



APPLICATION FOR PERMIT
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES
 ELECTRICAL INSTALLATIONS

Date December 30, 1987
 Receipt and Permit number 22733

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:
 LOCATION OF WORK: 42 Deer Run Portland
 OWNER'S NAME: Kater Solari ADDRESS: 79 Curtis Road

OUTLETS:	Receptacles	50	Switches	4	Plug, old	_____	ft. TOTAL	<u>92</u>	FEE	_____
FIXTURES: (number of)	Incandescent	<u>X</u>	Flourescent	_____	(not strip) TOTAL	<u>25</u>				<u>8.20</u>
	Strip Flourescent	_____	ft.							<u>4.50</u>
SERVICES:	Overhead	_____	Underground	<u>X</u>	Temporary	_____	TOTAL amperes	<u>200</u>		<u>3.00</u>
METERS: (number of)		<u>1</u>								<u>.50</u>
MOTORS: (number of)	Fractional	_____								_____
	1 HP or over	_____								_____
RESIDENTIAL HEATING:	Oil or Gas (number of units)	<u>1</u>								<u>3.00</u>
	Electric (number of rooms)	_____								_____
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler)	_____								_____
	Oil or Gas (by separate units)	_____								_____
	Electric Under 20 kws	_____	Over 20 kws	_____						_____
APPLIANCES: (number of)	Ranges	<u>1</u>	Water Heaters	<u>1</u>						_____
	Cook Tops	_____	Disposals	<u>1</u>						_____
	Wall Ovens	_____	Dishwashers	<u>1</u>						_____
	Dryers	<u>1</u>	Compressors	_____						_____
	Fans	_____	Others (denote)	_____						_____
	TOTAL	<u>5</u>								<u>7.50</u>
MISCELLANEOUS: (number of)	Branch Panels	_____								_____
	Transformers	_____								_____
	Air Conditioners Central Unit	_____	Separate Units (windows)	_____						_____
	Signs 20 sq. ft. and under	_____	Over 20 sq. ft.	_____						_____
	Swimming Pools Above Ground	_____	In Ground	_____						_____
	Fire, Burglar Alarms Residential	_____	Commercial	_____						_____
	Heavy Duty Outlets, 220 Volt (such as welders) 90 amps and under	_____	over 30 amps	_____						_____
	Circus, Fairs, etc.	_____								_____
	Alterations to wires	_____								_____
	Repairs after fire	_____								_____
	Emergency Lights, battery	_____								_____
	Emergency Generators	_____								_____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: _____
 TOTAL AMOUNT DUE: 26.70

INSPECTION: Will be ready on _____, 19____; or Will Call X
 CONTRACTOR'S NAME: Art Hackett
 ADDRESS: RE 1 BOX 490 A Raymond, Maine 04071
 TEL: 655-7129
 LICENSE NO.: 7362
 LIMITED LICENSE NO.: _____
 SIGNATURE OF CONTRACTOR: Art Hackett

INSPECTOR'S COPY -- WHITE
 OFFICE COPY -- CANARY
 CONTRACTOR'S COPY -- GREEN

PERMIT # 31210 CITY OF Portland BUILDING PERMIT APPLICATION

MAP # _____ LOT # _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Peter Solari

Address: 79 Curtis Street, 04103 - 797-3232

LOCATION OF CONSTRUCTION Lot #42 Deer Run Phase #2

CONTRACTOR: Baxter & Odum SUBCONTRACTORS:

ADDRESS: Builders, Box 263 Raymond 04071 - 655-3080

Est. Construction Cost: XXXXXXX Type of Use: single family

Past Use: 90,000

Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories _____ Lot Size _____

Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____

Conversion - Explain construct single family dwelling w/

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE attached garage

Residential Buildings Only: _____

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:

1. Type of Soil: _____

2. Set Backs - Front 40' Rear 25' Side(s) 45'

3. Footings Size: 16" x 12"

4. Foundation Size: 26 x 70 x 10"

5. Other _____

Floor:

1. Sills Size: 2x6 Sills must be anchored.

2. Girder Size: 14" STEEL BEAM

3. Lally Column Spacing: 18" Size: 4"

4. Joists Size: 2x10 Spacing 16" O.C.

5. Bridging Type: STEEL PLATE Size: 2x10

6. Floor Sheathing Type: 3/4" T+G Size: 8x8

7. Other Material: _____

Exterior Walls:

1. Studding Size 2x6 Spacing 16 O.C.

2. No. windows 20

3. No. Doors 5

4. Hender Sizes 2x10 Span(s) MAX 6'

5. Bracing: Yes _____ No ✓

6. Corner Posts Size 3 2x6

7. Insulation Type: FIBERGLASS Size 16" x 6"

8. Sheathing Type: 1/2" Plywood Size 1/2"

9. Siding Type: CHINA BOARD Weather Exposure 4"

10. Masonry Materials: BLK CHIMNEY, BRICK ROOF UP

11. Metal Materials: STEEL BEAM

Interior Walls:

1. Studding Size 2x4 Spacing 16 O.C.

2. Hender Sizes 2x8 + 2x10 Spacing(s) 11"

3. Wall Covering Type: Sheet Rock

4. Fire Wall if required _____

5. Other Materials _____

For Official Use Only

Date: 10,000 Subdivision: Yes No

Inside Fire Limits _____ Name _____

Bldg Code _____ Lot _____

Time Limit _____ Block _____

Estimated Cost: 90,000 Permit Expiration _____

Value/Structure _____ Ownership _____ Public _____ Private _____

Fee: \$470.00

Celling:

1. Ceiling Joists Size: 2x6

2. Ceiling Strapping Size 1x3 Spacing 12 O.C.

3. Type Ceiling: Sheet Rock

4. Insulation Type: FIBERGLASS Size 12"

5. Ceiling Height: 7'6"

Roof:

1. Truss or Rafter Size 2x8 Span 22'

2. Sheathing Type: PLYWOOD Size 1/2"

3. Roof Covering Type: ASPH. SHINGLE

4. Other _____

Chimneys:

Type: 1 Block & Brick Number of Fire Places _____

Heating:

Type of Heat: oil

Electrical:

Service Entrance Size: 100 AMP Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required _____

2. No. of Tubs or Showers 2

3. No. of Flushes 3

4. No. of Lavatories 3

5. No. of Other Fixtures TRIC 705

Swimming Pools:

1. Type: NO

2. Pool Size: _____ x _____ Square Footage _____

3. Must conform to National Electrical Code and State Law.

Zoning:

District _____ Street Frontage Req. _____ Provided _____

Required Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date _____

Planning Board Approval: Yes _____ No _____ Date _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shore and Floodplain Mgmt. _____ Special Exception _____

Other (Explain) _____

Date Approved _____

Permit Received By Kandi Cote

Signature of Applicant [Signature] Date _____

Signature of CEO _____ Date _____

Inspection Dates _____



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION

Lot 42 Allison Avenue

May 6, 1968

Issued to

Peter Bolari

This is to certify that the building, premises, or part thereof at the above location, built—altered—changed as to use under Building Permit No. 82-1388, has had final inspection and is approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Limiting Condition: entire

single family dwelling with attached garage

This certificate supersedes certificate issued

Approved:

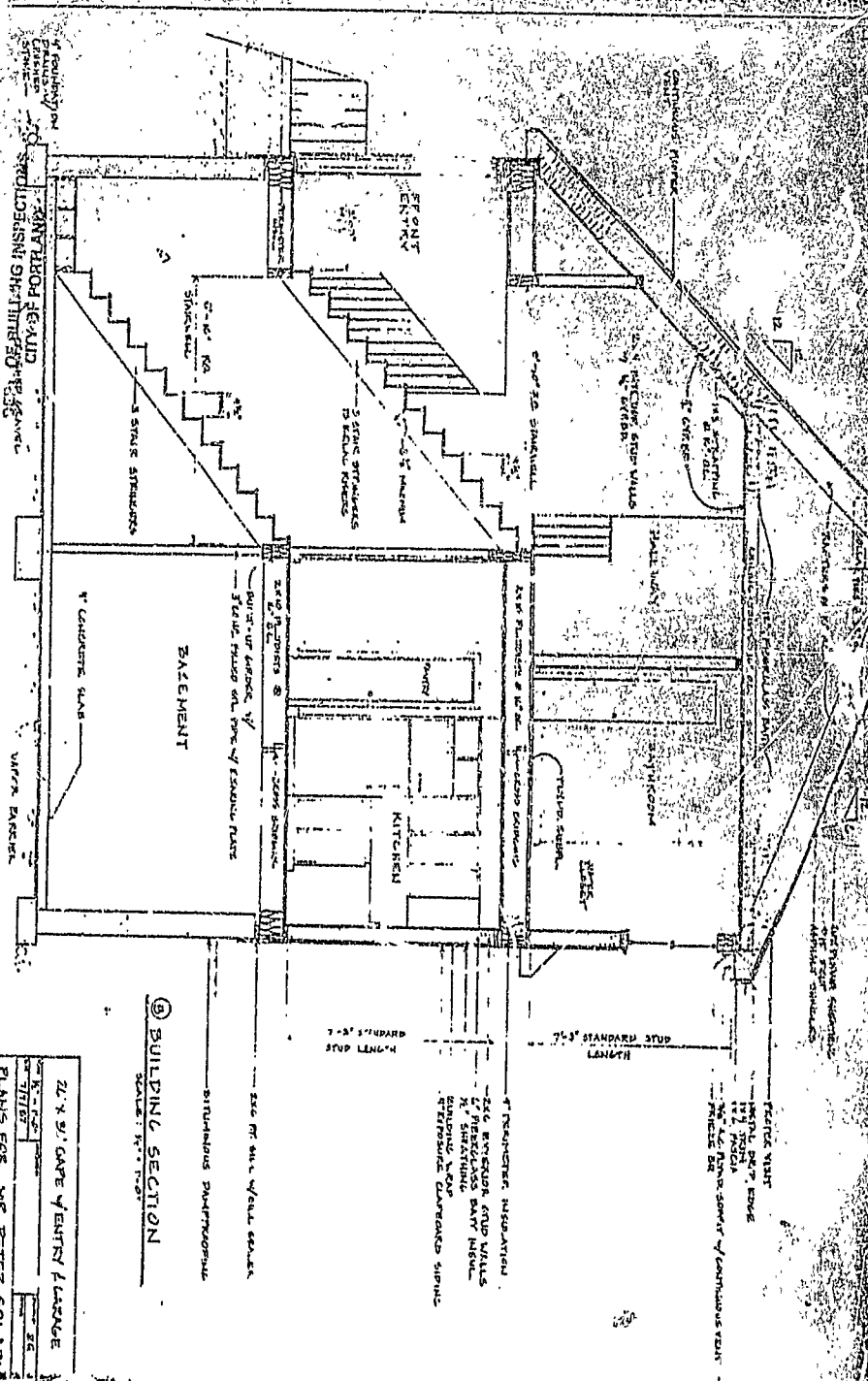
[Signature]
K. King

[Signature]
Department of Buildings

Note: This certificate attests lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner for \$1.00 per one-dollar

RECEIVED

OCT 1 9 1987



⑨ BUILDING SECTION

SCALE: 1/4" = 1'-0"

22' x 31' GARDEN HOUSE	
NO.	DATE
1	10/1/87
PLANS FOR MR. PETER SOLARI	
CONTRACTOR: ROBERT BAKER 5 OF 5	

NOTE:

AMERICAN BUSHING WINDOWS

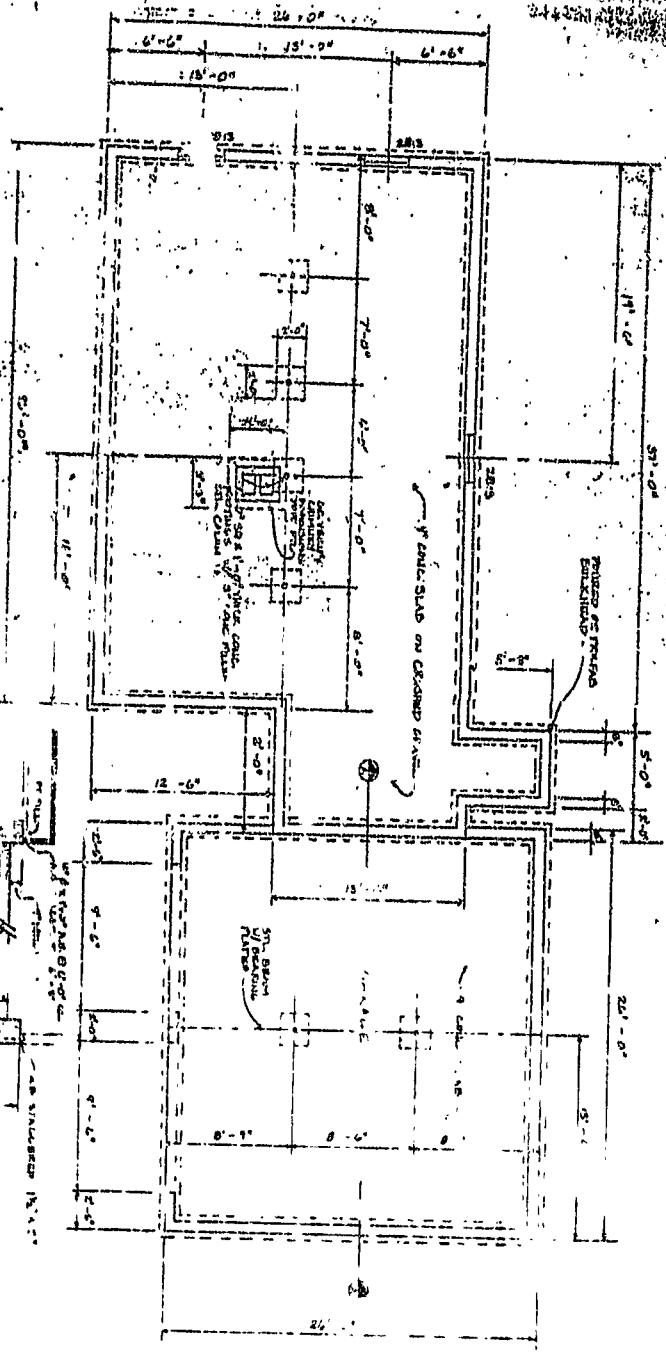
1/2"

1 1/2"

DEPT.

S-4C

FOUNDATION PLAN



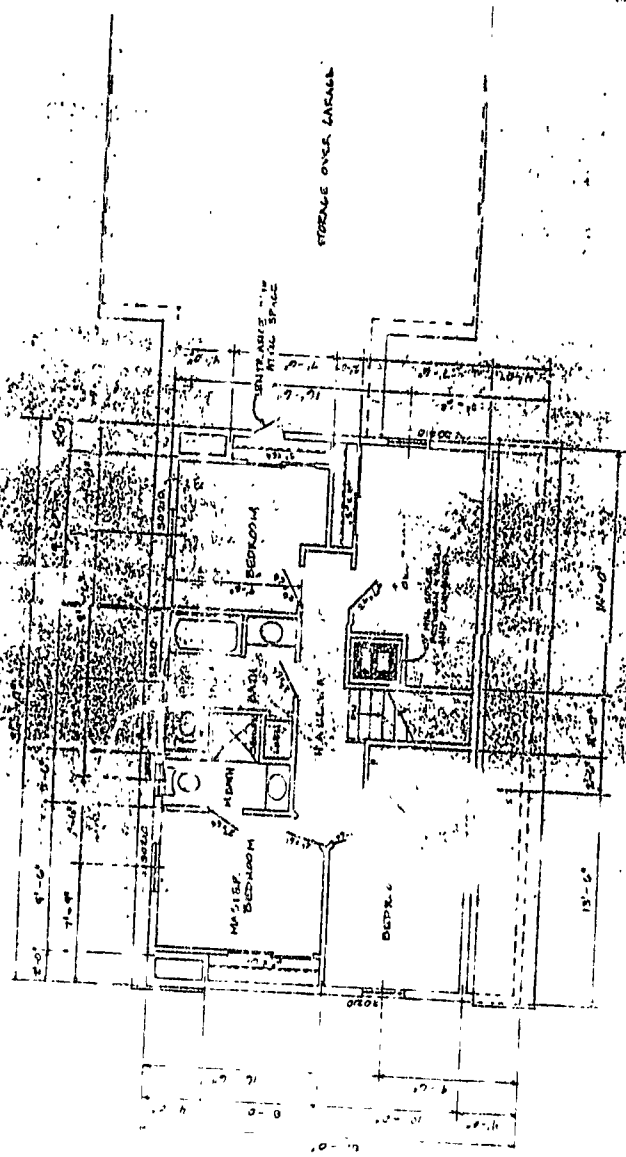
WALL SECTION DETAIL
SCALE 1/2" = 1'-0"

20' x 30' CAPE w/ BUTTY LARKS

DATE	BY	CHECKED
1957		
PLANS FOR THE PERCY SOLARIES		
CONTRACTOR: PERCY BARRIS		
7-28-57		

PLANES FOR MP PETER SALARI CONTRACTOR ROBERT BUNZ

DATE: 1-9-1987
SCALE: 1/8" = 1'-0"
PROJECT: 1000 W PATRY PLAZA
PLANS FOR: MP PETER SALARI
CONTRACTOR: ROBERT BUNZ



ROBERT BUNZ ARCHITECTS
1000 W PATRY PLAZA
ST. LOUIS, MO 63102

GC1 1 9 1987



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

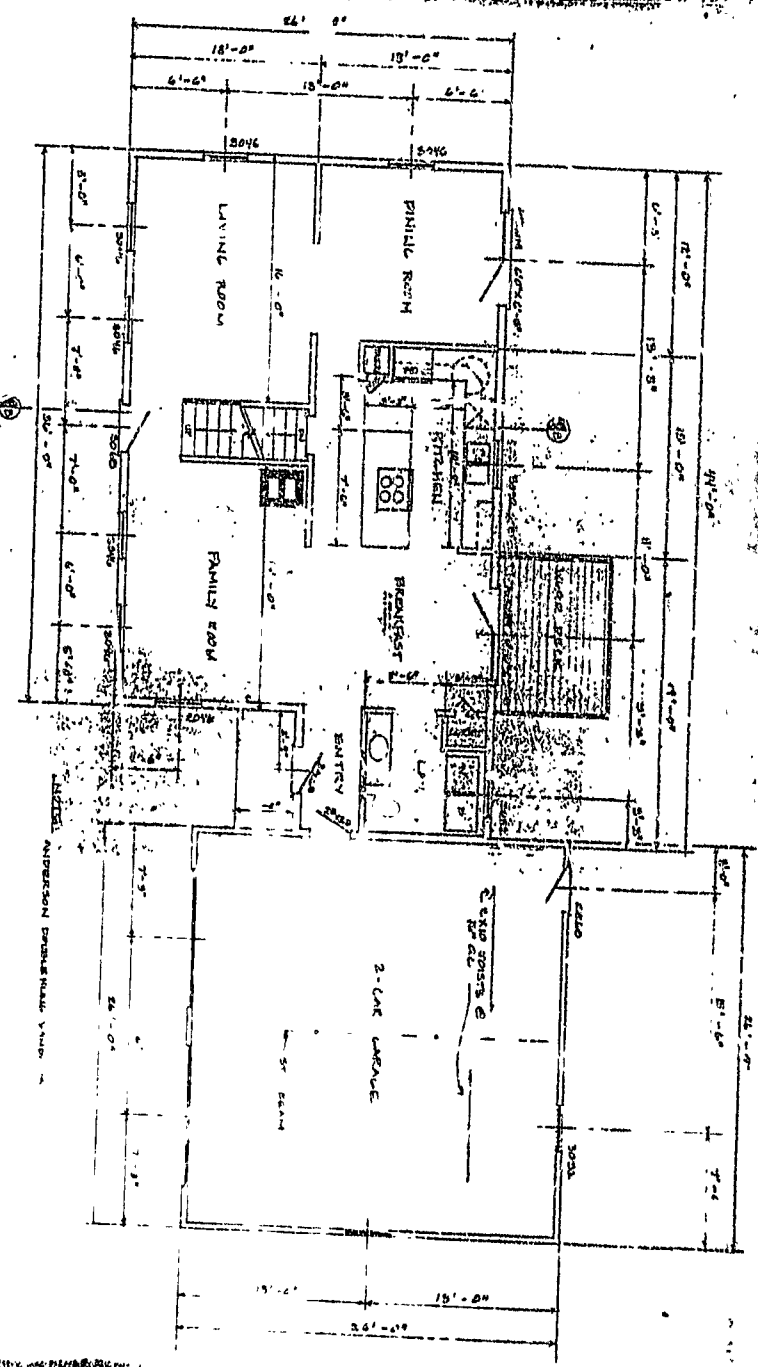
PLANES FOR MP PETER SALARI CONTRACTOR ROBERT BUNZ

RECEIVED

1961 6 1 110

BUILDING INSPECTIONS
AND REPAIRS, LTD.
1011 10th St. N.W.
ALBANY, N.Y. 12207

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

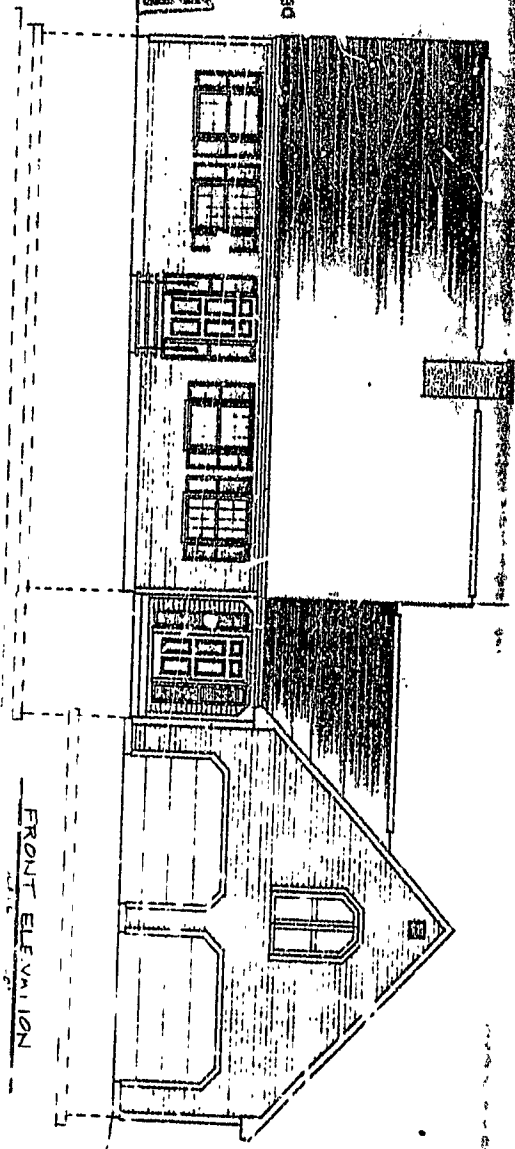


24' x 30' GARAGE w/ ENTRY & CASCAD	NO.	1011
PLAN FOR MR. PETER SOLAR	DATE	5-27-61
CONTRACTOR: THOMAS BARTON	NO.	1011
	DATE	5-27-61

RECEIVED

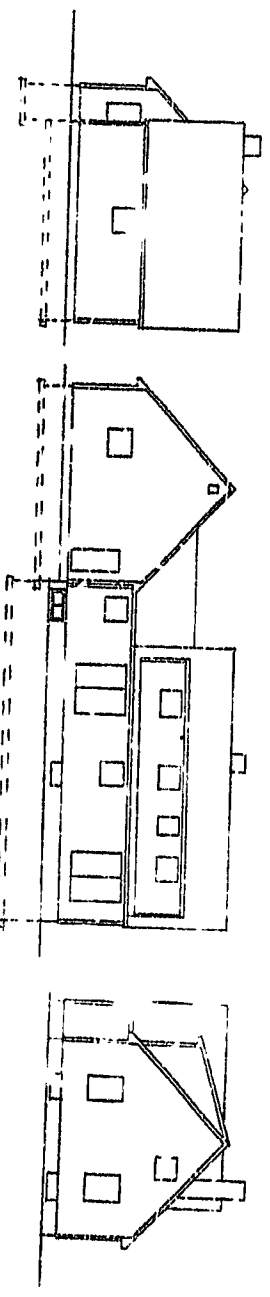
OCT 19 1987

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND



FRONT ELEVATION

ELEVATIONS
SCALE 3/8" = 1'-0"



8 1/2" x 11" CAPE W/ ENTRY PLANT
DATE: 10/15/87
DRAWN BY: J. J. JONES
CHECKED BY: MRS. PETER SOULS
SCALE: 3/8" = 1'-0"
BY: R. J. RAYMOND
DATE: 10/15/87

7/26



2025

DEPT. OF BUILDING INSPECTIONS
 CITY OF CHICAGO

RECEIVED
 JUL 26 1925

Address: Lot #41 A.erring Run Subdivision Phase II
at end of Alison Avenue

Date: Oct 26, 1987

Assessors No.:

CHECK LIST AGAINST ZONING ORDINANCE

Baxter & Osann
Contractor

- Lot -
- Zone location - R-2 Residential
- Interior or corner lot - Interior
- Use - Single Family (with attached garage)
- Sewage Disposal - City
- Rear Yards - 25'
- Side Yards - 15' and 20' is required
- Front Yards - 30' 20' required
- Projections - NA
- Height - 1 1/2 story (full down)
- Lot Area - 172,308.5 sq. ft. (3.93 Acres)
- Building Area - 1820 sq. ft.
- Area per Family - 10,500 sq. ft.
- Width of Lot - 105'
- Lot Frontage - 50'
- Off-street Parking - O.K.
- Loading Bays - NA

- Site Plan -
- Shoreland Zoning -
- Local Plans -



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date July 31, 1989 19
 Receipt and Permit number 00550

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine.

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: Lot 42 Deering Run
 OWNER'S NAME: Kenneth Loveitt ADDRESS: 151 North Gorham Rd. Gorham, Me.

	FEES
OUTLETS:	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL <u>120</u>	11.00
FIXTURES: (number of)	
Incaudescent <u>XX</u> Fluorescent _____ (not strip) TOTAL <u>15</u>	3.50
Strip Fluorescent _____ ft.	
SERVICES:	
Overhead _____ Underground <u>XX</u> Temporary _____ TOTAL amperes <u>200</u>	3.00
METERS: (number of) <u>1</u>	.50
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ <u>1</u> _____ Water Heaters _____	
Cook Tops _____ Disposals _____ <u>1</u> _____	
Wall Ovens _____ Dishwashers _____ <u>1</u> _____	
Dryers _____ <u>1</u> _____ Compactors _____	
Fans _____ <u>1</u> _____ Others (denote) _____	
TOTAL <u>5</u>	7.50
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	INSTALLATION FEE DUE:
FOR REMOVAL OF A "STOP ORDER" (304-16.b) ..	DOUBLE FEE DUE:
	25.50
	TOTAL AMOUNT DUE:

INSPECTION:

Will be ready on August 3, 1989; or Will Call _____

CONTRACTOR'S NAME: L & L Elec

ADDRESS: 151 North Gorham Rd. Gorham

TEL.: _____

MASTER LICENSE NO.: 02459 SIGNATURE OF CONTRACTOR: _____

LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

BUILDING PERMIT REPORT

DATE: 27/Oct/87

ADDRESS: 201 47 Dear Sun Plaza #2

REASON FOR PERMIT: To construct a single family dwelling with attached garage

BUILDING OWNER: Peter J. Lantieri

CONTRACTOR: Boyle & O'Brien

PERMIT APPLICANT: Peter J. Lantieri

APPROVED: 5, 6, 7 DENIED

CONDITION APPROVAL DENIAL:

- 1.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.
- 2.) Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 3.) Each apartment shall be equipped with an approved single station smoke detector powered by the house current. The detector shall be located in an area which will provide protection for the sleeping areas.
- 4.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling, or by placing over the boiler, two(2) residential sprinkler heads supplied from the domestic water.
- X 5.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The door must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear opening of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610 mm). The maximum net clear opening width dimension shall be 20 inches (508 mm).



CITY OF PORTLAND, MAINE

389 CONGRESS STREET

PORTLAND, MAINE 04101

07, 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

October 27, 1987

Baxter & Odum
Box 263
Raymond, ME 04071

Re: Lot 42 Deer Run Phase I

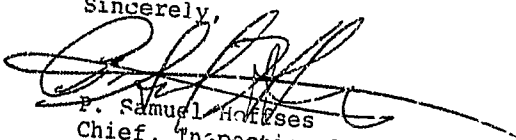
Dear Sir:

Your application to construct a single family dwelling with attached garage has been reviewed and a building permit is herewith issued subject to the following requirements:

1. All lot lines and the lot shall be clearly marked before calling for a foundation inspection.
2. Please read and implement items 5, 6 and 7 of the attached building permit report.
3. Your plan shows a 9" foundation, 10" foundation is required.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief, Inspection Services

Attachment

/ksc