

750-756 Riverside St.

IN

STORD

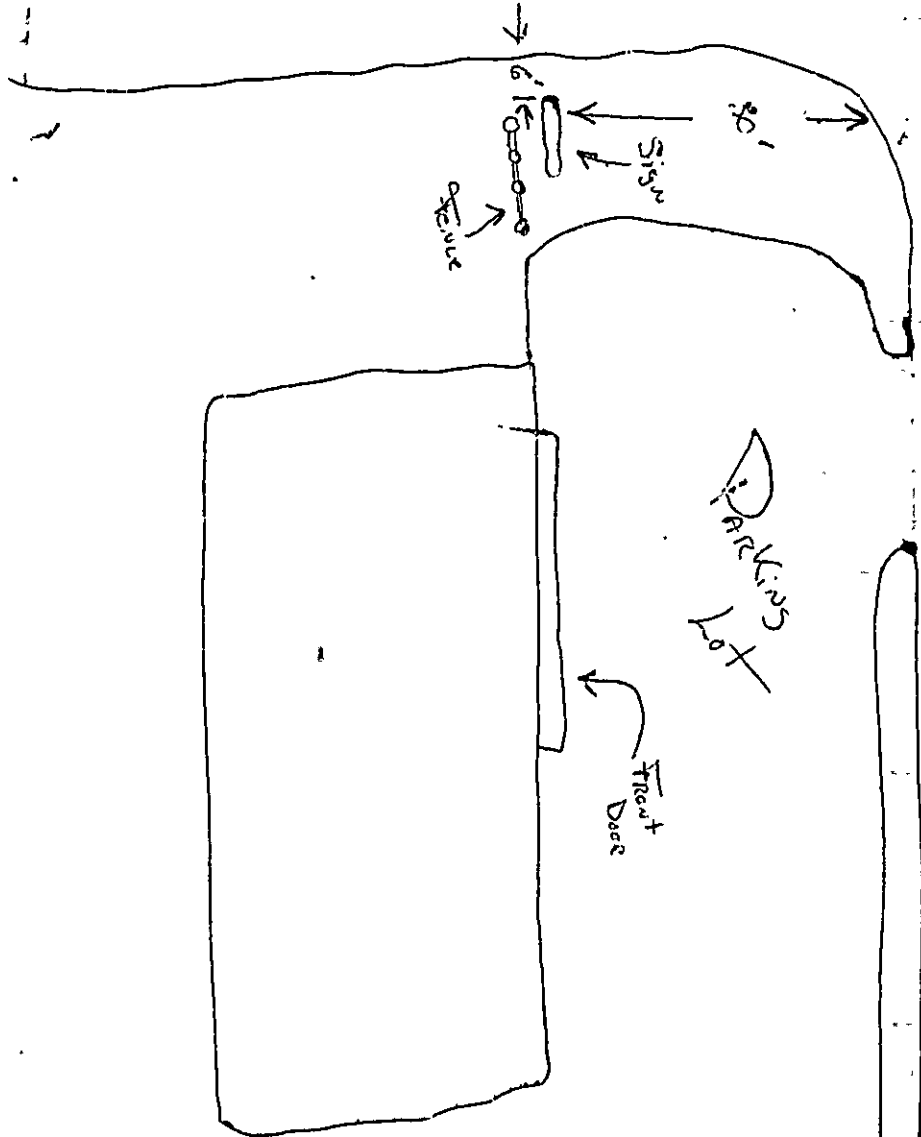
STOCK No. RK153 1/2

Dub-Duck Top Pat. No. 2,037,573

Exclusive Padded Shoulder-Insertive

MADE IN U. S. A.

RT. 302



Riverside St.

HOWARD'S INSTR.
762 Riverside Street
Portland, Maine 04103
Tel. 207.797-2497



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION
ZONING LOCATION B-2 PORTLAND, MAINE, May 27, 1980

PERMIT ISSUED

JUN 3 1980

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 752 Riverside Street
1. Owner's name and address .. Howard's Distributors - same
2. Lessee's name and address
3. Contractor's name and address ... Owner
4. Architect
Proposed use of building wholesale & retail outlet for electronics
Last use
Material
Other buildings on same lot
Estimated contractual cost \$

Fee \$ 13.20
not paid
5-28-80

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling Ext. 234
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

To erect sign - sign pole type
4 x 8 ft. as per plans.

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING: [Signature] 6/2/80
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant [Signature] Phone #
Type Name of above Edw Ed Handlin 1 2 3 4

FIELD INSPECTOR'S COPY

Other and Address

Handwritten notes and signatures at bottom right

NOTES

6-4-80 No work yet
6-17-80 Sign 150 up

Permit #: 80/361

Location 752 Riverside St.

Owner Howard's Plaster

Date of permit 6-3-80

Approved 4x8 pole Sign

Large grid area with horizontal lines, partially crossed out with a large diagonal line.



APPLICATION FOR PERMIT
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES
 ELECTRICAL INSTALLATIONS

Date Sept. 16, 19 76
 Receipt and Permit number A 7896

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine,
 the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 748 Riverside St.
 OWNER'S NAME: Howards Distr. ADDRESS: same

OUTLETS: (number of) _____ FEES
 Lights _____
 Receptacles _____
 Switches _____
 Plugmold _____ (number of feet)
 TOTAL _____

FIXTURES: (number of) _____
 Incandescent _____
 Fluorescent _____ (Do not include strip fluorescent)
 TOTAL _____
 Strip Fluorescent, in feet _____

SERVICES: _____
 Permanent, total amperes _____
 Temporary _____

METERS: (number of) _____

MOTORS: (number of) _____
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING: _____
 Oil or Gas (number of units) 1 *error* _____
 Electric (number of rooms) _____ *should be* 3.00

COMMERCIAL OR INDUSTRIAL HEATING: _____
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) 3 *at 2.00* \$6.00 _____
 Electric (total number of kws) _____

APPLIANCES: (number of) _____
 Ranges _____ Water Heaters _____
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers _____
 Dryers _____ Compactors _____
 Fans _____ Others (denote) _____
 TOTAL _____

MISCELLANEOUS: (number of) _____
 Branch Panels _____
 Transformers _____
 Air Conditioners _____
 Signs _____
 Fire/Burglar Alarms _____
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Heavy Duty, 270v outlets _____
 Emergency Lights, battery _____
 Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE: 3.00
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: _____
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) 3.00
 TOTAL AMOUNT DUE: _____

INSPECTION: _____
 Will be ready on now _____, 19____; or Will Call _____

CONTRACTOR'S NAME: A. W. Sewell Co.
 ADDRESS: PO Box 806 Scarborough
 TEL.: 883-3471

MASTER LICENSE NO.: 3306
 LIMITED LICENSE NO.: _____
 SIGNATURE OF CONTRACTOR: Alden Sewell

INSPECTOR'S COPY

ELECTRICAL INSTALLATIONS

Permit Number 7896

Location 750 Riverside St.

Owner Harold Dist.

Date of Permit 9-16-76

Final Inspection 9-16-76

By Inspector [Signature]

Permit Application Register Page No. 72

INSPECTIONS: Service _____ by _____

Service called in _____

Closing-in _____ by _____

PROGRESS INSPECTIONS: 9-15-76 _____ / _____

9-16-76 _____ / _____

_____ / _____

_____ / _____

_____ / _____

_____ / _____

CODE
COMPLIANCE
COMPLETED
DATE 9-16-76

DATE:	REMARKS:
	<u>OK</u>

Harold Dist.

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION 750 Riverside St.

Issued to Howard Distributors

Date of Issue Nov. 10, 1976

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 76/0499, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Office and Warehouse

Limiting Conditions:

This certificate supersedes certificate issued

Approved: *[Signature]*
11/10/76
(Date) Inspector

[Signature]
Inspector of Buildings

Notice: This certificate certifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION _____ PORTLAND, MAINE, Sept. 3, 1975

0821
SEP 13 1975
CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 750 Riverside St. Fire District #1 #2

1. Owner's name and address Howard's Distr. same Telephone

2. Lessee's name and address Telephone

3. Contractor's name and address Carco Sprinkler Corp. 365 Park Av. Telephone 7772-7446

4. Architect Specifications Plans No. of sheets

Proposed use of building warehouse & office No. families

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ Fee \$ 35.

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451

Dwelling Ext. 234 To install over 50 sprinkler heads

Garage on the plans

Masonry Bldg.

Metal Bldg.

Alterations

Demolitions

Change of Use

Other

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept.

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant J. M. [Signature] Phone #

Type Name of above Carco Sprinkler Corp. 1 2 3 4

Other and Address

FIELD INSPECTOR'S COPY

NOTES

Sept 14/76

Work started installing
today
11/9/76 Completed

Permit No. 75-05821
Location 750 Riverside Dr.
Owner Riverside Dr.
Date of permit 9-13-76
Approved

[Empty lined area for notes]

~~[Empty lined area for notes, crossed out with a large X]~~

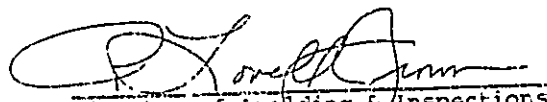
CITY OF PORTLAND, MAINE
BUILDING AND INSPECTION SERVICES
NOTICE RELATING TO SEWAGE DISPOSAL

Date June 4, 1976
Location 750-756 Riverside St.
Use wholesale electronic products
Owner and Address Howard Distributors Forest Ave., Portland
Contractor and Address Commercial Structures Inc. 96 Purwink Rd. Scarborough
Actual Area of Lot 28,700 sq. ft. Zone I 1
Area required by Zoning Ordinance if sewer were available _____

Where no City sewer is available, the State Plumbing Code requires that a Site Evaluation Test be performed by a State recognized Soil Scientist, Geologist, Professional Engineer, or others so recognized. The Building Code directs that, where a sewage disposal system is to be used, a building permit shall not be issued unless the proposed method of sewage disposal has been approved by the Director of Building Inspections.

Since application for the above permit indicates that connection to a sewer is not possible, it is necessary for the owner or his agent to file the results (including plans) with this department to explain the method of sewage disposal recommended by a Site Evaluation Test.

After this test has been filed, the Plumbing Inspector will notify this department of the lot size required on the basis of the results of the test.


Director of Building & Inspections

This space for Plumbing Inspector's use:

Test performed by Jack Berman # 1404 Date 4/4/76
Area of lot required under Site Evaluation Test 28,700 sq. ft.

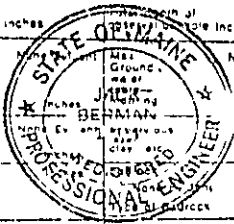
The results of the test require the pre-designed private sewage disposal as per the attached State form and is accepted by the Plumbing Inspector or his alternate. [Signature] (LPI # 123)

Comments _____

MAINE DEPARTMENT OF HEALTH AND WELFARE
APPLICATION FOR PRIVATE SEWAGE DISPOSAL PERMIT
Town: Portland
Street: Forest Ave. & Riverside St
Owner of property: Howard Distributors
Address: 1190 Forest Ave.
Size of lot: 27,225 sq. ft.
Name & type of establishment: H. TACHA DISTRIBUTORS (WINE SALES)
Name of applicant: Jack Berman
Address: 102 School St.
Tel. No.: 839-6364
Date: 7/11/76
Professional Engineer: Gorham Jack Berman
Date: 7/11/76

SITE INVESTIGATION Show location of pits and/or borings on sketch on page 2 and refer to completed sample form and Chapter 4 of the Code.

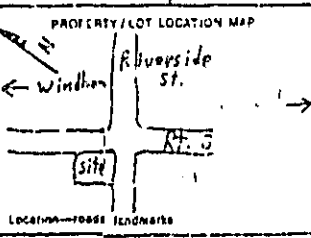
Soil Profile No.	Soil Profile No.	Soil Profile No.	Soil Profile No.	Soil Profile No.									
					Pit	Boring	Pit	Boring	Pit	Boring			
<u>7.P-1</u> ✓ Pit													
Organic strata Inches 1st strata <u>Loam</u> Inches 2nd strata <u>4"</u> Inches 3rd strata <u>Sandy Loam</u> Inches 4th strata <u>13"</u> Inches 5th strata <u>Clay</u> Inches 6th strata <u>43"</u>													
Total Depth of observation hole Inches <u>60"</u>													
Max Ground water table - molting Inches <u>33"</u>													
Impervious layer clay etc Inches <u>20"</u>													
Bedrock Type of Bedrock None Evident													
Surface slope %													
Soil Group & Condition per Table 9.1 of the Code II <u>3-C Large</u>													



Date: 7/11/76 (date) site investigation for this project was completed. I supervised the site evaluation and certify that the results indicated above best represent the soil conditions found. I also recommend the following type and size of private sewage disposal system. I also recommend the proposed private sewage disposal system layout and location shown on page 2.
Signature: Jack Berman
Registration/Certification Number: 11044
Date signed: 7/11/76

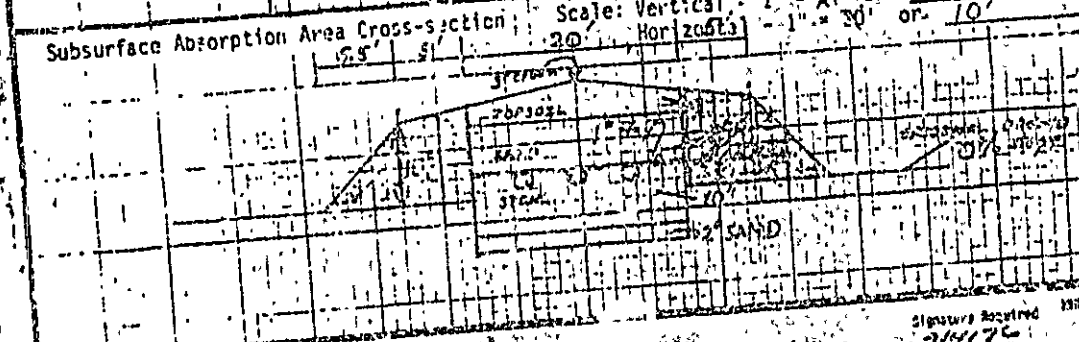
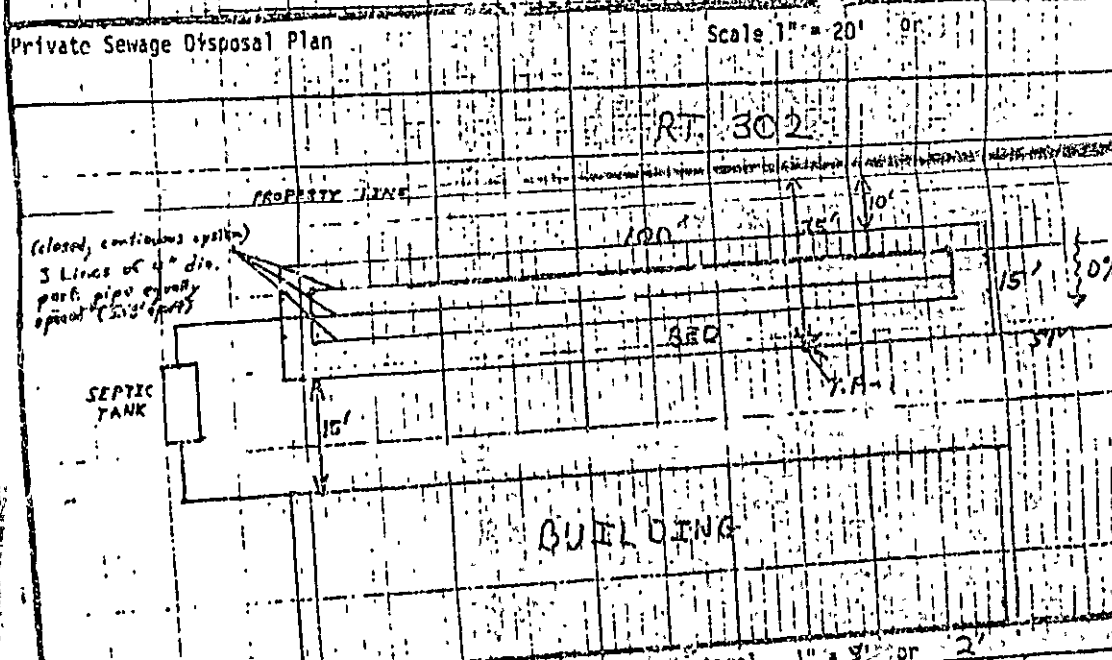
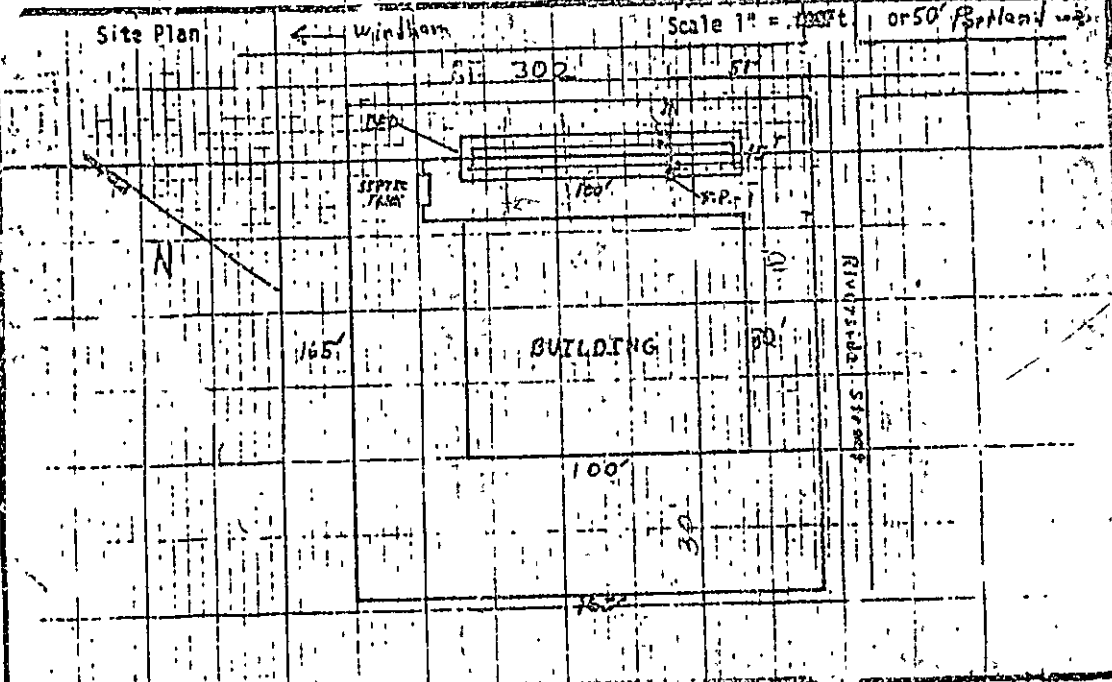
PRIVATE SEWAGE DISPOSAL SYSTEM PROPOSED Show location of system and details on sketches on page 2 and refer to completed sample form.

SYSTEM <input checked="" type="checkbox"/> COMBINED SYSTEM <input type="checkbox"/> SEPARATED SYSTEM <input type="checkbox"/> Sealed Vault Privy <input type="checkbox"/> Open Pit Privy <input type="checkbox"/> Compact Toilet <input type="checkbox"/> Incinerator Toilet <input type="checkbox"/> Chemical Toilet <input type="checkbox"/> Other describe	TREATMENT TANK <input checked="" type="checkbox"/> Septic Tank <input type="checkbox"/> Concrete <input type="checkbox"/> Fiberglass <input type="checkbox"/> Metal Manufacturer: <u>Unknown</u> Size in gallons: <u>1000</u> <input type="checkbox"/> Aerobic Tank Manufacturer: <u>N/A</u> Model No: <u>N/A</u> Size in gallons: <u>N/A</u>	SUBSURFACE ABSORPTION AREA		SITE MODIFICATION Fill is <input checked="" type="checkbox"/> required. Fill will be <u>15</u> inches deep.
		Type: <input checked="" type="checkbox"/> Trench System Length: <u>N/A</u> Width: <u>N/A</u> <input type="checkbox"/> Bed System Length: <u>100'</u> Width: <u>15'</u> <input type="checkbox"/> Chamber System Type A: <u>N/A</u> Type B: <u>N/A</u> <input type="checkbox"/> Mound System Length: <u>N/A</u> Width: <u>N/A</u> <input type="checkbox"/> Special System Length: <u>N/A</u> Width: <u>N/A</u> <input type="checkbox"/> Non discharge System Bas Length: <u>N/A</u> Width: <u>N/A</u> Holding Tank Size: <u>N/A</u> Gal. Manufacturer: <u>N/A</u> <input type="checkbox"/> Alarm device provided type	SIZE: <input checked="" type="checkbox"/> Very Small, <input type="checkbox"/> Small, <input type="checkbox"/> Medium, <input type="checkbox"/> Large, <input type="checkbox"/> Extra Large. DETAILS: <input type="checkbox"/> A Distribution Box, <input checked="" type="checkbox"/> Pumping, <input type="checkbox"/> The Case will be <u>N/A</u> gallons. DISTANCES: <input checked="" type="checkbox"/> Yes. <input type="checkbox"/> No. The proposed subsurface absorption area will be located at least 100 feet from any and all wells, springs, surface water bodies and courses (like pond, creek, brook, stream, swamp, marshes and bogs). <input checked="" type="checkbox"/> Yes. <input type="checkbox"/> No. The proposed subsurface absorption area will be located at least 200 feet from any and all wells and springs producing 2000 gallons or more of water per day and any public water supplies.	



FOR THE USE OF LPI ONLY
Application is denied for following reasons (portions of the Code II are cited):
Form is incomplete. 2.01.10 General info Site investigation System Proposed
 Site Plan Disposal System Plan Cross Section Street etc. See Section 2.3
 Site investigation indicates site is totally unsuitable for disposal system. See sections 4.3 and 9.5, Table 9.1 Group 8 and 10. Unsuitable for system proposed. See sections 4.3 & 9.5 Table 9.1
 System Proposed does not conform to Code. See Sections 8
 Site investigation indicates site modifications are necessary. See Sections 4.3, 4.4, 4.6, 4.7
 Miscellaneous. See Section _____
 Acceptance Application for permit is approved with condition specified, comply with Section _____
 without condition
Signed LPI: _____ Date: _____ PHE-600 7/74

Portland
 100 Forest Ave. & Riverside St. Corner of Spruce Howard Dist.



I warrant: (no permit may be issued unless signed)
 I certify that all the information submitted to be true and correct; and I understand that issuance of
 a permit is based upon the information and plans submitted by the applicant. I also understand that any
 modification of this application is void unless a permit is issued. I understand that the permit is valid for a six (6) month period from the date of permit issuance. I understand
 that no alteration is intended or implied by reason of any advice or approval given by the Administrator.

Date: 7/4/76
 Applicant: [Signature]
 County: [Signature]

Signature Required 197-220 7/74



APPLICATION FOR PERMIT

PERMIT ISSUED
JUN 14 1976
CITY OF PORTLAND

B.O.C.A. USE GROUP 04111
B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION F-1 PORTLAND, MAINE, June 2, 1976

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 750-756 Riverside St. ... Fire District #1 #2
1. Owner's name and address . . . Howard Distributors, Forest Ave. Telephone
2. Lessee's name and address Telephone
3. Contractor's name and address . Commercial Structures Inc., 96 Spurwink, Scarborough, Maine 04111 Telephone 767-3215
4. Architect Specifications Plans No. of sheets
Proposed use of building . wholesale electronic products No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 55,000 Fee \$ 220.00

FIELD INSPECTOR—Mr. Reitze GENERAL DESCRIPTION
This application is for: @ 775-5451 To construct pre-engineered metal
Dwelling Ext. 234 bldg. 80'x100' as per plans
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

**PERMIT ISSUED
WITH LETTER**

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation . concrete Thickness, top . 10". bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING: CR2 6/11/76
BUILDING CODE: 0-4-2 6/11/76 Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed?
Others:

Signature of Applicant . . . Earle Brown Phone # 767-3215
Type Name of above . . . Earle Brown 1 2 3 4
Other
and Address

NOTES

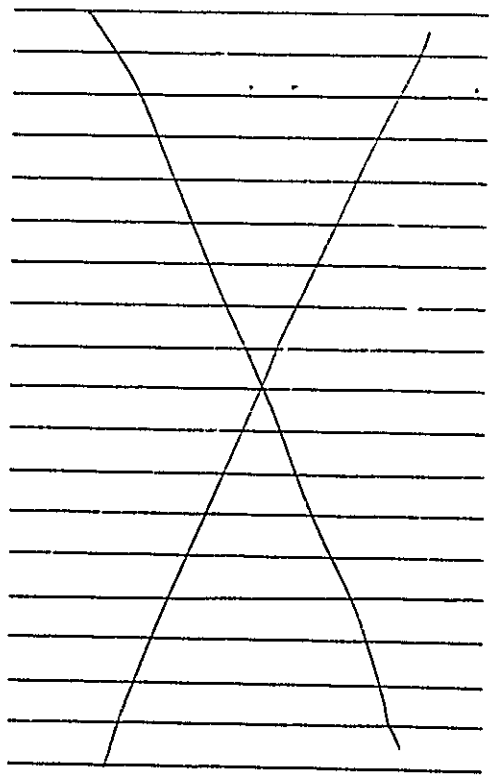
April 25-1976
for Construction just OK
7-8-76 Supj. *[initials]*
7-12-76 *[initials]* permission to place
foundations *[initials]*

Permit No. 26 64199
Location 250 Riverside St.
Owner Howard D. Dittler
Date of permit 6/14/76
Approved

7/26/76 *[initials]* completed
8/9/76 Roof completed
starting to cover insides
& ends

8/10/76 Progressing according to plan!
8/25/76 *[initials]* *[initials]* *[initials]*
Almost completed - interior yet
to finish up

11/8/76 Final inspection OK for
Libsite, Conf. & Warehouse
Entire Bldg Office





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 27, 1976

PERMIT ISSUED AUG 26 1976 0770 CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 748 Riverside St. Use of Building office warehouse No. Stories 1; New Building Existing " Name and address of owner of appliance Howard Associates Installer's name and address A. W. Sewall Co. - Oak Hill Plaza, Scarborough Telephone 883-3472

General Description of Work

To install 3 oil fired oil furnaces - G.E. Horizontal Oil Fired Furnaces

ceiling hung IF HEATER, OR POWER BOILER

Location of appliance Any burnable material in floor surface or beneath? Kind of fuel? oil #2 Minimum distance to burnable material, from top of appliance or casing top of furnace 3 feet to roof From top of smoke pipe From front of appliance From sides or back of appliance Size of chimney flue 7" Other connections to same flue If gas fired, how vented? Rated maximum demand per hour Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner General Electric Labelled by underwriters' laboratories? yes Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? top Type of floor beneath burner cement Size of vent pipe Location of oil storage buried Number and capacity of tanks 1 - 1000 gal Low water shut off Make No. Will be more than five feet from any flame? yes How many tanks enclosed? 1000 gal Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed \$45.00

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Installer Scott A Sewall A.W. Sewall Co.

CS 300

FILE COPY

PERMIT TO INSTALL PLUMBING

Address 755 Riverside Street PERMIT NUMBER 4735

Installation For Warehouse

Owner of Bldg Howard Distributors

Owner's Address same

Plumber Brown Home, Date: 8-19-76

Date Issued August 19, 1976
 Portland Plumbing Inspector
 By ERNOLD R. GOODWIN

App. First Insp.

Date
 By

Date
 By

Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

NEW	REPL		INO	FFE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINING FLOOR SURFACE		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
<u>1</u>		SEPTIC TANKS & leaching field		<u>25.00</u>
		HOUSE SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
		<u>Base fee</u>		<u>3.00</u>
TOTAL				<u>28.00</u>

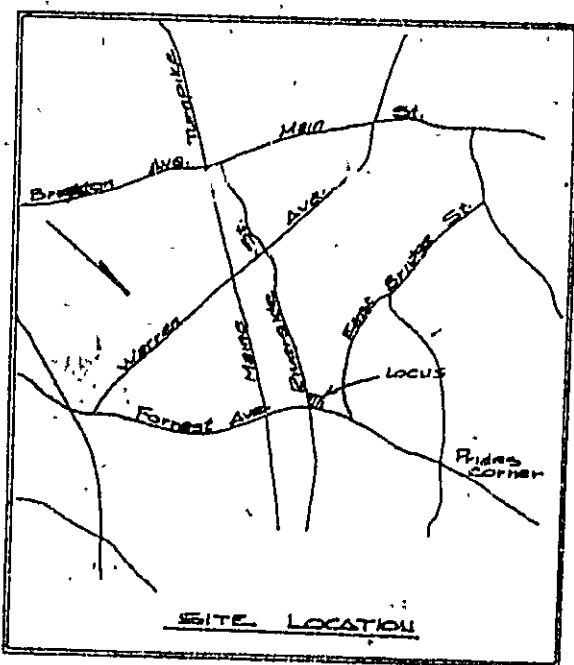
Building and Inspection Services Dept.; Plumbing Inspection

MAGNETIC 1964

32.4-B-10

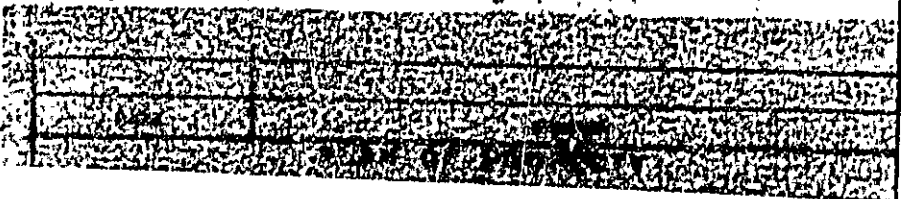
ARTHUR A. SERUNIAN

BRIGGS T. WHITEHOUSE



752 Riverside St

FOREST & RIVERSIDE



F.W. CUNHAM & SONS

NORTHERN UTILITIES INC.

STREET

N 38° 52' W



164.47'

SET BACK

3450
LOADING
AREA

(CUNHAM'S)
(PARKING)

49.5'

105'

25' WIDE
EASEMENT

ARTHUR A. S.

18' 1.838'
S 46° 48' 30" W
175.00'

28,700 sq'

PROPOSED BUILDING

175.00'
S 46° 48' 30" W

RIVERSIDE

100'

40' SET BACK

100' AL
TANG

15' x 10' POOL

Iron

164.47'

N 38° 52' W

Iron

SHELL
TO
CITY
3325/58 - 10/31/72

HOWARD DISTRIBUTORS.

SCALE 1" = 20"

DRETT

AVENUE

66.00'



APPLICATION FOR PERMIT

DEPARTMENT OF BUILDING INSPECTIONS SERVICES

ELECTRICAL INSTALLATIONS

Date Aug. 17, 19 76
 Receipt and Permit number A7759

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

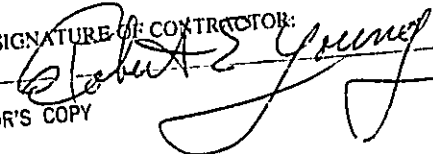
LOCATION OF WORK: 750-756 Riverside St.
 OWNER'S NAME: Howard's Distributor ADDRESS: same

OUTLETS: (number of)	FEES
Lights <u>39</u>	
Receptacles <u>20</u>	
Switches <u>17</u>	
Plugmold <u>16'</u> (number of feet)	8.20
TOTAL <u>92</u>	
FIXTURES: (number of)	
Incandescent _____	
Fluorescent _____ (Do not include strip fluorescent)	3.60
TOTAL _____	
Strip Fluorescent, in feet <u>96'</u>	3.00
SERVICES:	
Permanent, total amperes <u>200</u>	
Temporary _____	.50
METERS: (number of)	
<u>1</u>	
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	1.00
Electric (total number of kws) <u>10</u>	
APPLIANCES: (number of)	
Ranges _____	1
Cook Tops _____	
Wall Ovens _____	
Dryers _____	
Fans _____	
Water Heaters _____	
Disposals _____	
Dishwashers _____	
Compactors _____	
Others (denote) _____	1.50
TOTAL _____	
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners _____	
Signs _____	
Fire/Burglar Alarms _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Heavy Duty, 220v outlets _____	
Emergency Lights, battery _____	17.80
Emergency Generators _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	INSTALLATION FEE DUE:
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	DOUBLE FEE DUE:
FOR PERFORMING WORK WITHOUT A PERMIT (304-9)	17.80
	TOTAL AMOUNT DUE:

INSPECTION: Will be ready on _____, 19____; or Will Call

CONTRACTOR'S NAME: Young's Elec.
 ADDRESS: 1400 Washington Ave.
 TEL.: 797-0593

MASTER LICENSE NO.: 822
 LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR:

 INSPECTOR'S COPY

ELECTRICAL INSTALLATIONS -

Permit Number 7739

Location 750 Riverside St

Owner Harold Distributions

Date of Permit 9-17-76

Final Inspection 9-10-76

By Inspector Libby

Permit Application Register Page No. 168

INSPECTIONS: Service by Libby
Service called in 9-10-76
Closing-in 9-2-76 by Libby

PROGRESS INSPECTIONS: / /
 / /
 / /
 / /
 / /
 / /

CODE
COMPLIANCE
COMPLETED
DATE 9-10-76

DATE:	REMARKS:
04.8	OK
02.	

02.8

02.01

02.01

1231-521

Handwritten signature or notes



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date July 8, 1976 19
 Receipt and Permit number A 1737

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 750-756 Riverside St. Pole (Comp 65)

OWNER'S NAME: Howard Dist. ADDRESS: _____

OUTLETS: (number of)

Lights	_____	
Receptacles	_____	
Switches	_____	
Plugmold	_____ (number of feet)	
TOTAL	_____	FEES

FIXTURES: (number of)

Incandescent	_____	
Fluorescent	_____ (Do not include strip fluorescent)	
TOTAL	_____	
Strip Fluorescent, in feet	_____	

SERVICES:

Permanent, total amperes	_____	
Temporary	<u>20</u>	<u>3.00</u>

METERS: (number of) _____

MOTORS: (number of)

Fractional	_____	
1 HP or over	_____	

RESIDENTIAL HEATING:

Oil or Gas (number of units)	_____	
Electric (number of rooms)	_____	

COMMERCIAL OR INDUSTRIAL HEATING:

Oil or Gas (by a main boiler)	_____	
Oil or Gas (by separate units)	_____	
Electric (total number of kws)	_____	

APPLIANCES: (number of)

Ranges	_____	Water Heaters	_____
Cook Tops	_____	Disposals	_____
Wall Ovens	_____	Dishwashers	_____
Dryers	_____	Compactors	_____
Fans	_____	Others (denote)	_____
TOTAL	_____		

MISCELLANEOUS: (number of)

Branch Panels	_____	
Transformers	_____	
Air Conditioners	_____	
Signs	_____	
Fire/Burglar Alarms	_____	
Circus, Fairs, etc.	_____	
Alterations to wires	_____	
Repairs after fire	_____	
Heavy Duty, 220v outlets	_____	
Emergency Lights, battery	_____	
Emergency Generators	_____	

INSTALLATION FEE DUE:	_____
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	DOUBLE FEE DUE: _____
FOR REMOVAL OF A "STOP ORDER" (304-16 b)	_____
FOR PERFORMING WORK WITHOUT A PERMIT (304-9)	_____
TOTAL AMOUNT DUE:	<u>-3.00-</u>

INSPECTION: Will be ready on _____, 19____; or Will Call _____

CONTRACTOR'S NAME: _____, _____ Elec.

ADDRESS: _____, Hington Ave.

TEL.: _____

MASTER LICENSE NO.: -822

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR: [Signature]

INSPECTOR'S COPY

June 11, 1976

Commercial Structures Inc.
96 Spurwink Road
Scarboro, Me.

cc to: Howard Distributors
1190 Forest Ave.
Portland, Me.

RE: 742-746 Riverside St.

Gentlemen,

Permit to construct a pre-engineered metal building 80' x 100' as per plans is issued herewith subject to the following building code requirements.

A rear exit door is required from the wholesale storage area. Exit doors are required to operate from the inside without the use of keys, special knowledge or ability, but by merely turning the usual knob.

Exit signs are also required over any door involved in the means of egress.

The Planning Board has approved the permit conditionally, "provided that existing tree cover along Forest Avenue be retained to the degree that provision of sanitary waste disposal facilities will permit. Also provided that lighting fixtures within 100 feet of the intersection of Forest Ave. and Riverside St. are shielded so as not to create a traffic safety hazard at the intersection."

Very truly yours,

Earle S. Smith
Plan Examiner

ESS/mes



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 0455
B.O.C.A. TYPE OF CONSTRUCTION

JUN 14 1976

ZONING LOCATION PORTLAND, MAINE, June 2, 1976 CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 750-756 Riverside St. Fire District #1 [], #2 []
1. Owner's name and address .. Howard Distributors .. Forest Ave. Telephone
2. Lessee's name and address Telephone
3. Contractor's name and address .. Commercial Structures, Inc. .. 96 Spurwink .. Telephone 767-3215 ..
4. Architect Specifications Plans .. Scarborough sheets
Proposed use of building .. wholesale electronic products No. families ..
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 55,000 Fees \$ 220.00

FIELD INSPECTOR—Mr. Reitze GENERAL DESCRIPTION
This application is for: @ 775-5451 To construct pre-engineered metal
Dwelling Ext. 234 bldg. 80'x100' as per plans
Garage
Masonry Bldg. Stamp of Special Conditions
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [] 2 [] 3 [] 4 []
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation .. concrete Thickness, top .. 10" bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-1" O. C. Bridge in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored on the proposed building?

APPROVALS BY. DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street? ..
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .. yes ..

Signature of Applicant Phone #
Type Name of above .. Earle Brown 1 [] 2 [] 3 [] 4 []
Other
and Address

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Applicant _____ Date _____

Mailing Address _____ Address of Proposed Site _____

Proposed Use of Site _____ Site Identifier(s) from Assessors Maps _____

Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____

Site Location Review (DEP) Required. () Yes () No Proposed Number of Floors _____

Board of Appeals Action Required () Yes () No Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

FIRE DEPARTMENT REVIEW

(Date Received) _____

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMASE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED	✓	✓	✓		✓		✓		
APPROVED CONDITIONALLY									CONDITIONS SPECIFIED BELOW
DISAPPROVED									REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

Capt. H Miller
SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form

Howard Distributors
Applicant
1190 Forest Ave.
Mailing Address
wholesale electronic product
Proposed Use of Site
28,779 / 8,000
Acreage of Site / Ground Floor Coverage

June 4, 1976
Date
742-756 Riverside St.-1928-1940 KForest A
Address of Proposed Site
324-B-10
Site Identifier(s) from Assessors Maps
T 1
Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No
Board of Appeals Action Required: () Yes () No
Planning Board Action Required: () Yes () No
Proposed Number of Floors one
Total Floor Area 8,000

Other Comments: _____

Date Dept. Review Due: June 9, 1976

BUILDING DEPARTMENT SITE PLAN REVIEW
(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 Requires Board of Appeals Action
 Requires Planning Board/City Council Action

Explanation _____
 Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK, as applicable

Table with 14 columns: DATE, ZONE LOCATION, TYPE-OR CORNER LOT, 40 FT. SETBACK AREA (SEC 21), USE, SEWAGE DISPOSAL, REAR YARDS, SIDE YARDS, FRONT YARDS, PROJECTIONS, HEIGHT, LOT AREA, BUILDING AREA, AREA PER FAMILY, WIDTH OF LOT, LOT FRONTAGE, OFF-STREET PARKING, LOADING BAYS. Rows include COMPLIES, COMPLIES CONDITIONALLY, and DOES NOT COMPLY.

REASONS: _____

Signature: [Handwritten Signature] 6/7/76
SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT - ORIGINAL

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form


Applicant _____	Date _____
Mailing Address _____	Address of Proposed Site _____
Proposed Use of Site _____	Site Identifier(s) from Assessors Maps _____
Acreage of Site / Ground Floor Coverage _____	Zoning of Proposed Site _____
Site Location Review (DEP) Required: () Yes () No	Proposed Number of Floors _____
Board of Appeals Action Required: () Yes () No	Total Floor Area _____
Planning Board Action Required: () Yes () No	
Other Comments: _____	
Date Dept. Review Due: _____	

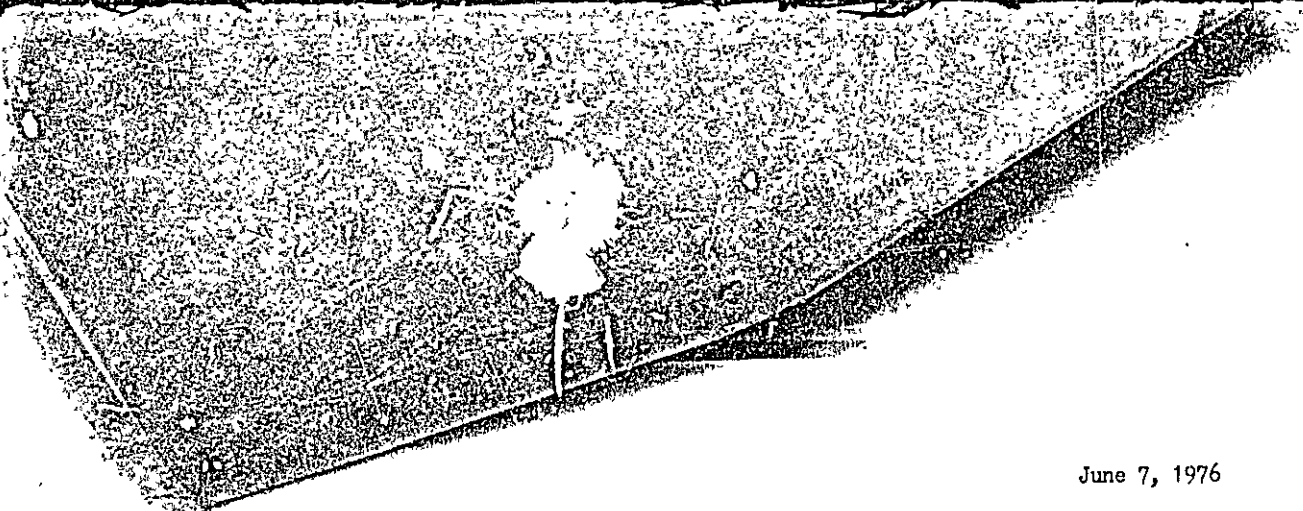
----- RECEIVED -----
 PUBLIC WORKS DEPARTMENT REVIEW JUN 4 1976
 DEPARTMENT OF PUBLIC WORKS

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	✓	✓	✓	N/A	✓	N/A	✓	✓	N/A		✓	✓				CONDITIONS SPECIFIED BELOW REASONS SPECIFIED BELOW
APPROVED CONDITIONALLY										✓			✓	✓		
DISAPPROVED																

REASONS: N/A = NOT APPLICABLE
See attached sheet

(Attach Separate Sheet if Necessary)


 SIGNATURE OF REVIEWING STAFF/DATE
 PUBLIC WORKS DEPARTMENT COPY



June 7, 1976

Supplement sheet to be attached to the Site Plan Review Processing Form for Howard Distributors building to be erected at the corner of Forest Avenue and Riverside Street:

The subject site development plan is approved by this Department with the following considerations:

1. Drainage - The developer of this property has been contacted and made aware that this Department's only concern on drainage is that such surface water run-off does not cross the sidewalk reservations or flow down the proposed driveway entrance or enter the street in any other way. The developer has agreed to grade the site in such a manner as to maintain drainage flows to the back part of the lot.

2. Sidewalks and Curbing - The developer has also been made aware of his responsibility to either provide sidewalks and curbing in accordance with the ordinance or to petition the City Council for a proper waiver.

All other aspects of this site plan appears acceptable to this Department at this time.



JOHN P. RAGUE
ASSOCIATE ENGINEER II

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Applicant _____	Date _____
Mailing Address _____	Address of Proposed Site _____
Proposed Use of Site _____	Site Identifier(s) from Assessors Maps _____
Acreage of Site / Ground Floor Coverage _____	Zoning of Proposed Site _____
Site Location Review (DEP) Required: () Yes () No	Proposed Number of Floors _____
Board of Appeals Action Required: () Yes () No	Total Floor Area _____
Planning Board Action Required: () Yes () No	
Other Comments: _____	
Date Dept. Review Due: _____	

PLANNING DEPARTMENT REVIEW 6/8/76
(Date/Received)

- Major Development — Requires Planning Board Approval: Review Initiated
- Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	X	X	X	X	NA			X		X		
APPROVED CONDITIONALLY						X	X		X			
DISAPPROVED												

REASONS: 1. Provided that existing tree cover along Forest Avenue be ~~xxx~~ retained to the degree that provision of sanitary waste disposal facilities will ~~permy~~ permit.

2. Provided that ~~an~~ lighting fixtures within 100 feet of the intersection of Forest Ave and Riverside Street are shielded so as not to create a traffic safety hazard at the intersqction.

(Attach Separate Sheet if Necessary)


 SIGNATURE OF REVIEWING STAFF/DATE 6/8/76

PLANNING DEPARTMENT COPY

RECEIVED
JUN 7 1976
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

COMMERCIAL STRUCTURES INC.
2 GUNSTOCK ROAD
SCARBOROUGH, MAINE 04074

June 2, 1976

Re: Howards Distributors

To Whom It May Concern:

The proposed use of building is to be wholesale distribution of
Electronic Equipment.

Total area of land for said building is 28,700 SF and building
is 8000 SF.



David McGeehan
Commercial Structures, Inc.

Town: **Portland** Street: **Forest Ave. & Riverside St** Permit No: _____ Date: _____
 If on water body, give name: **N/A**

Owner of property: **Howard Distributors** Owner's address: **1190 Forest Ave.** Size of lot: **27,225** Sq. feet Acres

Name & type of establishment: **H. HATCH DISTRIBUTORS (WHOLESALE)** Is lot Zoned? Yes No Type of Zoning: _____ Residential Commercial Resource Pro. etc.

Name of applicant: **Jack Berman** Owner's agent: _____ If you plan to use a previous subdivision approval of site investigation please submit one of the following:
 Dead restriction re private sewage disposal
 Copy of the subdivision's site report
 Soil report from a State Agency

Applicant's address: **102 School St.** Tel. No.: **839-6364** Name: _____ Lot No.: _____
 Town: **Gorham** Date: **7/31/76** Subdivision name: **N/A**

Applicant's signature: *Jack Berman* Date: _____
 Owner's signature: *Howard Berman* Date: _____

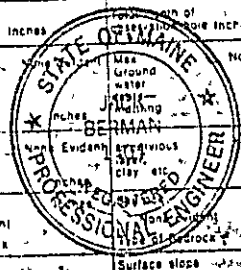
This application is for: New System Expanded System Replacement System Replacement of Treatment Tank Only Spill Area Only

The water supply for this property is: Dug well depth _____ Drilled well depth _____ Spring _____ Public Utility name: **Portland Water Dist.**

depth _____ Surface water Body Course with disinfection without disinfection

SITE INVESTIGATION (Show location of pits and/or borings on sketch on page 2 and refer to completed sample form and Chapter 4 of the Code II)

Thickness and Description of each soil strata encountered	Soil Profile No. 7.P-1		Soil Profile No. _____		Soil Profile No. _____		Soil Profile No. _____	
	Pit	Boring	Pit	Boring	Pit	Boring	Pit	Boring
Organic strata								
1st strata Loam 4"								
2nd strata Sandy Loam 13"								
3rd strata Clay 43"								
Total Depth of observation hole inches 60"								
Max Ground water table—mottling 33"								
Impermeable layer, clay, etc. 20"								
Bedrock _____								
Surface slope 0%								
Soil Group & Condition per Table 9.1 of the Code II 3-C Large								



On **7/31/76** (date) a site investigation for this project was completed. I supervised this soil evaluation and certify that the results indicated above best represent the soil conditions found. I recommend the following type and size of private sewage disposal system. I also recommend the proposed private sewage disposal system layout and location shown on page 2.

Signature: *Jack Berman* Registration/Certification Number: **1404** Date signed: **7/31/76**

Soil Scientist Geologist Soil Engineer Other (must show current letter of certification to LPI)

PRIVATE SEWAGE DISPOSAL SYSTEM PROPOSED Show location of system and details on sketches on page 2, and refer to completed sample form

SYSTEM <input checked="" type="checkbox"/> COMBINED SYSTEM <input type="checkbox"/> SEPARATED SYSTEM If separated system—type of human waste disposal system to be used: <input type="checkbox"/> Sealed Vault Privy <input type="checkbox"/> Open Pit Privy <input type="checkbox"/> Compost Toilet <input type="checkbox"/> Incinerator Toilet <input type="checkbox"/> Chemical Toilet <input type="checkbox"/> Other, describe: _____ See Chapter 9 of the Code II	TREATMENT TANK <input checked="" type="checkbox"/> Septic Tank <input type="checkbox"/> Concrete <input type="checkbox"/> Fiberglass <input type="checkbox"/> Metal Manufacturer: Unknown Size in gallons: 1000 <input type="checkbox"/> Aerobic Tank Manufacturer: _____ Model No: N/A Size in gallons: _____	SUBSURFACE ABSORPTION AREA		SITE MODIFICATION Fill is <input checked="" type="checkbox"/> required <input type="checkbox"/> not required Fill will be 15 inches deep
		Type: <input type="checkbox"/> Trench System N/A length _____ <input type="checkbox"/> Bed System Length 100' Width 15' <input type="checkbox"/> Chamber System Number: N/A Single File <input type="checkbox"/> Cluster <input type="checkbox"/> Type: N/A <input type="checkbox"/> Mound System Length _____ Width _____ at base _____ <input type="checkbox"/> Special System Length N/A Width _____ <input type="checkbox"/> Non-discharge System Bed Length _____ Width _____ Holding Tank Size _____ Gal Manufacturer: _____ <input type="checkbox"/> Alarm device provided, type _____	SIZE: <input type="checkbox"/> Very Small <input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Medium Large <input type="checkbox"/> Large <input type="checkbox"/> Extra Large	DETAILS <input type="checkbox"/> A Distribution Box N/A is not required Pumping is <input checked="" type="checkbox"/> required <input type="checkbox"/> is not required The Dose will be _____ gallons

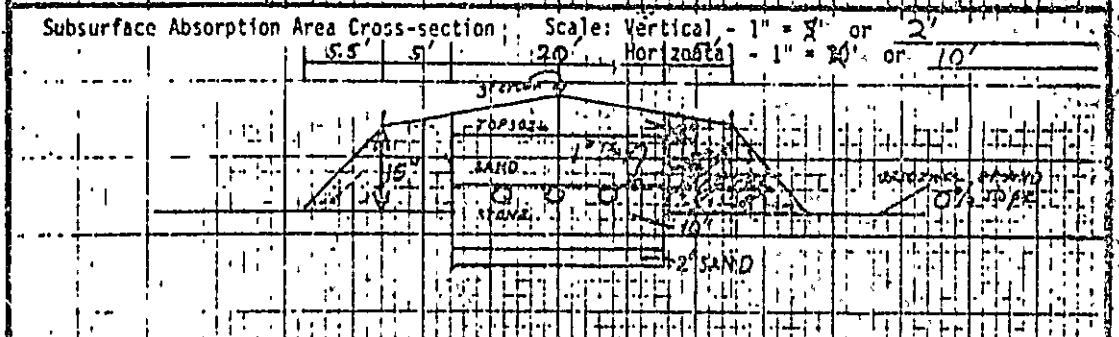
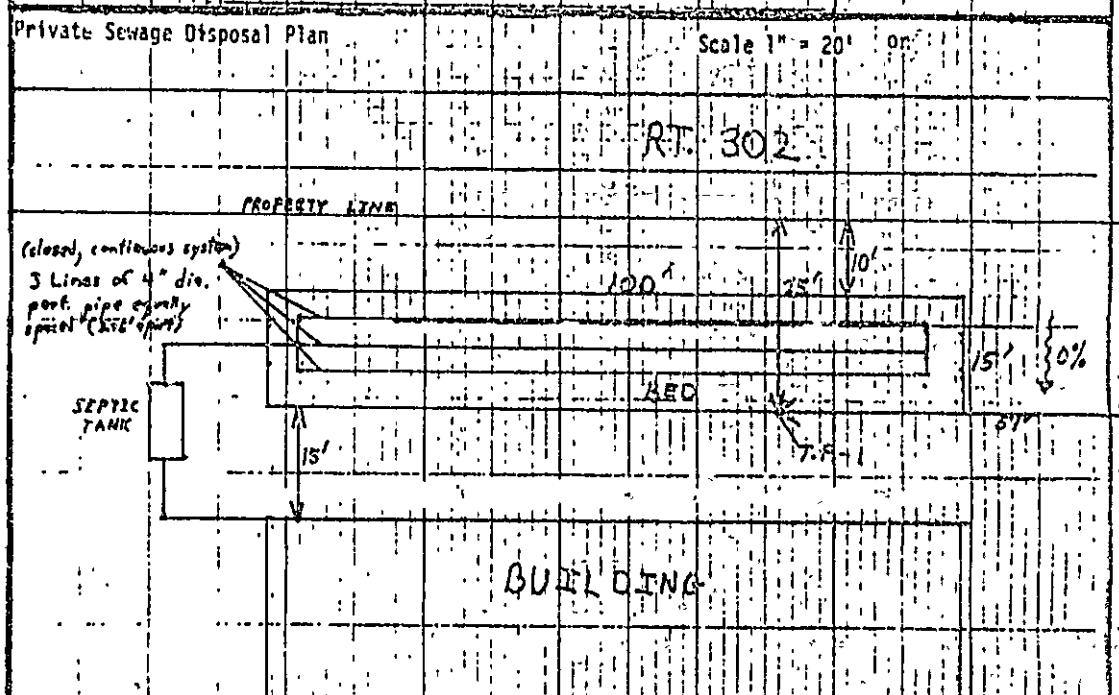
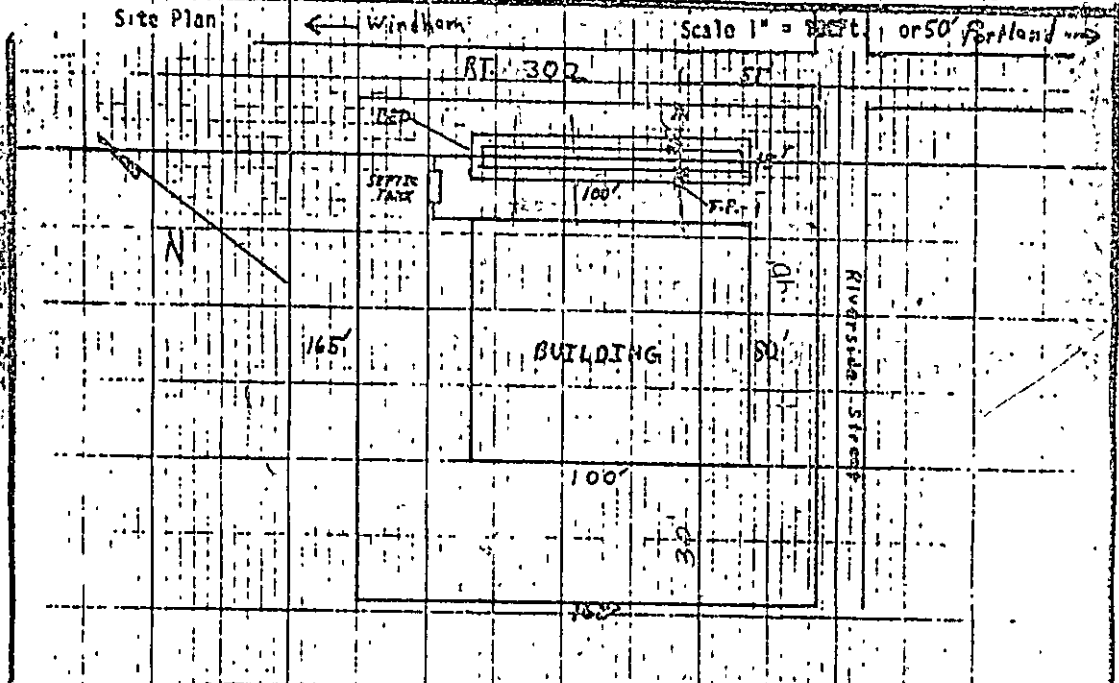
PROPERTY/LOT LOCATION MAP

FOR THE USE OF LPI ONLY

Denial. Application is denied for following reasons, portions of the Code II are cited:
 Form is incomplete (____) as to: General info Site investigation System Proposed
 Site Plan Disposal System Plan Cross Section Statement See Section 2.3.
 Site investigation indicates site is totally unsuitable for disposal system, Sections 4.5 and 9.5, Table 9.1 Group 9 and 10 Unsuitable for system proposed, Sections 4.3, 4.6, 9.4, Table 9.1
 System Proposed does not conform to Code. See Sections 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
 Site investigation indicates site modifications are necessary. See Sections _____
 Miscellaneous. Application for permit is approved with condition specified, comply with Section _____
 Acceptance. Application for permit is approved without condition.

Signed LPI: _____ Date: _____ MHE-200 7/74

Portland Street 165 Forest Ave. W. Riverside St. 302 of property Howard Dist.



Statement: (no permit may be issued unless signed)
 I certify that all the information submitted to be true and correct, and I understand that issuance of a permit is based upon the information and plans submitted by the applicant. I also understand that any falsification of this application is reason to deny a permit to install a private sewage disposal system and that the permit is valid for a six (6) month period from the date of permit issuance. I understand that no guarantee is intended or implied by reason of any advice or approval given by the Administrative Authority on this permit.

Signature Required 100-201 7/74

Date: 2/11/76

Applicant: J. Paul Peterson

Owner:

000899

City of Portland BUILDING PERMIT APPLICATION Fee \$45. Zone _____ Map # _____ Lot # _____
 se fill out any part which applies to job. Proper plans must accompany form.

Address: Fassett's Phone # _____

Address: 1805 Shelburne RD. So. Burlington, Vt

DESCRIPTION OF CONSTRUCTION: Riverside & 302

Material: HESA Sub: _____

Address: 1109 Forest Ave. Pt. 1. ME # 04103

Construction Cost: _____ Proposed Use: commercial w signs Zoning: B-2

Existing Res. Units _____ # of New Res. Units _____
 Past Use: commercial

Building Dimensions L _____ W _____ Total Sq. Ft _____

Stories: _____ # Bedrooms _____ Lot Size: _____

Proposed Use: Seasonal _____ Condominium _____ Conversion _____

Other Conversion: Erect three signs

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____

10. Masonry Materials _____

11. Metal Materials _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only

Date: 7/13/90 Subdivision: PERMIT ISSUED

Inside Fire Layout: _____ Name: _____

Bldg Code: _____ Lot: 302 28 1990

Time Limit: _____ Ownership: _____ Public _____ Private _____

Estimated Cost: _____ City Of Portland

Street Frontage Provided: _____

Provided Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required: **most comply with B-2 signage regu.**

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shoreland Zoning: Yes _____ No _____ Floodplain: Yes _____ No _____

Special Exception: _____

Other: (Explain) **OK V&A 7-19-90**

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceiling: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required: Yes _____ No _____

Plumbing:

1. Approval of soil test if required: Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Permit Received By: Louise E Chase

Signature of Applicant: *[Signature]* Date: 7/13/90

Signature of CEO: Steve Reina Date: _____

Inspection Dates: _____

White-Tax Assessor Yellow-GPCOG White Tag -CEO *[Signature]* Copyright GPCOG 1988

SENT BY: KRAFT, INC. TAX DEPT. 7-12-90 3:32PM 708982480-N E SPECIALTY ME # 2

000899

Permit # _____ City of Portland **BUILDING PERMIT APPLICATION** Fee 145 Zone _____ Map # _____ Lot# _____
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Fassett's Phone # _____
 Address: 1805 Shelburne RD. So. Burlington
 LOCATION OF CONSTRUCTION Riverside & 302
 Contractor: NESA Sub: _____
 Address: 1109 Forest Ave. pt 14 Phone # 34103
 Est. Construction Cost: _____ Proposed Use: commercial w signs Zoning: B-2
 Past Use: commercial
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: 000 # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion Erect three signs

For Official Use Only **PERMIT ISSUED**
 Date 7/13/90 Subdivision _____ Name _____
 Inside Fire Limits _____ Lot: JUL 23 1990
 Bldg Code _____ Ownership: _____ Public _____
 Time Limit _____ Estimated Cost _____
City Of Portland
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____ Side _____
 Review Required: most comply with B-2 signage reg.
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) OK 7-19-90

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joist Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____
 2. Sheathing Type _____
 3. Roof Covering Type _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size 17 Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Louise Chase

Signature of Applicant Steve Reyna Date 7/13/90

Signature of CEO _____ Date _____

Inspection Dates _____

White-Tax Assessor

Yellow-GPCOG

White Tag-CEO

Copyright GPCOG 1988

SENT BY: KRAFT, INC. TAX DEPT. 7-12-90 3:32 PM 7089882480-N.E. SPECIALTY, INC. #2

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ 43.00
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type

Inspection Record

Date

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

7-73-90 Signs have been put up

Signature of Applicant _____

Date _____

SENT BY: KRAFT & INC. TAX DEPT. 7-12-90 3:32 PM

708982480-N-E SPECIALTY DE

2

ACORD.

ISSUE DATE (MM/DD/YY)

PRODUCER

Corroon & Black Company of New York, Inc.
7 Hanover Square
New York, NY 10001-2511

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

CODE

415-0008

Philip Morris Companies Inc.,
and its subsidiary companies including:
Kraft General Foods, Inc., Oscar Mayer
Foods Corp., Miller Brewing Co.,
Entenmann's, Inc.
120 Park Avenue
New York, NY 10017

- COMPANY LETTER **A** Hartford Fire Insurance Co.
- COMPANY LETTER **B** Hartford Accident & Indemnity
- COMPANY LETTER **C** NY Underwriters Insurance Co.
- COMPANY LETTER **D** Twin City Fire Insurance Co.
- COMPANY LETTER **E**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	ALL LIMITS IN THOUSANDS
	GENERAL LIABILITY				
<input checked="" type="checkbox"/>	COMMERCIAL GENERAL LIABILITY	10J9EC30270E	1/1/90	1/1/91	GENERAL AGGREGATE \$1,000
<input type="checkbox"/>	CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	10C8EC30271E			PRODUCTS-COMPOS AGGREGATE \$1,000
<input type="checkbox"/>	OWNER'S & CONTRACTOR'S PROT.				PERSONAL & ADVERTISING INJURY \$1,000
<input checked="" type="checkbox"/>	Broad Form Vendors				EACH OCCURRENCE \$1,000
					FIRE DAMAGE (Any one fire) \$1,000
					MEDICAL EXPENSE (Any one person) \$ 5
	AUTOMOBILE LIABILITY				
<input checked="" type="checkbox"/>	ANY AUTO	10C8EC30267E	1/1/90	1/1/91	COMBINED SINGLE LIMIT \$ 1,000
<input checked="" type="checkbox"/>	ALL OWNED AUTOS	10C8EC30268E (MA)			BODILY INJURY (Per person)
<input checked="" type="checkbox"/>	SCHEDULED AUTOS	10C8EC30269E (NJ)			BODILY INJURY (Per accident)
<input checked="" type="checkbox"/>	HIRED AUTOS				PROPERTY DAMAGE
<input checked="" type="checkbox"/>	NON-OWNED AUTOS				
<input checked="" type="checkbox"/>	GARAGE LIABILITY				
	EXCESS LIABILITY				
	OTHER THAN UMBRELLA FORM				
	WORKER'S COMPENSATION AND	10WRP28116E	1/1/90	1/1/91	STATUTORY \$ 500 (EACH ACCIDENT)
	EMPLOYERS' LIABILITY				\$ 500 (DISEASE-POLICY LIMIT)
<input type="checkbox"/>	OTHER				\$ 500 (DISEASE-EACH EMPLOYEE)

RECEIVED
JUL 13 1990

DESCRIPTION OF OPERATIONS/LOCATION/VEHICLES/RESTRICTIONS/SPECIAL ITEMS

DEPT. OF BUILDING INSURANCE
Leasehold premises at 752 Riverside Drive, Portland, ME

Robt. S. & Howard S. Brenner
62 Craigie St.
Portland, ME

CANCELLATION
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

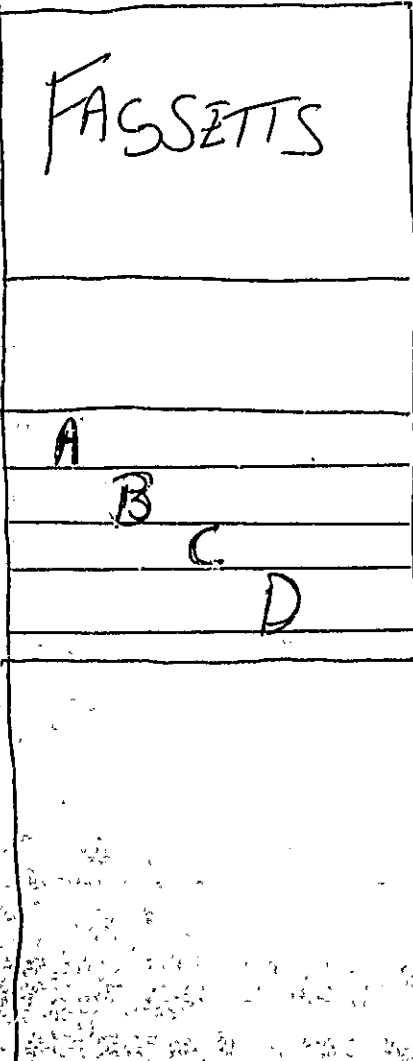
James A. Taylor

ACORD # 3 (1/89)

ACORD CORPORATION 1988

8'

4' FASSETTS



RECEIVED

JUL 13 1990

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND

12'

3' FASSETTS

KRAFT GENERAL FOODS

*** FACSIMILE TRANSMITTAL ***

FAX #: 708/ 998-2060

DATE: 7/12/90

TO: NEW ENGLAND SPECIALTY ADVERTISING
C/O STEVE REINA

FAX #: 207-878-8329

FROM: DOUG BADDELOO - KGF -

TELEPHONE #: 708-998-2283

NO. OF PAGES 2 INCLUDING THE COVER SHEET

COMMENTS: FOR MIKE COURROY'S
REQUEST AT BOUYEA-
FASSETT'S -

CC: MIKE COURROY

WE ARE TRANSMITTING FROM A XEROX 295 AUTOMATIC TELECOPIER.
OUR TELECOPIER NUMBER IS: 708/998-2060

IF YOU DO NOT RECEIVE ALL OF THE PAGES, PLEASE TELEPHONE US
IMMEDIATELY AT THE TELEPHONE NUMBER ABOVE.

Permit # 000754 City of Portland BUILDING PERMIT APPLICATION Fee \$30 Zone _____ Map # _____ Lot# _____
 Please fill out any part which applies to job. Proper plans must accompany form.

Lessee: Fassett's Bakery Phone # 1802862-2222
 Address: 1805 Shelburne RD; So. Burlington, VT 04503

LOCATION OF CONSTRUCTION 752 Riverside St.

Contractor: Hardypond Const. Sub: _____
 Address: 55 Hardy RD; Falmouth, ME Phone # 04105 797-6066

Est. Construction Cost: \$1600. Proposed Use: commercial w int. renovations
 Part Use: commercial

of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____

Stories: _____ # Bedrooms _____ Lot Size: _____

Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion INTERIOR RENOVATIONS .. remove walls & install 5 doors

Foundation: - CHANGE

1. Type of Soil: _____
2. Set Backs - Front OF Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: USE
5. Other _____

- Floors:
1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____ Spacing 16" O.C.
 4. Joists Size: _____ Size: _____
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

- Exterior Walls:
1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

- Interior Walls:
1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

For Official Use Only **PERMIT ISSUED**

Date 6/28/90 Name JUL 11 1990
 Inside Fire Limits _____
 Bldg Code _____ Lot _____
 Time Limit _____ Ownership: City Of Portland
 Estimated Cost: \$1600.

Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____

Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) OK W/ A 7-11-90

- Ceiling:
1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

- Roof:
1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____

- Chimneys:
- Type: _____ Number of Fire Places _____

- Heating:
- Type of Heat: _____

- Electrical:
- Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

- Plumbing:
1. Approval of soil test if required: Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

- Swimming Pools:
1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase

Signature of Applicant [Signature] Date 6/28/90

Signature of Robert [Signature] Date 7/10/90

Inspection Dates _____

White-Tax Assessor Yellow-GPCOG

White Tag-CEO 4 © Copyright GPCOG 1983

PERMIT ISSUED
WITH LETTER

900677

Hold - Will call - then pickup

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$101 Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Howard & Robert Brenner Phone # 774-5203
 Address: 62 Craigie St Portland, ME 04102
 LOCATION OF CONSTRUCTION 752 Riverside St.
 Contractor: Maietta Const. Sub: _____
 Address: _____ Phone # _____
 Est. Construction Cost: _____ Proposed Use: commercial
 Past Use: commercial
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions 7 W Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion REMOVE - one 1000-gallon fuel oil tank

For Official Use **PERMIT ISSUED**
 Date 5/26/90 Subdivision _____
 Inside Fire Limits _____ Name JUL 3 1990
 Bldg Code _____ Lot _____
 Time Limit _____ Ownership: _____ Public _____
 Estimated Cost _____ City Of Portland Private _____
 Zoning: Street Frontage Provided: _____ Back _____ Side _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) _____

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floors:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

Ceiling:

1. Ceiling Joists Size: _____ Spacing _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceilings: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____

Chimneys:

- Type: _____ Number of Fire Places _____

Heating:

- Type of Heat: _____

Electrical:

- Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Permit Received By Kouise E. ChaseSignature of Applicant Robert Brenner 5/26/90Signature of CEO Robert Brenner 5/26/90

Inspection Dates _____

PERMIT ISSUED
WITH LETTER

White-Tax Assessor Yellow-GPCOG

White Tag CEO 7/4/90 Copyright GPCOG 1988 Loane

PLOT PLAN



FEES (Breakdown From Front)
Base Fee \$ 10-
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

R-7-90 Soil has been removed

Signature of Applicant

R. West Brenner

Date

6/26/97

BUILDING PERMIT REPORT

DATE: 6-26-90
ADDRESS: 752 Riverside St
REASON FOR PERMIT: Underground Tank Removal Installation
1-1000 gal fuel oil
BUILDING OWNER: Howard & Robert Brennan
CONTRACTOR: Maletta Maritime Const
PERMIT APPLICANT: Robert Brennan
APPROVED: [Signature] DENIED: _____

CONDITION OF APPROVAL OR DENIAL:

- ✓ (1) All underground tank removal and/or installation shall be done in accordance with Department of Environmental Protection Regulations Chapter 691
- ✓ (2) No cutting of tanks on site. Cutting of tanks to be done at an approved tank disposal site.
- ✓ (3) Fire Dispatcher must be notified 48 hours in advance of removal and/or transportation of tanks.

Maine Department of Environmental Protection
Bureau of Oil & Hazardous Materials Control
State House Station #17
Augusta, Maine 04333
Telephone: 207-289-2651
Attn: Tank Removal Notice

RECEIVED

7/88

JUN 26 1990

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

NOTICE OF INTENT
TO ABANDON (REMOVE) AN
UNDERGROUND OIL STORAGE FACILITY

PLEASE TYPE OR PRINT IN INK:

Name of Facility Owner: Robert + Howard Brenner
Mailing Address: 62 Craque St Telephone No.: 774-5203
City: Portland State: ME Zip Code: 04103
Contact Person (name, address & telephone no.): Same as above

Name of Facility: _____ Registration No.: _____
Facility Location: Corner of Riverside St + Rte 302

1. Identify the tanks at this location which are to be removed:

Tank Number	Age of Tank (Years)	Tank Size (Gallons)	Type of Product Most Recently Stored
A. 1	14	1600	
B.			
C.			
D.			

2. Directions to Facility (be specific):

on the corner of Rte 302 and Riverside St, Portland

3. Is tank(s) used for the storage of Class I liquids (e.g. gasoline, jet fuel)? Yes ___ No (IF YES, REMOVAL OF THE TANK MUST BE UNDER THE DIRECTION OF A CERTIFIED TANK INSTALLER OR PROFESSIONAL FIREFIGHTER.)

4. Name and telephone number of contractor who will do the tank removal: Mauha Const 883-9546 / Clean Harbor

Certified Tank Installer Certification Number & Name (if applicable):

Professional Firefighter Yes ___ No ___ (Affiliation: _____)

5. Expected date of removal: June 28, 1990

I hereby provide Notice that I intend to properly abandon the underground oil storage facility as described above:

Date: June 14, 1990

Brenner Brothers
Signature of Tank Owner or Operator

Robert Brenner, Partner
Printed Name and Title

THIS FORM MUST BE FILED WITH THE DEPARTMENT AND LOCAL FIRE DEPARTMENT 10 DAYS PRIOR TO REMOVAL.

Mail original and yellow copy to DEP; pink copy to fire dept.; retain gold copy

REGISTRATION OF UNDERGROUND STORAGE TANKS GENERAL INFORMATION



The purpose of this registration program is to locate and evaluate underground tanks that store or have stored petroleum products, chemicals and hazardous substances. Notification is required for all underground tanks that have stored these regulated substances and that are in the ground as of February 1, 1986, and for all tanks that have planned to be installed underground after that date. The information you provide may be based on reasonably available records, or, in the absence of such records, to the best of your knowledge or belief.

1. Who must register an underground oil storage tank?

State Law (38 M.R.S.A., Section 563) requires that everyone who owns an existing, new, or replacement underground oil storage facility and tanks must register their tanks with the Department of Environmental Protection. A facility or tank is existing if it is fully installed as of March 1, 1985. Registration for existing facilities and tanks must be completed by February 1, 1986. Registration of new and replacement underground oil storage facilities and tanks must be completed five (5) business days prior to installation. If the ownership of an existing tank is uncertain or in dispute, the law considers the current owner of the property where the tank(s) are located to be the tank owner. The property owner is therefore required to register the tank.

Federal law (Section 9002 of the Resource Conservation and Recovery Act (RCRA)), as amended, also requires that, unless exempted, owners of underground tanks that store regulated substances must notify the State agency regulating tanks (in Maine the Department of Environmental Protection) of the existence of their tanks. This requirement applies to owners of underground oil/hazardous material storage tanks used for storage on or after November 8, 1984. It also includes owners or former owners who discontinued the service of such tanks after January 1, 1974. If you are in doubt as to whether you are the owner of an underground storage tank, you are encouraged to register the tank using this form. By registering the storage tank, you as the possible owner will have satisfied the federal notice requirements of owners to register their tanks.

2. What tanks must be registered?

All tanks which meet the state or federal definition of underground oil storage or hazardous materials storage tank must be registered.

State law defines a tank as any container, 10% or more of which is beneath the surface of the ground and which is used, or intended to be used, for the storage or supply of oil, but does not include any tanks situated in an underground area if these tanks or containers are situated upon or above the surface of a floor and in such a manner that they may be readily inspected. For the purposes of State law, oil means petroleum products and their by-products of any kind and in any form including, but not limited to, petroleum, fuel oil, motor oil, sludge, oil refuse, oil mixed with other waste, crude oils, and waste oil and all other liquid hydrocarbons regardless of specific gravity.

Federal law defined tanks which store hazardous substances (virgin chemicals) in addition to tanks which store petroleum products. The following category of tanks are exempt from state and federal law:

1. Tanks installed in a concrete foundation where the tank is fully inspectable, i.e., 275-gallon tanks found in a homeowner's basement;
2. Septic Tanks;
3. Pipeline facilities (including gathering lines) regulated under the Federal Natural Gas Pipeline Safety Act of 1968, or the Federal Hazardous Liquid Pipeline Safety Act of 1979, or which is an interstate pipeline facility regulated under State laws;
4. Surface impoundments, pits, ponds, or lagoons;
5. Storm water or waste water collection systems;
6. Flow-through process tanks;

7. Liquid traps or associated gathering lines directly related to oil or gas production and gathering operations; and
8. Storage tanks situated in an underground area (such as a basement, cellar, mineworking, drift, shaft, or tunnel) if the storage tank is situated upon or above the surface of the floor.

3. What substances are covered?

All liquid petroleum and petroleum products are included by state law. Federal law also includes any substances defined as hazardous substance in Section 101(4) of the Federal Comprehensive Environmental Response, Compensation, and Liability Act of 1980 (CERCLA). With the exception of those substances regulated as hazardous waste under Subtitle C of RCRA.

For questions about whether a chemical is considered a hazardous substance, call the Maine Department of Environmental Protection at 1-289-2651 or the Federal RCRA Hotline at 1-800-424-9346.

4. Where do you register?

Owners of underground storage tanks must register their underground tanks with the Maine Department of Environmental Protection, Bureau of Oil and Hazardous Materials Control, State House Station #17, Augusta, Maine 04333—ATTN: Tank Registration Section.

Owners must also file a copy of the registration form for petroleum storage tanks with the local fire department having jurisdiction for their area. Owners should also keep a copy at the facility.

5. When must one notify?

Owners of existing underground oil storage tanks must register by February 1, 1986. Planned new or replacement facilities must be registered five (5) business days prior to installation. All other tanks and facilities regulated by the Federal government but not by the State must be registered by May 8, 1986. These include tanks and facilities used for chemical storage and nonoperational oil and chemical tanks.

6. Penalties:

The registration of all underground storage tanks is critical to developing a sound environmental program for managing and locating these tanks. For this reason, the Legislature has required that late fees and penalties be assessed to owners who neglect to properly register their tanks.

After May 1, 1986, all tanks regulated by the State shall pay a penalty three (3) times the amount of the normal registration fee for not registering the tanks. For tanks not subject to registration fees, this penalty is \$50.00 per tank. All owners operating unregistered tanks after May 1, 1986 are subject to State civil penalties not to exceed \$10,000 per day per tank.

In addition, all tank owners subject to the Federal notification requirements who knowingly fail to notify or submit false information shall be subject to a federal civil penalty not to exceed \$10,000 for each tank for which notification is not given or false information is submitted.

7. Questions and Assistance:

For assistance in answering questions regarding these regulations call (207)289-2651 and ask for someone in the Tank Program.

8. Re-Registration:

Tanks/facilities must be re-registered under the following conditions:

- a) sale or transfer of property
- b) modification to existing facility, i.e., new tanks, piping, change of product storage, etc.

9. What Registration fees are required?

Registration fees are required on marketing and distribution tanks only. The fee must be paid on the initial registration and annually thereafter. All payment should be made to the State of Maine Groundwater Fund; and paid prior to January 1 of each year.

10. Late payments:

Payments made after January 1 are liable for a late registration fee of three (3) times the normal registration fee.

(1)

DEPARTMENT OF ENVIRONMENTAL PROTECTION
REGISTRATION FORM FOR UNDERGROUND OIL
AND HAZARDOUS SUBSTANCES (CHEMICAL)
STORAGE TANKS
(Pursuant to 38 M.R.S.A. Section 563, 40 CFR Part 280)

1. REGISTRATION NUMBER: _____ STATE USE ONLY
(Complete only if a registration has been previously assigned by the Department of Environmental Protection.) DATE OF REGISTRATION: 1/1
2. FACILITY INFORMATION
- A. Name of Facility: Robert + Howard Brenner
B. Street Address of Facility: 752 Riverside St.
C. Town/City where facility is located: Portland, Maine 04103
D. Mailing address: 67 Craigie St, Portland, Maine
E. Zip Code: 04102 F. Telephone: (207) 774-5202
G. Directions to Facility: Corner of Riverside St + Rte 302.
H. Are any planned or existing tank(s) (including piping and pumps) within 1000 feet of a public water supply source? Yes ___ No
I. Are any planned or existing tank(s) (including piping and pumps) within 500 feet of a private water supply source? Yes ___ No
J. (Complete if the answer to (I) above is YES.) Is the water supply which is located within 300 feet of the tank(s) owned by someone other than the facility owner or operator? Yes ___ No ___
K. Is the facility located on a sand and gravel aquifer or recharge area as mapped by the Maine Geological Survey? Yes ___ No ___

(If you wish assistance in answering item (K), please call the Department at (207) 289-2651. Sand and gravel aquifer maps can be reviewed at any of the Department's offices or purchased at a nominal fee from the Maine Geological Survey, State House Station #22, Augusta, Maine 04333, (207) 289-2801.)

If the answer to item (H), (J) or (K) above is yes, the facility is in a sensitive geologic area requiring certain conditions for tank installation. A new or replacement tank used for marketing and distribution of oil in such an area requires secondary containment or ground water monitoring.

NOTE: The installation of 21,000 gallons or greater combined tank capacity, on a significant sand and gravel aquifer requires the installation of 360° double containment tanks and piping with interstitial monitoring.

STATE USE ONLY			
Reviewer:	Date:	Map Number:	Comment:

L. Facility is now or will be used for (check one):

- | | |
|---|---|
| <input type="checkbox"/> Wholesale Distribution of Oil | <input type="checkbox"/> Oil storage at a single family residence |
| <input type="checkbox"/> Retail Distribution of Oil | <input type="checkbox"/> Oil storage at a multi-family residence |
| <input checked="" type="checkbox"/> Oil storage at a Commercial Establishment for on-site consumption | <input type="checkbox"/> Oil storage/farm |
| <input type="checkbox"/> Oil storage at an Industrial Establishment for on-site consumption | <input type="checkbox"/> Oil storage/Public Facility (state or local) |
| | <input type="checkbox"/> Oil storage/Federal Facility |
| | <input type="checkbox"/> Chemical (hazardous substance) storage |

3. TANK OWNER: A. Name: Brenner, Robert
(last) (first) (middle initial)
 B. Mail Address: 62 Craque St.
 C. Town/City: Portland D. State: ME
 E. Zip Code: 04103 F. Phone: 207-774-5203
4. TANK OPERATOR: A. Name: _____
(If different from owner) B. Mail Address: _____
 C. Town/City: _____ D. State: _____
 E. Zip Code: _____ F. Phone: _____
5. CONTACT PERSON: A. Name: Robert Brenner B. Phone: 207-774-5203

6. Attach a check for the applicable registration fee made payable to the State of Maine Groundwater Fund and return with this form to the Department of Environmental Protection (Bureau of Oil and Hazardous Materials Control—State House Station #17, Augusta, Maine 04333).

Registration fees are applicable ONLY to active, new, or replacement tanks used for the MARKETING AND DISTRIBUTION OF OIL. Registration fees are due upon registration and annually thereafter, prior to the FIRST DAY OF JANUARY. Fees are as follows:

Number of Tanks _____ 6,000 gallons or under in size at \$25.00 per tank = \$ _____.

Number of Tanks _____ over 6,000 gallons in size at \$50.00 per tank = \$ _____.

Fee Computation Worksheet:

a. _____ # tanks 6,000 gallons or under in size at \$25.00 per tank = \$ _____.

b. _____ # tanks over 6,000 gallons at \$50.00 per tank = \$ _____.

c. Total Annual Fee due — add a & b = \$ _____.

7. MAKE TWO (2) COPIES OF THIS FORM. Submit the original to the Department of Environmental Protection (Bureau of Oil and Hazardous Materials Control—State House Station #17, Augusta, Maine 04333). SEND ONE (1) COPY TO THE LOCAL FIRE DEPARTMENT having jurisdiction. RETAIN THE THIRD COPY FOR YOUR RECORDS. For new and replacement tanks, registrations are due at least five (5) business days prior to installation.

8. Complete the next two (2) pages of this form and include each tank currently at the facility and each new or replacement tank planned for the facility.

9. CERTIFY THIS FORM BY SIGNING. By signing this form, I, the tank registrant, certify that all information is accurate and complete to the best of my knowledge, and that I will comply with all applicable federal, state, and local laws and regulations concerning the underground storage of petroleum or other hazardous materials. The owner or operator is required by Maine statutes to file an amendment to this registration with the Department of Environmental Protection immediately upon any change of information contained in this form.

Date: 6/12/90 Robert Brenner Partner
Owner or Authorized Employee of the Owner Title
(Please print or type)

Signature: Robert Brenner Partner
Title

10. IF NEW OR REPLACEMENT TANKS ARE INCLUDED WITH THIS REGISTRATION, PROVIDE:

(3)

A. Name of Installer: _____

B. Installer ID Number: _____

11. INDIVIDUAL TANK DATA (Complete one [L] line for each tank at the facility, including tanks planned for installation or replacement).

Date of Planned Installation _____

A. Tank Number	B. Tank Type	C. Piping Type	D. Tank Size	E. Form of Additional Protection for New and Replacement Wholesale or Retail Tanks in Sensitive Geologic Areas (Tanks and Piping)	F. Product Stored	G. Tank Age	H. Status	I. Date removed from active service (if applicable)	J. System Type
<input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Double Walled	<input type="checkbox"/> Bare or Asphalt-coated Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Double Walled <input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> Galvanized <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Single Walled <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Double Walled <input type="checkbox"/> Fiberglass <input type="checkbox"/> Double Walled <input type="checkbox"/> Fiberglass <input type="checkbox"/> Single Walled <input type="checkbox"/> Other (Specify) _____	_____ Gallons	<input type="checkbox"/> Continuous Electronic Monitoring of Ground Water <input type="checkbox"/> Continuous Electronic Monitoring of Vapors <input type="checkbox"/> Secondary Containment <input type="checkbox"/> Ground Water Sampling	GASOLINE <input type="checkbox"/> Regular #1 <input type="checkbox"/> Premium #2 <input type="checkbox"/> Unleaded #4 <input type="checkbox"/> Premium #5 <input type="checkbox"/> Unleaded #6 Diesel Chemical (Specify) _____ Other (Specify) _____	_____ Mo/Yr	<input type="checkbox"/> Planned <input type="checkbox"/> Active <input type="checkbox"/> Out-of-service <input type="checkbox"/> Abandoned in place (filed not removed) <input type="checkbox"/> Planned for removal	_____ / _____ (Mo) (Yr)	<input type="checkbox"/> Suction <input type="checkbox"/> Pressurized
<input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Double Walled	<input type="checkbox"/> Bare or Asphalt-coated Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Double Walled <input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> Galvanized <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Single Walled <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Double Walled <input type="checkbox"/> Fiberglass <input type="checkbox"/> Double Walled <input type="checkbox"/> Fiberglass <input type="checkbox"/> Single Walled <input type="checkbox"/> Other (Specify) _____	_____ Gallons	<input type="checkbox"/> Continuous Electronic Monitoring of Ground Water <input type="checkbox"/> Continuous Electronic Monitoring of Vapors <input type="checkbox"/> Secondary Containment <input type="checkbox"/> Ground Water Sampling	GASOLINE <input type="checkbox"/> Regular #1 <input type="checkbox"/> Premium #2 <input type="checkbox"/> Unleaded #4 <input type="checkbox"/> Premium #5 <input type="checkbox"/> Unleaded #6 Diesel Chemical (Specify) _____ Other (Specify) _____	_____ Mo/Yr	<input type="checkbox"/> Planned <input type="checkbox"/> Active <input type="checkbox"/> Out-of-service <input type="checkbox"/> Abandoned in place (filed not removed) <input type="checkbox"/> Planned for removal	_____ / _____ (Mo) (Yr)	<input type="checkbox"/> Suction <input type="checkbox"/> Pressurized
<input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Double Walled	<input type="checkbox"/> Bare or Asphalt-coated Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Double Walled <input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> Galvanized <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Single Walled <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Double Walled <input type="checkbox"/> Fiberglass <input type="checkbox"/> Double Walled <input type="checkbox"/> Fiberglass <input type="checkbox"/> Single Walled <input type="checkbox"/> Other (Specify) _____	_____ Gallons	<input type="checkbox"/> Continuous Electronic Monitoring of Ground Water <input type="checkbox"/> Continuous Electronic Monitoring of Vapors <input type="checkbox"/> Secondary Containment <input type="checkbox"/> Ground Water Sampling	GASOLINE <input type="checkbox"/> Regular #1 <input type="checkbox"/> Premium #2 <input type="checkbox"/> Unleaded #4 <input type="checkbox"/> Premium #5 <input type="checkbox"/> Unleaded #6 Diesel Chemical (Specify) _____ Other (Specify) _____	_____ Mo/Yr	<input type="checkbox"/> Planned <input type="checkbox"/> Active <input type="checkbox"/> Out-of-service <input type="checkbox"/> Abandoned in place (filed not removed) <input type="checkbox"/> Planned for removal	_____ / _____ (Mo) (Yr)	<input type="checkbox"/> Suction <input type="checkbox"/> Pressurized
<input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Double Walled	<input type="checkbox"/> Bare or Asphalt-coated Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Double Walled <input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> Galvanized <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Single Walled <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Double Walled <input type="checkbox"/> Fiberglass <input type="checkbox"/> Double Walled <input type="checkbox"/> Fiberglass <input type="checkbox"/> Single Walled <input type="checkbox"/> Other (Specify) _____	_____ Gallons	<input type="checkbox"/> Continuous Electronic Monitoring of Ground Water <input type="checkbox"/> Continuous Electronic Monitoring of Vapors <input type="checkbox"/> Secondary Containment <input type="checkbox"/> Ground Water Sampling	GASOLINE <input type="checkbox"/> Regular #1 <input type="checkbox"/> Premium #2 <input type="checkbox"/> Unleaded #4 <input type="checkbox"/> Premium #5 <input type="checkbox"/> Unleaded #6 Diesel Chemical (Specify) _____ Other (Specify) _____	_____ Mo/Yr	<input type="checkbox"/> Planned <input type="checkbox"/> Active <input type="checkbox"/> Out-of-service <input type="checkbox"/> Abandoned in place (filed not removed) <input type="checkbox"/> Planned for removal	_____ / _____ (Mo) (Yr)	<input type="checkbox"/> Suction <input type="checkbox"/> Pressurized
<input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Double Walled	<input type="checkbox"/> Bare or Asphalt-coated Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Double Walled <input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> Galvanized <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Single Walled <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Double Walled <input type="checkbox"/> Fiberglass <input type="checkbox"/> Double Walled <input type="checkbox"/> Fiberglass <input type="checkbox"/> Single Walled <input type="checkbox"/> Other (Specify) _____	_____ Gallons	<input type="checkbox"/> Continuous Electronic Monitoring of Ground Water <input type="checkbox"/> Continuous Electronic Monitoring of Vapors <input type="checkbox"/> Secondary Containment <input type="checkbox"/> Ground Water Sampling	GASOLINE <input type="checkbox"/> Regular #1 <input type="checkbox"/> Premium #2 <input type="checkbox"/> Unleaded #4 <input type="checkbox"/> Premium #5 <input type="checkbox"/> Unleaded #6 Diesel Chemical (Specify) _____ Other (Specify) _____	_____ Mo/Yr	<input type="checkbox"/> Planned <input type="checkbox"/> Active <input type="checkbox"/> Out-of-service <input type="checkbox"/> Abandoned in place (filed not removed) <input type="checkbox"/> Planned for removal	_____ / _____ (Mo) (Yr)	<input type="checkbox"/> Suction <input type="checkbox"/> Pressurized

207 878-8329

FASSETTS BAKERY, INC.

1805 Shelburne Road
So. Burlington, Vermont 05403-7786
Telephone 802-862-2222
Facsimile 802-864-0270

7-12-90

City of Portland
c/o New England Specialty Advertising - Steve Reina
1109 Forest Ave
Portland, ME 04103

RECEIVED

JUL 13 1990

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

To Whom it Concerns:

Bouyea-Fassett's has contracted with New England Specialty Advertising to manufacture and install our permanent signs at 752 Riverside St., Portland.

They are authorized to obtain permits and pay fees as needed to do this work.

If there are any other questions, please give me a call.

Sincerely,
Mike Conroy

Mike Conroy
Retail & Operations Manager

208

07.12.90 11:00AM *BOUYEA-FASSETTS VT

* Bouyea - Fassetts Bakery *
* 1805 Shelburne Road *
* So. Burlington, VT 05403 *
* Fax # (802) 864-0270 *

TO: Steve Reina

FROM: Mike Conroy

This is a fax transmission of 2 page(s) including this cover page.

Special instructions: Here is the statement. We are
working on the certificate of insurance - should be
faxed to you today - sometime.

If there are any problems receiving this fax transmission,
please call (802) 862-2222.

(4)

12. If this registration involves the replacing or installing of tanks or piping, the following information must be attached:

- (a) A map, plotted on the most current 1:24,000 scale (7½ minute) USGS topographical quadrangle, showing the location of the facility. If a 7½ minute map is not available, a 1:62,500 scale (15 minute) map may be used.
- (b) Attach a drawing of the facility showing the location of TANKS AND PIPING to be installed and any existing tanks. THE FORM OF ADDITIONAL PROTECTION for tanks used for marketing and distribution of oil in sensitive areas MUST BE DETAILED ON THE DRAWING. Monitoring well locations must be provided for all tanks greater than 1,100 gallons used for on-site consumption of oil.

Maine Department of Environmental Protection
 Bureau of Oil & Hazardous Materials Control
 State House Station #17
 Augusta, Maine 04333
 Telephone: 207-289-2651
 Attn: Tank Removal Notice

7/88

**NOTICE OF INTENT
 TO ABANDON (REMOVE) AN
 UNDERGROUND OIL STORAGE FACILITY**

PLEASE TYPE OR PRINT IN INK:

Name of Facility Owner: Robert Brenner
 Mailing Address: 42 Commercial St Telephone No.: 744-5208
 City: Portland State: ME Zip Code: 04103
 Contact Person (name, address & telephone no.): Same as above
 Name of Facility: _____ Registration No.: _____
 Facility Location: Commercial St, Portland, ME

1. Identify the tanks at this location which are to be removed:

Tank Number	Age of Tank (Years)	Tank Size (Gall. or)	of Product most recently stored
A. 1	14	1000	Gas Oil
B.			
C.			

2. Direction to Facility (Be specific):
the corner of 42 Commercial St and Riverside St, Portland

3. Is tank(s) used for the storage of Class I liquids (e.g. gasoline, jet fuel)? Yes No (If YES, REMOVAL OF THE TANK MUST BE UNDER THE DIRECTION OF A CERTIFIED TANK INSTALLER OR PROFESSIONAL FIREFIGHTER.)

4. Name and telephone number of contractor who will do the tank removal: Manette Construction Co / 424-1111

Certified Tank Installer Certification Number & Name (if applicable): _____

Professional Firefighter: Yes No (Affiliation: _____)

5. Expected date of removal: Jan 14, 1990

I hereby provide Notice that I intend to properly abandon the underground oil storage facility as described above.

Date: Jan 14, 1990 Signature of Tank Owner or Operator: Robert Brenner

Robert Brenner
 Printed Name and Title

THIS FORM MUST BE FILLED WITH THE DEPARTMENT AND LOCAL FIRE DEPARTMENT 10 DAYS PRIOR TO REMOVAL.

Mail original and yellow copy to DEP; pink copy to fire dept.; retain gold copy

PERMIT # 002864 TOWN OF Portland BUILDING PERMIT APPLICATION MAP # PERMIT ISSUED

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Auto Plus - 797-2497

Address: 752 Riverside St., Portland, ME 04103

LOCATION OF CONSTRUCTION 752 Riverside Street

CONTRACTOR: New England Specialty Adv. SUBCONTRACTORS R78-8844

ADDRESS: 1109 Forest Ave., Portland, ME 04103

Est. Construction Cost: _____ Type of Use: Retail - Stereos, TV'S

Past Use: same

Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____

Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____

Conversion - Explain To erect 4x8 temp. sign. for 1 month, 1st. time.

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE 11/20/89 to 12/20/89.

Residential Buildings Only: _____ Plot plan enclosed.

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other: _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall If required _____
5. Other Materials _____

For Official Use Only

Date November 20, 1989 Subdivision NOV 20 1989

Inside Fire Limits _____ Name _____
 Bldg Code _____ Lot _____
 Time Limit _____ City Of Portland
 Estimated Cost _____ Permit Expiration: _____
 Value/Structure _____ Ownership: _____ Public _____ Private _____
 Fee \$10.00

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceilings: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____
4. Other _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:

District E-2 Street Frontage Req: _____ Provided _____
 Required Setbacks: Front _____ Back _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shore and Floodplain Mgmt. _____ Special Exception _____
 Other (Explain) _____
 Date Approved: NOV 20 1989

Permit Received By

Joyce M. Rinaldi

Signature of Applicant

[Signature] Date 11/20/89

Signature of CEO

_____ Date _____

Inspection Dates

White-Tax Assessor

Yellow-GPCOG

White-Tag-CEO

© Copyright GPCOG 1987

14/11/89 - Leary

PLOT PLAN



FEES (Breakdown From Front)
Base Fee \$ 10.00
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

Sign permit card to be reviewed

Signature of Applicant

Date 11/20/99

NEEA
1105 Forest Ave
Portland, ME 04103
878-8844

Rt. 302

Auto Plus
752 Riverside St -
Portland, ME
Tel # 77-2497



Riverside St.

- ① Sign is 10' from Roadway
- ② Does not block exits
- ③ 1st time 1989

Highway

OFFICE OF BUILDING INSPECTORS
CITY OF PORTLAND

NOV 2 0 1989

RECEIVED

752 Riverside St.

PERMIT # 02864 TOWN OF Portland BUILDING PERMIT APPLICATION MAP # _____ LOT# _____
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Auto Plus - 797-2497

Address: 752 Riverside St., Portland, ME 04103

LOCATION OF CONSTRUCTION 752 Riverside Street
 Speciality Adv.

CONTRACTOR: New England SUBCONTRACTORS 878-8844

ADDRESS: 1109 Forest Ave., Portland, ME 04103

Est. Construction Cost: _____ Type of Use: Retail-Sterios, TV'S

Past Use: SAME

Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories _____ Lot Size _____

Is Proposed Use _____ Seasonal _____ Condominium _____ Apartment _____

Conversion - Explain To erect 4x8 temp. sign. for 1 month, 1st. time

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE 11/20/89 to 12/20/89.

Residential Buildings Only: _____ Plot plan enclosed.

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only

Date <u>November 20, 1989</u>	Subdivision: Yes / No _____
Inside Fire Limits _____	Name _____
Bldg Code _____	PERMIT ISSUED
Time Limit _____	Block _____
Estimated Cost _____	Permit Expiration: <u>NOV 20 1989</u>
Value/Structure _____	Ownership: <u>Public</u> Private _____
Fee: <u>\$10.00</u>	

CITY OF PORTLAND

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceilings: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____
4. Other _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:

District _____ Street Frontage Req: _____ Provided _____
 Required Setbacks: Front _____ Back _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shore and Floodplain Mgmt _____ Special Exception _____
 Other (Explain) _____
 Date Approved _____

Permit Received By Joyce M. Rinaldi

Signature of Applicant [Signature] Date 11/20/89

Signature of CEO [Signature] Date _____

Inspection Dates _____

White-Tax Assessor

Yellow-GPCOG

White Tag -CEO

© Copyright GPCOG 1987

900677

Hold - will call - then pickup

Permit # 900677 City of Portland BUILDING PERMIT APPLICATION Fee \$10, Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Howard & Robert Brenner Phone # 774-5203
Address: 62 Craigie St Ptld, ME 04102

LOCATION OF CONSTRUCTION 752 Riverside St.

Contractor: Maietta Const. Sub: _____

Address: _____ Phone # _____

Est. Construction Cost: _____ Proposed Use: commercial

_____ Past Use: commercial

of Existing Res. Units _____ # of New Res. Units _____

Building Dimensions L _____ W _____ Total Sq Ft. _____

Stories: _____ # Bedrooms _____ Lot Size: _____

Is Proposed Use: Seasonal _____ Condominium _____ Conversions _____

Explain Conversion REMOVE - one 1000-gallon fuel oil tank

For Official Use Only PERMIT ISSUED

Date 6/26/90 Subdivision _____
 Inside Fire Limits _____ Name JUL 8 1990
 Bldg Code _____ Lot _____
 Time Limit _____ Ownership: _____ Public
 Estimated Cost _____ **City of Portland**

Zoning: _____
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other _____ (Explain) _____

Foundation:

- Type of Soil: _____
- Set Backs - Front _____ Rear _____ Side(s) _____
- Footings Size: _____
- Foundation Size: _____
- Other _____

Floors:

- Sills Size: _____ Sills must be anchored.
- Girder Size: _____
- Lally Column Spacing _____ Size: _____
- Jolts Size: _____ Spacing 16" O.C.
- Bridging Type: _____ Size: _____
- Floor Sheathing Type: _____ Size: _____
- Other Material: _____

Exterior Walls:

- Studding Size _____ Spacing _____
- No. windows _____
- No. Doors _____
- Header Size _____ Span(s) _____
- Bracing: Yes _____ No _____
- Corner Posts Size _____
- Insulation Type _____ Size _____
- Sheathing Type _____ Size _____
- Siding Type _____ Weather Exposure _____
- Masonry Materials _____
- Metal Materials _____

Interior Walls:

- Studding Size _____ Spacing _____
- Header Size _____ Span(s) _____
- Wall Covering Type _____
- Fire Wall if required _____
- Other Materials _____

Ceiling:

- Ceiling Joists Size: _____
- Ceiling Strapping Size _____ Spacing _____
- Type Ceilings: _____
- Insulation Type _____ Size _____
- Ceiling Height: _____

Roof:

- Truss or Rafter Size _____ Span _____
- Sheathing Type _____ Size _____
- Roof Covering Type _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

- Approval of soil test if required _____ No _____
- No. of Tubs or Showers _____
- No. of Flushes _____
- No. of Lavatories _____
- No. of Other Fixtures _____

Swimming Pools:

- Type: _____
- Pool Size: _____ x _____ Square Footage _____
- Must conform to National Electrical Code and State Law.

Permit Received By Louise F. [Signature]

Signature of Applicant [Signature] Date 6/26/90

Signature of CEO [Signature] Date 6-26-90

Inspection Dates _____

000754

Needs sign permit

Permit # 000754 City of Portland BUILDING PERMIT APPLICATION Fee: 300 Zone _____ Map # _____ Lot# _____
 Please fill out any part which applies to job. Proper plans must accompany form

Owner/Lessee: Fassett's Bakery Phone # 1802368-2222
 Address: 1805 Shelburne RD; Bo. Burlington, VT 04503

LOCATION OF CONSTRUCTION 752 Riverside St.

Contractor: Hardypond Const. Sub _____
 Address: 55 Hardy RD; Falmouth, ME Phone # 04105 797-6066

Est. Construction Cost: \$1600. Proposed Use: commercial w int. renovations
 Past Use: commercial

of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____

Stories: _____ # Bedrooms _____ Lot Size: _____

Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____

Explain Conversion INTERIOR RENOVATIONS - remove walls

Foundation:

1. Type of Soil: _____
 2. Set Backs - Front OF Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: USE
 5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing - Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

For Official Use Only PERMIT ISSUED

Date 5/28/90 Subdivision _____ Name _____
 Inside Fire Limits _____ Lot JUL 11 1990
 Bldg Code _____ Ownership _____ Public _____
 Time Limit _____
 Estimated Cost \$1600 City Of Portland

Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) OK (W.D.) 7-11-90

Ceiling:

1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Spacing OF
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____

Chimneys:

- Type: _____ Number of Fire Places _____

Heating:

- Type of Heat: _____

Electrical:

- Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase

Signature of Applicant Robert G. Chase Agent for owner

Signature of CEO Robert G. Chase 11/90

Inspection Dates _____

PERMIT ISSUED
 WITH LETTER

White-Tax Assesor

Yellow-GPCOG

White Tag - CEO

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000754

Needs sign permit

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee: 301 Zone _____ Map # _____ Lot# _____
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner/Lessee: Fassett's Baker Phone # 1802364-2222
 Address: 1805 Shelburne RD; NO. Burlington, VT 04503
 LOCATION OF CONSTRUCTION 752 Riverside St.
 Contractor: Hardypond Const. Sub: _____
 Address: 55 Hardy RD; Falmouth, ME 04105 Phone # 797-0066

Est. Construction Cost: \$1600 Proposed Use: commercial w int. rezoning
 Past Use: commercial
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion: INTERIOR RENOVATIONS - remove walls &

Foundation: - CHANGE
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: USE
 5. Other _____

Floors:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

For Official Use Only PERMIT ISSUED

Date: 5/29/90 Subdivision: _____ Name: _____
 Inside Fire Limits: _____
 Bldg Code: _____ Ownership: _____ Public: _____
 Time Limit: _____
 Estimated Cost: \$1600 City of Portland

Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain): OK WITH 7-11-90

Ceiling:
 1. Ceiling Joists Size _____ Spacing _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 6. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Spacing _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase
 Signature of Applicant: Robert G. Chase (Agent for owner) Date: 6/29/90
 Signature of CEO: _____
 Inspection Dates: _____

PERMIT ISSUED WITH LETTER

White-Tax Assessor

Yellow-GPCOG

White Tag - CEO

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