

LOT # 52-53 LANTON STREET

OXFORD
STOCKEN & FISBY
1711 - 1712 - 1713 - 1714 - 1715 - 1716 - 1717 - 1718 - 1719 - 1720



APPLICATION FOR PERMIT
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES
 ELECTRICAL INSTALLATIONS

Date May 5, 1977
 Receipt and Permit number 19929

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine.
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications.

LOCATION OF WORK: 52-53 Newton St.
 OWNER'S NAME San DiBiase ADDRESS Bridgton Rd. Westbrook

OUTLETS: (number of) 31-60
 Lights _____ FEES
 Receptacles _____
 Switches _____
 Plugmold _____ (number of feet) 5.00
 TOTAL _____

FIXTURES (number of)
 Incandescent _____
 Fluorescent _____ (Do not include strip fluorescent)
 TOTAL _____
 Strip Fluorescent, in feet _____

SERVICES _____ 3.00
 Permanent, total amperes 200
 Temporary _____ .50

METERS (number of) _____

MOTORS (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING _____ 5.00
 Oil or Gas (number of units) _____
 Electric (number of rooms) 5

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric (total number of kws) _____

APPLIANCES (number of)
 Ranges _____ X Water Heaters _____ X
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers _____
 Dryers _____ Compactors _____
 Fans _____ Others (denote) _____ 3.00
 TOTAL _____

MISCELLANEOUS (number of)
 Branch Panels _____
 Transformers _____
 Air Conditioners _____
 Signs _____
 Fire/Burglar Alarms _____
 Circus, Fairs, etc _____
 Alterations to wires _____
 Repairs after fire _____
 Heavy Duty, 220v outlets _____
 Emergency Lights, battery _____
 Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT _____
 FOR REMOVAL OF A "STOP ORDER" (304-16 b) _____
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) _____
 INSTALLATION FEE DUE _____
 DOUBLE FEE DUE _____
 TOTAL AMOUNT DUE. 16.50

INSPECTION
 Will be ready on _____, 19____, or Will Call X

CONTRACTOR'S NAME: Young Electric
 ADDRESS: 1400 Washington Ave.
 TEL.: 797-0592

MASTER LICENSE NO.: 275
 LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR

 INSPECTOR'S COPY

CERTIFICATE OF APPROVAL

FOR INTERNAL PLUMBING FOR THE TOWN/CITY OF _____

OWNER C. Sam Luke, Esq.

Permit of App. Number
№ 2285 16

ADDRESS Lot # 53 N. Wilson St MAINE
Location where plumbing was done and inspected

Date C.O.A. Issued

7 21 77
Month Day Year

Plumbing Inspected by Walter M. W. Skelton

Date Inspected

Month Day Year

7-21-77

Date Permit Issued

THE INTERNAL PLUMBING INSTALLED PURSUANT TO THE ABOVE CERTIFICATE OF APPROVAL NUMBER HAS BEEN TESTED IN MY PRESENCE, FOUND TO BE FREE FROM LEAKS, AND WAS INSTALLED IN COMPLIANCE WITH THE MUNICIPAL AND STATE PLUMBING REGULATIONS.

Signature of LPI _____

State Office
Lima City
Date Received

ORIGINAL—To be sent to Department of Human Services
Division of Health Engineering 221 State Street Augusta, Maine 04333

INTERNAL PLUMBING PERMIT FOR THE TOWN/CITY OF Portland

Town/City Code 05716 LPI Number 1123 License Number 1111 Date Issued 7 21 77 PERMIT NUMBER **№ 2285 16**
Master Plumber Month Day Year

Address of where Plumbing is done 553 120th St Portland ME
R/L/L Number Street, Road Name/Subdivision City, St. No. Apt./Lot

Name of Owner DORIS E. ... 5 5 Bridalton Rd, Westbrook
Last Name P.I. M.I. Address

Type of Construction: 1. New 2. Remodeling 3. Addition 4. Remodeling & Addition 5. Replacement of Hot Water Heater 6. Replacement of Mobile Home 7. Minor Change 8. Other (Specify) 8

Plumbing to Serve: 1. Single (Res) 2. Multi-Fam (Res) 3. Mobile Home 4. Mobile Home without Heat 5. Commercial 6. School 7. Other (Specify) 1

SCHEDULE OF "FEE'S" <small>(See Sect. 1.12 of the Part I Code)</small>		Fixture	Fee	Fixture	Fee	Fixture	Fee
1-10 Fixtures	\$2.00 each	1		1		1	
11-20 Fixtures	\$1.50 each	1		1		1	
21-30 Fixtures or up	\$1.00 each	1		1		1	
Work-ups	\$2.00 each	1		1		1	
Note: Replaces Master (Hot or Cold) in completed fixture!		1		1		1	
		1		1		1	
		1		1		1	
		1		1		1	

STATE OF MAINE
DATE RECEIVED _____ RECEIPT NUMBER _____ MONEY RECEIVED _____
ADMINISTRATIVE CODE

This "Internal Plumbing Permit" is invalid if work is not commenced within sixty months from date of issuance.
Upon completion of work a "Certificate of Approval" must be obtained.

Original—To be sent to: Department of Human Services, Division of Health Engineering 221 State Street, Augusta, Maine 04333

PERMIT TO INSTALL PLUMBING

Address **Lot 52 & 53 Newton St** PERMIT NUMBER **1108**

Installation For **one family**

Owner of Bldg **C. San DiBiase**

Owner's Address **Bridgton Rd, Westbrook**

Plumber **Walter M. Walker**

Date **4-1-77**

NEW	REPL		NO	FE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		TRAINS FLOOR SURFACE		
		HCT WAT'R TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
1		HOUSE SEWERS	1	2.00
		ROOF LEA'ERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
		base		3.00
			TOTAL	5.00

Date Issued

Portland Plumbing Inspector

By **ERNOLD R GOODWIN**

App. First Insp.

Date

By

App. Final Insp.

Date

By

Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

APR 6 1977
 ERNOLD R. GOODWIN
 Insp.

Building and Inspection Services Dept.; Plumbing Inspection

PERMIT TO INSTALL PLUMBING

PERMIT NUMBER **1165**

Date Issued **5-12-77**
 Portland Plumbing Inspector
 By **ERNOLD R GOODWIN**

Address *** 53 Newton St.**
 Installation For **one family**
 Owner of Bldg **Sam DiBiase**
 Owner's Address **Bridgton Rd. W. Brook**
 Plumber **L. M. Walker-Nigam Rd. Jordan** **5-12-77**

App. First Ins.
 Date **5/13/77**
 By **m**
 App. Final Ins.
 Date **JUL 22 1977**
 By **ERNOLD R GOODWIN**
CHIEF PLUMBING INSPECTOR
 Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

NEW	REPL	NO	NO	NO
*		SINKS	1	2.00
*		LAVATORIES	1	2.00
*		TOILETS	1	2.00
*		BATH TUBS	1	2.00
*		SHOWERS	1	2.00
		FRANS FLOOR SURFACE		
*		HOT WATER TANK	1	2.00
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS		
*		AUTOMATIC WASHERS	1	2.00
		DISP. WASHERS		
		OTHER		
		base fee		3.00
		TOTAL		15.00

Building and Inspection Services Dept.: Plumbing Inspection



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 51-53 Newton Street

Issued to **Collins Bros. Inc.**

Date of Issue **May 30, 1984**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. **84-382**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

CITY OF PORTLAND, MAINE
ZONING BOARD OF APPEALS



HELEN S. MARTIN
Chairman

MERRILL S. SELTZER
Secretary

JACQUELINE COHEN
TIMOTHY E. FLAHERTY
THOMAS J. MURPHY
PAULETTE P. PARKER
MICHAEL E. WESTORT

RE: 51-53 Newton Street

April 13, 1984

Mr. Normand Collin
Collin Bros., Inc.
52 Mountain Road
RR #4
Biddeford, ME 04005

Dear Mr. Collin:

As you know, the Board of Appeals voted unanimously on April 12th to grant your space and bulk variances for the lot at 51-53 Newton Street.

The subject lot is 60 feet in width instead of the 65 feet required in the R-3 Residence Zone; and the lot is only 6,000 sq. feet in area instead of the 6,500 sq. feet required for the minimum sized lot by Section 14-88(8) of the Zoning Ordinance.

A building permit can now be issued for the 20 ft. by 30 ft. single family dwelling which you plan to build on the subject parcel.

Sincerely,

Warren J. Turner
Zoning Specialist

WJT/kat

cc: Joseph E. Gray, Jr., Director, Planning/Urban Development
Alexander Jaegerman, Chief Planner
P. Samuel Hoffses, Chief of Inspection Services
Fred Lucci, Assessor

4/18/84 - Excavation completed -



COLLIN BROTHERS, INC.
General Contractors

Normand Collin
3-1-1982

87 MOUNTAIN ROAD

Normand 499-2368

Realtor 282-3968

BIDDEFORD, MAINE 04003

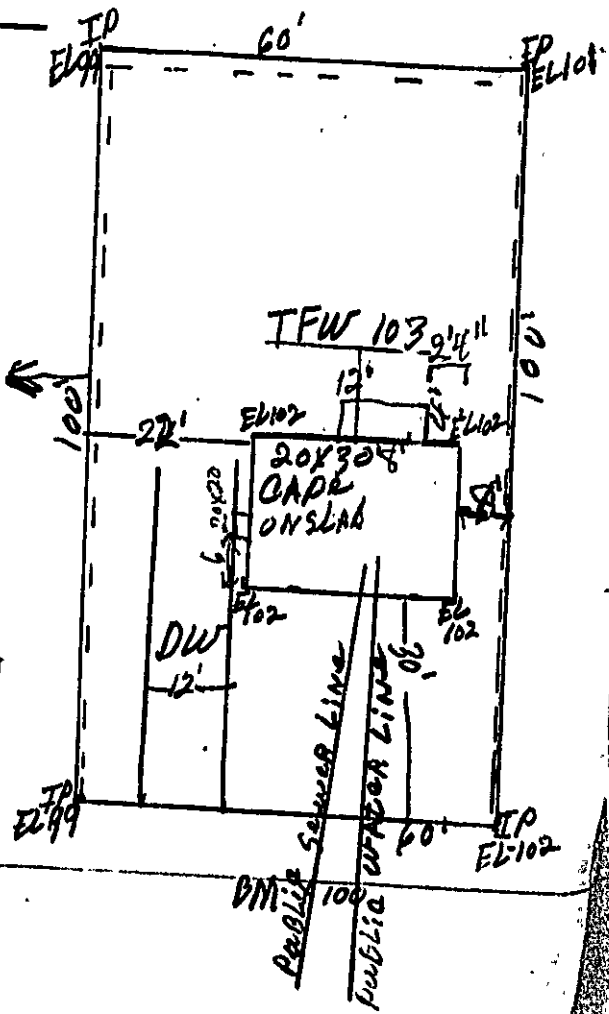
SCALE: 1"=20' LOT. # NEWTON ST PORTLAND
35-3P

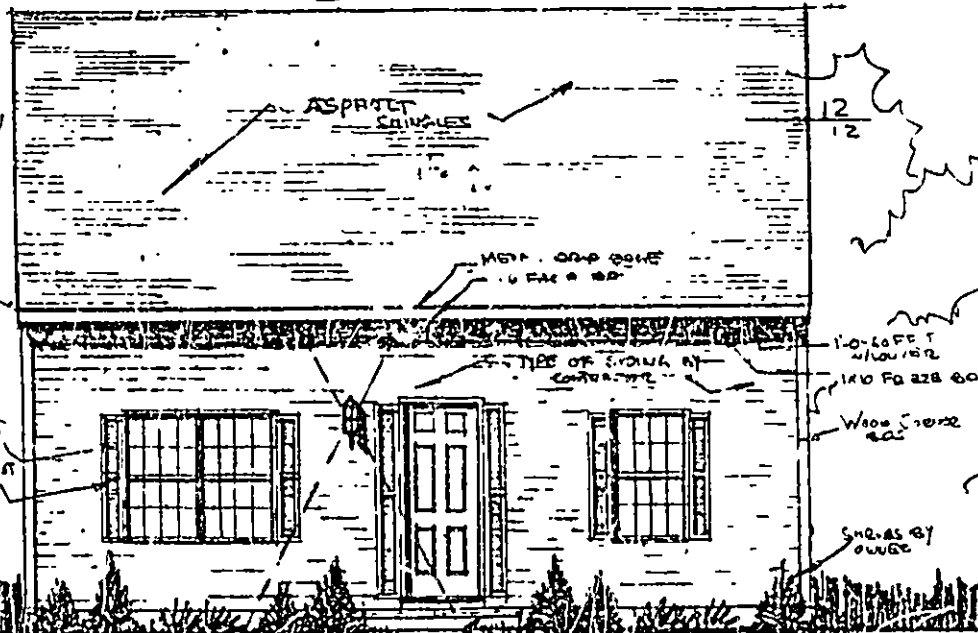
- FW = TOP FOUNDATION WALL
- EL = ELEVATION FINAL GRADE
- = FINISH LOAN AREA
- BM = BENCH MARK
- IP = IRON PIPE

LOT 2

RECEIVED
APR 13 1984
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

NEWTON ST





NOTE

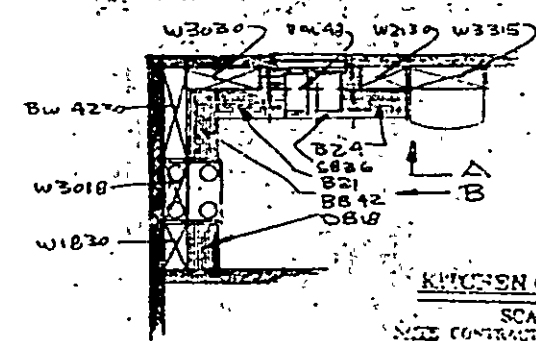
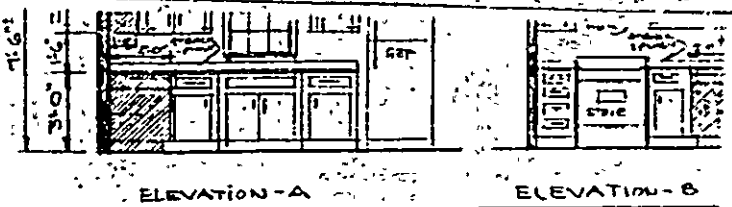
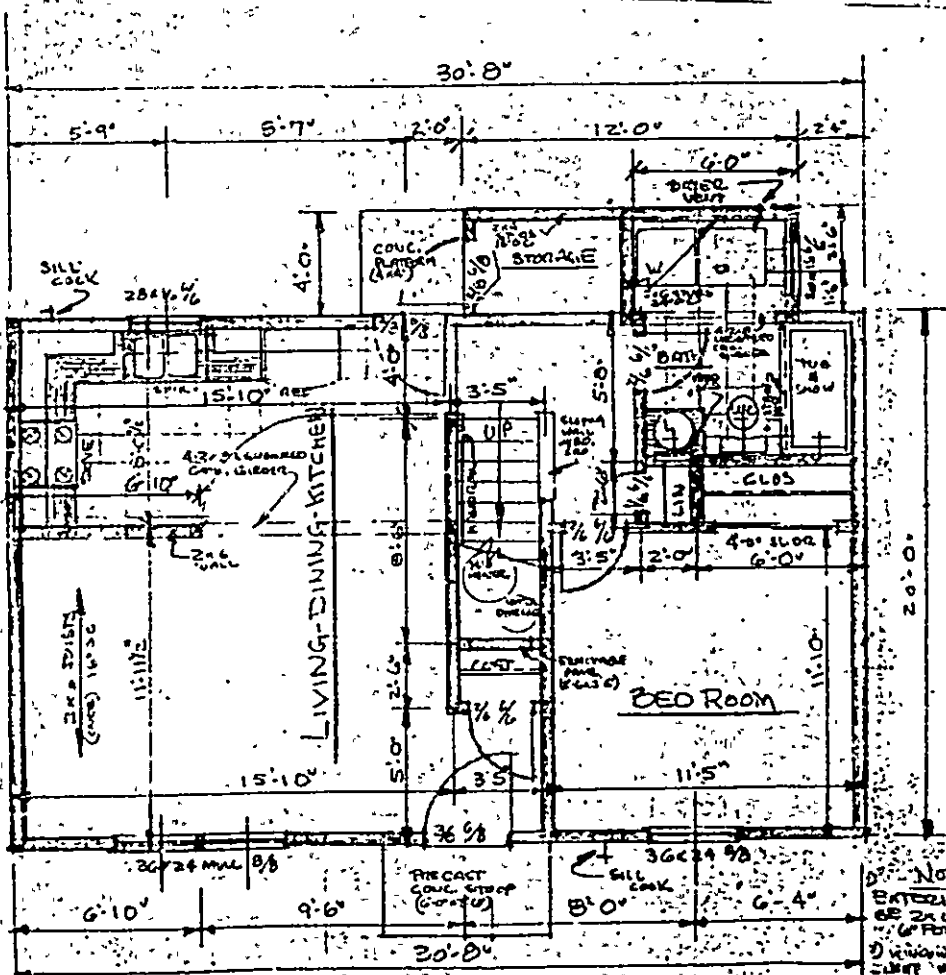
- 1) WINDOW CASINGS USE 1 1/2\"/>

RECEIVED
 APR 13 1984
 Dept. of Planning
 1151

FRONT ELEVATION

1/4" = 1'-0"

DATE OF SUBMISSION	DATE OF REVISION	NO.
7/8/83		1
THE DESIGN COMPANY INC P.O. Box 168 Rock Maine 04072 2-46604		1151 1151
DRAWN BY LWW	2043-84	



KITCHEN CABINETS

SCALE: 1/4"
 NOTE: CONTRACTOR TO MEASURE
 SUBMITTER'S WALLS PERFORM OPENING
 FOR CABINETS TO VERIFY FITS
 SHOWN ABOVE.

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 CITY OF PORTLAND

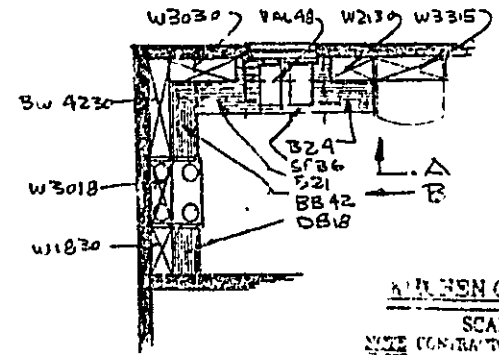
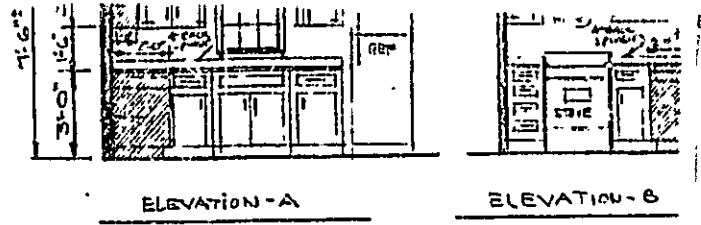
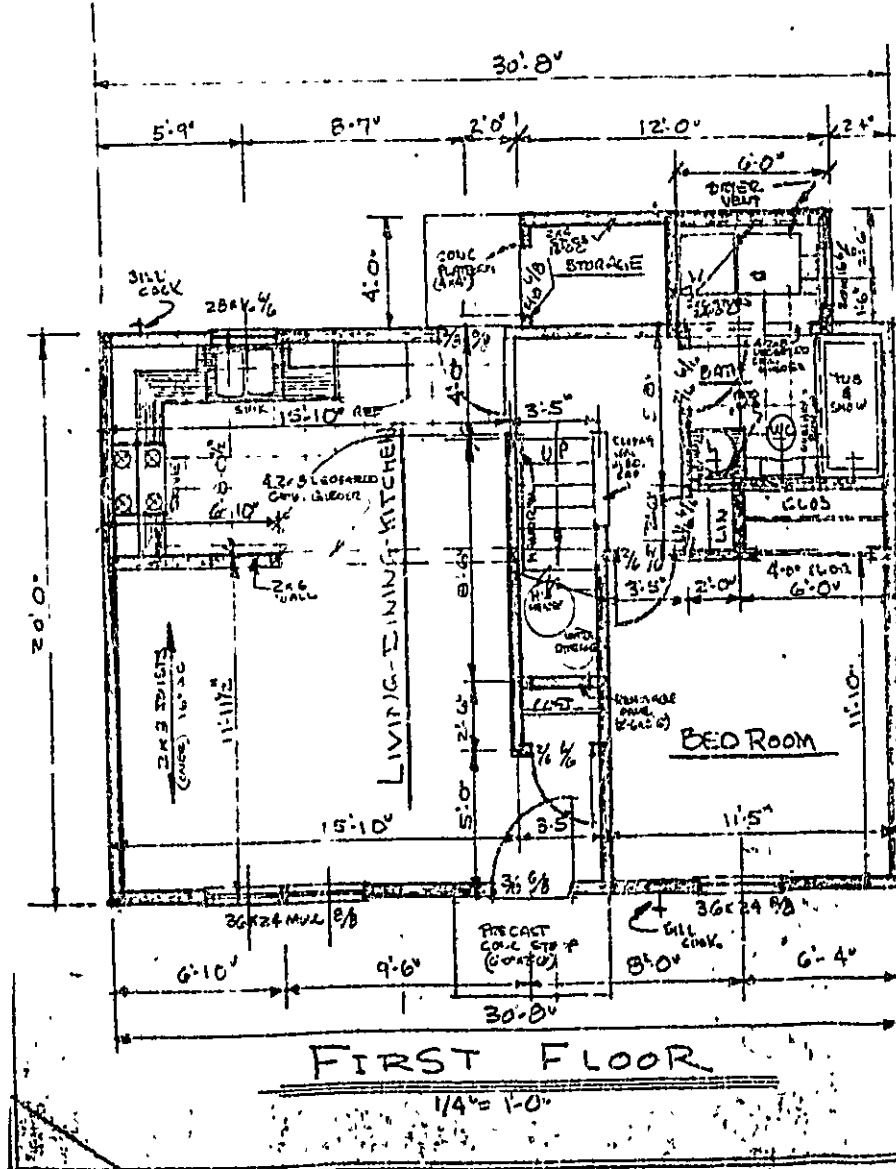
GENERAL REALTY

DATE: 7/87
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 TITLE: [Signature]
 SCALE: 20' x 30'-0" CASE

THE DESIGN COMPANY
 INC.
 P.O. BOX 100
 SEASIDE, MICHIGAN
 49484

NOTE
 EXTERIOR WALLS TO
 BE 2x6 STUDS WITH
 1/2" GYP. BOARD
 2 WINDOW GRILLS ARE
 NOT INCLUDED

FIRST FLOOR



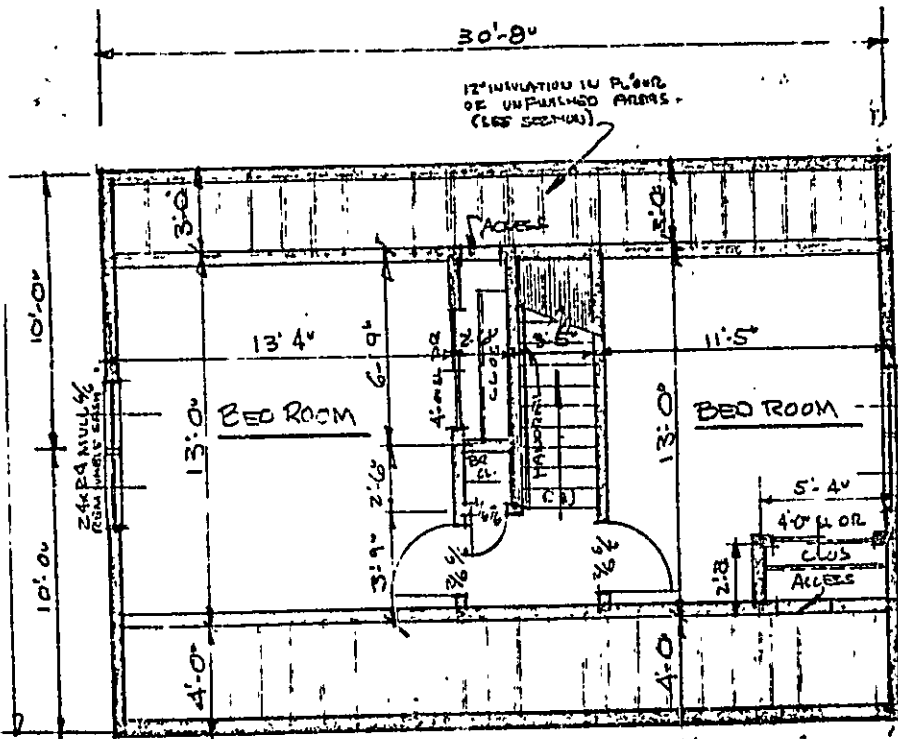
AIR HSN CLEARETS

SCALE: 1/4"

NOTE: CONTRACTOR TO VERIFY
STRENGTH & WALLS BEYOND OPENING
ING CONDITIONS TO VERIFY ALL
SHOWN ABOVE

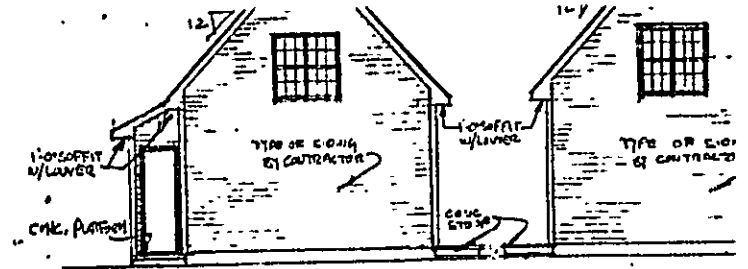
NOTE
EXTERIOR WALLS TO
BE 2x6 STUDS WITH
GYP. WALL PAPER
WINDOW GRILLS ARE
NOT INCLUDED

RECEIVED	
APR 13 1984	
DEPT. OF BLDG. INSP. CITY OF PORTLAND	
GENERAL REPAIR	
DATE 7/8/81	DESIGN COMPANY INC. PO BOX 184 SEASIDE, OR 97138
DRAWN BY MLW	SCALE 20' x 30' = 3/4" CAD:



SECOND FLOOR

14'-0" x 1'-0"

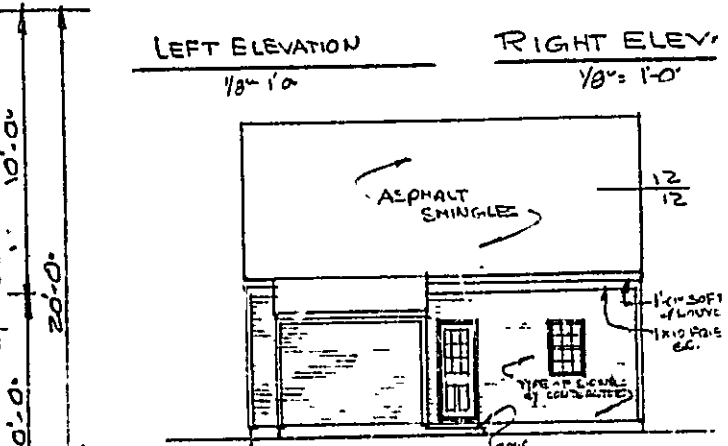


LEFT ELEVATION

18'-10"

RIGHT ELEVATION

18'-10"



REAR ELEVATION

18'-10"

NOTE

REAR OF WALLS & ROOF TO BE COVERED WITH 2\"/>

ASPHALT SHINGLE WITH GUTTER FACE VENTILATION

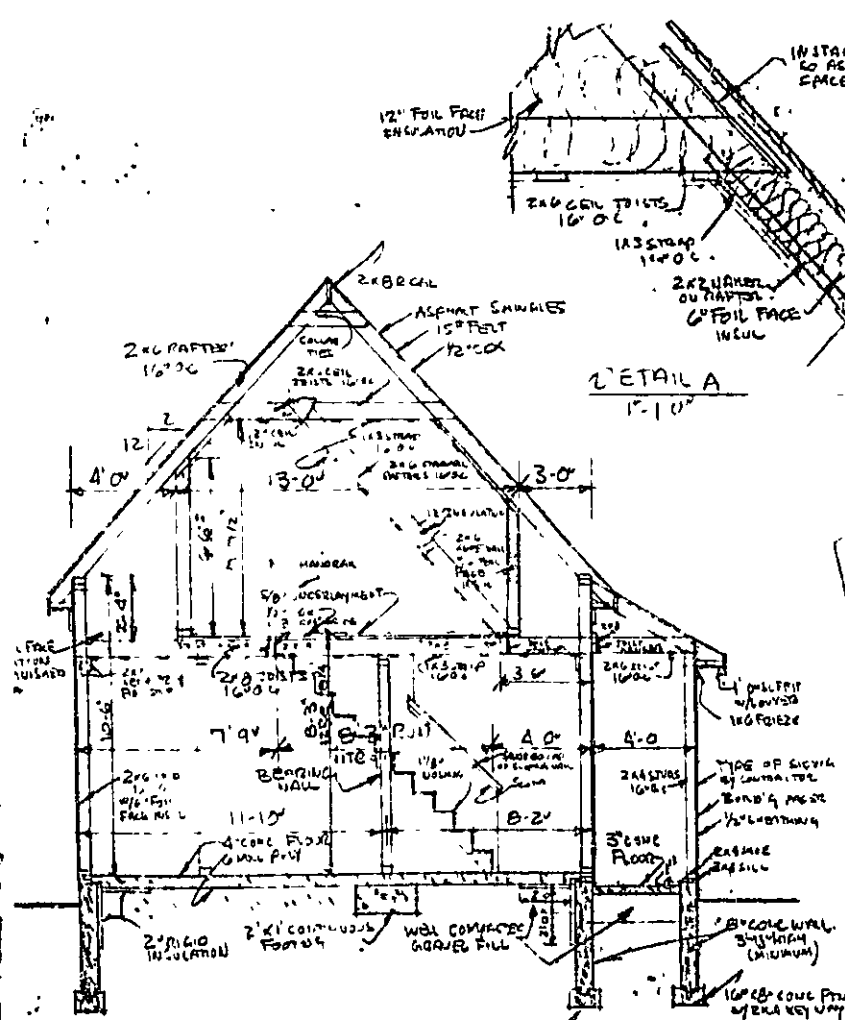
ALL DIMENSIONS ARE LOT INCLUDED

RECEIVED

APR 13 1984

DEPT OF BLDG INSP
CITY OF PORTLAND

GEORGIN REALTY		7-
DATE 7/8/84	THE DESIGN COMPANY INC. P O Box 188 Saco, Maine 04172 284-6504	
DRAWN BY W.L.W.		
PROJECT 20'x30'-8" CAPE		



INSTALL INSULATION STOP
SO AS TO PRODUCE AIR
SPACE FOR VENTILATION

12" FOIL FACE
INSULATION

2x8 JOISTS
16" O.C.

1x3 STRAP
16" O.C.

2x2 HAMMER
ON RAFTERS
6" FOIL FACE
16" O.C.

METAL DRAIN
EDGE

2x2 OUTLOOKER

1x6 FASCIA BO

1x10 SOFFIT
W/RAFTER
1x10 FRIEZE BO

1/2" SHEATHING

2x6 EXT. WALL

3'-6"

PIERCE
CORE S

SUPPORT
RUGLES 12"

12" FOIL FACE
INSULATION IN
UNFINISHED AREA

2x8 JOISTS
16" O.C.

1" BRANDED
TRAP

2x6 STUDS
16" O.C. FRONT &
REAR WALL &
2x4'S OR 2x6'S ON SUB
WALLS

1/2" MIN
INSULATION

4" CONCRETE FLOOR
W/ 1/2" POLY

2x6 FIBRE STOP

2x6 SHOE

2x6 SILL

1/2" x 12" SILL SCAPER

1/2" x 12" ANCHOR BOLTS

8" CONCRETE WALL

2x6 FIBRE STOP

2x6 SHOE

2x6 SILL

1/2" x 12" SILL SCAPER

1/2" x 12" ANCHOR BOLTS

8" CONCRETE WALL

2" RIGID
INSULATION

2'-0"

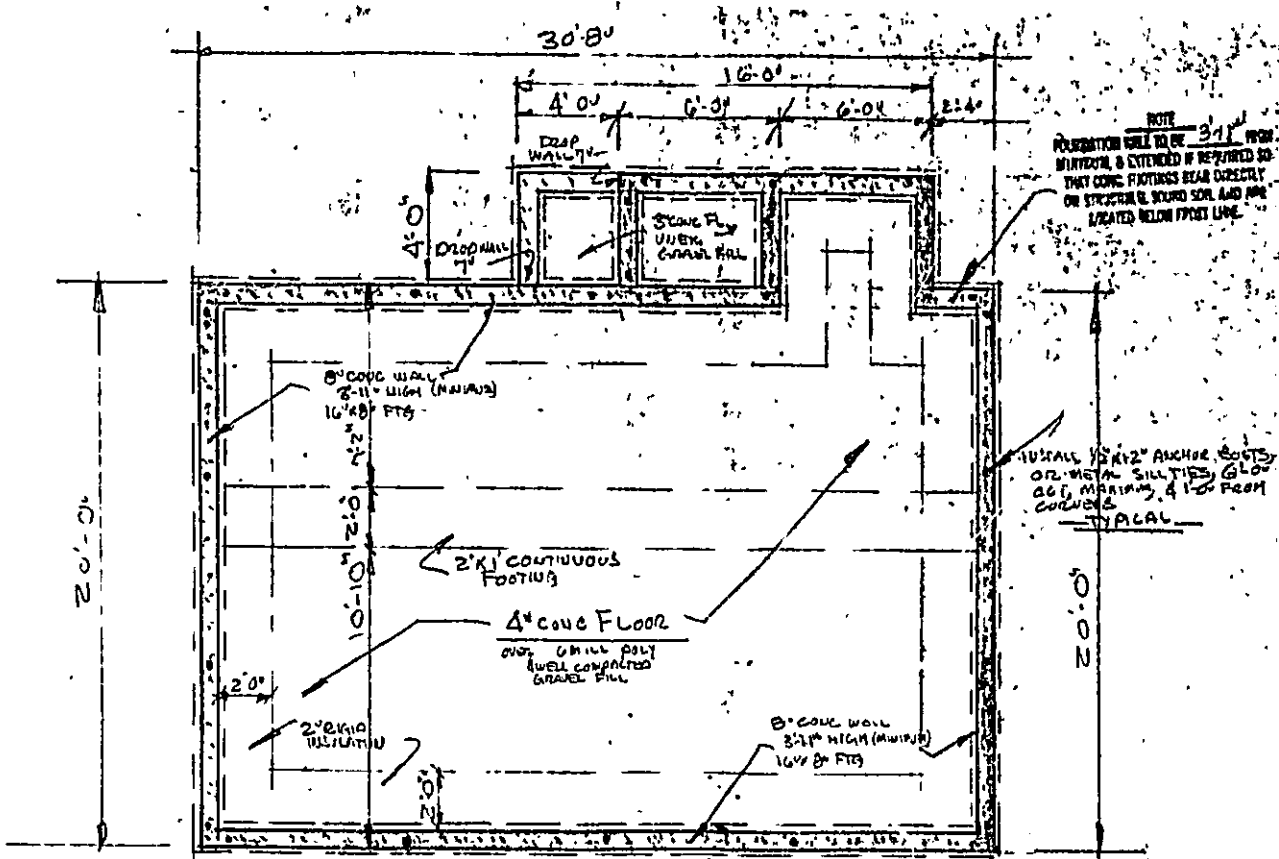
WELL COMPACTED
GRAVEL FILL

NOTE
FOUNDATION SHALL TO BE 3" HIGH
MINIMUM, & EXTENDED IF REQUIRED SO
THAT CONCRETE FOOTINGS BEAR DIRECTLY
ON STRUCTURAL STEEL BEAM AND ARE
LOCATED BELOW FLOOR LINE.

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APR 13 1984
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CITY OF PORTLAND

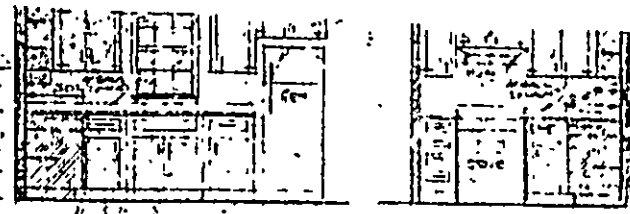
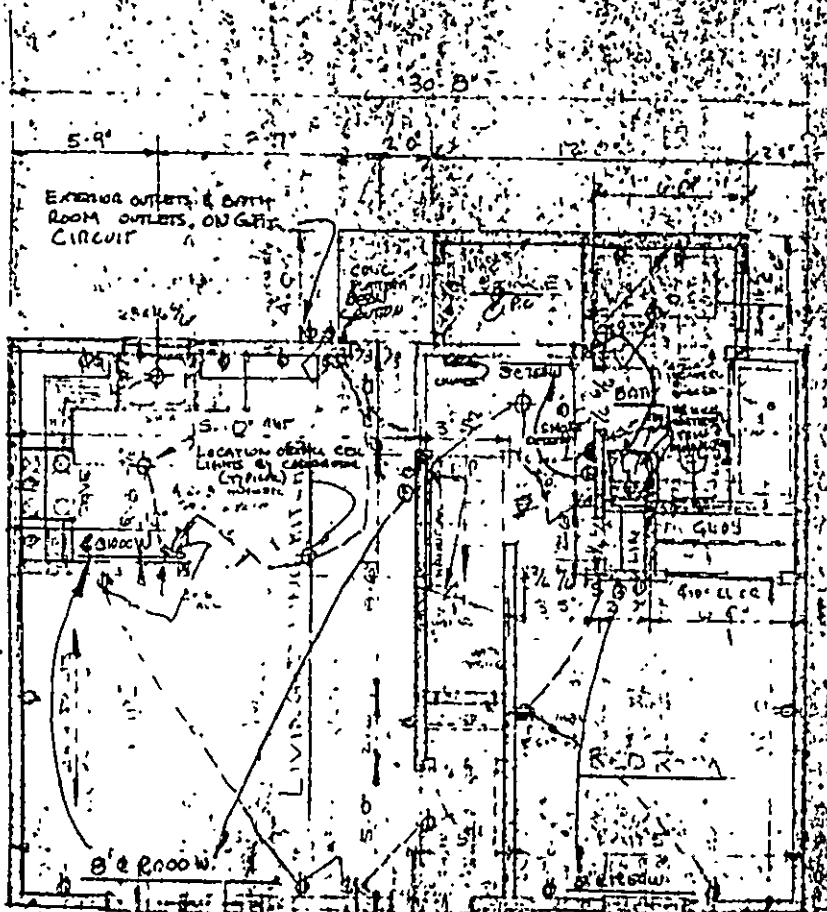
REVISIONS	PROJECT
DATE	7/8/81
BY	WJL
APPROVED	
DATE BY	WJL
DATE	7/8/81
BY	WJL
PROJECT	2030 8' CAPE
CLIENT	THE DESIGN COMPANY INC P.O. Box 188 Salem, Maine 04077 254-5504

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 DEPT OF BLDG
 CITY OF PORT

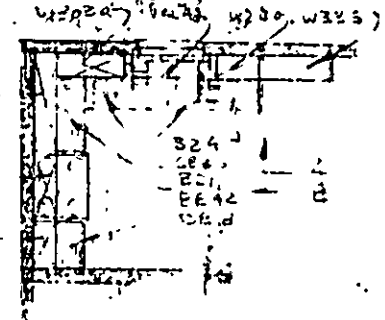


FOUNDATION PLAN

DESIGNED FOR	GENORON REALTY	LEADER	PORT
DATE	7/17		
BY	WGW		
CHECKED BY	WGW		
SCALE	20'x30'-8"		
THE DESIGN COMPANY INC.			
P.O. Box 188			
Saco, Maine 04072			
234 6694			



ELEVATION A ELEVATION B



NOTE:
 ELECTRIC PANEL CO. HEAT
 SIZE ARE BASED ON HEAT
 LOSS STUDY BY C.D.P.
 ON 7/23/81
 (LONARD LA FEVRE)

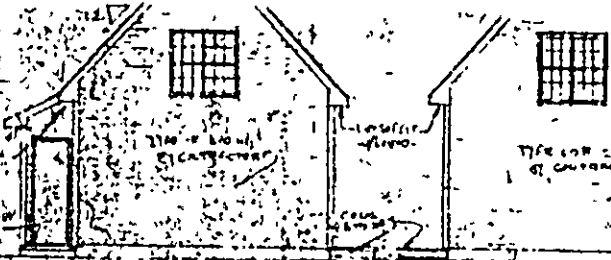
SUGGESTED
 FIRST FLOOR

RECEIVED
 APR 13 1994
 DEPT OF BLDG INSP
 CITY OF PORTLAND

6

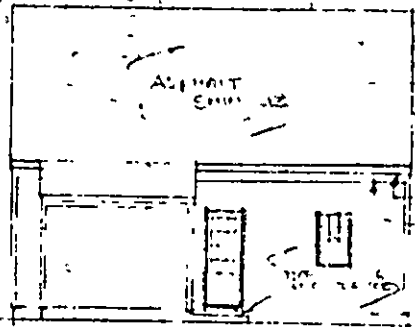
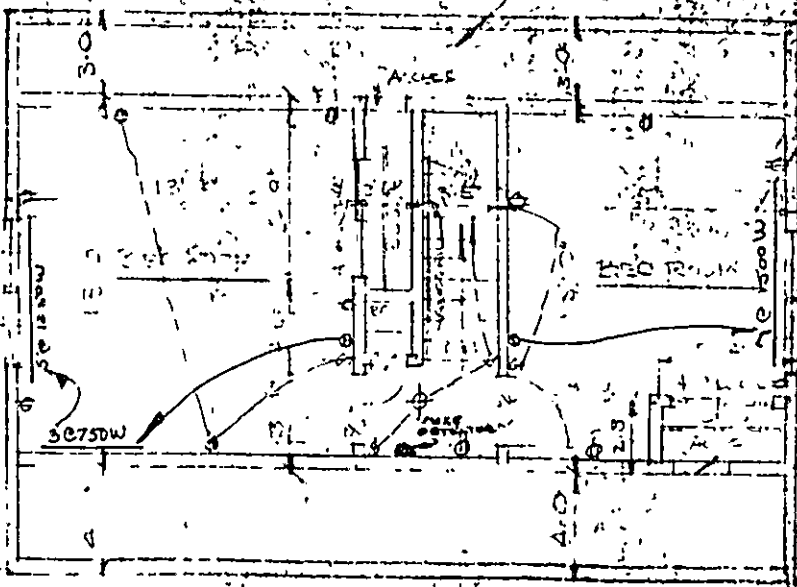
30' 8"

INDICATE A PAIR OF HINGED DOORS (SEE SECTION)



LEFT ELEVATION

RIGHT ELEVATION



REAR ELEVATION

NOTES
ELECTRIC AND HEAT
LOADS AND ENERGY
HEAT LOSS STUDY BY
C.M.P. 01-7/23/81
(CONFORM TO CODE)

SUGGESTED ELECTRICAL
SECOND FLOOR

RECEIVED
APR 13 1994
OFFICE OF THE
CLERK OF SUPERIOR COURT

THE
COUNTY
OF
CLERK

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 382

APR 24 1934

ZONING LOCATION R-3 PORTLAND, MAINE 3/22/84

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B O C A Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications.

LOCATION 51-53 Newton Street Fire District #1 [] #2 []
1 Owner's name and address Collins Bros. Inc. 52 Mountain Road Telephone 282-3960
2 Lessee's name and address rr. 4, Biddeford 04005 Telephone
3 Contractor's name and address same Telephone

Proposed use of building single family residence, new structure No of sheets
Last use No families
Material No stories Heat Style of roof Roofing
Other buildings on same lot

Estimated contractual cost \$34,000 Appeal Fees \$ 50.00
FIELD INSPECTOR - Mr. [Signature] Base Fee 180.00
@ 775-5451 Late Fee
TOTAL \$ 180

Erection of single family residence as shown on plans
Space & Bulk Appeal - side yard setback

Stamp of Special Condition

Appeal sustained 4-12-84

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters 1st floor 2nd 3rd roof
On centers 1st floor 2nd 3rd roof
Maximum span 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION - PLAN EXAMINER
ZONING APPROVED
BUILDING CODE:
Fire Dept
Health Dept
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant [Signature] Phone #
Type Name of above Normand Collin 1 [] 2 [] 3 [] 4 []
Other and Address

[Signature]

NOTES

~~4/23/84 OK'd foundation~~
 5/10/84 -
 Flamed & sheathed in -
 partitions in place -
 system OK - Roof completed -
 all traces working - 3

5/30/84
 final - OK to issue the
 CO of 9

Permit No 84/382

Location 5153 Myrtle St

Owner Callina Green

Date of permit 8-22-84

Approv. V. 21-84

Dwelling - Single family

Garage

Alteration

Handwritten signature

