



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP 1340
 B.O.C.A. TYPE OF CONSTRUCTION
 ZONING LOCATION PORTLAND, MAINE May 13, 1985

EXHIBIT 1340
 NOV 13 1985
 City File

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION Lots Lct: 475-476 Bailey Avenue pt 475 Fire District #1 , #2
 1. Owner's name and address James Wolf - Portland, Me. Telephone 797-7119
 2. Lessee's name and address Telephone
 3. Contractor's name and address F. S. Plummer Co. - 25 Mechanic St., Gorham Telephone 839-6711
 Proposed use of building single family No. of sheets
 Last use vacant lot No. families
 Material No. stories Heat Style of roof Roofing
 Other buildings on same lot
 Estimated contractual cost \$ 44,500.00

FIELD INSPECTOR—Mr. @ 775-5451
 Appeal Fees \$
 Ease Fee 50.00
 Late Fee
 TOTAL \$ 245.00

To construct single family, 24'8" x 35'8", no garage, as site plan shows per plans.

Stamp of Special Conditions

ISSUE PERMIT TO #3

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
 Is connection to be made to public sewer? yes If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate 12' Height average grade to highest point of roof 17'
 Size, front 35'8" depth 24'8" No. stories 1 solid or filled land? solid earth or rock? earth
 Material of foundation concrete Thickness, top 10" bottom cellar yes
 Kind of roof pitch Rise per foot 5/12 Roof covering fiberglass baseboard
 No. of chimneys 1 Material of chimneys brick & block of lining tile Kind of heat elec. fuel
 Framing Lumber—Kind B-P-F Dressed or full size? dressed Corner posts none Sills 2x6
 Size Girder 6x10 Columns under girders steel Size 3x4 Max. on centers 8'
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x10, 2nd 3rd roof truss roof
 On centers: 1st floor 15", 2nd 3rd roof 24"
 Maximum span: 1st floor 12', 2nd 3rd roof 24'
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
 BUILDING INSPECTION—PLAN EXAMINER
 ZONING:
 BUILDING CODE:
 Fire Dept.:
 Health Dept.:
 Others:

MISCELLANEOUS
 Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant Phone # same
 Type Name of above Douglas Woodbury for F. S. Plummer
 Other
 and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

STREET EXCAVATION AND SEWER CONNECTION PERMIT

CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS

PERMIT NO. P 1608

THIS PERMIT EXPIRES THIRTY DAYS FROM DATE OF ISSUE

DATE: November 19, 19 85

PERMISSION IS HEREBY GIVEN TO Scott Dugas NAME ADDRESS TO OPEN 476 Bailey Avenue STREET/AVENUE,

FOR THE PURPOSE OF Mainline Sewer Connect SAID WORK SHALL BE PROPERLY

DONE ACCORDING TO The Excavation Ordinance, Chapter 712 of the Municipal Code, "EXCAVATIONS IN PUBLIC PLACES." and abide by all provisions of Chapter 308, Plumbing Code and Chapter 309, Sewer Use Ordinance, of the Municipal Code of the City of Portland, Maine.

THE WORK IS BEING DONE BY:

"PERMIT MUST BE DISPLAYED AT JOB SITE BY CONTRACTOR"

CONTRACTOR: Scott Dugas NAME ADDRESS

PLUMBER: Roy C. Newall NAME ADDRESS

THE PROPERTY OWNER IS F. S. Plummer Co. Inc., NAME ADDRESS

STREET EXCAVATION PERMIT \$40.00 SEWER CONNECTION PERMIT \$25.00 COMBINATION PERMIT \$35.00

George A. Flaherty GEORGE A. FLAHERTY, Director of Public Works

This permit does not create in the applicant any permission for him to enter or use the land of another property owner, either temporarily or permanently, for the purpose of connection with the City sewer line. Questions concerning such permission should be referred to Applicant's attorney.

KIND OF PAVEMENTS:

STREETS SIDEWALKS

STREET MEASURED:

SQ. YDS. @ \$ SQ. YDS. @ \$

SIDEWALK MEASURED:

SQ. YDS. @ \$ SQ. YDS. @ \$

OTHER CHARGES: \$

TOTAL AMOUNT TO BE PAID \$

*CHARGE INCLUDES INSPECTION AND CONNECTION FEE

PERMITTEE'S COPY

CITY OF PORTLAND, MAINE
DEPARTMENT OF PARKS/PUBLIC WORKS

APPLICATION & PERMIT NO. _____

RESIDENTIAL/COMMERCIAL BUILDING SEWER

APPLICATION TO BE SIGNED BY PROPERTY OWNER

THIS APPLICATION FOR A PERMIT IS HEREBY GIVEN TO F.S. Plummer Co. Inc
NAME OF PROPERTY OWNER
AT 476 Bailey Ave. TO DO WORK AT SAID LOCATION:

- a. Install and connect new building sewer
 - b. Repair or replace a defective drain
1. The maximum number of persons who will use the above (Residential, Commercial Building) is: THREE
 2. The name and address of the person or firm who will perform the proposed work:
Contractor: F.S. Plummer Co. Inc Scott Downs Yarmouth, Me.
Plumber: Roy Newell
 3. If the proposed work is in variance with the applicable code requirements of the City: Plans and specifications showing these variances are to be attached hereto as Exhibit "A".

IN CONSIDERATION OF THE GRANTING OF THIS PERMIT, THE UNDERSIGNED AGREES:

- A. To accept and abide by all provisions of Chapter 6, Plumbing Code, and Chapter 24, Sewer Use Ordinance, of the Municipal Code of the City of Portland, Maine; and all other pertinent ordinances or regulations that may be adopted in the future.
- B. To maintain the building sewer in good repair at no expense to the City.
- C. To notify the Director of Parks/Public Works or his duly appointed representative when the work is ready for inspection, but before any portion of the work is covered, and all covered work shall be uncovered for inspection if not inspected prior to covering.
- D. To secure all necessary permission in the form of easements or other approvals to enter and use the property of other landowners where such entrance and use is necessary to complete the requested sewer connection.

This permit does not create in the applicant any permission for him to enter or use the land of another property owner, either temporarily or permanently, for the purpose of connection with the City sewer line. Questions concerning such permission should be referred to the Applicant's attorney.

SIGNED: Mark J. Plummer F.S. Plummer Co., Inc.

DATE: 11/12/85

GAS CO HAS TO BE ON JOB

Take these 2 items to City Hall w/ 2000.00 - this you'll have to bring with you - Sewer Permit

H2O Co if sewer coming through H2O when we do work if we can't see it H2O on our side let us!!

PAID SERVICE REQ MADE w/ N Libby 11/12/85

VUNOVAN
FILE

PERMIT NO. _____

CITY OF PORTLAND, MAINE
DEPARTMENT OF PUBLIC WORKS
STREET OPENING APPLICATION

F.S. Plummer Co., Inc. hereby requests
permission to open Bailey Avenue
beginning on the following date: 10-23-85, for the following
work as described: Construct driveway and hook-up to sewer.

UTILITY APPROVAL:

Central Maine Power
Line Dept. 772-7411 P. Bartlett Date 10/16/85

New England Telephone
Mr. Jones 797-1541 RC Gilliam Date 10/16/85

Northern Utilities
Mr. Gorey 797-8000 1.022 Gorey Date 10-17-85

Portland Water District
Mr. Greeley 774-5961 Al B... Date 10-17-85

Public Cable T.V.
Mr. Smith 775-3431 - 854-2784 - Mr. Smith by phone Date 10-16-85
Det. Rochers -

CITY OF PORTLAND:
Sewer Division J. Lowry Date 10-16-85
797-5302/775-5451 Ext. 470

Traffic Division Proctor by phone Date 10-16-85
775-5451, Ext. 468

Fire Alarm Sam Allen by phone Date 10-16-85
Sam Allen 775-6361

Forestry Anne Dick by phone Date 10-16-85
Anne Dick 773-2921 Ext. 33

Have contacted All the above utility companies and/or City Department for location.

Signature: Angela E. Paloj Date 10-17-85

IF AN EMERGENCY, THE DATE OF THE EMERGENCY: _____

All individual Plumbers and/or Contractors "MUST NOTIFY" the City of Portland's Public
Works Department 775-5451, Ext. 470 before backfilling and sewer drain connection for
"INSPECTION"

REQUIRES DIAGRAM ON BACK



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

November 13, 1985

F.S. Plummer Company
25 Mechanic Street
Gorham, Maine 04038

RE: Lots 476 and ~~477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500~~
Portland, Maine

Dear Sir:

Your application to construct a single family dwelling 24' X 35' has been reviewed and a building permit is herewith issued subject to the following requirements.

Site Plan Review Requirements

Inspection Services	Approved	Mr. M. Ward	5/16/85
Public Works	Approved with following conditions	Mr. R. Roy	5/16/85

1. No cellar drains or roof drains shall be connected to the sanitary sewer.
2. A 12" diameter culvert pipe shall be installed in the roadway ditch under the driveway.
3. The sewer connection shall either be made by the Sewer Division or under their driveway.
4. The roadway ditch shall not be filled or altered in any way.

Building Code Requirements

1. All lot lines must be clearly marked before calling for a foundation inspection.
2. All concrete must be protected from freezing.
3. Please read attached Building Code requirements, Section 809.4 and 1716.3.4.
4. Section 25 - 137 of the Municipal Code for the City of Portland states:

1 of 2

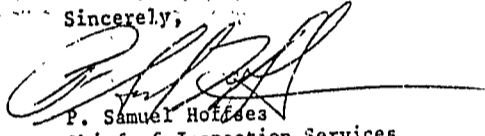
F.S. Plummer Co. / Lots 476 & 1/2 of 475/Bailey Island

2

"No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of December 1 of each year to March 31 of the following year."

If you have any questions on these requirements, please call this office.

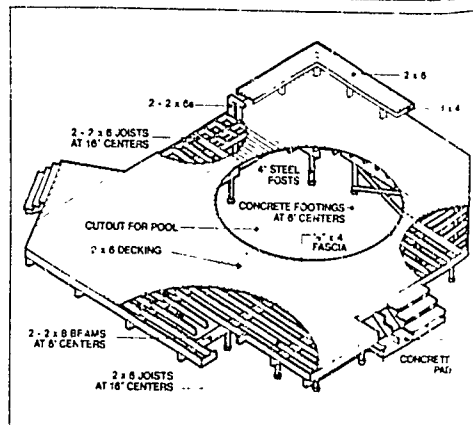
Sincerely,



P. Samuel Hoffees
Chief of Inspection Services

PSH/crb
Attachment

Decked-Out Pools



Continued from page 16

Hurried, harried homeowners may be tempted to set up the pool and leave it at that until the pace slows. While it's a cooling delight for young and old alike, an above-ground pool alone simply is not as attractive or as useful as one surrounded by a deck. Some swimmers may have difficulty climbing up one side of the ladder and down the other over the edge of the pool, a deck with stairs reduces the effort. A railing can be added along the edge of the stairs if needed. Swimmers can lounge up off the ground in dry comfort on the deck between laps or splashing. Storage can be incorporated into a deck to hide toys or pool chemicals. Entertainment options flourish when you add a deck.

With a little imagination, you can turn an ordinary yard into a highly personalized mini-vacation spot—a place for play and relaxation.

Contemplate the shape

The above-ground pool shown, above, and pictured on pages 16-17, measures 15 feet wide and 42 inches deep. The pool's above-ground nature is cleverly and effectively disguised with a raised 27x35-foot deck. The deck is constructed of 2x6 redwood lumber that's been treated with a redwood bleaching oil to give a weathered look. One end of the deck extends to the home's master bedroom wall.

Instead of conventional wood posts, the builder used 4-inch-diameter steel posts filled with concrete to support the deck beams. Those posts are set into 36-inch concrete footings.

Plan your deck

Before planning the shape of your deck, double-check the zoning regulations or easements that could require you to build several feet in from your property line. Building codes also may affect your plans, as may the locations of service lines. Contact local utilities to find out where service lines for your home are located.

Choose redwood, cedar or pressure-treated lumber

for poolside decks. Pressure-treated lumber costs less and has gone through a process that forces preservatives deep into its fibers. The wood will fade to silver-gray when exposed to weather. You can allow it to go gray or stain it. Lumber choices other than redwood, cedar or pressure-treated lumber must be coated with a sealer, preservative, stain or paint.

Elevate your pool

Any deck rising 8 inches or more above grade should have a step, according to the National Building Code. Here's how to add handy steps to your deck plan.

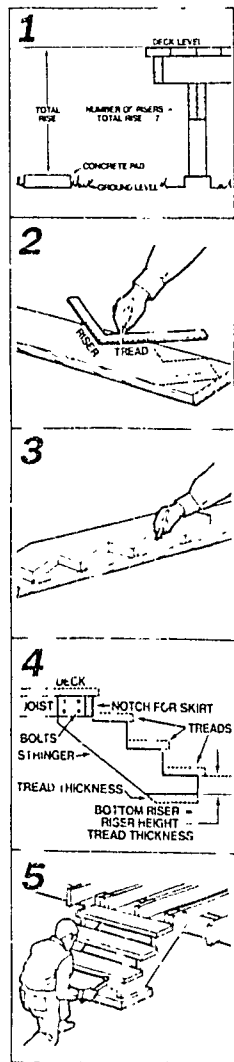
1. Measure total rise—the distance to be filled with steps, such as from the ground or concrete pad to top of deck. Most steps have a rise of about 7 inches and run (depth) of 10 to 11 inches, so divide total rise by 7. You may need to divide by a smaller or larger number (like 6½ or 7¼) to get a whole number. The whole number is the number of steps you need.

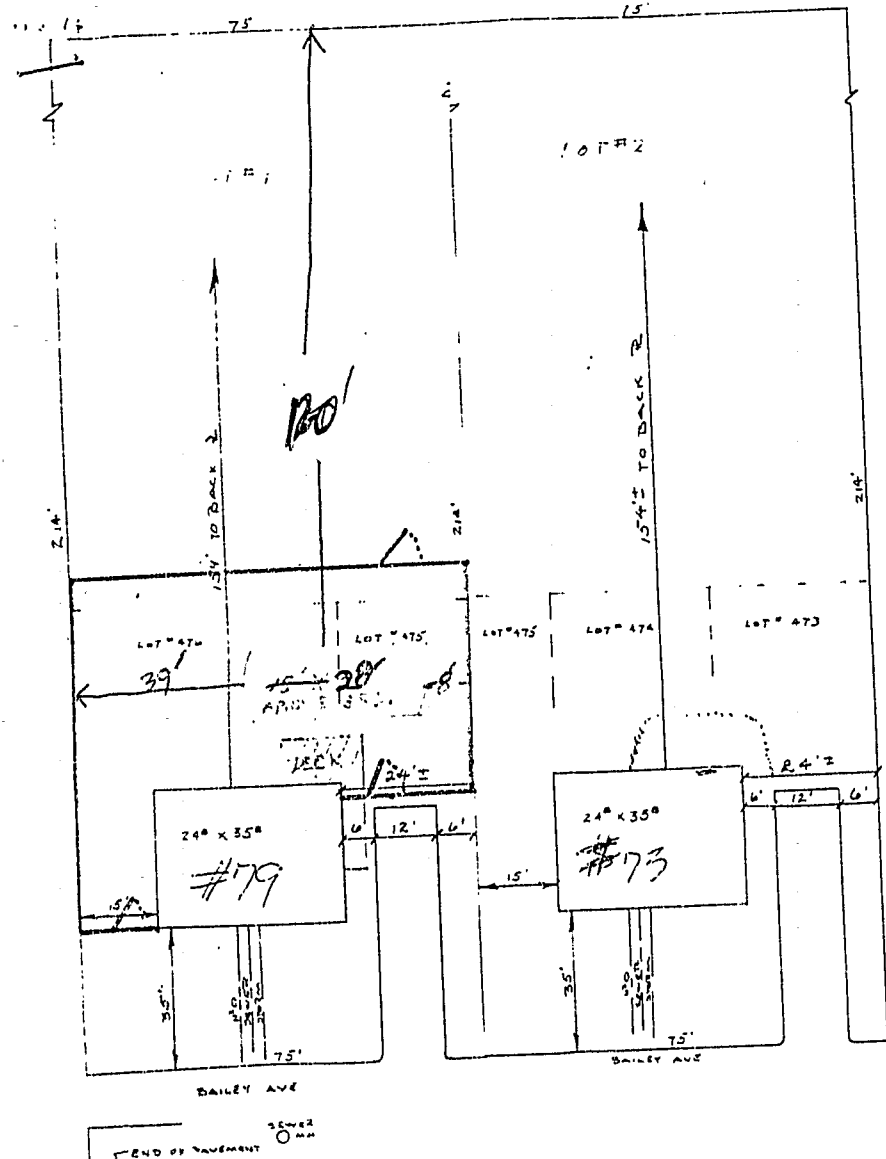
2. Next, mark width of treads and risers with a framing square. Position the square so its edges and the 2x10 or 2x12 stringer meet at the marks. Pencil in correct proportions for each step.

3. Cut out the first stringer and use it as a pattern for the rest.

4. The bottom riser must be reduced by the thickness of the tread. Be sure all steps are equal in height. After all are cut, use bolts to secure them to the deck's perimeter.

5. Nail the treads to the stringers, allowing them to either overlap or remain flush on their sides. Anchor the base of the steps to a concrete footing, using drift pins, expansion anchors or angle irons.





PLOT PLAN
BAILEY AVE
SCALE: 1" = 20'

4' HIGH CHAIN LINK
FENCE W/ 3 GATES

RECEIVED

JUN 18 1986

DEPT. OF PUBLIC INSPECTIONS
CITY OF PORTLAND

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP ... B.O.C.A. TYPE OF CONSTRUCTION ... ZONING LOCATION ... PORTLAND, MAINE ... JUN 20 1986 ... City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

- 1. Owner's name and address ... 79 Bailey Avenue ... 04103 ... Fire District #1 ... Telephone 878-2940
2. Lessee's name and address ... Cornelius J. Donovan - same ... Telephone ...
3. Contractor's name and address ... Bob Oxliiver Pools - 660 Main St. West ... Telephone 856-6640

Proposed use of building ... above ground pool ... No. of sheets ... No. families ... Last use ... No. families ... Material ... No. stories ... Heat ... Style of roof ... Roofing ... Other buildings on same lot ... Estimated contractual cost \$... 3,600 ... Appeal Fees \$... 45x00 ... Base Fee ... 40:00 ... Late Fee ... TOTAL \$

FIELD INSPECTOR - Mr. @ 75-5451

To install above ground swimming pool, 23' round also to construct deck 10 x 10 to be used in connection with pool as per plans set of plans.

Stamp of Special Conditions

send permit to # 1 04103

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ... Has septic tank notice been sent? ... Form notice sent? ... Height average grade to top of plate ... Height average grade to highest point of roof ... Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ... Material of foundation ... Thickness, top ... bottom ... cellar ... Kind of roof ... Rise per foot ... Roof covering ... No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ... Framing Lumber- Kind ... Dressed or full size? ... Corner posts ... Sills ... Size Girder ... Columns under girders ... Size ... Max on centers ... Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ... On centers: 1st floor ... 2nd ... 3rd ... roof ... Maximum span: 1st floor ... 2nd ... 3rd ... roof ... If one story building with masonry walls, thickness of walls? ... height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ... Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE BUILDING INSPECTION - PLAN EXAMINER ... ZONING: ... June 19, 1986 ... BUILDING CODE: ... Fire Dept.: ... Health Dept.: ... Others:

MISCELLANEOUS Will work require disturbing of any tree on a public street? ... Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ... yes

Signature of Applicant ... Cornelius J. Donovan Phone # ... same Type Name of above ... Cornelius J. Donovan ... 1 x 2 x 3 x 4 Other and Address

Applicant: *Douglas Woodbury* Date: *Nov 8, 1985*
Address: *For F.S. Plummer*
Failey Ave. lots 475-476 (1 of 475)
Assessors No.: *332-1-18-19*

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - *R-3*

Interior or corner lot -

Use - *Single Family w/ Garage*

Sewage Disposal - *? O.K.*

Rear Yards -

Side Yards -

Front Yards -

Projections -

Height -

Part 475 ~~2050~~ # 16,050 #

Lot Area - ~~3700~~ # 4100 (Lot 476)

Building Area -

Area per Family - *6500 #*

Width of Lot - *75'*

Lot Frontage - *75'*

Off-street Parking - *O.K.*

Loading Bays -

Site Plan -

Shoreland Zoning -

Flood Plains -

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

488

May 13, 1985

Applicant F. S. Plummer Co. _____ Date _____
 25 Mechanic St. Gorham 839-6711 1/2 of Lot 475 & 476 Bailey Avenue
 Mailing Address _____ Address of Proposed Site _____
 Proposed Use of Site single family dwelling Site Identifier(s) from Assessors Maps _____
16,050 / _____ Zoning of Proposed Site R-3
 Acreage of Site / Ground Floor Coverage _____
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____
 Board of Appeals Action Required: () Yes () No Total Floor Area _____
 Planning Board Action Required: () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
- Requires Board of Appeals Action
- Requires Planning Board/City Council Action

Explanation: _____
 Use complies with Zoning Ordinance --- Staff Review Below

Zoning: SPACE & BULK, as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS	
COMPLIES																			
COMPLIES CONDITIONALLY																			
DOES NOT COMPLY																			

CONDITIONS SPECIFIED BELOW _____
 REASONS SPECIFIED BELOW _____

REASONS: _____

Michael M. E. Nieme 5/16/85
 SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT - ORIGINAL

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Applicant: _____ #79 Date: _____

Mailing Address: _____ Address of Proposed Site: _____

Proposed Use of Site: _____ Site Identifier(s) from Assessors Maps: _____

Acreage of Site: 7 Ground Floor Coverage: _____ Zoning of Proposed Site: _____

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors: _____

Board of Appeals Action Required: () Yes () No Total Floor Area: _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	-	✓	-	-	✓	-	✓	-	✓		✓					CONDITIONS SPECIFIED BELOW
APPROVED CONDITIONALLY										✓	✓				REASONS SPECIFIED BELOW	
DISAPPROVED																

REASONS: 1) No cellar drains or roof drains shall be connected to the sanitary sewer.

2) A 12" diameter culvert pipe shall be installed in the roadway ditch under the driveway.

(Attach Separate Sheet if Necessary)

3) The sewer connection shall either be made by the Sewer Division or under their supervision.

4) The roadway ditch shall not be filled or altered in any way.

Robert J. Roy May 16, 1985
SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

411

Applicant F. S. Plumer Co. Date May 13, 1985

Mailing Address 25 Mechanic St. Gorham ME 03541 Address of Proposed Site Lots 473-474 & of 475 Bailey Ave.

Proposed Use of Site single family dwelling Site Identifier(s) from Assessors Maps _____

Acres of Site / Ground Floor Coverage _____ Zoning of Proposed Site R-3

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

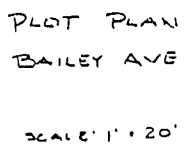
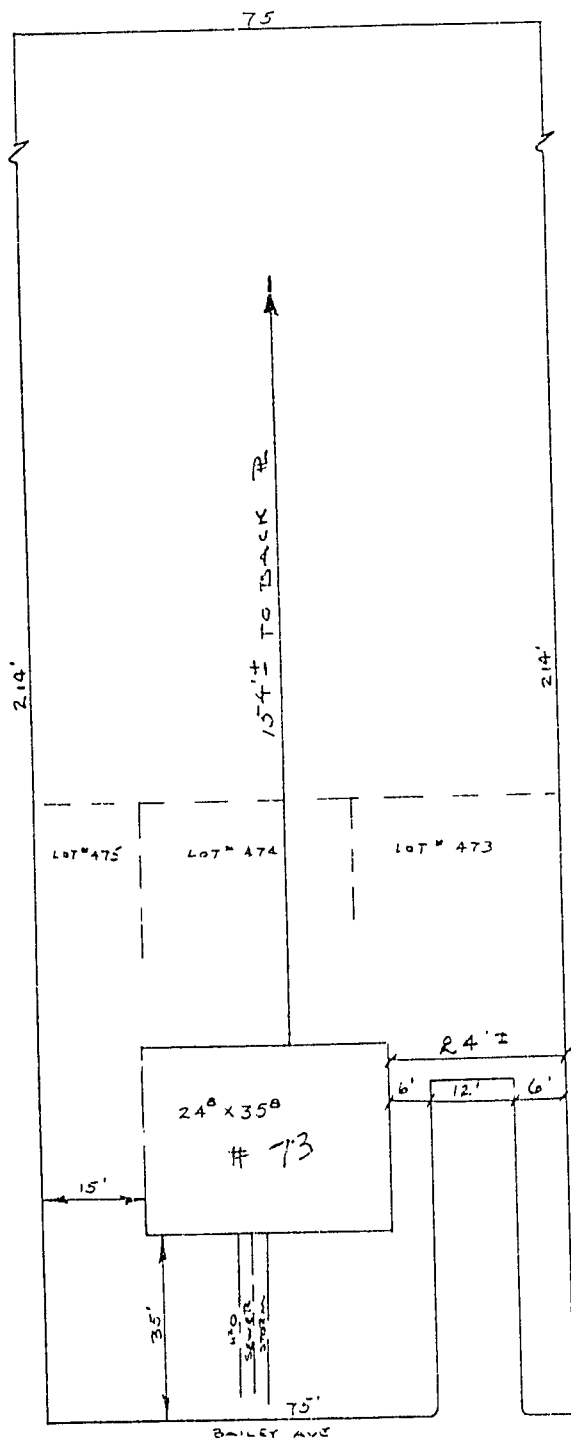
(Date Received) _____

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	-	✓	-	-	✓	-	✓	-	✓	✓						
APPROVED CONDITIONALLY										✓		✓				CONDITIONS SPECIFIED BELOW
DISAPPROVED																REASONS SPECIFIED BELOW

- REASONS:
- 1) No cellar drains or roof drains shall be connected to the sanitary sewer.
 - 2) A 12" diameter culvert pipe shall be installed in the roadway ditch under the driveway.
 - 3) The sewer connection shall either be made by the Sewer Division or under their supervision.
 - 4) The roadway ditch shall not be filled or altered in any way.

Ralph J. Davis May 16 1985
SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY



PLOT PLAN
BAILEY AVE

SCALE: 1" = 20'

RECEIVED
 MAY 13 1985
 DEPT. OF PLOG. INSP.
 CITY OF PORTLAND

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant F. S. Plummer Co. 839-0711 479 Date May 13, 1985
 Mailing Address 25 Mechanic St. Gorham Address of Proposed Site of Lot 475 & 476 Bailey Avenue
 Proposed Use of Site single family dwelling Site Identifier(s) from Assessors Maps R-3
 Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____
 Board of Appeals Action Required: () Yes () No Total Floor Area _____
 Planning Board Action Required: () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

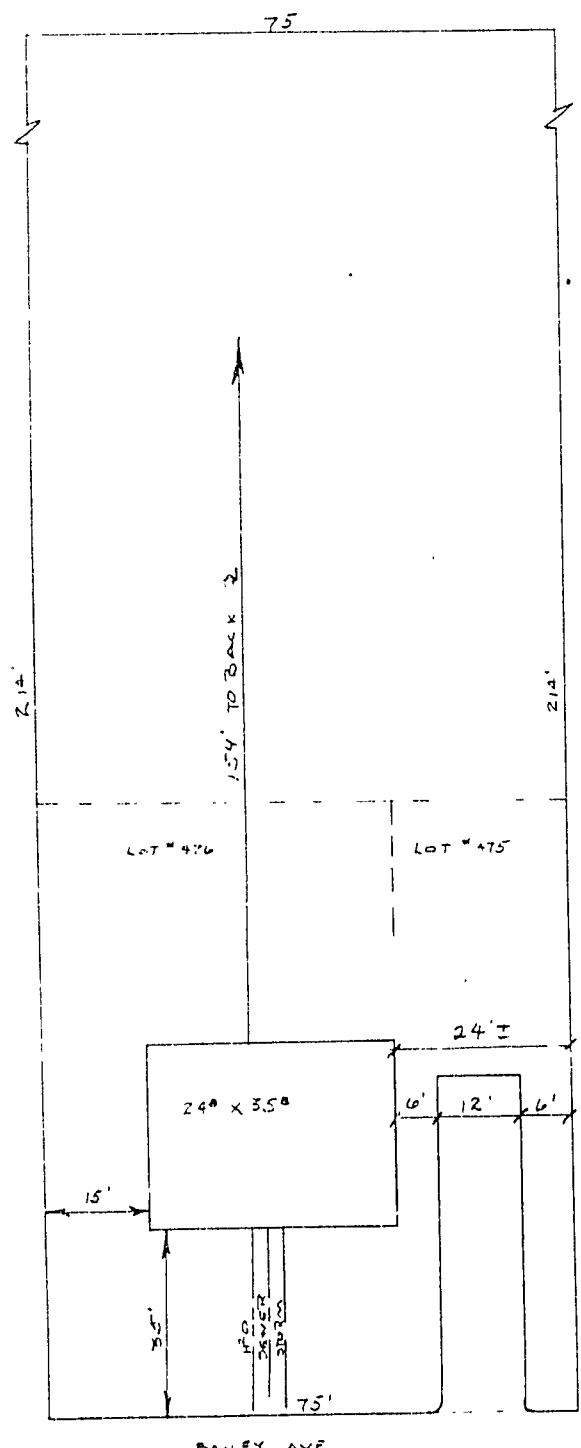
	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER
APPROVED	-	✓	-	-	✓	-	✓	-	✓	-	✓	-	-	-	-
APPROVED CONDITIONALLY										✓		✓			
DISAPPROVED															

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS: 1) No cellar drains or roof drains shall be connected to the sanitary sewer
 2) A 12" diameter ditch shall be installed in the roadway ditch under the driveway
 (Attach Separate Sheet if Necessary)
 3) The sewer connection shall be made by the Sewer Division or under their supervision
 4) The roadway ditch shall not be filled for any use of steps
 5/13/85

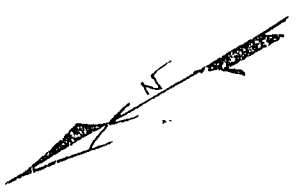
SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY



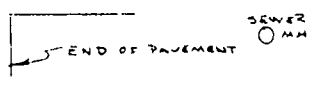
OCT 29 1985

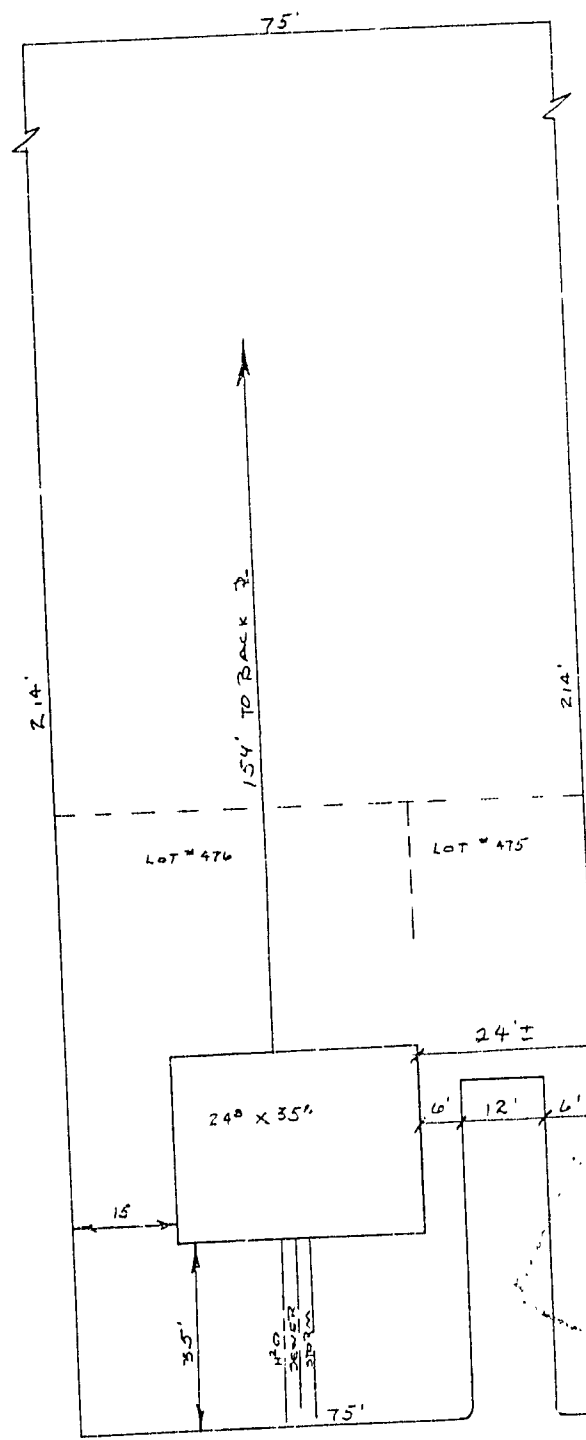
DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND



LOT PLAN
BAILEY AVE

SCALE: 1"=20'

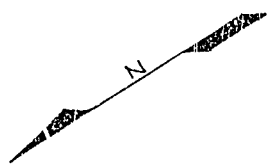




RECEIVED

OCT 23 1985

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND



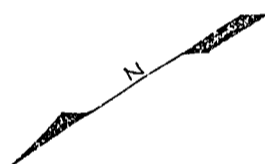
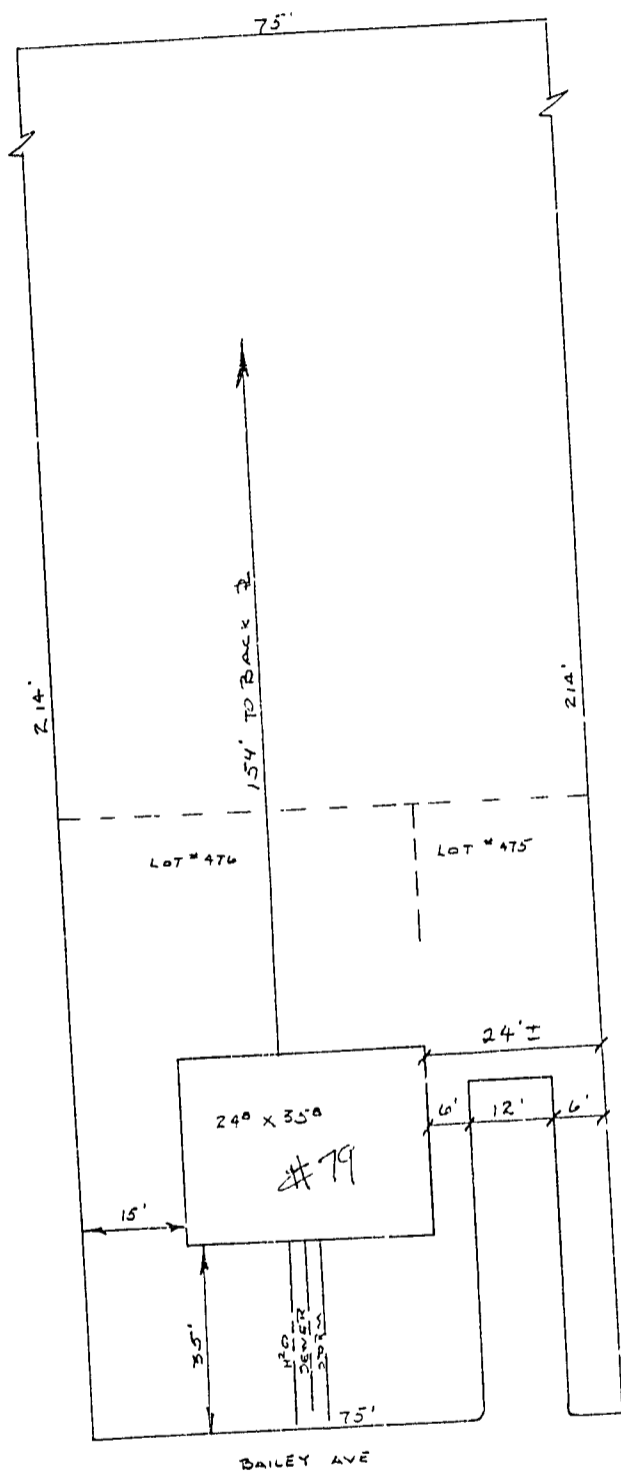
PLOT PLAN
BAILEY AVE

SCALE: 1" = 20'

RECEIVED
MAY 13 1985
DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

BAILEY AVE

END OF PAVEMENT
SEWER



PLOT PLAN
BAILEY AVE

SCALE 1" = 20'

RECEIVED
MAY 13 1985
DEPT OF PLS & ASP.
CITY OF PORTLAND

END OF PAVEMENT

SEWER
MANHOLE



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

November 13, 1985

F.S. Plummer Company
25 Mechanic Street
Gorham, Maine 04038

RE: Lots 476 and 1/2 of 475 Bailey Avenue
Portland, Maine

Dear Sir:

Your application to construct a single family dwelling 24' X 35' has been reviewed and a building permit is herewith issued subject to the following requirements.

Site Plan Review Requirements

Inspection Services	Approved	Mr. M. Ward	5/16/85
Public Works	Approved with following conditions	Mr. R. Roy	5/16/85

1. No cellar drains or roof drains shall be connected to the sanitary sewer.
2. A 12" diameter culvert pipe shall be installed in the roadway ditch under the driveway.
3. The sewer connection shall either be made by the Sewer Division or under their driveway.
4. The roadway ditch shall not be filled or altered in any way.

Building Code Requirements

1. All lot lines must be clearly marked before calling for a foundation inspection.
2. All concrete must be protected from freezing.
3. Please read attached Building Code requirements, Section 809.4 and 1716.3.4.
4. Section 25 - 137 of the Municipal Code for the City of Portland states:

1 of 2

F.S. Plummer Co. / Lots 476 & 1/2 of 475/Bailey Island

2

"No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of December 1 of each year to March 31 of the following year."

If you have any questions on these requirements, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

PSH/crb
Attachment

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP R-3 U-1340
B.O.C.A. TYPE OF CONSTRUCTION FB
ZONING LOCATION R-3 PORTLAND, MAINE May 13, 1985

NOV 2 1985
City of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications.

LOCATION Lots 475-476 Bailey Avenue 1/2 of 475 Fire District #1 [], #2 []
1. Owner's name and address James Wolf - Portland, Me. Telephone 797-7119
2. Lessee's name and address Telephone 04038
3. Contractor's name and address F. S. Plummer Co. - 25 Mechanic St. Gorham Telephone 839-6711
Proposed use of building single family No. of sheets
Last use vacant lot No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$44,500.00

FIELD INSPECTOR--Mr. @ 775-5451
Appeal Fees \$
Base Fee 50.00
Late Fee
TOTAL \$ 245.00

To construct single family, 24'8" x 35'8", no garage, as per plans.
site plan review

Stamp of Special Conditions
PERMIT ISSUED WITH LETTER

ISSUE PERMIT TO #3

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Yes
Is any electrical work involved in this work? Yes
Is connection to be made to public sewer? Yes
Has septic tank notice been sent?
Height average grade to top of plate 12'
Height average grade to highest point of roof 17'
Side, front 35'8" depth 24'8" No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation concrete Thickness, top 10" bottom cellar yes
Kind of roof pitch Rise per foot 5/12 Roof covering fiberglass baseboard
No. of chimneys 1 Material of chimneys brick & block tile Kind of heat elec fuel
Framing Lumber--Kind s-p-f Dressed or full size? dressed Corner posts none Sills 2x6
Size Girder 6x10 Columns under girders steel Size 3 1/2 Max. on centers 8'
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x10 2nd 3rd roof truss roof
On centers: 1st floor 16" 2nd 3rd roof 24"
Maximum span: 1st floor 12' 2nd 3rd roof 24'
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION--PLAN EXAMINER Will work require disturbing of any tree on a public street? no
ZONING (C.R. Mc... 5/16/85) Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
BUILDING CODE: P.S.H.
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant Douglas Woodbury for F. S. Plummer Phone # same

PERMIT ISSUED WITH LETTER

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

[4] MR. IR 01179

NOTES

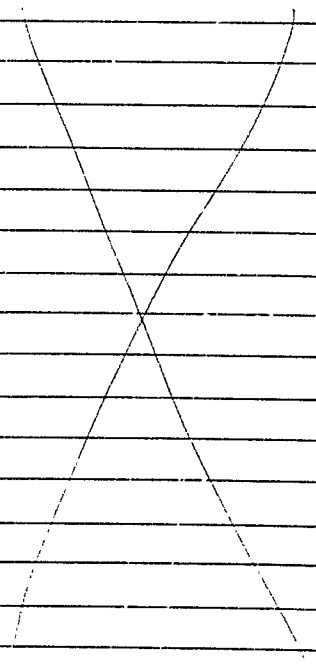
11/22/81.
OKed to place 10"
concrete foundation
Location appears OK
as per plan of
Merrill's Alakes

11/25/85 No one
working, foundation placed
grading completed

12/20-1 Started cleaning
Feb 5/86 - Completed
to install the roof

Permit No. 13410
Location L75 426-16 of 425
Owner WLF
Date of permit MAY 13 1982
Approved MAR 15 1985
Dwelling
Garage
Alteration

Barry Ake





APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date June 18 19 86
 Receipt and Permit number D 25922

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 79 Bailey Avenue
 OWNER'S NAME: Cornelius J. Donovan ADDRESS: lives there

OUTLETS: Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____

FIXTURES: (number of) Incandescent _____ Fluorescent _____ (not strip) TOTAL _____
 Strip Fluorescent _____ ft. _____

SERVICES: Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____

METERS: (number of) _____

MOTORS: (number of) Fractional _____ 1/2 HP or over _____

RESIDENTIAL HEATING: Oil or Gas (number of units) _____ Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____ Oil or Gas (by separate units) _____ Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES (number of) Ranges _____ Water Heaters _____
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers _____
 Dryers _____ Compactors _____
 Fans _____ Others (denote) _____

TOTAL _____

MISCELLANEOUS (number of) Branch Panels _____ Transformers _____

Air Conditioners Central Unit _____ Separate Units (windows) _____

Sizes 20 sq. ft. and under _____ Over 20 sq. ft. _____

Swimming Pools Above Ground _____ 5.00
 In Ground _____

Burglar Alarms Residential _____ Commercial _____

Heavy Duty Outlets 220 Volt (such as welders) 30 amps and under _____ over 30 amps _____

Circuit Breakers, etc. _____

Repairs after fire _____

Emergency Light Systems _____

Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE _____
 FOR REMOVAL OF A "STOP ORDER" (304 - b) DOUBLE FEE DUE _____

TOTAL AMOUNT DUE 5.00

INSPECTION Will be ready on _____

CONTRACTOR'S NAME Cornelius J. Donovan or Full Call

ADDRESS 79 Bailey Avenue

PHONE 876-2940

WASTELICENSE Homeowner SIGNATURE OF CONTRACTOR Cornelius J. Donovan

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300



DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

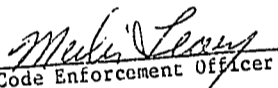
Date: April 27, 1990

Cornelius Donovan
75 Bailey Avenue
Portland, ME 04103

Re: 75 Bailey Avenue.

Dear Sir:

An inspection has been made of the above referenced property. Trash, garbage, junked furniture, etc. provide rodent attraction/harborage, and is a serious violation of the City of Portland Municipal Codes, and must be removed from front, side, and rear areas of the above referenced property and properly disposed of on or before ~~May 7, 1990~~ ^{April 27, 1990}. Trash for collection is not to be placed curbside prior to 9 p.m. on day preceding scheduled pick up. Tenants are to be instructed in this requirement.


Code Enforcement Officer
Merlin Leary

/el
4/17/90

jmr