

Approved by:   
(Date) \_\_\_\_\_  
Inspector

  
Medical Officer

Note: This certificate identifies lawful use of building or premises, and ought to be available to owner to present to the city when property changes hands. Only will be furnished to owner or lessee for a fee.



ELECTRICAL INSTALLATIONS —

Permit Number 09577

Location 110 Auburn St

Owner Ray Stalham

Date of Permit 10/30/56

Final Inspection \_\_\_\_\_

By Inspector D. P. Wood

Permit Application Register Page No. 28

INSPECTIONS: Service \_\_\_\_\_ by \_\_\_\_\_

Service called in \_\_\_\_\_

Closing-in \_\_\_\_\_ by \_\_\_\_\_

PROGRESS INSPECTIONS: 11/3/56 \_\_\_\_\_ / \_\_\_\_\_

\_\_\_\_\_ / \_\_\_\_\_

\_\_\_\_\_ / \_\_\_\_\_

\_\_\_\_\_ / \_\_\_\_\_

\_\_\_\_\_ / \_\_\_\_\_

\_\_\_\_\_ / \_\_\_\_\_

DATE:

REMARKS:

11/3/56

conductor of wire need to be secured.  
Check on final inspection for building





**APPLICATION FOR PERMIT**  
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES  
 ELECTRICAL INSTALLATIONS

Date July 29, 1986  
 Receipt and Permit number D 24372

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 110 Auburn St.  
 OWNER'S NAME: Dr. Jay Stackhouse ADDRESS: same

	FEES
OUTLETS: 45	10.30
Receptacles <u>68</u> Switches <u>48</u> Plugmold _____ ft. TOTAL _____	<del>28.00</del>
FIXTURES: (number of)	
Incandescent <u>47</u> Fluorescent <u>10</u> (not strip) TOTAL <u>58</u>	7.80
Strip Fluorescent _____ ft.	
SERVICES:	
Overhead <u>x</u> Underground _____ Temporary _____ TOTAL amperes <u>400</u>	6.00
METERS: (number of) <u>1</u>	.50
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws <u>x</u> Over 20 kws _____	5.00
APPLIANCES: (number of)	
Ranges <u>1</u>	
Cook Tops _____	
Wall Ovens _____	
Dryers _____	
Fans _____	
Water Heaters _____	
Disposals <u>1</u>	
Dishwashers <u>1</u>	
Compactors _____	
Others (denote) _____	
TOTAL _____	4.50
MISCELLANEOUS: (number of)	
Branch Panels <u>1</u>	1.00
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE: \_\_\_\_\_  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: \_\_\_\_\_  
 TOTAL AMOUNT DUE: 35.10

INSPECTION:

Will be ready on 7 - 31 - A, M9; or Will Call \_\_\_\_\_

CONTRACTOR'S NAME: Forrest Elec  
 ADDRESS: Box 876 Port  
 TEL.: 797-0921  
 MASTER LICENSE NO.: 04604 SIGNATURE OF CONTRACTOR: [Signature]  
 LIMITED LICENSE NO.: \_\_\_\_\_



**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 110 Auburn St.		Owner: Owen Pickus, D.O.	Phone: 878-5505	Permit No: <b>940852</b>
* Owner Address: 117 Auburn St - Ptd, ME 04104		Leasee/Buyer's Name:	Business Name:	
Contractor Name: Dirigo Masonry		Address:	Phone:	Permit Issued:  AUG 18 1994
Fast Use: profession office bldg	Proposed Use: professional office bld w handcp. ramp	COST OF WORK: \$ 2590	PERMIT FEE: \$ 35	
Proposed Project Description:  construct handicapped-access ramp appx 12'x4'		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	Zone: CBU: <i>DDH</i>
		Signature:	Signature:	Zoning Approval:
		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.)		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		
		Signature:	Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

*SEE ATTACHED ADA - ANSI  
RAMP GUIDELINES*

L. Chase  
8/15/94

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

*Kenneth Cole*  
SIGNATURE OF APPLICANT      ADDRESS:      DATE: *8/15/94*      PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE      PHONE:

White-Permit Desk    Green-Assessor's    Canary-D.P.W.    Pink-Public File    Ivory Card-Inspector

Historic Preservation  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:  
 Approved  
 Approved with Conditions  
 Denied

Date: *8/16/94*  
*D. Hamilton*

GEO DISTRICT **17**  
D.O.

Inspections Services




William D. Giroux  
Zoning Administrator

CITY OF PORTLAND

June 21, 1994

TO WHOM IT MAY CONCERN

The building located at 110 Auburn Street in the City of Portland which is intended to be utilized by Curaflex Health Services, Inc. as an administrative office for nursing, is in full compliance with the zoning and building regulations.

  
William D. Giroux  
Zoning Administrator

/el

**City of Portland, Maine - Building or Use Permit Application - 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716**

Location of Construction: 110 Auburn St.		Owner: Owen Nickus, D.D.	Phone: 374-5445	Permit No: <b>940852</b>
Owner Address: 117 Congress St - Portland, ME 04102		Leasee/Buyer's Name:	Phone:	Business Name:
Contractor Name: Diego Masonry		Address:		Phone:
Past Use: professional office bldg	Proposed Use: professional office bls w handicap ramp	COST OF WORK: \$ 2500	PERMIT FEE: \$ 25	Permit Issued: <b>PERMIT ISSUED</b> AUG 18 1994 CITY OF PORTLAND
Proposed Project Description: construct handicap-access ramp 3001 12'x6'		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature:	INSPECTION: Use Group: Type: Signature:	
1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: Date:		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Historic Preservation: <input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: 8/16/94 [Signature]
CERTIFICATION I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit		L. Chase 3/15/94		
SIGNATURE OF APPLICANT		ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE				PHONE:

Be sure to check...

SEE ATTACHED ADA - ANSI  
RAMP GUIDELINES

8/16/94  
[Signature]

**7**

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

COMMENTS

8-11-94 - Block wall Foundation for Hindi ramp  
in prior to permit applications

8-18-94 - permit approved

8-19-94 - Block Foundation / full of water

8-23-94 - Back fill completed (setbacks approved)

8-29-94 - Ramp poured @ 1 to 12 pitch

Inspection Record

Type  
Foundation: OK  
Framing: \_\_\_\_\_  
Plumbing: \_\_\_\_\_  
Final: CLOSE  
Other: \_\_\_\_\_

Date  
8-23-94  
\_\_\_\_\_  
9-2-94  
\_\_\_\_\_

*Be sure to also check  
Zoning Set-backs*

4.7.7 Warning Textures. A curb ramp shall have a detectable warning texture complying with 4.27 and extending the full width and depth of the curb ramp, including any flares (see Fig. 14).

4.7.8 Obstructions. Curb ramps shall be located or protected to prevent their obstruction by parked vehicles.

4.7.9 Location at Marked Crossings. Curb ramps at marked crossings shall be wholly contained within the markings, excluding any flared sides (see Fig. 15).

4.7.10 Diagonal Curb Ramps. If diagonal (or corner-type) curb ramps have returned curbs or other well-defined edges, such edges shall be parallel to the direction of pedestrian flow. The bottom of diagonal curb ramps shall have 48-in (1220-mm) minimum clear space as shown in Fig. 15(c) and (d). If diagonal curb ramps are provided at marked crossings, the 48-in (1220-mm) clear space shall be within the markings (see Fig. 15(c) and (d)). If diagonal curb ramps have flared sides, they shall also have a segment of straight curb at least 24 in (610 mm) long located on each side of the curb ramp and within the marked crossing (see Fig. 15(c)).

4.7.11 Islands. Any raised islands in crossings shall be cut through level with the street or have curb ramps at both sides and a level area at least 43 in (1220 mm) long in the part of the island intersected by the crossings (see Fig. 15(a) and (b)).

\*See Appendix for additional information.

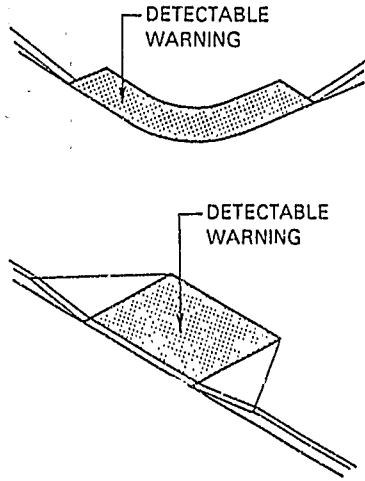


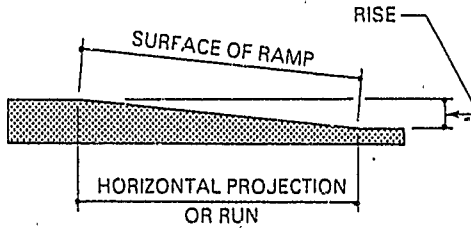
Fig. 14  
Warning Signals at Curb Ramps

4.7.12 Uncurbed Intersections. If there is no curb at the intersection of a walk and an adjoining street, parking lot, or busy driveway, then the walk shall have a detectable warning texture complying with 4.27.5 at the edge of the vehicular way.

4.8 Ramps

4.8.1\* General. Any part of an accessible route with a slope greater than 1:20 shall be considered a ramp and shall comply with 4.8.

4.8.2\* Slope and Rise. The least possible slope shall be used for any ramp. The maximum slope of a ramp in new construction shall be 1:12. The maximum rise for any ramp run shall be 30 in (760 mm) (see Fig. 16). Curb ramps and ramps to be constructed on existing sites or in existing buildings or facilities may have slopes and rises as shown in Table 3 if space limitations prohibit the use of a 1:12 slope or less.



Slope	Maximum Rise		Maximum Horizontal Projection	
	in	mm	ft	m
1:12 to 1:15	30	760	30	9
1:16 to 1:19	30	760	40	12
1:20	30	760	50	15

Fig. 16  
Components of a Single Ramp Run and  
Sample Ramp Dimensions

Table 3  
Allowable Ramp Dimensions for Construction in  
Existing Sites, Buildings, and Facilities

Slope*	Maximum Rise		Maximum Run	
	in	mm	ft	m
Steeper than 1:10 but no steeper than 1:8	3	75	2	0.6
Steeper than 1:12 but no steeper than 1:10	6	150	5	1.5

\*A slope steeper than 1:8 not allowed.

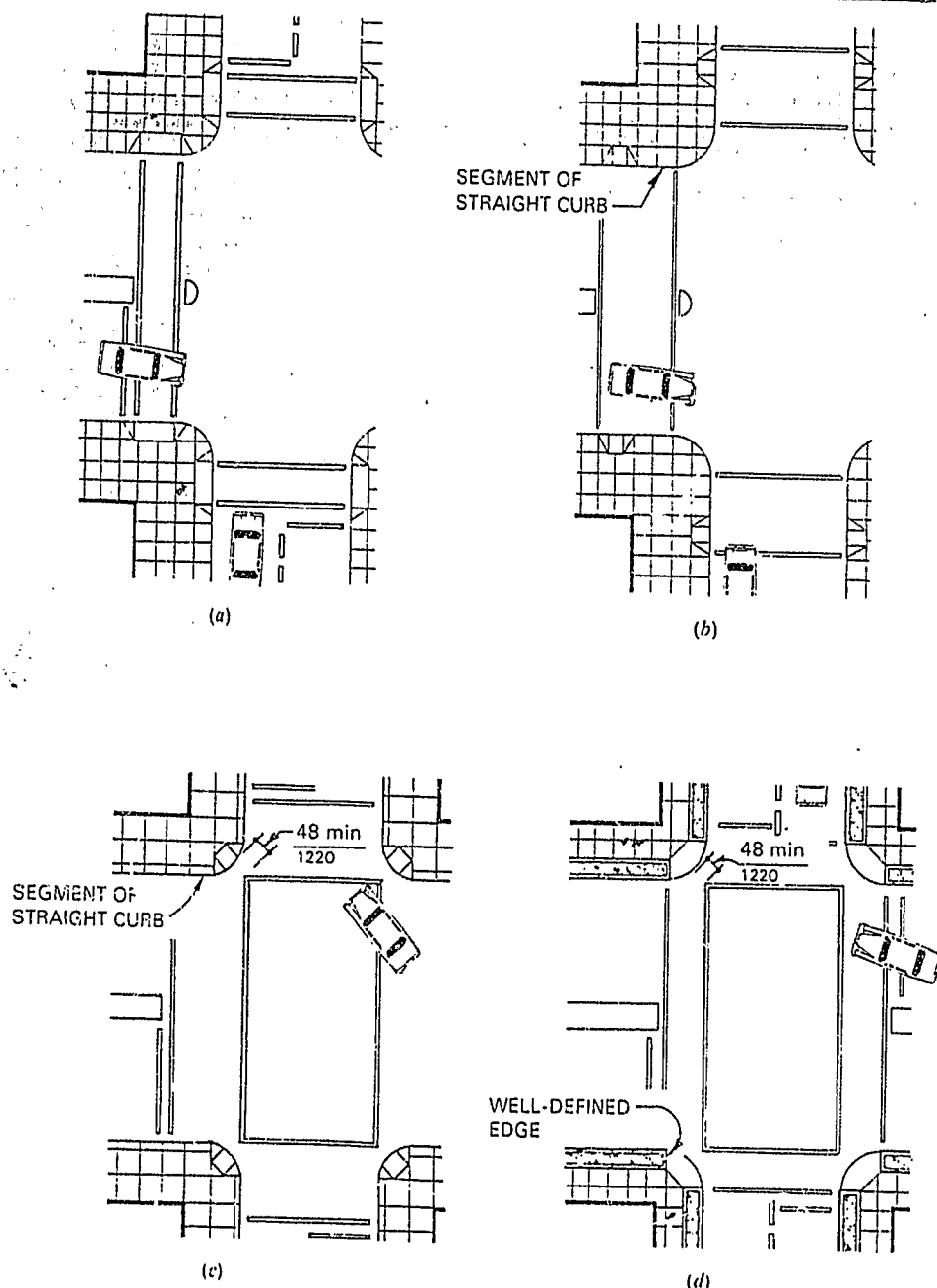


Fig. 15  
Curb Ramps at Marked Crossings



4.8.3 Clear Width. The minimum clear width of a ramp shall be 36 in (915 mm) (see Fig. 17).

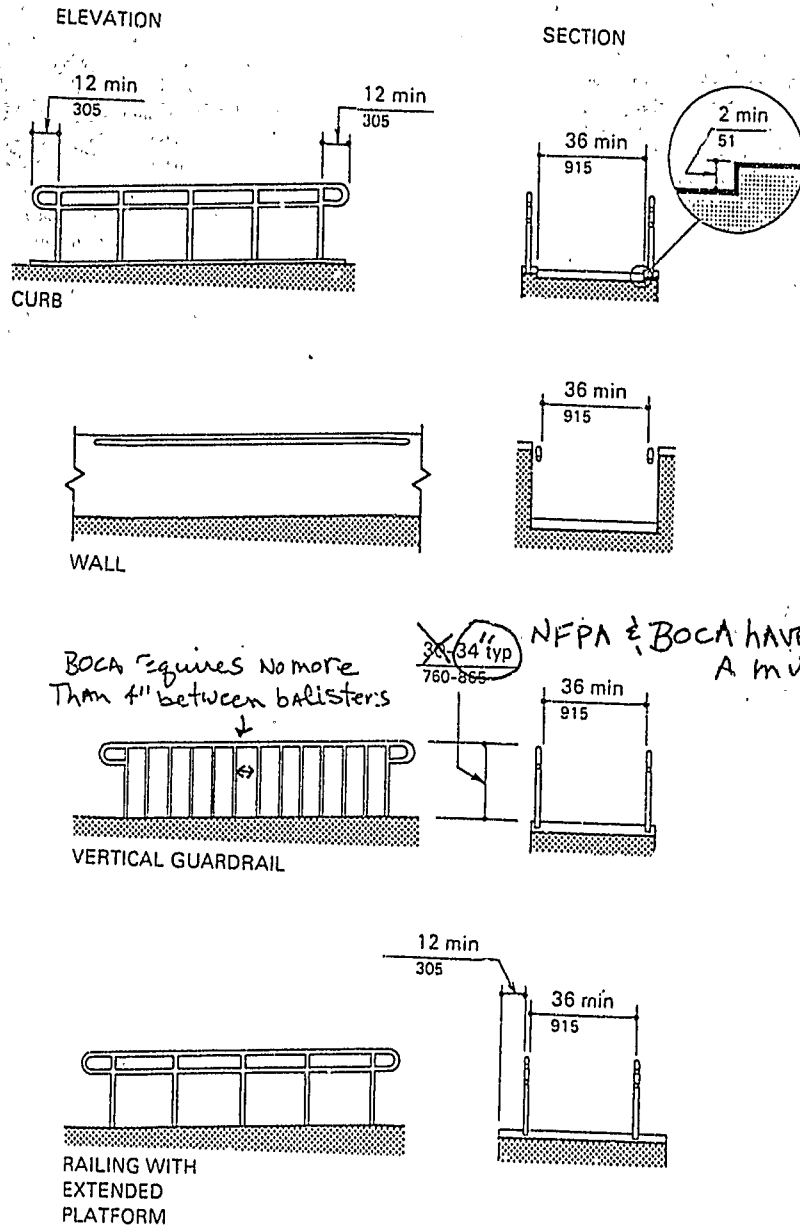


Fig. 17  
Examples of Edge Protection and Handrail Extensions

4.8.4 Landings. Ramps shall have level landings at the bottom and top of each run. Landings shall have the following features:

- (1) The landing shall be at least as wide as the widest ramp run leading to it
- (2) The landing length shall be a minimum of 60 in (1525 mm) clear
- (3) If ramps change direction at landings, the minimum landing size shall be 60 in by 60 in (1525 mm by 1525 mm)
- (4) If a doorway is located at a landing, then the area in front of the doorway shall comply with 4.13.6

4.8.5\* Handrails. If a ramp run has a rise greater than 6 in (150 mm) or a horizontal projection greater than 72 in (1830 mm), then it shall have handrails on both sides. Handrails are not required on curb ramps. Handrails shall have the following features:

- (1) Handrails shall be provided along both sides of ramp segments. The inside handrail on switch-back or dogleg ramps shall always be continuous.
- (2) If handrails are not continuous, they shall extend at least 12 in (305 mm) beyond the top and bottom of the ramp segment and shall be parallel with the floor or ground surface.
- (3) The clear space between the handrail and the wall shall be 1½ in (38 mm). Handrails may be located in a recess if the recess is a maximum of 3 in (75 mm) deep and extends at least 18 in (455 mm) above the top of the rail (see Fig. 39(d)).
- (4) Gripping surfaces shall be continuous, without interruption by newel posts, other construction elements, or obstructions.
- (5) The diameter or width of the gripping surfaces of a handrail shall be 1¼ in to 1½ in (32 mm to 38 mm), or the shape shall provide an equivalent

\*See Appendix for additional information.

gripping surface (see Fig. 39(a), (b), and (c)). Standard pipe sizes designated by the industry as 1¼ in to 1½ in (32 mm to 38 mm) are acceptable industry tolerances as noted under 3.2.

(6) The top of handrail gripping surfaces shall be mounted between 30 in and 34 in (760 mm and 865 mm) above ramp surfaces.

(7) A handrail and any wall or other surface adjacent to it shall be free of any sharp or abrasive elements. Edges shall have a minimum radius of ½ in (3.2 mm).

4.8.6 Cross Slope and Surfaces. The cross slope of ramp surfaces shall be no greater than 1:50. Ramp surfaces shall comply with 4.5.

4.8.7 Edge Protection. Ramps and landings with drop-offs shall have curbs, walls, railings, or projecting surfaces that prevent people from slipping off the ramp. Curbs shall be a minimum of 2 in (51 mm) high (see Fig. 17).

4.8.8 Outdoor Conditions. Outdoor ramps and their approaches shall be designed so that water will not accumulate on walking surfaces.

#### 4.9 Stairs

4.9.1 General. Stairs that are required as a means of egress and stairs between floor levels not connected by an elevator shall comply with 4.9.

4.9.2 Treads and Risers. On any given flight of stairs, all steps shall have uniform riser heights and uniform tread depth. Risers shall be a maximum of 7 in (180 mm) in height, and stair treads shall be no less than 11 in (280 mm) in depth, measured from riser to riser (see Fig. 18(a)). Open risers are not permitted on accessible routes.

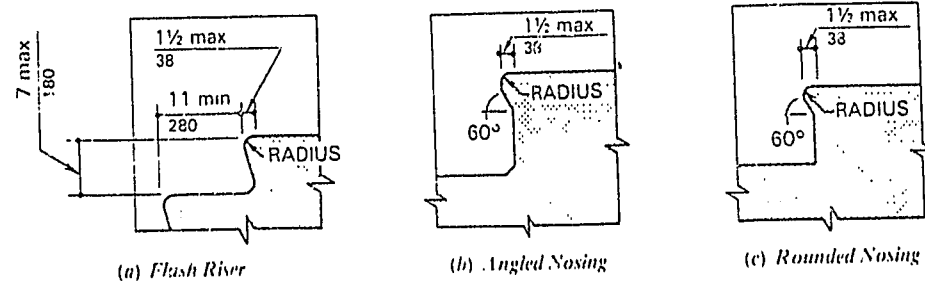
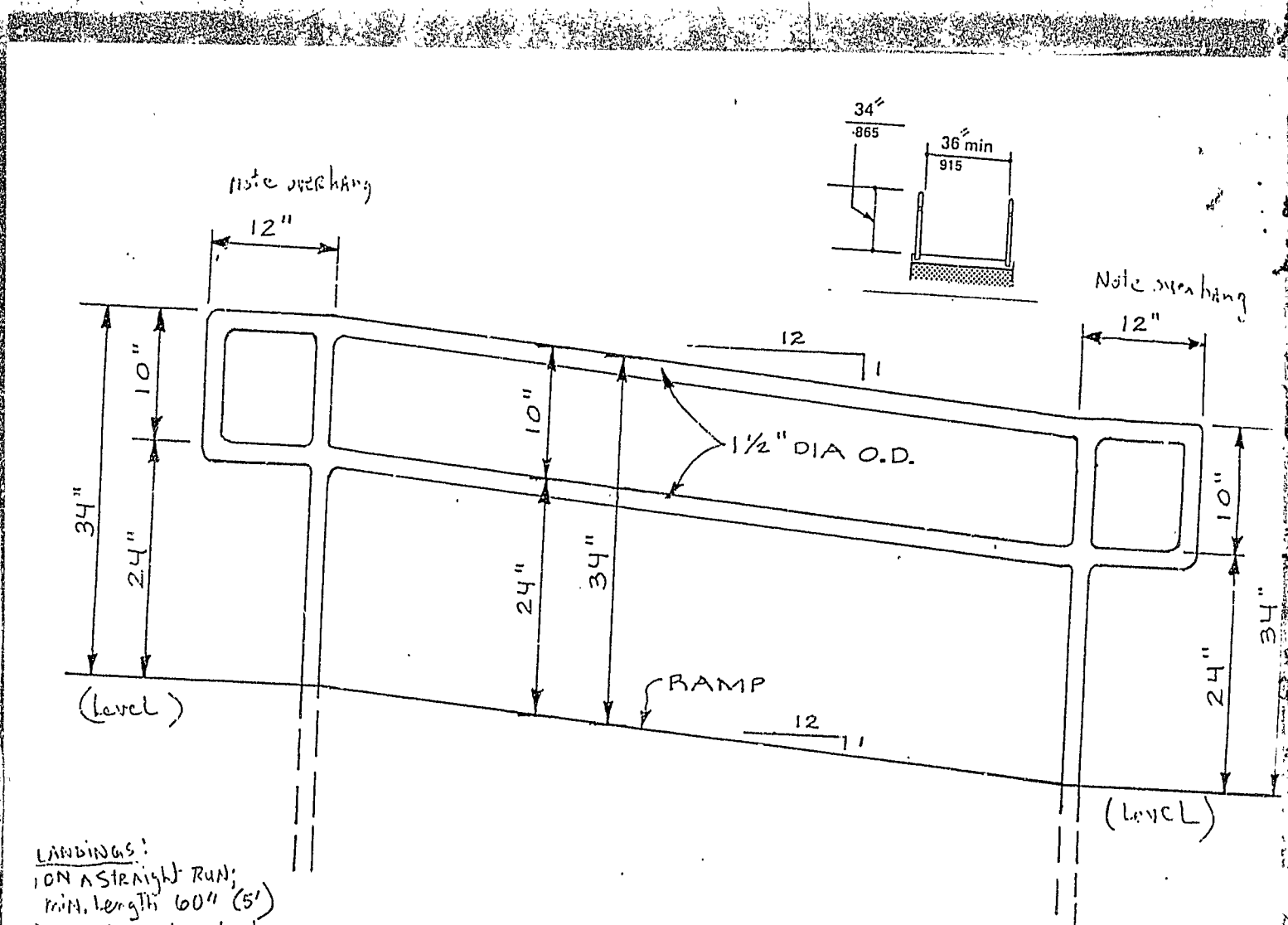


Fig. 18

Usable Tread Width and Examples of Acceptable Nosings



LANDINGS:  
 ON A STRAIGHT RUN;  
 MIN. LENGTH 60" (5')  
 ON A DIRECTIONAL CHANGE;  
 MIN 60" X 60" (5' X 5')

MAXIMUM RUN LENGTH:  
 THE MAX. RISE FOR ANY RAMP  
 RUN SHALL BE 30" (THEN LANDING  
 NEEDED)

TYPICAL RAMP HANDRAIL  
WITH EXTENSIONS

NO SCALE -- BE SURE TO CHECK ACTUAL CODES

SK-4

4.24 Grab Bars, and Tub and Shower Seats

4.24.1\* General. All grab bars and tub and shower seats in accessible toilet or bathing facilities shall comply with 4.24.

\*See Appendix for additional information.

4.24.2 Size and Spacing of Grab Bars. The diameter or width of the gripping surfaces of a grab bar shall be 1 1/2 in to 1 3/4 in (38 mm to 45 mm), or the shape shall provide an equivalent gripping surface. If grab bars are mounted adjacent to a wall, the space between the wall and the grab bar shall be 1 1/2 in (38 mm) (see Fig. 39(e)).

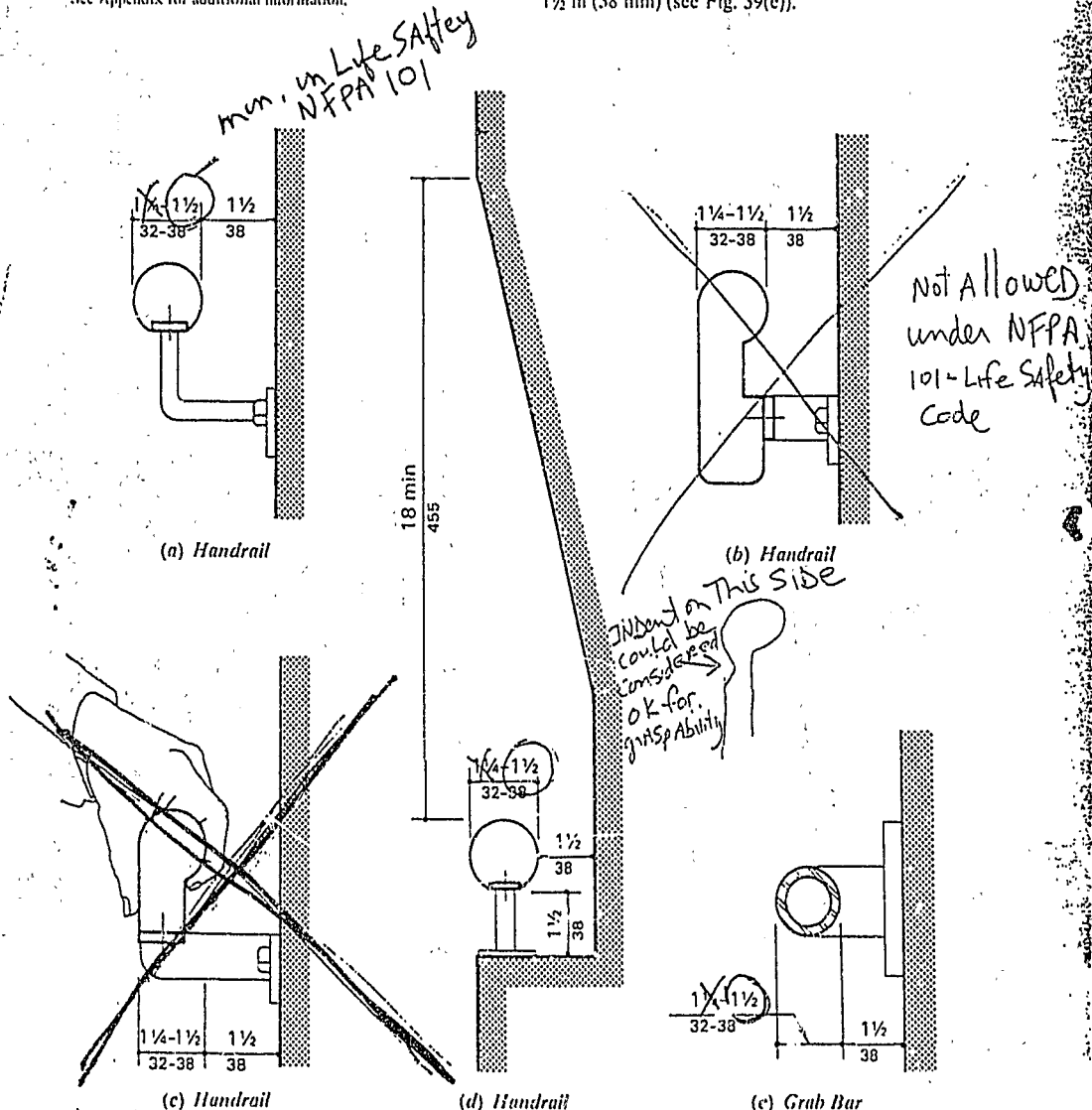


Fig. 39  
Size and Spacing of Handrails and Grab Bars

Not Allowed under  
NFPA 101 - Life  
Safety Code

mm. in Life Safety  
NFPA 101

Not Allowed  
under NFPA  
101 - Life Safety  
Code

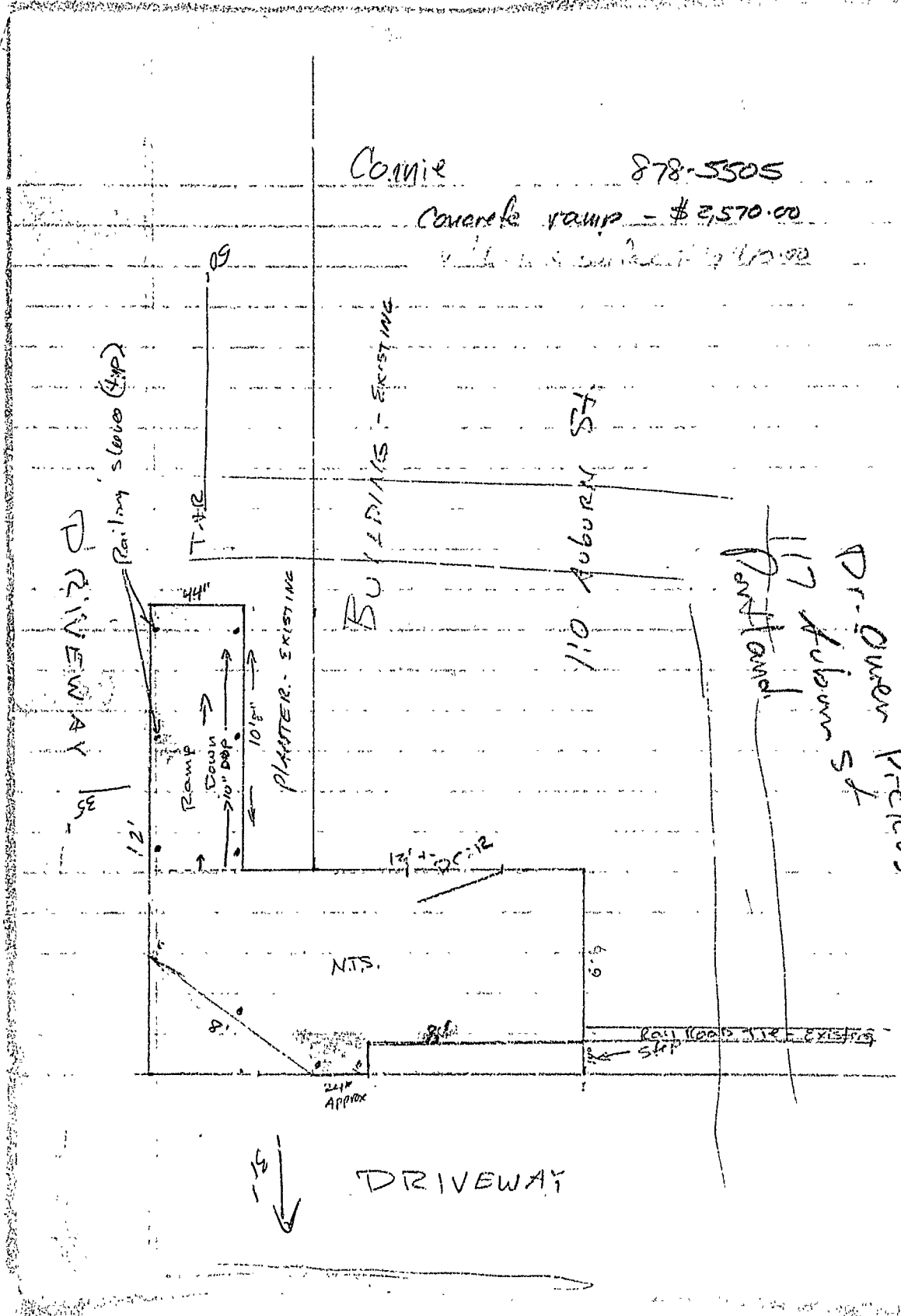
Indent on This Side  
could be  
considered  
OK for  
graspability

Comie

878-5505

Concrete ramp - \$2,570.00

with 1/2" slope to 1/2" deep



DRIVEWAY

Railroad Slopes (4%)

T-41R

PLANTER: EXISTING

BUILDINGS - EXISTING

110 Auburn St

Dr. Owen Prells  
117 Auburn St  
Portland

NTS.

DRIVEWAY

Railroads - Existing

STOP

211' APPROX

15'

6'6"

12'

13'4" DECK

10'8"

Ramp Down 210" Deep