

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3828

PROPERTY ADDRESS

Town Or
Subdivision

Street
Subdiv. Lot #

PROPERTY OWNERS NAME

Applicant
Name

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

Address of
Owner/Applicant
Main Office

PORTLAND
Data
Permit
Fee
5480
TOWN COPY
FEE
Double Fee
Charged

Samuel Huffer
Local Plumbing Inspector Signature

C. L. 24
Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.
Daniel Jordan
Local Plumbing Inspector Signature

3-5-96
Date Approved

PERMIT INFORMATION

This Application is for

☒ NEW PLUMBING
☐ RELOCATED PLUMBING

Type Of Structure To Be Served:

1. ☐ SINGLE FAMILY DWELLING
2. ☐ MODULAR OR MOBILE HOME
3. ☐ MULTIPLE FAMILY DWELLING
4. ☐ OTHER - SPECIFY Church

Plumbing To Be Installed By:

1. ☐ MASTER PLUMBER
2. ☐ OIL BURNERMAN
3. ☐ MFG'D. HOUSING DEALER / MECHANIC
4. ☐ PUBLIC UTILITY EMPLOYEE
5. ☐ PROPERTY OWNER

LICENSE # 15512

Hook-Up, Piping Relocation Maximum 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
HOOKE-UP to public sewer in cases where the connection is not regulated and inspected by the local Sanitary District		Hose/Job / Sillcock		Bathtub (and Shower)
OR		Floor Drain		Shower (Separate)
HOOKE-UP to an existing subsurface wastewater disposal system		Urinal		Sink
PIPING RELOCATION, of sanitary lines, drains, and piping without new fixtures		Drinking Fountain		Wash Basin
Number of Hook-Ups & Relocations		Indirect Waste		Water Closet (Toilet)
Hook-Up & Relocation Fee		Water Treatment Softener, Filter, etc.		Clothes Wucher
OR		Grease / Oil Separator		Dish Washer
TRANSFER FEE (\$6.00)		Dental Cuspld		Garbage Disposal
		Bidet		Laundry Tub
		Other:		Water Heater
		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
				Fixtures (Subtotal) Column 2
				Transfer Fee
				Hook-Up & Relocation Fees
				Permit Fee (\$2.00)

SEE PERMIT FEE SCHEDULE
FOR CALCULATING FEE

TOWN COPY

By Inspector Stefan Brandy

INSPECTIONS: Service 9-22-95 by JB

Service called in 10:30 AM

Closing-in 9-6-92 by JB

PROGRESS INSPECTIONS: 11-29-95, JB / /

_____ / _____ / _____

b) _____

_____ / _____ / _____

_____/_____/_____

_____ / _____ / _____

DATE:

REMARKS:

9-6-95 Simon Letter Regarding Services - Pending to upgrade

Sanctus - no Latin Requiem

11-29-95 Final

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 1837 Forest Ave		Owner: Portland Friends Meeting		Phone: 773-3625		Permit No: 950785	
Owner Address:		Lease/Buyer's Name:		Phone:		Business Name:	
Contractor Name: Wright-Ryan Construction, Inc.		Address: 10 P...ch St Portland, ME 04101		Phone:		PERMIT ISSUED JUL 18 1995 CITY OF PORTLAND	
Past Use: Church		Proposed Use: Same w/addition		COST OF WORK: \$ 200,000.		PERMIT FEE: \$ 1,020.00	
Proposed Project Description: Construct addition - repair roof (567 sq ft)		FIRE DEPT: ☒ Approved ☐ Denied		INSPECTION: Use Group 94 Type 5B Signature: [Signature]		Zone: R-3 CBL: 327-A-A-002	
		Signature: [Signature]		Signature: [Signature]		Zoning Approval: [Signature] 7/14/95	
Permit Taken By: Nancy Grosik		Date Applied For: 05 July 1995		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: ☐ Approved ☐ Approved with Conditions ☐ Denied		Special Zone or Reviews: ☐ Shoreland ☐ Wetland ☐ Flood Zone ☐ Subdivision ☒ Site Plan, major ☐ minor ☐ mm ☐	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. Failure to start work may invalidate a building permit and stop all work.

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

13 July 1995 - Bldg Permit Renoted
5 July 1995 - Bldg Permit

SIGNATURE OF APPLICANT: Scott Lewis ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Historic Preservation
☐ Not in District or Landmark
☒ Does Not Require Review
☐ Requires Review

Action:
☐ Approved
☐ Approved with Conditions
☐ Denied

Date: 7/14/95

[Signature]

CEO DISTRICT 7

D. J. [Signature]

COMMENTS

7-19-95 - Inspection performed prior to permit approval for work approval
(Figs Rear of Building) (Keyed) 10" Forms on walls to 4' + 15' rebar

7-20-95 Forks poured / Anchor bolts in place / Truss placement in progress (2' OC) (8 up)
inter form in progress

7-26-95 - Forms stripped Anchor bolts in int floor compacted / Ext wall 2" rigid
insulation / Trusses long run in 2' OC plywood Red sheathing w/ clips
trusses 2x6 top cord 2x4 web + bottom cord / I-Beam in place
welded 3x3 sq. steel support 16" web 5 1/2" Flange (about 26' span)
excavation + layout at front H/C Ramp + Entry Porch / no 12" O scrubber in rear yet

7-28-95 Figs for front H/C ramp / 8' x 22" + Keyed / Red sheathing
in progress (4' 5" wall / under for stair system)

7-31-95 Form (wall) comp in progress H/C ramp / rear add. sills, int. (14' span) in progress 2x8 PT
All Trusses installed + 2x12 Rafter 16" OC / Red sheathed

8-3-95 - Front H/C ramp form stripped / Brick Veneer work in progress
Rear add walls 2x6 16' OC 1/2" Rigid sheathing / Int. Trusses up Plywood
Red sheathing w/ clips (90% sheathed) Addressed Emergency lighting + Exit
Sign placement.

8-4-95 - Exit Brick Veneer on H/C ramp completed

Inspection Record		Date
Type		
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 1837 FOREST AVENUE

Issued to Portland Friends Meeting House

Date of Issue April 5, 1996

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 950735, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

ENTIRE

ENTIRE

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

4/5/96

(Date)

A. Lowe

Inspector

[Signature]
Inspector of Building

Note: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Arthur Rowe, Code Enforcement Officer
FROM: James Seymour, Acting Development Review Coordinator *JS*
DATE: April 16, 1996
SUBJECT: Permanent Certificate of Occupancy for 1837 Forest Avenue

I have reviewed the site construction of the 570 sq. ft. building addition for 1837 Forest Avenue and believe it would be acceptable to issue a permanent Certificate of Occupancy. The Portland Friends Meeting House located 16 1837 Forest Avenue.

All site improvements associated with the building construction appear to be completed in an acceptable manner and in conformance with the site plan.

cc: Kethi Staples PE, City Engineer

REVIEWED FOR
NOT
BURNER FREE
COMPLIANCE

STATE OF MAINE
DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
AUGUSTA
CONSTRUCTION PERMIT



Permit No. 7214

PERMISSION IS HEREBY GIVEN TO:

Friends Meeting

Location of project:

1837 Forrest Avenue

1837 Forrest Ave.

Portland, ME 04101

Portland, ME

PROJECT TITLE:

Friends Meeting House

OCCUPANCY CLASSIFICATION:

Assembly

To construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. No departure from such plans shall be made without prior approval in writing.

This permit will expire at midnight on November 29, 1995.

This permit is issued under the provisions of Title 25, Chapter 317, Section 2448

Nothing herein shall excuse the holder of this permit for the failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.

Dated the 30th day of May A.D. 1995

FEE \$ 150.00

*NOT SPRINKLED

Alfred H. Hildfield
Commissioner - Public Safety

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

R JUN 1 1995 **D**
RECEIVED

Chris Wiggins - Architect

20 Spring Street
Yarmouth, Maine 04096
207-848-1420

P.O. Box 309
Islesford, Maine 04646
207-244-5686

May 18, 1995

Dear Portland Planning Office,

Please find enclosed 7 copies of site plans and related material for a small addition to the Friends Meeting House at 1837 Forest Avenue. The topographic site plan by Owen Haskell shows existing conditions and I have done a proposed site plan to satisfy other conditions of the land use ordinance. A sheet of elevations illustrates exterior materials of the addition.

The primary use of the building will remain unchanged; religious worship and education for the Quakers, as well as occasional use as a meeting space for outside groups.

The total land area is approximately 53,70 S. F. The existing building is 2120 s. f., and the planned addition is 567 s. f. footprint.

The solid waste will be unchanged, comparable to other small religious buildings of regular Sunday use. Existing water and sewer lines will be unchanged.

Existing surface drainage is evident from the topographic map, toward Forest Avenue, and will remain unchanged with minor grading away from the addition.

The regulatory approvals necessary for this project are as follows;

1. State Fire Marshalls Office- preliminary approval has been given by Donna Emerson
2. Maine Human Rights Commission- has given a letter of opinion that we can use an A. D. A. -approved handicap wheelchair lift in lieu of an elevator
3. Portland Fire Department- I have shown the plans to Lt. Macdougall for a preliminary review
4. City of Portland building permit- Sam Hofses has looked over floor plans and given his verbal approval.
5. City of Portland minor site plan approval-

We have chosen Wright-Ryan as the building contractor and their preliminary cost estimate was in the range of \$190,000. I have enclosed a quarterly statement of the value of the Portland Friends Meeting endowment value which is approximately \$208,000. In addition to the endowment, the meeting is currently in the middle of a substantial fundraising drive which includes grant money, individual contributions, pledges, and in kind labor, and the fundraising is currently ahead of projections. The person in charge of fund raising is Sarah Jane Elliot (phone 892-5558) if you need further financial information.

The land which the Meeting House is on was donated to the meeting by Caleb Jones in 1845. If necessary, I can furnish you with a copy of the deed.

I think this takes care of the relevant information requested in the land use ordinance. Please don't hesitate to call if you need further information. As we are hoping to begin construction in July, prompt attention to this project would be greatly appreciated.

Thank You,

Chris Wiggins

1837 Forest Ave

Applicant: Scott Lewis
Address: 1837 Forest Ave
Assessors No.: 327A-A-2

Date: 7/14/95

CHECK LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-5

Interior or corner lot -

Use - Addition on rear of New Handicap Ramp

Sewage Disposal -

Rear Yards - 20' req - 20' + shown

Side Yards - 8' req - 15' & 19' shown

Front Yards - N/A

Projections -

Height - 1 Story

Lot Area -

Building Area -

Area per Family -

Width of Lot -

Lot Frontage -

Off-street Parking -

Loading Bays -

Site Plan - minor

Shoreland Zoning - N/A

Flood Plains - N/A



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

I. D. Number

Portland Friends Meeting

Applicant: 1637 Forest Ave. Portland, ME 04101

23 May 1995

Application Date

Applicant's Mailing Address

Consultant/Agent: Chris Wiggins - Architect

1637 Forest Ave

Project Name/Description

Applicant or Agent Daytime Telephone, Fax: 846-1420

Address of Proposed Site

327-A-A-002

Proposed Development (check all that apply):
☒ Office ☒ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☐ New Building ☐ Building Addition ☐ Change of Use ☐ Residential
Addition - 367 sq ft 53,000 sq ft Other (specify) classroom building

Proposed Building Square Feet or # of Units

Acreage of Site

Zoning

basement

Check Review Required:

☒ Site Plan
(major/minor)

☐ Subdivision
of lots

☐ PAD Review

☐ 14-403 Streets Review

☐ Flood Hazard

☐ Shoreland

☐ Historic Preservation

☐ DEP Local Certification

☐ Zoning Conditional
Use (ZNA/PB)

☐ Zoning Variance

☐ Single-Family Minor

☐ Other

Fees paid: site plan 300.00

subdivision

Approval Status:

Reviewer

☒ Approved

☐ Approved w/Conditions
listed below

☐ Denied

Approval Date

Approval Expiration

Extension to

☐ Additional Sheets
Attached

☒ Condition Compliance

signature

date

Performance Guarantee

☐ Required*

☒ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☒ Performance Guarantee Accepted

date

amount

expiration date

☐ Inspection Fee Paid

date

amount

Performance Guarantee Reduced

date

remaining balance

signature

Performance Guarantee Released

date

signature

Defect Guarantee Submitted

submitted date

amount

expiration date

Defect Guarantee Released

date

signature

Pink - Building Inspections

Blue - Development Review Coordinator

Green - Fire

Yellow - Planning

2/9/95 Rev 5 KT:DPUD



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

File Number _____

Address: 1837 Forest Ave

Portland Friends Meeting

23 May 1995

Applicant
1837 Forest Ave Pkwy, ME 04101

Application Date

Applicant's Mailing Address

1837 Forest Ave

Project Name/Description

Consultant/Agent
Chris Wriggins - Architect

Address of Proposed Site

327-A-A-002

Applicant or Agent Daytime Telephone, Fax 846-1420

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
New Building ☒ Building Addition ☐ Change of Use ☐ Residential
Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☐ Other (specify) ☒ classroom handicapped
Addition - 567 sq ft 53,060 sq ft rooms

Proposed Building Square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

☒ Site Plan (major/minor) ☐ Subdivision # of lots ☐ PAD Review
☐ Flood Hazard ☐ Shoreland ☐ Historic Preservation ☐ Other location
☐ Zoning Conditional Use (ZBA/PB) ☐ Zoning Variance ☐ Single-Family Minor ☐ Other

site plan 300.00 subdivision

Status:

Reviewer

Approved

☐ Approved w/Conditions listed below

☐ Denied

Approval Date _____ Approval Expiration _____

Extension to _____ date

☐ Additional Sheets Attached

☒ Condition Compliance *[Signature]*
signature date

Performance Guarantee ☐ Required* ☒ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted _____ date _____ amount _____ expiration date

☐ Inspection Fee Paid _____ date _____ amount _____

Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____

Performance Guarantee Released _____ date _____ signature _____

Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date

Defect Guarantee Released _____ date _____ signature _____

Pink - Building Inspections

Blue - Development Review Coordinator

Green - Fire

Yellow - Planning

2/9/95 Rev 5 IKT.DPUD



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

I. D. Number

Address: 1837 Forest Ave

Portland Friends Meeting

Applicant
1837 Forest Ave Portland, ME 04101

23 May 1992

Application Date

Applicant's Mailing Address

Project Name/Description

Consultant/Agent
Chris Wiggins, Architect

1837 Forest Ave
Address of Proposed Site

327-A-A-002

Applicant or Agent Daytime Telephone, Fax
846-1429

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
New Building ☒ Building Addition ☐ Change of Use ☐ Residential
Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☐ Other (specify) ☒ classroom handicap
Addition - 567 sq ft 53,060 sq ft bathrooms

Proposed Building Square Feet or # of Units

Acres of Site

Zoning

Check Review Required:

☒ Site Plan
(major/minor)

☐ Subdivision
of lots

☐ P.A. Review

☐ 14-403 Streets Review

☐ Flood Hazard

☐ Shoreland

☐ Historic Preservation

☐ DEP Local Certification

☐ Zoning Conditional
Use (ZBA/PB)

☐ Zoning Variance

☐ Single-Family Minor

☐ Other

Fees paid: site plan 300.00

subdivision

Approval Status:

☒ Approved

☐ Approved w/Conditions
listed below

☐ Denied

Approval Date 5/23/92

Approval Expires

Extension to

☐ Additional Sheets
Attached

☐ Condition Compliance

signature

date

Performance Guarantee

☐ Required*

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted

date

amount

expiration date

☐ Inspection Fee Paid

date

amount

Performance Guarantee Reduced

date

remaining balance

signature

Performance Guarantee Released

date

signature

Defect Guarantee Submitted

submitted date

amount

expiration date

Defect Guarantee Released

date

signature

Pink - Building Inspections

Blue - Development Review Coordinator

Green - Fire

Yellow - Planning

2/9/92 Rev5 KT.D/UD

REVIEWED FOR
BARRIER FREE
COMPLIANCE

STATE OF MAINE
DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
AUGUSTA
CONSTRUCTION PERMIT



Permit No. 7214

PERMISSION IS HEREBY GIVEN TO:

Location of project:

PROJECT TITLE:

Friends Meeting

Friends Meeting House

1837 Forrest Avenue

1837 Forrest Ave.

OCCUPANCY CLASSIFICATION

Portland, ME 04101

Portland, ME

Assembly

To construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner or now approved. No departure from such plans shall be made without prior approval in writing.

This permit will expire at midnight on November 27, 1955.

This permit is issued under the provisions of Title 25, Chapter 317, Section 2448

Nothing herein shall excuse the holder of this permit for the failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.

Dated the 25th day of Nov, A.D. 1955

FEE \$ 17.00

Alfred H. Hild
Commissioner - Public Safety

I you have any ques:
hesitate to contact

these requirements, please do not

Sincerely,

P. Samuel H.
P. Samuel Hoffsas
Chief of Inspection Services

cc: M. Schmuckal, Asst. Chief of Inspection Services
Lt Mc Dougall, Fire Prevention Bureau
M. O'Sullivan, Development Review Coordinator

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

July 18 1995

Wright-Ryan Construction, Inc.
10 Danforth St
Portland, ME 04101

Re: 1837 Forest Ave

Dear Sir,

Your application to construct a 567 sq ft addition and repair roof has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

Site Plan Review Requirements

Building Inspections	Approved	- V. Schmuckal
Fire Department	Approved	- LT Mc Dougall
Planning	Approved	- M. O'Sullivan
Development Review Coordinator	Approved	- M. O'Sullivan

Building & Fire Code Requirements

1. Guardrails & Handrails - A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, R-4, 1-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
2. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023 & 1024 of the City's building code (BOCA/1993).
3. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise.
4. Headroom in habitable space is a minimum of 7'6".
5. Kitchen exhaust equipment shall be installed as per Chapter 5 of the City's mechanical code (BOCA/1993).
6. The kitchen equipment shall be installed and meet all State and Local Food Service Codes.

Project Name: Port Friends Meeting
Project Address: 1837 Forest Ave.

Page 1A
Supplemental Sheet

Inspection Date	Type of Inspection	Remarks - prints - page #
8-9-95	H/D ramp & brick Vanner finished joints Backfilled + Ramp @ 1" per ft. & Run	
	3 Sump-tubes open in rear for add it rem (2) two 8" @ (1) one 12" @ all @ 4' below grade or better, 12" has (1) #4 Vert 12' x 12'	
8-10-95	Roof Sheathing completed 3" PVA type 1 Sch 40 to (3 Bunches) 2" PVA 1" Sch 40 all (basement Bath)	
8-29-95	Base (Form pour) entrance (Front) 52 1/2" x 14"	
8-29-95	Rear Porch Frame in 6x16 Vert Support + to sump tube (pneumatic pump) Header (long step 3/2x10 Microlam LVL 2x10 (2) short span Ceiling joist 2x10 16" OC	
8-29-95	Trusses (4x4 Nailed Membr for Wood Structures)	dated 8-24-95
	Rear addition (Basement 4x10 Microlam) Fl. joist 2x10 16" OC w/ Hangers Bridging in Basement Bath Vert/12' 12" OC	
	1st Fl. joist (Truss 2x10 16" OC (Cur) wall 2x10 16" OC 1st Fl plate	
	2nd Fl 2x12 12" OC Partials	
9-12-95	Front Porch Const. in progress	
9-21-95	Front Porch Ext. granite stairs placement in progress (Fl. joist 2x8 16" OC) 3 Member Front Cherry PT Hammer (2x8 5) Part 2 Length Basement 2x8 5 ft. type + 1st floor Taping in progress	2x8 through halted thru ext Brick
	*Note granite stairs - Broken	

Project Name: Pal Friends Meeting
Project Address: 537 Forest Ave

Page ~~2~~ 2A
Supplemental Sheet

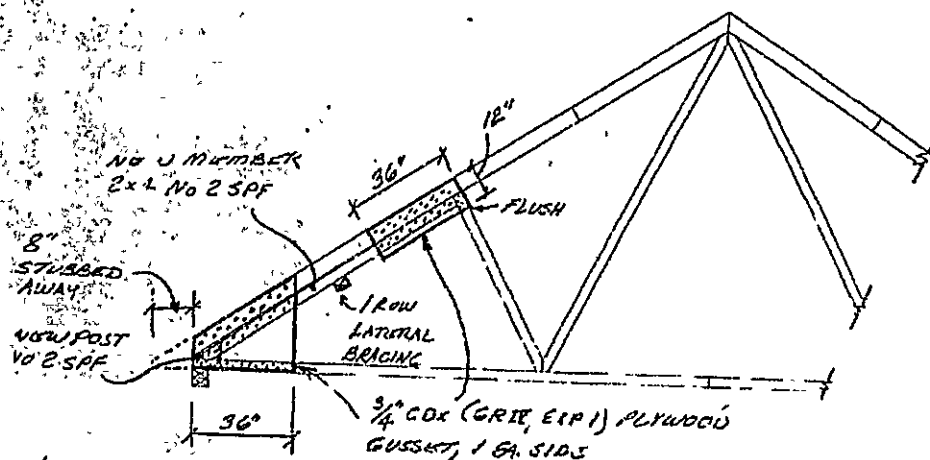
Inspection Date	Type of Inspection	Remarks - prints - page #
10-24-95	- Basement stair width? 890-2222 Class listing of carpet material	40" existing
11-1-95	Ordered by Ht. MacDargatz 801-5 Exit signage.	
11-22-95	(Hand rail Permit) / Handrail Guardrail Elec. paneling / Furnace Room Rear stairs Hand rail / Bottle Area at Refuge Signage Basement / Basement Ceiling + wall Ene Handrail / Hand rail Attic stairs Fire Alarm (Access: Permit / Mark Panel in Alarm Box / Stairs in Furnace Room / 13th Fl. Area at Refuge Control (Signage)	Final 11/14 MacDargatz
12-13-95	NO hand or guard rail on HP Ramp + stairs	
2-4-96	guard rail on / Close X	



Box 347, Alfred Road Business Park,
Bridleford, ME 04003

STUB TRUSS REPAIR

PAGE 1 OF 1
8/24/95



1. GLUE GUSSETS IN PLACE WITH 2-1/4" BEADS OF GLUE ALONG EACH MEMBER.

2. NAIL GUSSETS IN PLACE WITH 2 ROWS 100 NAILS @ 2 1/2" OC., STAGGER ROWS

1) This repair is for "T" No. 59326 Type T01 truss only. This repair drawing may not be reused or reproduced for usage on any other truss or similar situation requiring repair without the approval of the WSI design department.

2) WSI is responsible for the structural adequacy of the repair only. Repairs must be made in compliance with this drawing, and the contractor must verify the accuracy of the condition shown on the drawing against the actual existing condition prior to proceeding with repairs.

3) All trusses must be installed or returned to a true plumb state prior to repairing.

4) All plywood gussets and/or scabs must be located as indicated on this drawing. Avoid damage or movement of repair materials during the repair procedure.

5) The end distance, edge distance and spacing of nails and/or spikes must be such as to avoid unusual splitting of the wood.

6) Glue, if required, to be APA-AFG01 glue, applied in accordance with the glue manufacturer's specifications.

ALLOCATION OF PARTICIPATING UNITS

PARTICIPATING FUNDS	UNITS HELD 31-Mar-95	INCOME FOR QUARTER ENDED 31-Mar-95	MARKET VALUE AS OF 31-Mar-95
SALEM QUARTERLY MEETING 08	52,450	892.50 \$	89,013.00
BEACON HILL FRIENDS HOUSE 09	114,593	1,949.93	194,476.01
DURHAM MONTHLY MEETING 10	73,285	1,247.03	124,372.12
WORCESTER MONTHLY MTG. 11	76,861	1,307.88	130,440.96
WESTPORT MONTHLY MTG. 12	45,277	770.44	76,839.69
PORTLAND MONTHLY MTG. 13	122,808	2,089.71	208,417.71
MATTAPOISETT FRIENDS MTG. 14	96,805	1,647.24	164,287.96
NEW BEDFORD MONTHLY MTG. 15	253,476	4,313.18	430,174.63
NEW BEDFORD PARTICULAR MTG. 16	112,766	1,918.84	191,375.41
LAWRENCE MTHLY MTG. OF FRIENDS 17	45,236	769.74	76,770.11
YARMOUTH PREPARATIVE MEETING OF FRIENDS 18	25,637	436.24	43,508.60
RI SMITHFIELD QUAF. MEETING OF FRIENDS 19	2,065	35.14	3,504.57
NEW ENGLAND FRIENDS HOME /HOME FUNDS 20	31,133	529.76	52,835.83
OVERSEERS SANDWICH MONTHLY MEETING HOXIE FUND 21	10,746	182.86	18,237.06
WELLESLEY MONTHLY MEETING OF FRIENDS 24	17,406	296.18	29,535.76
FRIENDS MEETING AT CAMBRIDGE RET FUND 25	50,313	853.13	85,383.29
STORRS FRIENDS MEETING 26	5,538	94.24	9,398.55
BEACON HILL FRIENDS HOUSE WEED FUND 27	4256	72.42	7,222.87
MATTAPOISETT FRIENDS MEETING CEMENTARY FUND 28	4875	82.97	9,275.07
NORTH SANDWICH MONTHLY MEETING NH 29	5831	99.22	9,895.80
	1,999,031	34,015.74 \$	3,392,559.57

7-6957-00-0

NEW ENGLAND MEETING OF FRIENDS POOLED FUND

PARTICIPATING FUNDS AND UNITS AS OF MARCH 31, 1995

	31-Dec-94	31-Mar-95
TOTAL VALUE OF FUNDS	3,251,727.54	3,392,559.57
NUMBER OF UNITS	1,982,229	1,999,031
VALUE PER UNIT	1.6404	1.6971
NET INCOME FOR QUARTER	48,610.80	34,015.74
NET INCOME PER UNIT	0.024523	0.017016

ALLOCATION OF PARTICIPATING UNITS

PARTICIPATING FUNDS	UNITS HELD 31 Mar-95	INCOME FOR QUARTER ENDED 21-Mar-95	MARKET VALUE AS OF 31-Mar-95
N.E. YEARLY MEETING 01	197,951	3,368.36	335,943.04
SMITH NECK FRIENDS MTG 02	82,455	1,403.06	139,934.55
PROVIDENCE MONT. ILY MTG. 03	258,706	4,402.17	439,050.48
N.E. FRIENDS HOME 04	202,281	3,442.04	343,291.50
FRIENDS MTG AT CAMBRIDGE 05	71,074	1,209.40	120,619.83
SMITH HILL MONTHLY MTG. 07	35,206	599.07	59,748.17

LT Mac

Chris Wiggins, Architect
20 Spring Street
Yarmouth, ME 04096
(207) 846-1420 FAX
(207) 244-5686
EIS, 9351 - OFFICE

PROJECT SPECIFICATION

Friend: Meeting House
Portland, Maine
June 1, 1995

DIVISION 0-CONTRACT REQUIREMENTS

O.A. GENERAL CONDITIONS OF THE CONTRACT:

REVIEW OF CONTRACT DOCUMENTS: The Contractor shall check and verify all conditions and dimensions and report any discrepancies to the Architect prior to start of work.

O.B. PERMITS AND FEES: All work shall conform to the requirements and restrictions of local codes. The Contractor will obtain, at his own expense, all permits and approvals required by law for himself and his Subcontractors. Violations of any state or town rights or ordinances will be the Contractor's responsibility. Architect to obtain site plan permit from the City of Portland, Maine, State Fire Marshal's Office approval and permits necessary to use inclined wheelchair lift.

O.C. PROTECTION OF WORK & PROPERTY:

1. Materials and equipment shall be stored and protected in such a manner as to prevent overloading of floors and to insure against injury to personnel, the building, materials or the equipment itself.
2. Provide constant protection against rain, wind and storms to maintain work, materials, apparatus and fixtures. from injury or damage.

O.D. EXTRA WORK: The Owner, at his discretion, has the right and power to make alterations, deviations, additions or deletions from the Contract Documents at any time during construction.

The Contractor will establish a cost estimate, if applicable, in writing in response to a written proposal by the Architect. If authorized in writing, a Change Order will be issued and the Contractor will be duly compensated at construction completion, as approved by the Owner.

O.E. INSURANCE: Furnish certificates for all insurance to Architect before beginning any work and notify the Architect of any changes.

1. Worker's Compensation Insurance, Employer's Liability Insurance, Public Liability Insurance and Theft Insurance shall be carried by the General Contractor from the time the work commences until the work is completed and turned over to Owner.
2. The Contractor shall not include in his proposal the cost of Owner's Contingent Liability Insurance which will be carried by the Owner.
3. Certificates of Insurance indicating coverage as specified shall be furnished to the Architect before work is started.
4. The Contractor shall comply with all National, State and Local laws and regulations relating to insurance as affecting the work under this Contract and shall require that each person or concern shall likewise comply before subletting work under this Contract to them.
5. The Owner will maintain fire and theft insurance in connection with the construction, materials, supplies and equipment on the premises as his interests and those of the Contractor may require.

O.F. SUPPLEMENTARY GENERAL CONDITIONS:

1. Alternates: Contractor may suggest alternate methods for achieving the results desired by the Architect. In such instances, the Contractor must specifically describe his method and give difference in cost between his and the Architect's suggested method for performing the work. Architect will decide.

O.G. GUARANTEE:

1. The Contractor shall furnish the usual trade guarantees, guaranteeing all materials and workmanship against original defects or against injury from proper and usual wear, when used for the purpose intended, for a period of one year after completion of the work in this contract.

DIVISION 1-GENERAL REQUIREMENTS

- 1.A. **SCOPE OF WORK:** Work to be performed under this Contract shall include all labor and materials to do all work as shown on the drawings and hereby specified, in such a way that all work will be completed, finished in accordance with good trade practice. It is intended that the drawings and specifications include everything required and necessary to finish the work properly. Any item appearing on the drawings and not on the specification, or on the specifications and not the drawings, shall have like effect as if it appeared in both. Work not indicated but inferable to complete the work shall be understood to be included and be a part of the Contract, such as removal of debris from the premises and the installation of hardware, etc.

The Contractor shall submit a construction schedule including all phases of subcontractor's work and completion dates.

The Contractor shall verify all dimensions and existing conditions before proceeding with the work. Contractor will report any variations found at the site before proceeding with that part of the work.

1.B. **SHOP DRAWINGS AND SAMPLES:**

1. The Contractor shall check and verify all field measurements and shall submit with such promptness as to cause no delay in his own work or in that of any Contractor, three copies, checked and approved by him of all shop drawings or setting drawings or schedules required for the work of the various trades. The Architect shall check and approve, with reasonable promptness, such schedules and drawings only for conformance with the design concept of the Project and compliance with the information given in the Contract Documents. (Any fabricated item requires shop drawings; items with detailed cuts available from the manufacturer will be accepted with the cuts.)

- 1.C. **CLEAN UP:** The Contractor shall keep the premises free from rubbish and accumulation of debris during construction.

DIVISION 2-SITEWORK

Requirements of the Conditions of the Contract and Division I of these Specifications apply to all work in this Division.

- 2.A. **SCOPE:** All required excavation, backfilling, regrading; all site preparation and drainage and subsurface drainage; all rough and finish grading loam and seeding of all disturbed areas. All backfilling shall be thoroughly tamped to avoid settling. All demolition of existing walls.

7. Patch surfaces as necessary to provide an even finish to match adjacent finishes. All plastered surfaces disturbed by the alteration work, such as removal of switch boxes, molding, etc. shall be patched and plastered smooth to match existing work.

DIVISION 3-CONCRETE

CONCRETE FORMWORK: Shall conform to the shape, lines and dimensions of the member as called for on the plans.

CONCRETE REINFORCEMENT: Supply and install all reinforcing bars, other devices necessary for properly placing, spacing, supporting and fastening reinforcement in place. Provide for installation of inserts, metal ties, anchors, dowels, nailing strips, blocking, grounds and other fastening devices required for attachment of other work. Properly locate in cooperation with other trades and secure in position before concrete is poured.

CAST-IN-PLACE-CONCRETE: Furnish and place all plain and reinforced concrete.

MATERIALS: Concrete shall be stone aggregate of minimum compressive strength as noted below:

Footings, walls and piers	3000 psi
Slabs	3500 psi

Reinforcement shall have the following minimum concrete cover:

- | | |
|--|----|
| a. Footings and concrete deposited on the ground | 3" |
| b. Concrete exposed to ground or weather | 2" |
| c. Concrete not exposed to ground or weather | 1" |

Installation shall be in accordance with ACI 301, Specifications for Structural Concrete for Buildings.

FOOTINGS AND FOUNDATIONS: Footings shall be at least 4'-0" below grade and shall be at least 12" wider than the foundation wall above, as per drawings. Stone aggregate concrete shall be 1:2:4 mix. Footings shall rest on undisturbed soil of minimum bearing capacity: 3000 psf. Adequacy of bearing strata shall be verified in the field prior to pouring; adjust bottom of footing elevations as required.

DAMPPROOFING: Contractor to apply a coat of trowelled on or brushed on bitumastic compound.

ANCHOR BOLTS: Provide and install 1/2" x 12" hooked anchor bolts in foundation @ 4'-0" O.C. at all corners and as shown on the drawings.

DIVISION 4--MASONRY

4.A. SCOPE: Work under this section includes all exterior brickwork and granite stairs as called for on the drawings.

4.B. MATERIALS:

1. BRICK: Contractor to provide bricks suitable for a reasonable match to existing brick work and mortar. Bricks from existing chimney or area of wall to be demolished may be reused to repair wall section or patch top of walls as needed. Provide brick sample to Architect before commencing work.
2. GRANITE STEPS: Reuse existing granite steps. Existing 2' x 14' x 7" step may be cut into 4- 1' x 7' x 7" sections for reuse as shown on drawings.

DIVISION 5--METAL

5.A. SCOPE: Furnish and install structural and miscellaneous metal work, including all necessary bolts, wood post base anchors, joist hangers and other accessories. All items shall be factory galvanized or shop primed with a zinc based primer. Simpson Strong-Tie or equal.

5.B. MATERIALS:

1. Pipe rail: Galvanized steel pipe 1-1/2" O.D. shop primed permanently anchored in cement or with mounting flanges and handrail brackets as shown. Rail mounting brackets by Julius Blum # 305 or equal. Use mounting sleeves in masonry walls as required.

DIVISION 6-CARPENTRY

Requirements of the Conditions of the Contract and of Division 1 of these Specifications apply to all work in this Division.

6.A. SCOPE: The work of this section includes all carpentry and millwork required or full and proper completion of this part of the work. Also included is such carpentry work involved in patching required by plumbing, heating and electrical systems.

6.B. MATERIALS:

1. GENERAL: All timber shall be free of large and loose knots, sap and other such imperfections. Details of wood framing such as nailing, blocking, bridging, fire stopping, etc. shall conform to BOCA latest edition.

2. FRAMING: Framing lumber shall be grade stamped and surface dry.

Rafters and joists: Eastern Spruce No. 2 Fb min= 1000 psi
Beams and girders: Eastern Spruce No. 2 Fb min= 1000 psi
Studs and plates: Eastern No. 2 - Stud grade
Laminated Veneer Lumber - Microlams or equal

3. WALL SHEATHING AND SUBFLOORING: Plywood sheathing shall be APA grade - stamped for specified span, shall be made with Exterior Glue. All plywood sheathing shall be glue-nailed to floor joist using APA approved elastomeric construction adhesive (B.F. Goodrich P1400 or equal) of the following thickness:

Roof: 5/8"
Floors: 3/4"
Walls: 1/2"

4. EXTERIOR WOOD STUD WALLS: 2 x 6 studs spaced 16" O.C., built up solid or with energy corners and doubled at openings. Studs receiving lintels or leaders must be of one piece from top plate to floor. Double top plate of all exterior bearing partitions.

5. LINTELS AND HEADERS: To be doubled, set on edge. Spans to be as indicated on drawings or as follows:

spans up to 3 ft.:	2 (2 x 6)'s
spans up to 4 ft.:	2 (2 x 8)'s
spans up to 6 ft.:	2 (2 x 10)'s

6. Furnish and install all structural and miscellaneous metal work, including all necessary bolts, wood post base anchors, joist hangers, steel angles and other accessories. All items shall be galvanized. Simpson Strong-Tie or equal.
7. INTERIOR PARTITIONS: To be 2 x 4 studs or as noted on drawings.
8. INTERIOR FINISH WOOD TRIM: No. 1 grade Eastern Pine flat casing, paint finish.
9. EXTERIOR WOOD TRIM: No. 2 grade Eastern Pine. All seams and splices to be tightly joined.
10. WOOD BASE: Provide 3/4" paint grade wood base to match existing adjacent to existing construction. Provide flat 3/4" pine at all new construction. Brosco or equal.
11. WATERPROOF BUILDING PAPER: Contractor to use waterproof building paper between all rough and finish flooring. Use 4" overlap, secure thoroughly.
12. AIR INFILTRATION BARRIER: To be used between all rough and finish sheathing. Paper over lap to be 4", secure thoroughly. Carry paper behind trim at all openings.
13. WOOD SIDING: Clear 1/2" x 6" select pine clapboards, back primed solid stain finish.
14. UNDERLAYMENT: 1/2" pine faced plywood or other acceptable alternate underlay ment under new carpet, VCT at first floor bath.
15. NAILING SCHEDULE: All edges, 8D @ 6" O.C.; all other conditions, 8D @ 8" O.C.
16. SILLS: to be pressure-treated 2 x 6's. Provide sill sealer between concrete and sill.
17. EXTERIOR WOOD DECKING AND TREADS: 1 x 4 Douglas Fir decking with square edges. Thompson's Waterseal finish. 7 CLASSIC RECOMMENDED ?
18. CEILING STRAPPING: Provide and install 1 x 3 spruce furring at 16" O.C.
19. SOUND BOARD: Install continuous 1/2" sound board as shown at worship space wall.

20. WOOD BLOCKING: Provide wood blocking for all millwork and accessories shown on drawings.
21. CAP: At half wall reused select pine board trim.
22. WOOD SHELVES: 3/4" birch plywood with pine nosings.
23. WOOD BASE: Provide 3/4" paint grade wood base with quarter round top at all new construction. To match existing at First Floor patch and repair to match existing. Basement base to match existing at G.W.B. walls.
24. WOOD THRESHOLDS: Oak sills by Brosco or equal.
25. SHAKER PEGS: As shown on drawings, painted birch.
26. INTERIOR WOOD HANDRAIL: Standard birch handrail polyurethane finish with handrail brackets by Ives.
27. MILLWORK: Provide and install painted Shaker style cabinets as shown. Plastic laminate countertop, almond color.
28. WAINSCOTTING: T & G select pine, profile to match existing.

6.B.1. Hardware: Unless otherwise noted on the drawings.

- i. Cabinet Door and Drawer Pulls: 3/4" wood Shaker style pulls, painted.
- ii. Cabinet Door Hinges: Stanley Concealed Casework Hinges.
- iii. Drawer Slides: All slides shall be manufactured by Knap & Vogt Mfg. Co. or Grant.
- vi. Adjustable Shelving Supports: Knap & Vogt No. 333.

6.C. PERFORMANCE:

1. Framing shall be in accordance with the drawings and where conditions are not specifically shown shall be sized and arranged to safely perform the work intended. All rough framing shall be properly spiked, bolted and strapped together to provide a rigid, substantial structure. Provide all grounds, blocking, furring, strips as required for securing trim and other finished work, enclosing pipes as required and securing fixtures. Studs shall set plumb, square and true to line.

2. Floor joists shall be doubled under all partitions which run parallel to the floor joists. Double all trimmers and headers.
3. Double top plates of all bearing partitions. Provide plate of double thickness for non-bearing partitions running parallel with floor joists.
4. Floor to be blocked with staggered solid blocking of same dimensions as framing as shown on the drawings.
5. Produce millwork with clean cut profiles and lines; scrape smooth, sand and leave ready for finishing.

DIVISION 7-THERMAL AND MOISTURE PROTECTION

Requirements of the Conditions of the Contract and Division 1 of these Specifications apply to all work in this Division.

- 7.A. SCOPE: Installation and materials for exterior moisture control and insulation for any work on building exterior.
- 7.B. BUILDING INSULATION AND MOISTURE BARRIER:
 1. Use batt - type 6" fiberglass with vapor barrier for all new walls.
 2. Provide blown-in 12" fiberglass for all ceilings at existing building. Provide 9" batt type insulation with vapor barrier at new addition.
 3. Provide 2" rigid "blue board" below grade at foundation of new addition.
 4. All spaces around new door openings at exterior walls to be sealed with insulation.
 5. Vapor Barrier: 6 mil. polyethylene membrane. Insure membrane is continuous behind switches, outlets and junction boxes.
- 7.C. ASPHALT SHINGLE ROOFING: 235#, 25 year life equal to GAF's 3 tab Self-Sealing Class A Fiberglass Asphalt roof shingle. Match existing shingle type and color. Provide metal edge strip. Provide black low profile aluminum 12" sq. roof vents, as shown on drawings.
 1. Eave and Valley Flashing: Ice and water dam shield by W.R. Grace - Bituthene membrane over valleys and 3'-0" strip along roof eaves under all other new roofing.

- 7.D. FLASHING: Painted white aluminum for all new window head flashing requirements. All nails to be compatible with material to be fastened. All pipes passing through roof shall be flashed and counter-flashed. Step flashing at front entry only to be copper.
- 7.E. WOOD VENT: Brosco gable end vent as shown on drawings.

DIVISION 8-DOORS & WINDOWS

Requirements of the Conditions of the Contract and of Division 1 of these Specifications apply to all work in this Division.

- 8.A. SCOPE: Work includes fabrication and installation of all doors, windows and glazing indicated.
- 8.B. INTERIOR DOORS: All new interior doors are to be solid pine panel or solid core birch as shown. Reuse existing panel doors as called for on drawings and schedules.
- 8.C. HARDWARE: Hardware for interior doors to be lever handle suitable for H.C. use Yale 5300 series, PB Lever Trim, bronze finish.
1. Fire and Exit hardware required to be Yale 7000 series, narrow style, bronze finish.
 2. Exterior doors to be Yale mortise locksets 2600 series PBR trim, bronze finish.
2700
 3. Provide wall stops and magnetic hold open devices as shown. Closers to be Yale 3000 series or equal, dark bronze, full mortise hinge to match hardware by Hagar or equal.
 4. Coordinate hardware with supplier and submit product information to Architect for approval.
- 8.D. WINDOWS: Marvin single pane true divided lites with energy panel, 5/4 x 4" exterior casing with screens for 2 x 6 walls. Factory primed. Sizes as shown on drawings, Brosco basement sash windows and frames as shown, Interior Transoms to be shop fabricated.

DIVISION 9-FINISHES

Requirements of the Conditions of the Contract and of Division 1 of these specifications apply to all work in this Division.

9.A. GYPSUM DRYWALL:

1. Standard paper faced gypsum mineral wallboard of 1/2" or 5/8" fire code thickness as needed for all walls and ceilings.
2. 1/2" thick water-resistant gypsum wallboard in bathrooms.
3. Metal trim shall be used at all external corners, at intersection between gypsum and right angle surfaces and at exposed edges and ends, end beads to be taped type.
4. Where gypsum board partitions abut gypsum ceilings, the joint shall be taped and spackled. Edges of metal corner reinforcing shall be concealed by two coats of joint compound spread out evenly and feathered 8-10" back.
 - a. Screws shall be 8" O.C., staggered at edges of board, 16" O.C. elsewhere on board, dimpled slightly.
 - b. Joints, nailheads, etc. shall receive a three-coat spackle treatment, sanded smooth.
 - c. Upon completion, gypsum board surfaces shall be flat, smooth and without visible joints, nailheads or cracks. Metal trim shall be undamaged, in line and tight against adjacent work where such condition occurs.

9.B. FLOORING:

1. EXISTING WOOD FLOORS: Re-nail with spiral flooring nails any loose floor boards.
2. PINE FLOORING: Reuse existing floor boards from demolition, plane, face nail and sanded with three coats of natural polyurethane finish.
3. CARPETING:
 - a. Provide \$20 per square yard allowance for commercial grade carpeting and installation. Color and manufacturer to be selected by Owner.
4. RESILIENT FLOORING:
 - a. Resilient flooring shall be solid rubber/vinyl 12' x 12" floor tile by Tarkett or equal. Color to be selected by Owner.

- b. Preparation: Examine substrate and adjoining construction and conditions under which the work is to be installed and do not proceed with the work until the unsatisfactory conditions have been corrected. Fill cracks, holes and depressions in the substrate. Surface shall be smooth and level. Remove roughness and protrusions from surface by grinding. Use compounds for filling, complying with resilient flooring manufacturer's recommendations.
 - c. Install resilient flooring in accordance with the manufacturer's instruction, with the appropriate primers required. Adhesive to be waterproof as recommended by manufacturer.
5. ACOUSTICAL TILE: Replace ceiling tile and grid as necessary in Kitchen: Armst. , "Cortega" tile or equal.

9.C. PAINTING:

SCOPE: The work consists of all labor, materials, equipment and services necessary to complete the painting of exterior and interior surfaces. All colors and locations to be selected by the Owner. Prime and paint all interior surfaces affected by new work, including walls, baseboard, wood trim, doors and windows. All rooms affected by work shall be painted or finished as per Finish schedule.

- 2. All construction (new and existing) to receive two coats of finish-quality paint.
- 3. All new interior construction to be primed white.
- 4. All paint shall be delivered to the job sealed in manufacturer's containers, labeled, of good quality, as manufactured by Benjamin Moore, Pittsburgh Paint or equal. Eggshell for walls and Satin Impervo for trim.
- 5. Before painting, all surfaces shall be sanded, patched and sealed with an appropriate primer coat. All should be dry and all other work complete within room. All hardware and fixtures to be masked and protected from the paint.
- 6. Plaster and plasterboard shall be given one coat acrylic base primer and two finish coats. Color as selected by Owner.
- 7. Refinished floor to receive two coats gloss polyurethane varnish, one coat satin.
- 8. Existing exterior trim to remain to be scraped down to the bare wood and thoroughly prepared where necessary, primed and given two coats of Benjamin Moore exterior semi-gloss white paint.

9. All metal pipe rail to be shop primed, finished with exterior semi-gloss black exterior metal paint.

DIVISION 10-SPECIALTIES

Requirements of the Conditions of the Contract and of Division 1 of these Specifications apply to all work in this Division.

- 10.A. BATH ACCESSORIES: Provide necessary blocking as per drawings and schedule. Provide H.C. grab bars as shown. Provide and install white ceramic paper holder and 24" ceramic towel bars as shown.
- 10.B. MIRRORS: Provide and install 2 - 18" x 42" mirrors as shown with 2" pine frame.

DIVISION 11-EQUIPMENT

Requirements of the Conditions of the Contract and of Division 1 of these Specifications apply to all work in this Division.

- 11.A. SCOPE: Work includes installation of all items in this division, complete with any auxiliary equipment required.
- 11.B. WHEELCHAIR LIFT: Supply and install Gararentu Stair Lift Model GSL 2 (Express) 30" x 48" platform with fold down seat, wall mounted, power folding platform, standard grey color, SP platform. Provide pedestrian hand rail at code height. 1-1/2" O.D. round, 208/220/240 power (contact person at Gararentu; Jim Hunt 617-356-2722). Coordinate wall construction with manufacturer.

DIVISION 15A PLUMBING

- 15.A. SCOPE: The work covered by this Section of the specifications includes the furnishings of all labor, materials, equipment, transportation permits, inspections and incidentals and the performing of all operations required to install a complete and functional plumbing system, as indicated.

15.B. MATERIALS:

Fixtures and Trim:

- a. All fiberglass and vitreous china fixtures to be white.
- b. Room No. 107
 - (1) Lavatory: American Standard Lucerne wall hung model # 0355.012, 4" centers, faucet by Delta, H.C. stainless lever handle # 2521SHP stainless trap.
 - (2) Water Closet: American Standard Cadet elongated water saver model # 2108.408, Onsolute # 44 seat.
- c. Room No. 101
 - (1) Sink: Stainless steel, bar sink; stainless lever handle, faucet by Delta.
- d. Room No. 002
 - (1) Tub/Shower: Kohler # K-1586 Vera Cruz, Delta stainless shower head and control.
 - (2) Lavatory: American Standard Lucerne model # 0355.012 w/ 1" hung, faucet by Delta, H.C. stainless lever handle # 2521SHP, stainless trap.
 - (3) Toilet: American Standard Cadet elongated water saver model # 2108.408, Onsolute # 44 seat.
 - (4) Floor Drain: Provide stainless floor drain.
- e. Pipe: Copper supply lines, PVC waste and vent lines per code.
- f. Shock Absorbers (Water-Hammer Arrestors): Shock Absorbers - Provide as required to prevent water hammer.
- g. Hot Water Heater: By A.O. Smith Pennaglass II or equal, 40 gallon capacity.



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

I. D. Number

Address: 1837 Forest Ave

Portland Friends Meeting
Applicant
1837 Forest Ave Ptd, ME 04101
Applicant's Mailing Address
Consultant/Agent Chris Wiggins - Architect
Applicant or Agent Daytime Telephone, Fax 846-1420

23 May 1995
Application Date

1837 Forest Ave
Address of Proposed Site
327-A-A-002
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building ☒ Building Addition ☐ Change of Use ☐ Residential
Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☐ Other (specify) ☒ class room handicapp
Addition - 567 sq ft 53,060 sq ft
Proposed Building Square Feet or # of Units Acreage of Site Zoning R-5 bathrooms

Check Review Required:

☒ Site Plan (major/minor) ☐ Subdivision # of lots ☐ PAD Review ☐ 14-1.5" Streets Review
☐ Flood Hazard ☐ Shoreland ☐ Historic Preservation ☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB) ☐ Zoning Variance ☐ Single-Family Minor ☐ Other

Fees paid site plan 300.00 subdivision

Approval Status:

Reviewer

☐ Approved ☐ Approved w/Conditions listed below ☐ Denied

1. _____
2. _____
3. _____
4. _____

Approval Date _____ Approval Expiration _____ Extension to _____ ☐ Additional Sheets Attached

☐ Condition Compliance _____ signature _____ date _____

Performance Guarantee ☐ Required* ☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____
☐ Inspection Fee Paid _____ date _____ amount _____
Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
Performance Guarantee Released _____ date _____ signature _____
Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
Defect Guarantee Released _____ date _____ signature _____

Pink - Building Inspections Blue - Development Review Coordinator Green - Fire Yellow - Planning 2/9/95 Rev. 5 KT DPUD

The Contractor will establish a cost estimate, if applicable, in writing in response to a written proposal by the Architect. If authorized in writing, a Change Order will be issued and the Contractor will be duly compensated at construction completion, as approved by the Owner.

O.E. INSURANCE: Furnish certificates for all insurance to Architect before beginning any work and notify the Architect of any changes.

1. Worker's Compensation Insurance, Employer's Liability Insurance, Public Liability Insurance and Theft Insurance shall be carried by the General Contractor from the time the work commences until the work is completed and turned over to Owner.
2. The Contractor shall not include in his proposal the cost of Owner's Contingent Liability Insurance which will be carried by the Owner.
3. Certificates of Insurance indicating coverage as specified shall be furnished to the Architect before work is started.
4. The Contractor shall comply with all National, State and Local laws and regulations relating to insurance as affecting the work under this Contract and shall require that each person or concern shall likewise comply before subletting work under this Contract to them.
5. The Owner will maintain fire and theft insurance in connection with the construction, materials, supplies and equipment on the premises as his interests and those of the Contractor may require.

O.F. SUPPLEMENTARY GENERAL CONDITIONS:

1. Alternates: Contractor may suggest alternate methods for achieving the results desired by the Architect. In such instances, the Contractor must specifically describe his method and give difference in cost between his and the Architect's suggested method for performing the work. Architect will decide.

O.G. GUARANTEE:

1. The Contractor shall furnish the usual trade guarantees, guaranteeing all materials and workmanship against original defects or against injury from proper and usual wear, when used for the purpose intended, for a period of one year after completion of the work in this contract.

DIVISION 1--GENERAL REQUIREMENTS

- 1.A. **SCOPE OF WORK:** Work to be performed under this Contract shall include all labor and materials to do all work as shown on the drawings and hereby specified, in such a way that all work will be completed, finished in accordance with good trade practice. It is intended that the drawings and specifications include everything required and necessary to finish the work properly. Any item appearing on the drawings and not on the specification, or on the specifications and not the drawings, shall have like effect as if it appeared in both. Work not indicated but inferable to complete the work shall be understood to be included and be a part of the Contract, such as removal of debris from the premises and the installation of hardware, etc.

The Contractor shall submit a construction schedule including all phases of subcontractor's work and completion dates.

The Contractor shall verify all dimensions and existing conditions before proceeding with the work. Contractor will report any variations found at the site before proceeding with this part of the work.

1.B. **SHOP DRAWINGS AND SAMPLES:**

1. The Contractor shall check and verify all field measurements and shall submit with such promptness as to cause no delay in his own work or in that of any Contractor, three copies, checked and approved by him of all shop drawings or setting drawings or schedules required for the work of the various trades. The Architect shall check and approve, with reasonable promptness, such schedules and drawings only for conformance with the design concept of the Project and compliance with the information given in the Contract Documents. (Any fabricated item requires shop drawings; items with detailed cuts available from the manufacturer will be accepted with the cuts.)

- 1.C. **CLEAN UP:** The Contractor shall keep the premises free from rubbish and accumulation of debris during construction.

DIVISION 2--SITEWORK

Requirements of the Conditions of the Contract and Division I of these Specifications apply to all work in this Division.

- 2.A. **SCOPE:** All required excavation, backfilling, regrading; all site preparation and drainage and subsurface drainage; all rough and finish grading loam and seeding of all disturbed areas. All backfilling shall be thoroughly tamped to avoid settling. All demolition of existing walls.

2.B. MATERIALS:

1. 4" diameter PVC perforated foundation drain lines to daylight. Gravel to be clean bank run. Sand to be clean and contain no dirt or foreign material. Test drain lines before backfilling.
2. Bituminous concrete ~~flooring~~ for patching at H.C. Ramp and Entry Stair to be supported with compacted gravel sub-base, 2" thick binder coarse, 1" thick finish coarse.
3. Gravel fill at parking adjacent to new H.C. Ramp to be 3" packing gravel base, stone dust finish.

2.C. DEMOLITION:

1. The Contractor will do all demolition work, except work agreed to by Owner, leaving the premises free of debris, obsolete electrical wiring and unwanted material such as doors, door frames, ductwork, etc. to be removed from premises. Store all doors and any other items to be reused safely on premises.
2. The Contractor shall include under this Contract the cost of patching and altering floors, walls and ceilings to complete the renovation work as called for in the drawings.
3. Where existing partitions have been removed and floors are to extend over to the next room or space, the gap between floors shall be patched to match existing flooring.
4. The removal of all the portions of the structure to be removed shall be done with care, using tools and methods that will not transfer any heavy shock to the remaining portion of the building. Take all possible care to avoid major vibration and other disturbances. Repair any damage caused by removal.
5. Debris shall not be allowed to accumulate inside the building.
6. When removing materials and making openings in walls, etc., the Contractor shall take precautions and use whatever protection devices, shoring and the like as may be required to assure that the remaining and adjacent portions of the existing work which is to remain is substantially supported and/or not loaded beyond safe limits, particularly in regard to bracing exterior brick walls.

7. Patch surfaces as necessary to provide an even finish to match adjacent finishes. All plastered surfaces disturbed by the alteration work, such as removal of switch boxes, moldings, etc. shall be patched and plastered smooth to match existing work.

DIVISION 3--CONCRETE

CONCRETE FORMWORK: Shall conform to the shape, lines and dimensions of the member as called for on the plans.

CONCRETE REINFORCEMENT: Supply and install all reinforcing bars, other devices necessary for properly placing, spacing, supporting and fastening reinforcement in place. Provide for installation of inserts, metal ties, anchors, dowels, nailing strips, blocking, grounds and other fastening devices required for attachment of other work. Properly locate in cooperation with other trades and secure in position before concrete is poured.

CAST-IN-PLACE-CONCRETE: Furnish and place all plain and reinforced concrete.

MATERIALS: Concrete shall be stone aggregate of minimum compressive strength as noted below:

Footings, walls and posts	3000 psi
Slabs	3500 psi

Reinforcement shall have the following minimum concrete cover:

- | | |
|--|----|
| a. Footings and concrete deposited on the ground | 3" |
| b. Concrete exposed to ground or weather | 2" |
| c. Concrete not exposed to ground or weather | 1" |

Installation shall be in accordance with ACI 301, Specifications for Structural Concrete for Buildings.

FOOTINGS AND FOUNDATIONS: Footings shall be at least 4'-0" below grade and shall be at least 12" wider than the foundation wall above, as per drawings. Stone aggregate concrete shall be 1:2:4 mix. Footings shall rest on undisturbed soil of minimum bearing capacity: 3000 psf. Adequacy of bearing strata shall be verified in the field prior to pouring; adjust bottom of footing elevations as required.

DAMPPROOFING: Contractor to apply a coat of trowelled on or brushed on bitumastic compound.

ANCHOR BOLTS: Provide and install 1/2" x 12" hooked anchor bolts in foundation @ 4'-0" O.C. at all corners and as shown on the drawings.

DIVISION 4--MASONRY

4.A. **SCOPE:** Work under this section includes all exterior brickwork and granite stairs as called for on the drawings.

4.B. **MATERIALS:**

1. **BRICK:** Contractor to provide bricks suitable for a reasonable match to existing brick work and mortar. Bricks from existing chimney or area of wall to be demolished may be reused to repair wall section or patch top of walls as needed. Provide brick sample to Architect before commencing work.
2. **GRANITE STEPS:** Reuse existing granite steps. Existing 2' x 14' x 7" step may be cut into 4- 1' x 7' x 7" sections for reuse as shown on drawings.

DIVISION 5--METAL

5.A. **SCOPE:** Furnish and install structural and miscellaneous metal work, including all necessary bolts, wood post base anchors, joist hangers and other accessories. All items shall be factory galvanized or shop primed with a zinc based primer. Simpson Strong-Tie or equal.

5.B. **MATERIALS:**

1. **Pipe rail:** Galvanized steel pipe 1-1/2" O.D. shop primed permanently anchored in cement or with mounting flanges and handrail brackets as shown. Rail mounting brackets by Julius Blum # 305 or equal. Use mounting sleeves in masonry walls as required.

DIVISION 6-CARPENTRY

Requirements of the Conditions of the Contract and of Division I of these Specifications apply to all work in this Division.

6.A. SCOPE: The work of this section includes all carpentry and millwork required or full and proper completion of this part of the work. Also included is such carpentry work involved in patching required by plumbing, heating and electrical systems.

6.B. MATERIALS:

1. GENERAL: All timber shall be free of large and loose knots, sap and other such imperfections. Details of wood framing such as nailing, blocking, bridging, fire stopping, etc. shall conform to BOCA latest edition.

2. FRAMING: Framing lumber shall be grade stamped and surface dry.

Rafters and joists:	Eastern Spruce No. 2 Fb min= 1000 psi
Beams and girders:	Eastern Spruce No. 2 Fb min= 1000 psi
Studs and plates:	Eastern No. 2 - Stud grade
Laminated Veneer Lumber:	Microlam or equal

3. WALL SHEATHING AND SUBFLOORING: Plywood sheathing shall be APA grade - stamped for specified span, shall be made with Exterior Glue. All plywood sheathing shall be glue-nailed to floor joist using APA approved elastomeric construction adhesive (B.F. Goodrich P1400 or equal) of the following thickness:

Roof:	5/8"
Floors:	3/4"
Walls:	1/2"

4. EXTERIOR WOOD STUD WALLS: 2 x 6 studs spaced 16" O.C., built up solid or with energy corners and doubled at openings. Studs receiving lintels or leaders must be of one piece from top plate to floor. Double top plate of all exterior bearing partitions.

5. LINTELS AND HEADERS: To be doubled, set on edge. Spans to be as indicated on drawings or as follows:

spans up to 3 ft.:	2 (2 x 6)'s
spans up to 4 ft.:	2 (2 x 8)'s
spans up to 6 ft.:	2 (2 x 10)'s

6. Furnish and install all structural and miscellaneous metal work, including all necessary bolts, wood post base anchors, joist hangers, steel angles and other accessories. All items shall be galvanized. Simpson Strong-Tie or equal.
7. INTERIOR PARTITIONS: To be 2 x 4 studs or as noted on drawings.
8. INTERIOR FINISH WOOD TRIM: No. 1 grade Eastern Pine flat casing, paint finish.
9. EXTERIOR WOOD TRIM: No. 2 grade Eastern Pine. All seams and splices to be tightly joined.
10. WOOD BASE: Provide 3/4" paint grade wood base to match existing adjacent to existing construction. Provide flat 3/4" pine at all new construction. Bryco or equal.
11. WATERPROOF BUILDING PAPER: Contractor to use waterproof building paper between all rough and finish flooring. Use 4" overlap, secure thoroughly.
12. AIR INFILTRATION BARRIER: To be used between all rough and finish sheathing. Paper overlap to be 4", secure thoroughly. Carry paper behind trim at all openings.
13. WOOD SIDING: Clear 1/2" x 6" select pine clapboards, back primed solid stain finish.
14. UNDERLAYMENT: 1/2" pine faced plywood or other acceptable alternate underlayment under new carpet, VCT at first floor bath.
15. NAILING SCHEDULE: All edges, 8D @ 6" O.C.; all other conditions, 8D @ 8" O.C.
16. SILLS: to be pressure-treated 2 x 6's. Provide sill sealer between concrete and sill.
17. EXTERIOR WOOD DECKING AND TREADS: 1 x 4 Douglas Fir decking with square edges. Thompson's Watereal finish. 7 CLASSIC RECOMMENDS ?
18. CEILING STRAPPING: Provide and install 1 x 3 spruce furring at 16" O.C.
19. SOUND BOARD: Install continuous 1/2" sound board as shown at worship space wall.

20. WOOD BLOCKING: Provide wood blocking for all millwork and accessories as shown on drawings.
21. CAP: At half wall reused select pine board trim.
22. WOOD SHELVES: 3/4" birch plywood with pine nosings.
23. WOOD BASE: Provide 3/4" paint grade wood base with quarter round top at all new construction. To match existing at First Floor patch and repair to match existing. Basement base to match existing at G.W.B. walls.
24. WOOD THRESHOLDS: Oak sills by Brosco or equal.
25. SHAKER PEGS: As shown on drawings, painted birch.
26. INTERIOR WOOD HANDRAIL: Standard birch handrail polyurethane finish with handrail brackets by Ives.
27. MILLWORK: Provide and install painted Shaker style cabinets as shown. Plastic laminate countertop, almond color.
28. WAINSCOTTLING: T & G select pine, profile to match existing.

6.B.1. Hardware: Unless otherwise noted on the drawings.

- i. Cabinet Door and Drawer Pulls: 3/4" wood Shaker style pulls, painted.
- ii. Cabinet Door Hinges: Stanley Concealed Casework Hinges.
- iii. Drawer Slides: All slides shall be manufactured by Knappe & Vogt Mfg. Co. or Grant.
- vi. Adjustable Shelving Supports: Knappe & Vogt No. 333.

6.C. PERFORMANCE:

1. Framing shall be in accordance with the drawings and where conditions are not specifically shown shall be sized and arranged to safely perform the work intended. All rough framing shall be properly spiked, bolted and strapped together to provide a rigid, substantial structure. Provide all grounds, blocking, furring, strips as required for securing trim and other finished work, enclosing pipes as required and securing fixtures. Studs shall set plumb, square and true to line.

2. Floor joists shall be doubled under all partitions which run parallel to the floor joists. Double all trimmers and headers.
3. Double top plates of all bearing partitions. Provide plate of double thickness for non-bearing partitions running parallel with floor joists.
4. Floor to be blocked with staggered solid blocking of same dimensions as framing as shown on the drawings.
5. Produce millwork with clean cut profiles and lines; scrape smooth, sand and leave ready for finishing.

DIVISION 7-THERMAL AND MOISTURE PROTECTION

Requirements of the Conditions of the Contract and Division 1 of these Specifications apply to all work in this Division.

- 7.A. SCOPE: Installation and materials for exterior moisture control and insulation for any work on building exterior.
- 7.B. BUILDING INSULATION AND MOISTURE BARRIER:
 1. Use batt - type "u" fiberglass with vapor barrier for all new walls.
 2. Provide blown-in 12" fiberglass for all ceilings at existing building. Provide 9" batt type insulation with vapor barrier at new addition.
 3. Provide 2" rigid "blue board" below grade at foundation of new addition.
 4. All spaces around new door openings at exterior walls to be sealed with insulation.
 5. Vapor Barrier: 6 mil. polyethylene membrane. Insure membrane is continuous behind switches, outlets and junction boxes.
- 7.C. ASPHALT SHINGLE ROOFING: 235#, 25 year life equal to GAF's 3 tab Self-Sealing Class A Fiberglass Asphalt roof shingle. Match existing shingle type and color. Provide metal edge strip. Provide black low profile aluminum 12" sq. roof vents, as shown on drawings.
 1. Eave and Valley Flashing: Ice and water dam shield by Ice & Water Guard - Bituthene membrane over valleys and 3'-0" strip along roof eaves under all other new roofing.

7.D. FLASHING: Painted white aluminum for all new window head flashing requirements. All nails to be compatible with material to be fastened. All pipes passing through roof shall be flashed and counter-flashed. Step flashing at front entry only to be copper.

7.E. WOOD VENT: Brosco gable end vent as shown on drawings.

DIVISION 8-DOORS & WINDOWS

Requirements of the Conditions of the Contract and of Division 1 of these Specifications apply to all work in this Division.

8.A. SCOPE: Work includes fabrication and installation of all doors, windows and glazing indicated.

8.B. INTERIOR DOORS: All new interior doors are to be solid pine panel or solid core birch as shown. Reuse existing panel doors as called for on drawings and schedules.

8.C. HARDWARE: Hardware for interior doors to be lever handle suitable for H.C. use Yale 5300 series, PB Lever Trim, bronze finish.

1. Fire and Exit hardware required to be Yale 7000 series, narrow style, bronze finish.
2. Exterior doors to be Yale mortise locksets 2600 series PBR trim, bronze finish.
8700
3. Provide wall stops and magnetic hold open devices as shown. Closers to be Yale 3000 series or equal, dark bronze, full mortise hinge to match hardware by Hagar or equal.
4. Coordinate hardware with supplier and submit product information to Architect for approval.

8.D. WINDOWS: Marvin single pane true divided lites with energy panel, 5/4 x 4" exterior casing with screens for 2 x 6 walls. Factory primed. Sizes as shown on drawings, Brosco basement sash windows and frames as shown, Interior Transoms to be shop fabricated.

DIVISION 9-FINISHES

Requirements of the Conditions of the Contract and of Division 1 of these specifications apply to all work in this Division.

9.A. GYPSUM DRYWALL:

1. Standard paper faced gypsum mineral wallboard of 1/2" or 5/8" fire code thickness as needed for all walls and ceilings.
2. 1/2" thick water-resistant gypsum wallboard in bathrooms.
3. Metal trim shall be used at all external corners, at intersection between gypsum and right angle surfaces and at exposed edges and ends, end beads to be taped type.
4. Where gypsum board partitions abut gypsum ceilings, the joint shall be taped and spackled. Edges of metal corner reinforcing shall be concealed by two coats of joint compound spread out evenly and feathered 8-10" back.
 - a. Screws shall be 8" O.C., staggered at edges of board, 16" O.C. elsewhere on board, dimpled slightly.
 - b. Joints, nailheads, etc. shall receive a three-coat spackle treatment, sanded smooth.
 - c. Upon completion, gypsum board surfaces shall be flat, smooth and without visible joints, nailheads or cracks. Metal trim shall be undamaged, in line and tight against adjacent work where such condition occurs.

9.B. FLOORING:

1. EXISTING WOOD FLOORS: Re-nail with spiral flooring nails any loose floor boards.
2. PINE FLOORING: Reuse existing floor boards from demolition, plane, face nail and sanded with three coats of natural polyurethane finish.
3. CARPETING:
 - a. Provide \$20 per square yard allowance for commercial grade carpeting and installation. Color and manufacturer to be selected by Owner.
4. RESILIENT FLOORING:
 - a. Resilient flooring shall be solid rubber/vinyl 12' x 12" floor tile by Tarkett or equal. Color to be selected by Owner.

2.B. MATERIALS:

1. 4" diameter PVC perforated foundation drain lines to daylight. Gravel to be clean bank run. Sand to be clean and contain no dirt or foreign material. Test drain lines before backfilling.

2. Bituminous concrete Sawing for patching at H.C. Ramp and Entry Stair to be supported with compacted gravel sub-base, 2" thick binder coarse, 1" thick finish coarse.

3. Gravel fill at parking adjacent to new H.C. Ramp to be 3" packing gravel base, stone dust finish.

2.C. DEMOLITION:

1. The Contractor will do all demolition work, except work agreed to by Owner, leaving the premises free of debris, obsolete electrical wiring and unwanted material such as doors, door frames, ductwork, etc. to be removed from premises. Store all doors and any other items to be reused safely on premises.

2. The Contractor shall include under this Contract the cost of patching and altering floors, walls and ceilings to complete the renovation work as called for in the drawings.

3. Where existing partitions have been removed and floors are to extend over to the next room or space, the gap between floors shall be patched to match existing flooring.

4. The removal of all the portions of the structure to be removed shall be done with care, using tools and methods that will not transfer any heavy shock to the remaining portion of the building. Take all possible care to avoid major vibration and other disturbances. Repair any damage caused by removal.

5. Debris shall not be allowed to accumulate inside the building.

6. When removing materials and making openings in walls, etc., the Contractor shall take precautions and use whatever protection devices, shoring and the like as may be required to assure that the remaining and adjacent portions of the existing work which is to remain is substantially supported and/or not loaded beyond safe limits, particularly in regard to bracing exterior brick walls.

- b. Preparation: Examine substrate and adjoining construction and conditions under which the work is to be installed and do not proceed with the work until the unsatisfactory conditions have been corrected. Fill cracks, holes and depressions in the substrate. Surface shall be smooth and level. Remove roughness and protrusions from surface by grinding. Use compounds for filling, complying with resilient flooring manufacturer's recommendations.
 - c. Install resilient flooring in accordance with the manufacturer's instruction, with the appropriate primers required. Adhesive to be waterproof as recommended by manufacturer.
5. ACOUSTICAL TILE: Replace ceiling tile and grid as necessary in Kitchen: Annstrong "Cortega" tile or equal.

9.C. PAINTING:

SCOPE: The work consists of all labor, materials, equipment and services necessary to complete the painting of exterior and interior surfaces. All colors and locations to be selected by the Owner. Prime and paint all interior surfaces affected by new work, including walls, baseboard, wood trim, doors and windows. All rooms affected by work shall be painted or finished as per Finish schedule.

- 2. All construction (new and existing) to receive two coats of finish-quality paint.
- 3. All new interior construction to be primed white.
- 4. All paint shall be delivered to the job sealed in manufacturer's containers, labeled, of good quality, as manufactured by Benjamin Moore, Pittsburgh Paint or equal. Eggshell for walls and Satin Impervo for trim.
- 5. Before painting, all surfaces shall be sanded, patched and sealed with an appropriate primer coat. All should be dry and all other work complete within room. All hardware and fixtures to be masked and protected from the paint.
- 6. Plaster and plasterboard shall be given one coat acrylic base primer and two finish coats. Color as selected by Owner.
- 7. Refinished floor to receive two coats gloss polyurethane varnish, one coat satin.
- 8. Existing exterior trim to remain to be scraped down to the bare wood and thoroughly prepared where necessary, primed and given two coats of Benjamin Moore exterior semi-gloss white paint.

9. All metal pipe rail to be shop primed, finished with exterior semi-gloss black exterior metal paint.

DIVISION 10-SPECIALTIES

Requirements of the Conditions of the Contract and of Division 1 of these Specifications apply to all work in this Division.

- 10.A. BATH ACCESSORIES: Provide necessary blocking as per drawings and schedule. Provide H.C. grab bars as shown. Provide and install white ceramic paper holder and 24" ceramic towel bars as shown.
- 10.B. MIRRORS: Provide and install 2 - 18" x 42" mirrors as shown with 2" pine frame.

DIVISION 11-EQUIPMENT

Requirements of the Conditions of the Contract and of Division 1 of these Specifications apply to all work in this Division.

- 11.A. SCOPE: Work includes installation of all items in this division, complete with any auxiliary equipment required.
- 11.B. WHEELCHAIR LIFT: Supply and install Gararentu Stair Lift Model GSL 2 (Express) 30" x 48" platform with fold down seat, wall mounted, power folding platform, standard grey color, SP platform. Provide pedestrian hand rail at code height. 1-1/2" O.D. round, 208/220/240 power (contact person at Gararentu, Jim Hunt 617-356-2722). Coordinate wall construction with manufacturer.

DIVISION 15A PLUMBING

- 15.A. SCOPE: The work covered by this Section of the specifications includes the furnishings of all labor, materials, equipment, transportation permits, inspections and incidentals and the performing of all operations required to install a complete and functional plumbing system, as indicated.

15.B. MATERIALS:

Fixtures and Trim:

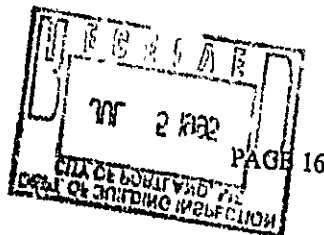
- a. All fiberglass and vitreous china fixtures to be white.
- b. Room No. 107
 - (1) Lavatory: American Standard Lucerne wall hung model # 0355.012, 4" centers, faucet by Delta, H.C. stainless lever handle # 2521SHP stainless trap.
 - (2) Water Closet: American Standard Cadet elongated water saver model # 2108.408, Onsolite # 44 seat.
- c. Room No. 101
 - (1) Sink: Stainless steel, bar sink; stainless lever handle, faucet by Delta.
- d. Room No. 002
 - (1) Tub/Shower: Kohler # K-1586 Vera Cruz, Delta stainless shower head and control.
 - (2) Lavatory: American Standard Lucerne model # 0355.012 wall hung, faucet by Delta, H.C. stainless lever handle # 2521SHP, stainless trap.
 - (3) Toilet: American Standard Cadet elongated water saver model # 2108.408, Onsolite # 44 seat.
 - (4) Floor Drain: Provide stainless floor drain.
- e. Pipe: Copper supply lines, PVC waste and vent lines per code.
- f. Shock Absorbers (Water-Hammer Arrestors): Shock Absorbers - Provide as required to prevent water hammer.
- g. Hot Water Heater: By A.O. Smith Permaglass II or equal, 40 gallon capacity.

DIVISION 16-ELECTRICAL

16.A. SCOPE:

1. Electrical work as shown on electrical plans.
2. Provide a reasonable allowance for light fixtures shown on electrical plans.

Friends Meeting House Renovation Specification

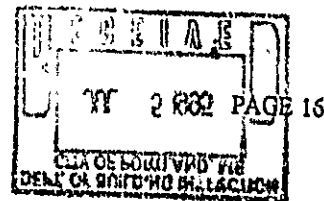


DIVISION 16--ELECTRICAL

16.A. SCOPE:

1. Electrical work as shown on electrical plans.
2. Provide a reasonable allowance for light fixtures shown on electrical plans.

Friends Meeting House Renovation Specification



Chris Wiggins, Architect
20 Spring Street
Yarmouth, ME 04096
(207) 846-1420 FAX
(207) 244-5686
E659351 - 11 FILE

PROJECT SPECIFICATION

Friends Meeting House
Portland, Maine
June 1, 1995

DIVISION 0-CONTRACT REQUIREMENTS

O.A. GENERAL CONDITIONS OF THE CONTRACT.

REVIEW OF CONTRACT DOCUMENTS: The Contractor shall check and verify all conditions and dimensions and report any discrepancies to the Architect prior to start of work.

O.B. PERMITS AND FEES: All work shall conform to the requirements and restrictions of local codes. The Contractor will obtain, at his own expense, all permits and approvals required by law for himself and his Subcontractors. Violations of any state or town rights or ordinances will be the Contractor's responsibility. Architect to obtain site plan permit from the City of Portland, Maine, State Fire Marshal's Office approval and permits necessary to use inclined wheelchair lift.

O.C. PROTECTION OF WORK & PROPERTY:

1. Materials and equipment shall be stored and protected in such a manner as to prevent overloading of floors and to insure against injury to personnel, the building, materials or the equipment itself.
2. Provide constant protection against rain, wind and storms to maintain work, materials, apparatus and fixtures free from injury or damage

O.D. EXTRA WORK: The Owner, at his discretion, has the right and power to make alterations, deviations, additions or deletions from the Contract Documents at any time during construction.

1837 Forest Ave