

260-274 RIVERSIDE STREET



APPLICATION FOR PERMIT **PERMIT ISSUED**

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

0390 MAY 23 1975

ZONING LOCATION B-2 PORTLAND, MAINE, Feb. 18, 1975 **CITY OF PORTLAND**

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 260-270 Riverside St. Fire District #1 ☐ #2 ☐
1. Owner's name and address Exxon Co. Inc. 30 Beacham St. - Everett, Mass. Telephone 02149
2. Lessee's name and address Telephone
3. Contractor's name and address undecided Telephone
4. Architect Specifications Plans No. of sheets
Proposed use of building No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 2000. Fee \$ 8.

FIELD INSPECTOR—Mr.

GENERAL DESCRIPTION

This application is for: @ 775-5451 To ~~convert~~ a self service island as per plans—
Dwelling Ext. 234 PA ~~XXXX~~ 64 system as mfg. by Gilbarco Inc. of
Garage Greensboro N.C.
Masonry Bldg.
Metal Bldg. Stamp of Special Conditions
Alterations
Demolitions
Change of Use
Other

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☐ 2 ☐ 3 ☐ 4 ☐

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing member—Kind Dressed or full size? Corner posts Sills
Size Girders Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

Will work require disturbing of any tree on a public street?

ZONING: N.P.

BUILDING CODE: 09-15-E8-5/23/75

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ...yes...

Fire Dept.:

Health Dept.:

Others:

Signature of Applicant

Phone #

Type Name of above

Hogan

1 ☐ 2 ☐ 3 ☐ 4 ☐

Other

and Address

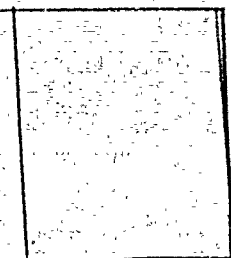
FIELD INSPECTOR'S COPY

NOTES

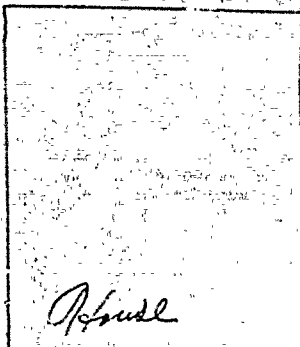
Permit No. 751390
Location 260-220 River Side
Owner Exxon
Date of permit 5/23/75
Approved

Permit No. 751390
Location 260-220 River Side
Owner Exxon
Date of permit 5/23/75
Approved

12 car 260 lot site



Garage

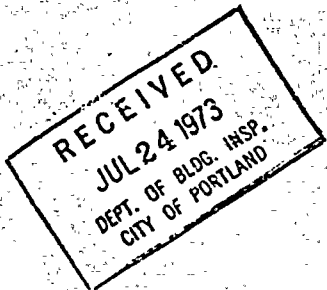


House

60 ft long

36 ft wide

36 FT Wide



1 2 3 4

260 Riverside St



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, July 24, 1973

PERMIT ISSUED

July 24 1973

of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the specifications, if any, submitted herewith, and the following specifications:

structure equipment
Portland, plans and

Location 260 Riverside St., Portland Within Fire Limits? Dist. No.
Owner's name and address Arthur C. Thibodeau, same Telephone 773-6638
Lessee's name and address Telephone
Contractor's name and address Telephone
Architect Specifications Plans No. of sheets
Proposed use of building No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot Fee \$ 5.00
Estimated cost \$

General Description of New Work

Change of use from dwelling to dwelling and to sell/repair used cars.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO**

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

A.C. - 7/27/73 - Allen

CS 301

INSPECTION COPY

Signature of owner

Arthur C. Thibodeau

Ray

7/25/73 EVERY
THING OK RER

2/775/3

Location 260 Riverside St.

OWNER ARTHUR C. BONNEAU

Date of permit 7/24/73

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn

Cert. of Occupancy issued

Silking Out Noise

Form Check Notice

NOTE-D'GRAM

EXXON COMPANY, U.S.A.

C/O EDWARD K. GROVES

59 SHERWOOD DRIVE • HOOKSETT, NEW HAMPSHIRE 03106 • PHONE 603-622-8738

MESSAGE

TO Mr A. Saule
Bldg Dept
Portland, Me

SUBJECT Car Wash Conversion
260 Riverside St Portland
DATE 5-31-73

Per our phone discussion today, kindly return the application & \$90 fee to me, as we have temporarily postponed this project.

I will again contact you if we decide to resume in the future. I enclose receipt # 074931K dated 5/14/73.

Thank you

BY

Ed Groves

REPLY

Returned plane to above address.

DATE

6-4-73

SIGNED

N-4112B, The Drawing Board, Inc., Box 305, Dallas, Texas

INSTRUCTIONS TO SENDER:

1. YELLOW COPY. 2. SEND WHITE AND PINK COPIES WITH CARBON INTACT.

INSTRUCTIONS TO RECEIVER:

1. WRITE REPLY. 2. DETACH STUB, KEEP PINK COPY, RETURN WHITE COPY TO SENDER.



B2 BUSINESS ZONE

UNRESTRICTED ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, May 14, 1973

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 260-274 Riverside St. Within Fire Limits? _____ N.H. Dist. No. _____
 Owner's name and address Exxon Co., c/o E.K. Groves - Box 588, Concord, Telephone 603-224-3371
 Lessee's name and address _____ Telephone _____
 Contractor's name and address To be let Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 2
 Proposed use of building _____ No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____ Fee \$ 90.
 Estimated cost \$ 30,000.

General Description of New Work

Install new overhead door, reconstruct concrete floor slab. Open up back of bldg - rear wall.
 Install emergency rear exit door. Install new fiberglass partition between in bay wash and service bay.

Cancelled

*Refunded \$90.
6-1-73*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sew. ? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

5/16/73 ZONING DIV. (M.C.)

CS 301

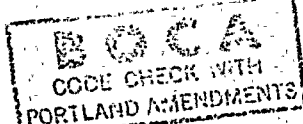
INSPECTION COPY

Signature of owner

by:

Exxon Co.

E.K. Groves, Real Estate Rep



Permit No. 731
Location 260-274 Riverside St
Owner Exxon Co
Date of permit 5/ 173
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____
Staking Out Notice _____
Form Check Notice _____

NOTES

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: John Menario, City Manager

DATE: 12/27/72

FROM: R. Lovell Brown, Director Building Inspection

SUBJECT: Temporary trailer at 260-2/4 Riverside Street

A temporary trailer for a period of three months from January 3 to April 3, 1973 is requested in accordance with the requirements of Section 301.3.1b of the Building Code.

Its use is to be limited to service station training purposes for Exxon Co., U.S.A. If they comply with the requirements of the Building Code I feel that the permit can be issued.

R. Lovell Brown, Director

City of Portland, Maine

IN BOARD OF MUNICIPAL OFFICERS

Ordered,

That a permit be issued to provide a temporary trailer for training purposes at the service station located at 260-274 Riverside Street (Exxon Co.) for a period of three months from January 2nd to April 3, 1973 is hereby approved in accordance with Section 301, 3.10 of the Building Code.



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, December 22, 1972

PERMIT ISSUED

JAN 4 1973

00002
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 260-274 Riverside Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Exxon Co., USA Telephone _____
Humble Oil & Refining Co., Hutchinson River Pkwy
Wing Pelham, N.Y. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address _____ Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building Temporary trailer No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot Service Station
 Estimated cost \$ _____ Fee \$ 25.00

General Description of New Work

To provide temporary trailer on property for training purposes

Trailer to be kept on property approximately 3 months

Approved by Municipal Officers 1-4-73

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Exxon Co., USA -P.O. 637-Portland, Maine

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Exxon Co., USA

CS 301

INSPECTION COPY

Signature of owner By: WOT. Polidano JTR.

NOTES

7/24/73

Trailer removed

[The following section of the form is crossed out with a large diagonal line.]

Permit No. 1312
Location 260-274 Riverside St.
Owner Exxon Co - U.S.A.
Date of permit 7/4/73
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____
Sinking Out Notice _____
Form Check Notice _____

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

VARIANCE APPEAL

(cor. 694-708 Warren Ave.)

Humble Oil & Refining Co., owner of property at 260-274 Riverside St., under the provisions of Section 24 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals for a variance from the provisions of said Ordinance to permit: to change detached pole sign from stationary to revolving. This permit is presently not issuable under the Zoning Ordinance because under the provisions of Sec. 602.15.5, revolving signs are not allowable in the B-2 Business Zone in which this property is located.

LEGAL BASIS OF APPEAL: Such variance may be granted only if the Board of Appeals finds that the strict application of the provisions of the Ordinance would result in undue hardship in the development of property which is inconsistent with the intent and purpose of the Ordinance; that there are exceptional or unique circumstances relating to the property that do not generally apply to other property in the same zone or neighborhood, which have not arisen as a result of action of the applicant subsequent to the adoption of this Ordinance whether in violation of the provisions of the Ordinance or not; that property in the same zone or neighborhood will not be adversely affected by the granting of the variance; and that the granting of the variance will not be contrary to the intent and purpose of the Ordinance.

Ralph V. Russo
APPELLANT

For Humble Oil & Refining Company

DECISION

After public hearing held November 30, 1972, the Board of Appeals finds that all of the above conditions do not exist with respect to this property and that a variance should not be granted in this case.

It is, therefore, determined that a variance from the provisions of the Zoning Ordinance should not be granted in this case.

Walter E. Sklar
Board of Appeals

260-274 Riverside Street

Cor. 694-708 Warren Ave.

Nov. 9, 1972

Humble Oil & Refining Company
1 Lincoln Street
So. Portland

cc to: Corporation Counsel
cc to: Coyne Sign Company
66 Cove Street

Gentlemen:

Amendment to building permit #01370 to change detached pole sign from stationary to revolving is not issuable under the Zoning Ordinance because under the provisions of Section 602.16.5, revolving signs are not allowable in the B-2 Business Zone in which this property is located.

We understand that you would like to exercise your appeal rights in this matter. Accordingly you or your authorized representative should come to this office in Room 113, City Hall to file the appeal on forms which are available here. A fee of \$15.00 for a variance appeal shall be paid at this office at the time the appeal is filed.

If fee has been paid and appeal filed prior to this letter, then consider this letter as a matter of formality.

Very truly yours,

Malcolm G. Ward
Plan Examiner

MGW:R



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1

Portland, Maine, Nov. 3, 1972

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 74/320 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 260-274 Riverside Street Within Fire Limits? Dist. No.
 Owner's name and address Humble Oil & Refining Co., P.O. 637, Portland Telephone
 Lessee's name and address Telephone
 Contractor's name and address Coyne Sign Co., 66 Cove Street Telephone
 Architect Plans filed No. of sheets
 Proposed use of building No. families
 Last use No. families
 Increased cost of work Additional fee 3.00

Description of Proposed Work

Appeal Denied 11-30-72

To change sign from stationary to rotating

This application is preliminary to get settled the question of zoning appeal. In the event the appeal is sustained the applicant will furnish complete information estimated cost and pay legal fee.

Details of New Work Coyne Sign Co.

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? carth or rock?
 Material of foundation Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining
 Framing lumber—Kind Dressed or full size?
 Corner posts Sills Girt or ledger board? Size
 Girders Size Columns under girders Size Max. u centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor , 2nd , 3rd , roof
 On centers: 1st floor , 2nd , 3rd , roof
 Maximum span: 1st floor , 2nd , 3rd , roof

Approved:

Humble Oil & Refining Co.
Coyne Sign Co.

Signature of Owner By:

Approved: Joseph M. Coyne Inspector of Buildings

FILE COPY



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 23

Portland, Maine, Nov. 3, 1972

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 260-274 Riverside Street Within Fire Limits? Dist. No.
Owner's name and address Humble Oil & Refining Co., P.O. 637, Portland Telephone
Lessee's name and address Telephone
Contractor's name and address Coyne Sign Co., 66 Cove Street Telephone
Architect Plans filed No. of sheets
Proposed use of building No. families
Last use No. families
Increased cost of work Additional fee 3.00

Description of Proposed Work

To change sign from stationary to rotating

Appeal Denied 11-30-72

This application is preliminary to get settled the question of zoning appeal. In the event the appeal is sustained the applicant will furnish complete information estimated cost and pay legal fee.

Details of New Work

Coyne Sign Co.

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor....., 2nd....., 3rd....., roof
On centers: 1st floor....., 2nd....., 3rd....., roof
Maximum span: 1st floor....., 2nd....., 3rd....., roof

Approved:

Humble Oil & Refining Co.
Coyne Sign Co.

Signature of Owner:

Approved:

Inspector of Buildings

ASSESSOR'S COPY

260-274 Riverside Street
Cor. 694-708 Warren Ave.

Nov. 9, 1972

Humble Oil & Refining Company
1 Lincoln Street
So. Portland

cc to: Corporation Counsel
cc to: Coyne Sign Company
66 Cove Street

Gentlemen:

Amendment to building permit #01370 to change detached pole sign from stationary to revolving is not issuable under the Zoning Ordinance because under the provisions of Section 502.16.5, revolving signs are not allowable in the B-2 Business Zone in which this property is located.

We understand that you would like to exercise your appeal rights in this matter. Accordingly you or your authorized representative should come to this office in Room 113, City Hall to file the appeal on forms which are available here. A fee of \$15.00 for a variance appeal shall be paid at this office at the time the appeal is filed.

If fee has been paid and appeal filed prior to this letter, then consider this letter as a matter of formality.

Very truly yours,

Malcolm G. Ward
Plan Examiner

MGW:m



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1

Portland, Maine, Nov. 3, 1972

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 72/1372 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 260-274 Riverside Street Within Fire Limits? Dist. No.
 Owner's name and address Humble Oil & Refining Co., P.O. 637, Portland Telephone
 Lessee's name and address Telephone
 Contractor's name and address Coyne Sign Co., 66 Cove Street Telephone
 Architect Plans filed No. of sheets
 Proposed use of building No. families
 Last use No. families
 Increased cost of work Additional fee 3.00

Description of Proposed Work

To change sign from stationary to rotating

This application is preliminary to get settled the question of zoning appeal. In the event the appeal is sustained the applicant will furnish complete information estimated cost and pay legal fee.

Details of New Work

Coyne Sign Co.

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof Rise per foot Roof covering of lining
 No. of chimneys Material of chimneys of lining
 Framing lumber—Kind Dressed or full size?
 Corner posts Sills Girt or ledger board? Size
 Girders Size Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor, 2nd, 3rd, roof
 On centers: 1st floor, 2nd, 3rd, roof
 Maximum span: 1st floor, 2nd, 3rd, roof

Humble Oil & Refining Co.
 Coyne Sign Co.

Approved:

Signature of Owner By:

Approved:

Inspector of Buildings

INSPECTION COPY



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 2

Portland, Maine, Nov. 3, 1972

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 260-274 Riverside Street Within Fire Limits? Dist. No.
Owner's name and address Humble Oil & Refining Co., P.O. 637, Portland Telephone
Lessee's name and address Telephone
Contractor's name and address Coyne Sign Co., 56 Cove Street Telephone
Architect Plans filed No. of sheets
Proposed use of building No. families
Last use No. families
Increased cost of work Additional fee 3.00

Description of Proposed Work

To change sign from stationary to rotating

This application is preliminary to get settled the question of zoning appeal. In the event the appeal is sustained the applicant will furnish complete information estimated cost and pay legal fee.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof

Approved:

Humble Oil & Refining Co.
Coyne Sign Co.

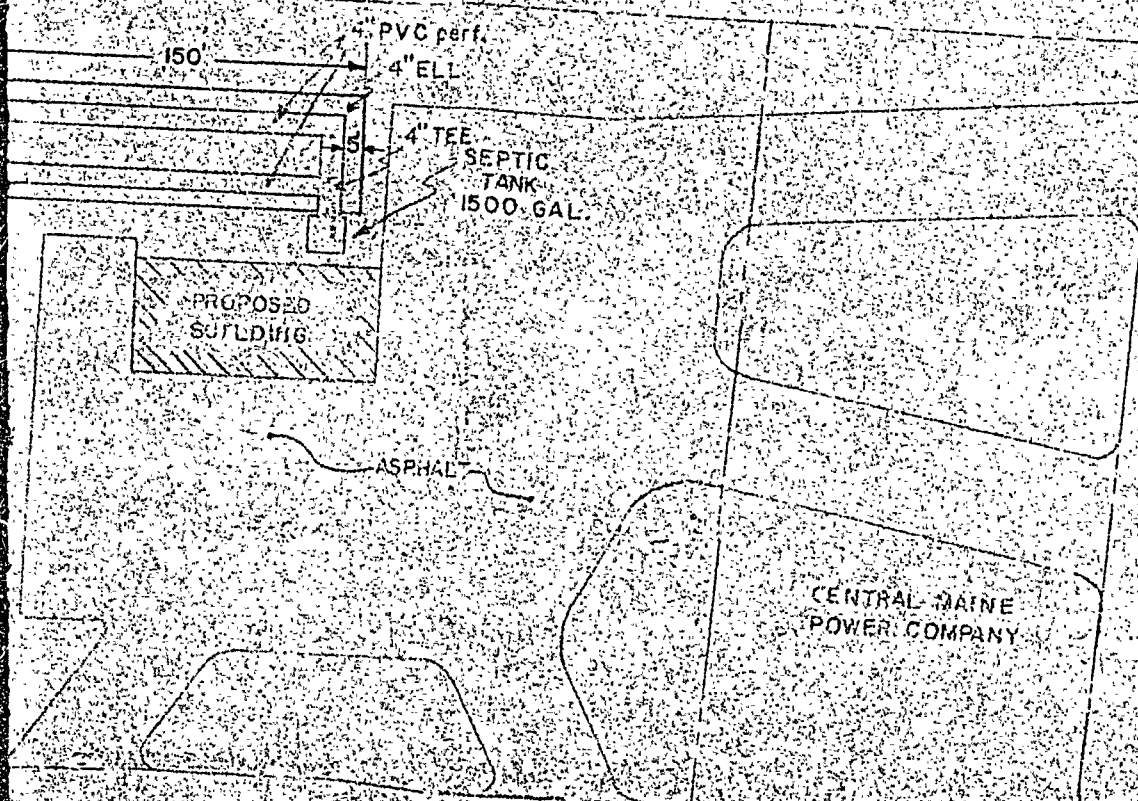
Signature of Owner:

Approved:

Inspector of Buildings

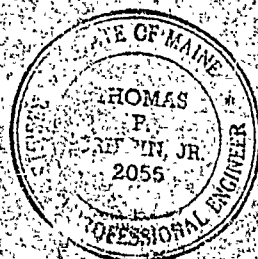
APPLICANT'S COPY

HELGE and MATTHEIS CO



WARREN AVENUE

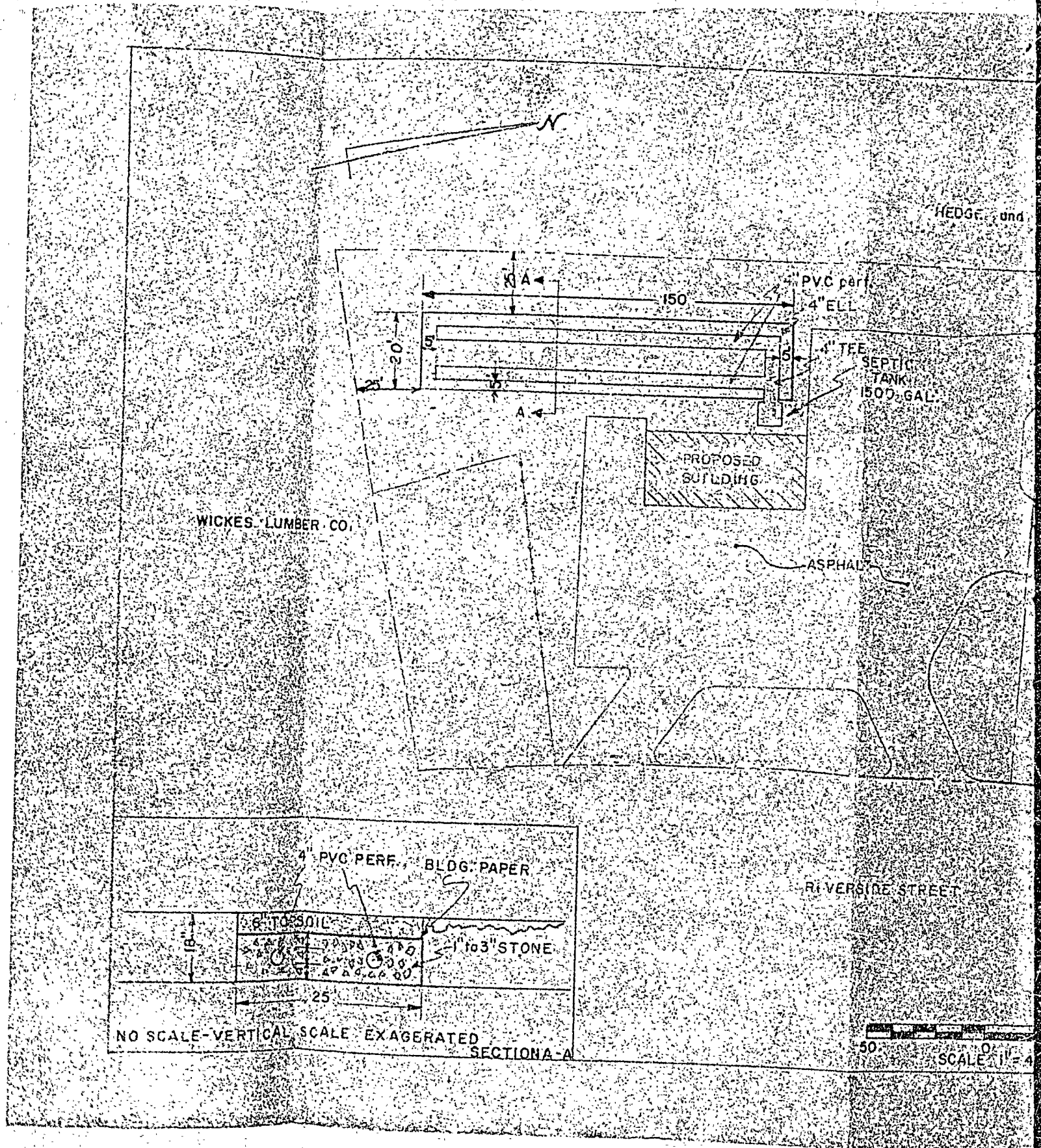
RIVERSIDE STREET



50 0 50
SCALE 1" = 40'

HUMBLE OIL and REFINING COMPANY									
SEPTIC TANK and LEACH BED									
PLOT PLAN									
THOMAS GRIFFIN ASSOCIATES CO.									
1"=40'									
OCT 71									
W.T.M.									

PR



1210-1220 Brighton Avenue
260-274 Riverside Street

Nov. 7, 1972

cc to: Humble Oil & Refining Co.
P.O. Box 637, Portland

Coyne Sign Company
Att: Joseph Coyne
66 Cove Street

Gentlemen:

Building permits to change existing signs at the above two named locations is being issued subject to the understanding that, the height of these signs shall not be greater than 20' above the level of the ground on which they are erected. (Zoning Ordinance Sec. 602.16.5.a).

Very truly yours,

A. Allan Scule
Assistant Director

AAS:m

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED
TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE
PREMISES AT 260-274 Riverside St. IN PORTLAND, MAINE

Humble Oil & Refining Company being the owner of the
premises at 260-274 Riverside St. in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Humble Oil & Refining Co.
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a
permit to cover erection of said sign;

And in consideration of the issuance of said permit Humble Oil &
Refining Company, owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said
sign or make it permanently safe in case the sign still serves the purpose
for which it was erected, hereby agrees for himself or itself, for his
heirs, its successors, and his or its assigns, to completely remove said
sign within ten days of notice from said Inspector of Buildings that said
sign is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this Seventh day of November 19672.

J. H. Hays
Witness

J. H. Hays
Owner
For Humble Oil & Refining Company



B2 BUSINESS ZONE
APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

NOV 8 1972
01370

CITY OF PORTLAND
1972

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to erect the following described sign extending over a public side
walk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 260-274 Riverside St.

Portland, Maine,

Nov. 3,

Dist. No.

Owner of building to which sign is to be attached same

Humble Oil & Refining Co.; PO 637, Portland

Teleph.

Name and address of owner of sign Coyne Sign Co., 66 Cove St.

Contractor's name and address Dec. 31, 1972

Information Concerning Building See plan with
1218-1220 Brighton
av

POLE SIGN

No. stories 1

Material of wall to which sign is to be attached

Building owner's consent and agreement filed with application yes

Electric? yes

Vertical dimension after erection 6' 2"

Horizontal 11' 3"

Weight 250 lbs.

Will there be any hollow spaces? yes

Any rigid frame? yes

Material of frame Structural Alum.

No. advertising faces 2

material plastic

No. rigid connections 4

Are they fastened directly to frame of sign? yes

bottom

No. through bolts 4

Size 1/2"

Location, top or bottom

No. guys none

material

Minimum clear height above sidewalk or street 13'

Maximum projection into street 3'

Signature of contractor [Signature]

Fee \$ 16.60

INSPECTION COPY



B2 BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

NOV 9 1972

01570

CITY OF PORTLAND

Portland, Maine, Nov. 3, 1972

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 260-274 Riverside St. Within Fire Limit? Dist. No.
Owner of building to which sign is to be attached Wumble Oil & Refining Co., PO 637, Portland
Name and address of owner of sign same
Contractor's name and address Coyne Sign Co., 66 Cove St. Telephone
When does contractor's bond expire? Dec. 31, 1972

POLE SIGN

Information Concerning Building

No. stories 1 Material of wall to which sign is to be attached See plan with 1218-1220 Brighton

Details of Sign and Connections

Building owner's consent and agreement filed with application yes
Electric? yes Vertical dimension after erection 6' 2" Horizontal 11' 3"
Weight 250 lbs. Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame Structural Alum. No. advertising faces 2 material XX plastic
No. rigid connections 4 Are they fastened directly to frame of sign? yes
No. through bolts 4 Size 1/2" Location, top or bottom bottom
No. guys none material Size
Minimum clear height above sidewalk or street 13'
Maximum projection into street 3'

Fee \$ 16.60

Signature of contractor

INSPECTION COPY

Permit No. 7211370

Location 260-274 Riverside St

Owner Humble Oil & Refining

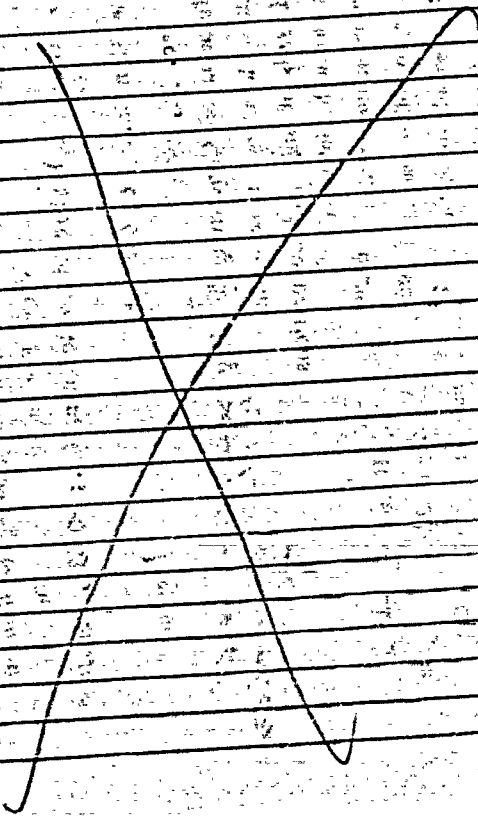
Date of permit 11/8/72

Sign Contractor

Final Inspn.

NOTES

12/29/72



260-270 Riverside Street

Oct. 31, 1972

Humble Oil & Refining Company
Hutchinson River Parkway
Pelham, New York

cc to: Humble Oil
260-270 Riverside Street
cc to: David Tromblay, Planning Dept.

Gentlemen:

An inspector from this department reports that several U-Haul Trailers are now on your property at the above named location. This use is not allowable in conjunction with a service station under Section 602.9.A.8.c in the B-2 Business Zone in which this property is located. This section states; no unlicensed vehicle, or junk or wrecked vehicles will be permitted to be parked or stored on the premises, and no trucks, trailers or buses will be permitted to remain parked upon the premises unless being worked upon or being serviced by the employees of this station.

It is therefore necessary that these trailers and any trucks be removed from the premises at once and certainly before November 20, 1972.

Now that this violation has been brought to your attention it is hoped that we may have your cooperation so that further action by this department will not be necessary.

Very truly yours,

A. Allan Soule
Assistant Director

AAS:m

Frank Rossi & 4 men
Riverside St. Portland

In State Highway Construction
Temporary installation for 1 year

Cracked oil
48 main St
So. Portland

Contractor
Portland Pump Co.
321 Lincoln St.
So. Portland

Trailer

4000 →

rental
diesel

3000 →

gas

30'

suction

RECEIVED

NOV 12 1971

DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Riverside St. Portland



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, _____

November 12, 1971

PERMIT 155050

12 1971

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Riverside St. - Temporary Inst. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Frank Rossi & sons, N. Windham, Me. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Portland Pump Co., 321 Lincoln St., S. Portland Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building _____ No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ _____

General Description of New Work

State highway const.
No fee

To install one 4000 gal. tank for diesel fuel- 3 ft underground
 one 3000 gal. tank for gasoline - 3 ft underground

Tanks will have 2" vents with 4" fill pipes.

Sent to File 11/12/71
 Rec'd from Fire Dept. 11/12/71

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes.

APPROVED:

J. R. Quinn - Fire 11/12/71
R. L. B. - 11/12/71

CS 301

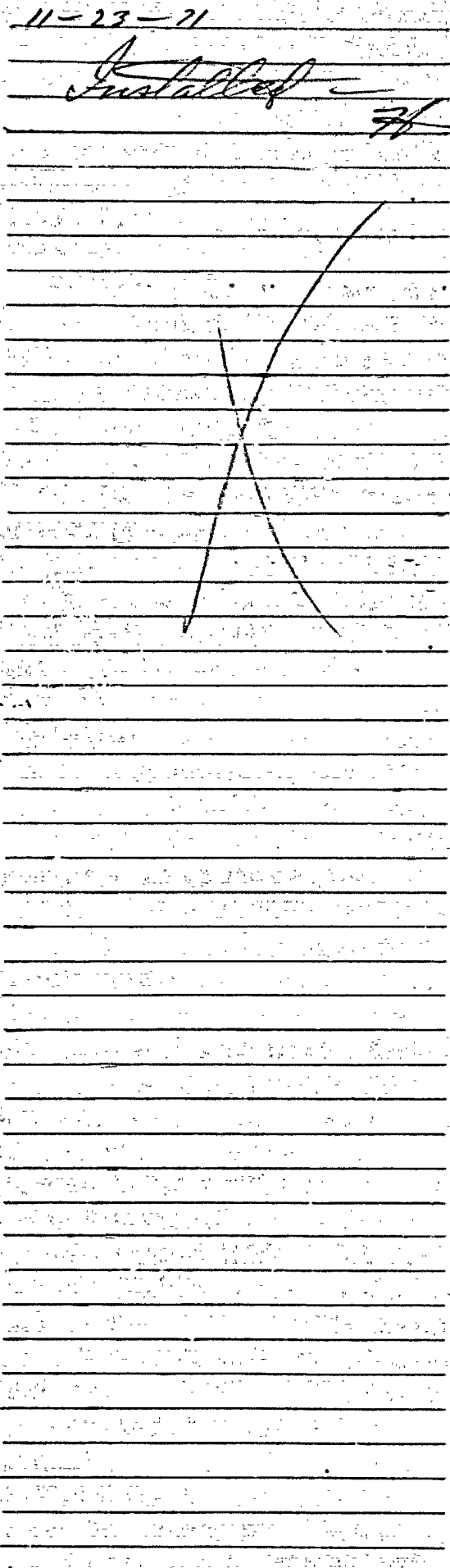
INSPECTION COPY

Signature of owner

Roger B. Hildes

Permit No. 71/1427
Location Euclidean St.
Owner Frank Rossi
Date of permit 11/12/71
Notif. closing in _____
Inspn. closing in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____
Sinking Out Notice _____
Form Check Notice _____

NOTES

11-23-71
Installed


Permit No. 58953
Issued 9-18-72

To the City Electrician, Portland, Maine:

(This form must be completely filled out — Minimum Fee, \$1.00)

Description of Wiring:	New Work	Additions	Alterations
-------------------------------	-----------------	------------------	--------------------

Electric Heat (No. of Rooms) _____

Transformers Air Conditioners (No. Units) Signs (No. Units)

Amount of Fee \$ 25.00
 Signed *Andrew M. Kane*

DO NOT WRITE BELOW THIS LINE

7 8 9 10 11 12

REMARKS:

INSPECTED BY [Signature] (OVER)

LOCATION *Warren Av. & Riverside*

INSPECTION DATE *9/19/72*

WORK COMPLETED *9/19/72*

TOTAL NO. INSPECTIONS *1*

REMARKS:

FEE FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING

1 to 30 Outlets \$ 2.00
31 to 60 Outlets 3.00
Over 60 Outlets, each Outlet05

(Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).

SERVICES

Single Phase 2.00
Three Phase 4.00

MOTORS

Not exceeding 50 H.P. 3.00
Over 50 H.P. 4.00

HEATING UNITS

Domestic (Oil) 2.00
Commercial (Oil) 4.00
Electric Heat (Each Room)75

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Built-in Dishwashers, Dryers, and any permanent built-in appliance — each unit 1.50

MISCELLANEOUS

Temporary Service, Single Phase 1.00
Temporary Service, Three Phase 2.00

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION 260-270 Riverside St.

Issued to Humble Oil & Refining Co

Date of Issue August 29, 1972

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 72/281, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Service Station

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, March 16, 1972

PERMIT ISSUED

MAR 21 1972

0282

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Corner Riverside & Warren Ave. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Humble Oil & Refining Co. Hutchinson River Pkway Telephone _____
Lessee's name and address Pelham, N.Y. Telephone _____
Contractor's name and address Romano Constr. Co. 55 Frederick St. Telephone _____
Architect _____ Specifications _____ Plans YES No. of sheets 167-24
Proposed use of building Service Station No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 17.20

General Description of New Work

To erect a 20' sign - steel base and plastic sign - non revolving

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

Bradley Eirman

Humble Oil - P.O. box 588

Concord, N. H.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.K. - 3/21/72 - Allen

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Humble Oil & Refining Co.

INSPECTION COPY

Signature of owner

By:

Bradley Eirman

Permit No. 72/0282

Location ²⁰⁰⁻²¹ Cor. Riverside & Warren

Owner Humble Oil

Date of permit 3/21/72

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

Attn. Irving

NOTES



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 14, 1972

PERMIT ISSUED
AUG 14 1972
955
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 260-270 Riverside St. Use of Building Service Station No. Stories New Building
Name and address of owner of appliance Humble Oil & Refining Co., Hutchinson River Pkwy., Pelham, N.Y.
Installer's name and address (Haverhill Sheet Metal) Telephone
E & W Constr. Box 416, N. Conway, N. H.
S General Description of Work
To install Lennox Model OS6-350-dm oil fired heater

IF HEATER, OR POWER BOILER

Location of appliance suspended from ceiling Any burnable material in floor surface or beneath? no
If so, how protected? Kind of fuel? oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 4' concrete
From top of smoke pipe From front of appliance over 4' From sides or back of appliance walls
Size of chimney flue 12" Other connections to same flue no
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Lennox - Model OS6-350-DV Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe
Location of oil storage outside- underground Number and capacity of tanks 1-1000 gal.
Low water shut off Make No.
Will all tanks be more than five feet from any flame? How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? \$10. (\$2.00 for one heater, etc. \$1.00 additional for each additional heater, etc., in same building at same time.)

APPROVED:

OK 8-14-72 NWC

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

E & W Construction

Signature of Installer

Michael Wayne
#2183 -

CS 300

INSPECTION COPY

NOTES

8-29-72 Completed

46

[Handwritten signature]

Permit No. 72/955
Location 260-270 Riverside St
Owner Humble Oil & Gas
Date of permit 8/14/72
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____

260-274 Riverside Street
corner 694-708 Warren Avenue

March 21, 1972

Humble Oil & Refining Company
Hutchinson River Parkway
Pelham, New York

c.c. to:
Humble Oil Company
Box 105, Portsmouth, N. H.

c.c. to: Romano Construction Co.
55 Frederick Street

cc to: Bradley Eirman, P.O. Box 588
Concord, N. H.

Gentlemen:

Building permit to construct a 30' x 62' service station as per plans filed with the application is being issued with the understanding that this is the same plans that were approved at 1198-1210 Brighton Avenue and therefore are subject to the same requirements that we ask for this service station. See our letter to you of Feb. 25, 1972. I list them below as follows:

1. Unless the sliding door between the office and garage area is the one approved here at this office, this door will need to be made a swinging door. (The Stanley door is one of the doors approved by this department).
2. The foundation must be at least 4' below grade. See Section RH3. Rafters over the sales area must be increased to 2x10" members instead of the 2x8" roof joists shown on the plans. These rafters must sustain a 40 pound live load.
3. Piers for column footing, see detail sheet D-14, must go 4' below grade.
4. We would call your attention to Sheet D-15. Planters; if the footers or not at least 4' below the grade the wall will heave and break up. Please be advised accordingly. This is not a requirement.
5. D-9. Supply engineer calculations to show that the pier size depth are sufficient for overturn moment to support the light posts.

March 21, 1972

6. Separate permits are required to be taken out by the actual installer for all fuel tanks as approved is required by the Fire Department and must be inspected by them before they are covered. It is important that the contractor be advised accordingly.

7. Brick veneer will need to be tied to the building with metal wall ties spaced not more than 16" o. c. at every fifth course of bricks. A single 16 gauge tie or better may be used.

8. Section 503.9.2 of the Building Code - floor drains shall be equipped with trap or separator competent to prevent inflammable liquids and gases from passing into the drainage system. The trap or separator shall be of the type stipulated by the City regulations and approved by the Chief of the Fire Department. Check with the Plumbing Inspector on this item. It is the responsibility of the owner to check with the Public Works Department on sidewalk requirements. This department is located here in the City Hall.

Very truly yours,

A. Allan Soule
Assistant Director

AAS:m



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, _____

March 16, 1972

PERMIT ISSUED

MAR 21 1972

0281

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Corner Riverside & Warren Ave. (260-274 Riverside St. Within Fire Limits? _____ Dist. No. _____

Owner's name and address Humble Oil & Refining Co. 4000 Robinson River Pkwy. Pelham, N. Y. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address Romano Constr. Co. 55 Frederick St. Telephone _____

Architect _____ Specifications _____ Plans yes No. of sheets 28

Proposed use of building Service Station No. families _____

Last use concrete & No. families _____

Material brick No. stories 1 Heat _____ Style of roof pitch Roofing _____

Other buildings on same lot _____

Estimated cost \$ 85,000 Fee \$ 257.80

General Description of New Work

To construct 30' x 60' service station as per plans

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO E. Bradley Dirman

Details of New Work

Humble Oil- P.O. box 588

Concord, N. H.

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.K. - 3/14/72 - Allen w/letter

PERMIT ISSUED
WITH LETTER

CS 301

INSPEC. ON COPY

Signature of owner By: Bradley Dirman

Miscellaneous

Will work require disturbing of any tree on a public street? _____

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Humble Oil Co.

Form Check Notice

4/7/72. MD. 50 started.

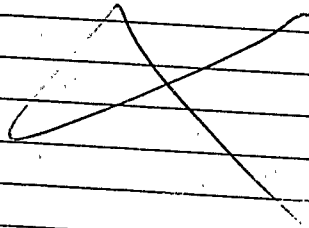
NOTES

4/11/72 - F.T.G.
 Inspection. 30"
 will consist of as
 shown. E.S.
 5/4/72 - Walls laid
 up to plot line.
 E.S.
 5/26/72 - Walls
 completed. Being moved
 over Gasline Bay
 started - 700p. E.S.
 6/7/72 - progressing slowly.
 E.S.
 6/29/72 - Gave permission
 to close in. E.S.

8-29-72

Completed

HO



Permit No. 72/0281
 Location 260-270 Riverside (Hansen)
 Owner/Plumber C.E. & R. Jensen
 Date of permit 3/21/72
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued 8/29/72
 Staking Out Notice
 Form Check Notice

Date Issued **5-31-72**
Portland Plumbing Inspector
By **ERNOLD R. GOODWIN**

App. First Insp. **5/31/72**
Date **5/31/72**
By **ERNOLD R. GOODWIN**
PLUMBING INSPECTOR

App. Final Insp. **5/31/72**
Date **5/31/72**
By **ERNOLD R. GOODWIN**
PLUMBING INSPECTOR

- Type of Bldg.
- ☐ Commercial
 - ☐ Residential
 - ☐ Single
 - ☐ Multi Family
 - ☐ New Construction
 - ☐ Remodeling

PERMIT TO INSTALL PLUMBING
Address **Warren Ave. & Riverside St.** PERMIT NUMBER **456**
Installation For: **Gas Station**
Owner of Bldg.: **Humble Oil & Refining**
Owner's Address:
Plumber: **Francis Capozza** Date: **5-31-72**
NEW REPL. **18 Melody Lane** NO. FEE
1 SINKS **2.00**
2 LAVATORIES **4.00**
2 TOILETS **2.00**
BATH TUBS
SHOWERS
5 DRAINS FLOOR SURFACE **3.00**
1 HOT WATER TANKS **.60**
TANKLESS WATER HEATERS
GARBAGE DISPOSALS
SEPTIC TANKS
HOUSE SEWERS
ROOF LEADERS
AUTOMATIC WASHERS
DISHWASHERS
OTHER
1 Drinking fountain **.60**
1 Urinal **.60**
TOTAL **14.80**

Building and Inspection Services Dept.; Plumbing Inspection



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, May 10, 1972

PERMIT ISSUED

MAY 10 1972
0508

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Cor. Riverside & Warren Ave.

Owner's name and address Humble Oil & Refining Co. Within Fire Limits? Dist. No.

Lessee's name and address Hutchinson River Pkwy. Telephone

Contractor's name and address E.W. Constr. Co., P.O. Box 97, N. Conway, N.H. Telephone

Architect Specifications Plans No. of sheets

Proposed use of building No. families

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated cost \$

Fee \$ 11.00

General Description of New Work

To install 3-6000 gal. gasoline tanks and 1-1000 gal. waste oil tank
1-1000 gal. fuel oil tank.

To be buried 3' below grade; bear Und. lbbol, coated with asphaltum.
1 1/2" piping tanks to pumps

To install 6 electric pumps.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor: PERMIT TO BE ISSUED TO

Sent to Fire Dept. 5/10/72
Rec'd from Fire Dept. 5/10/72

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber-Kind Dressed or full size? Corner posts Sills

Size Girders Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Humble Oil & Refining Co.

APPROVED:

5-10-72

5/10/72

CS 301

INSPECTION COPY

Signature of owner By:

NOTES

6/20/72 -
 Bank in
 6/21/72
~~insurance~~
 install ~~cost~~ #
 7/11/72
 [Signature]

~~[Large section of the notes area is crossed out with a large X]~~

Permit No. 72/0508
 Location Riverside & Waver
 Owner Humble Oil
 Date of permit 5/10/72
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

[Empty lined area for additional notes or signatures]

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. 58606

Issued

Portland, Maine April 5, 1922

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

Owner's Name and Address B. W. Converse Tel.

Contractor's Name and Address A. J. Maclellan Tel.

Location Riverview WARREN BLVD Use of Building

Number of Families Apartments Stores Number of Stories

Description of Wiring: New Work Additions Alterations

Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)

No. Light Outlets Plugs Light Circuits Plug Circuits

FIXTURES: No. Fluor. or Strip Lighting (No. feet)

SERVICE: Pipe Cable Underground No. of Wires Size

METERS: Relocated Added Total No. Meters

MOTORS: Number Phase H. P. Amps Volts Starter

HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.

Commercial (Oil) No. Motors Phase H.P.

Electric Heat (No. of Rooms)

APPLIANCES: No. Ranges Watts Brand Ferds (Size and No.)

Elec. Heaters Watts

Miscellaneous Watts Extra Cabinets or Panels

Transformers Air Conditioners (No. Units) Signs (No. Units)

Will commence 4/5/22 Ready to cover in 4/5/22 Inspection 4/5/22

Amount of Fee \$1.00

Signed A. J. Maclellan

DO NOT WRITE BELOW THIS LINE

SERVICE METER GROUND

VISITS: 1 2 3 4 5 6

7 8 9 10 11 12

REMARKS:

INSPECTED BY J. H. H. (OVER)

Temp.

LOCATION Riverside St + Warren Av.

INSPECTION DATE 4/5/72

WORK COMPLETED 4/5/72

TOTAL NO. INSPECTIONS 1

REMARKS:

FEE FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING	
1 to 30 Outlets	\$ 2.00
31 to 60 Outlets	3.00
Over 60 Outlets, each Outlet	.05
(Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).	
SERVICES	
Single Phase	2.00
Three Phase	4.00
MOTORS	
Not exceeding 50 H.P.	3.00
Over 50 H.P.	4.00
HEATING UNITS	
Domestic (Oil)	2.00
Commercial (Oil)	4.00
Electric Heat (Each Room)	.75
APPLIANCES	
Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Built-in Dishwashers, Dryers, and any permanent built-in appliance — each unit	1.50
MISCELLANEOUS	
Temporary Service, Single Phase	1.00
Temporary Service, Three Phase	2.00
Circuses, Carnivals, Fairs, etc.	10.00
Meters, relocate	1.00

262-274 Riverside Street
corner Warren Avenue

Nov. 16, 1971

Humble Oil Company
Box 105, Portsmouth, N.H.

cc to: Humble Oil Company
Hutchinson River Parkway
Pelham, New York

Gentlemen:

Your application for a building permit to construct a 1-story brick service station 30' x 62' at the above named location has been denied by the Board of Appeals on Nov. 7, 1971.

If the receipt for the amount paid here at this office is returned to this office within ten days of the date of this notice your money will be refunded.

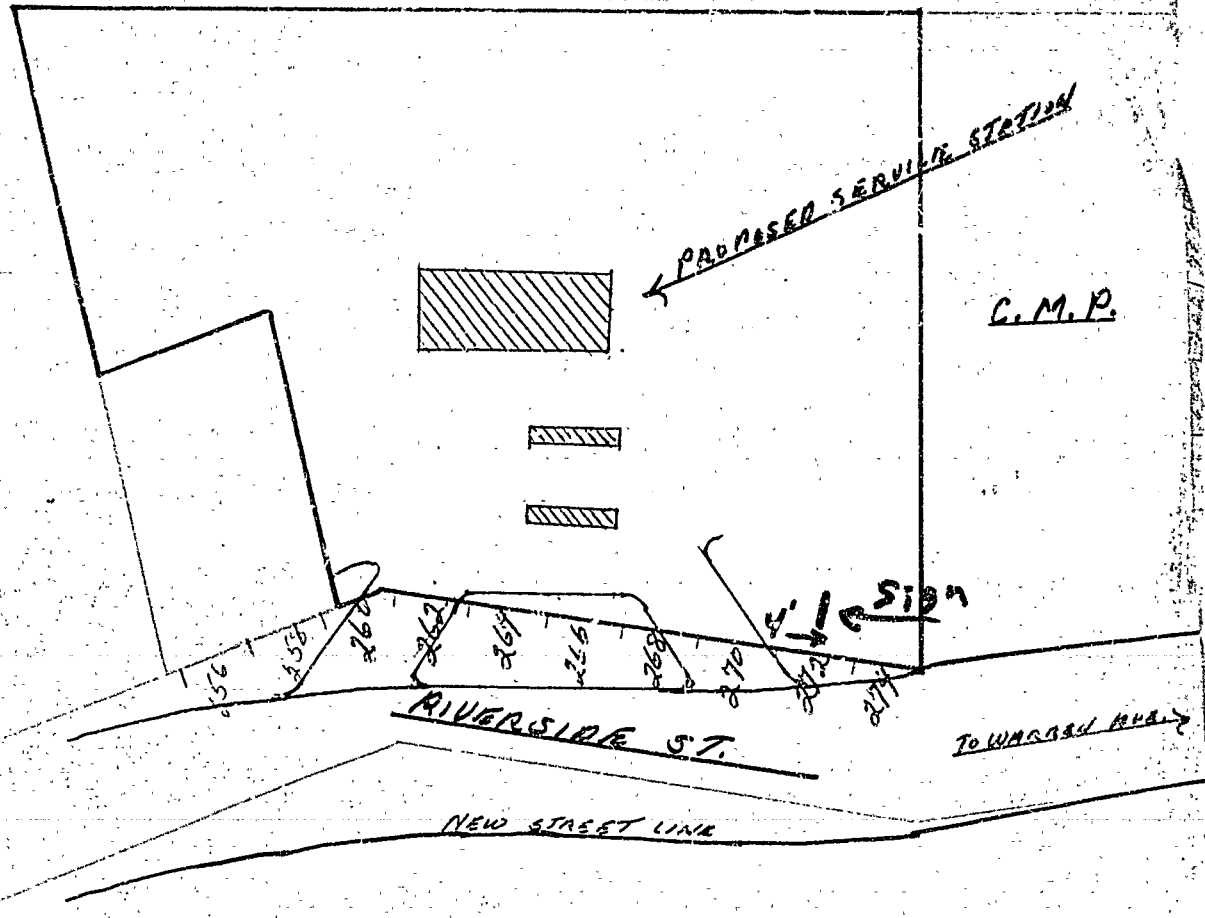
Very truly yours,

A. Allan Soule
Assistant Director

AAS:m

260-344 RIVERSIDE ST. 316

11/2/71 M.



260-274 Riverside Street
cor. 694-708 Warren Ave.

Oct. 22, 1971

Humble Oil Company
Hutchinson River Parkway
Pelham, New York

cc to: Humble Oil Company
Box 105, Portsmouth, N.H.
cc to: Corporation Counsel

Gentlemen:

Building permit to construct a 1-story brick service station 30' x 62' at the above named location, is not issuable under the Zoning Ordinance because this use is not allowable in the I-1 Industrial Zone in which this property is located. (Sec. 602.A.10)

We understand that you would like to exercise your appeal rights in this matter. Accordingly your authorized representative should come to this office in Room 113, City Hall to file the appeal on forms which are available here. A fee of \$15.00 for a variance appeal shall be paid at this office at the time the appeal is filed.

Very truly yours,

Malcolm G. Ward
Plan Examiner

MGW:m

Shilton

260-274 Riverside Street
corner 694-708 Warren Avenue

Oct. 22, 1971

Humble Oil Company
Hutchinson River Parkway
Pelham, New York

cc to: Humble Oil Company
Box 105, Portsmouth, N. H.
cc to: Corporation Counsel

Gentlemen:

Permit to construct a 1-story brick service station
30' x 62' is not issuable under the Zoning Ordinance because
this use is not allowable in the I-1 Industrial Zone in which
this property is located. (Section 602.A.10)

We understand that you would like to exercise your appeal
rights in this matter. Accordingly your authorized representative
should come to this office in Room 113, City Hall to file the appeal
on forms which are available here. A fee of \$15.00 for a variance
appeal shall be paid at this office at the time the appeal is filed.

Very truly yours,

A. Allan Soule
Assistant Director

AAS:m

262-274 Riverside Street
corner Warren Avenue

Sept. 8, 1971

Humble Oil Company
Box 105
Portsmouth, N. H.

Gentlemen:

We will need to know before we can continue processing your application for a building permit to construct a 1-story brick service station, 30' x 60' at the above named location so that this use may go before the Board of Appeals to settle the question of zoning if requirements for sewage can be met. It is therefore necessary that a check with the plumbing inspector, here at this office in City Hall, Room 113, to see if a septic tank sewage system can be provided on this land that would meet his approval.

We will need to have this information before we can write you a certification letter for the zoning appeal.

I would also ask at this time if you plan to include any signs in your appeal, if you do, we will need complete plans and information on the type of sign you will provide.

Very truly yours,

A. Allan Soule
Assistant Director

AAS:m



1- INDUSTRIAL ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, September 1, 1971

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 262-274 Riverside St., cor. Warren Ave. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Humble Oil Co., Hutchinson River Parkway Telephone _____
Lessee's name and address Pelham, N. Y. Telephone _____
Contractor's name and address not let Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets _____
Proposed use of building Service Station No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 50,000 Fee \$ 150.00

General Description of New Work

To construct 1-story brick service station 30' x 62' as per plans

This application is to get settled the question of zoning appeal.

In the event the appeal is sustained ~~by~~ the applicant will furnish complete information and pay fee.

Appeal Denied 11/11/71

1-1 INDUSTRIAL ZONE
BY BUSINESS ZONE

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owners Humble Oil Co., Box 106 105

Details of New Work

~~Portsmouth, N.H.~~

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? no If not, what is proposed for sewage? septic tank
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ heig. _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Humble Oil Co.

CS 301

INSPECTION COPY

Signature of owner By: R. M. Becker

Permit No. 711
 Location 262-274 Riverside St.
 Owner Humble Oil Co.
 Date of permit 9/1/71
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. _____
 Cert. of Occupancy issued _____
 Staking Out Notice _____
 Form Check Notice _____

FOR EBBWIL
SEALON

1. Name of contractor _____
 2. Address of contractor _____
 3. Name of owner _____
 4. Address of owner _____
 5. Name of architect _____
 6. Address of architect _____
 7. Name of engineer _____
 8. Address of engineer _____
 9. Name of inspector _____
 10. Address of inspector _____
 11. Name of permittee _____
 12. Address of permittee _____
 13. Name of contractor _____
 14. Address of contractor _____
 15. Name of owner _____
 16. Address of owner _____
 17. Name of architect _____
 18. Address of architect _____
 19. Name of engineer _____
 20. Address of engineer _____
 21. Name of inspector _____
 22. Address of inspector _____
 23. Name of permittee _____
 24. Address of permittee _____
 25. Name of contractor _____
 26. Address of contractor _____
 27. Name of owner _____
 28. Address of owner _____
 29. Name of architect _____
 30. Address of architect _____
 31. Name of engineer _____
 32. Address of engineer _____
 33. Name of inspector _____
 34. Address of inspector _____
 35. Name of permittee _____
 36. Address of permittee _____
 37. Name of contractor _____
 38. Address of contractor _____
 39. Name of owner _____
 40. Address of owner _____
 41. Name of architect _____
 42. Address of architect _____
 43. Name of engineer _____
 44. Address of engineer _____
 45. Name of inspector _____
 46. Address of inspector _____
 47. Name of permittee _____
 48. Address of permittee _____
 49. Name of contractor _____
 50. Address of contractor _____
 51. Name of owner _____
 52. Address of owner _____
 53. Name of architect _____
 54. Address of architect _____
 55. Name of engineer _____
 56. Address of engineer _____
 57. Name of inspector _____
 58. Address of inspector _____
 59. Name of permittee _____
 60. Address of permittee _____
 61. Name of contractor _____
 62. Address of contractor _____
 63. Name of owner _____
 64. Address of owner _____
 65. Name of architect _____
 66. Address of architect _____
 67. Name of engineer _____
 68. Address of engineer _____
 69. Name of inspector _____
 70. Address of inspector _____
 71. Name of permittee _____
 72. Address of permittee _____
 73. Name of contractor _____
 74. Address of contractor _____
 75. Name of owner _____
 76. Address of owner _____
 77. Name of architect _____
 78. Address of architect _____
 79. Name of engineer _____
 80. Address of engineer _____
 81. Name of inspector _____
 82. Address of inspector _____
 83. Name of permittee _____
 84. Address of permittee _____
 85. Name of contractor _____
 86. Address of contractor _____
 87. Name of owner _____
 88. Address of owner _____
 89. Name of architect _____
 90. Address of architect _____
 91. Name of engineer _____
 92. Address of engineer _____
 93. Name of inspector _____
 94. Address of inspector _____
 95. Name of permittee _____
 96. Address of permittee _____
 97. Name of contractor _____
 98. Address of contractor _____
 99. Name of owner _____
 100. Address of owner _____



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, October 18, 1971

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 262-274 Riverside St., cor. Warren Ave. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Humble Oil Co., Hutchinson River Parkway Telephone _____
Pelham, N.Y.
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Bidder Not let Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building _____ No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ _____

General Description of New Work

To erect detached pole sign (single pole) 72 sq. feet -
 steady lighting - rotating

This application is to get settled the question of zoning appeal
 In the event the appeal is sustained the applicant will furnish complete
 plans and pay fee.

Appeal Denied

11/14/71

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owners

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16' O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Humble Oil Co.

CS. 301

INSPECTION COPY

Signature of owner By:

71/
Permit No. 262-274
Location 262-274 Riverside St
Owner Humble Oil Co
Date of permit 10/1/71
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____
Staking Out Notice _____
Form Check Notice _____

NOTES

15 Pd 9/1/71

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

VARIANCE APPEAL

(Cor. 694-708 Warren Ave.)

Humble Oil Company, owner of property at 260-274 Riverside St.
under the provisions of Section 24 of the Zoning Ordinance of the City of Portland,
hereby respectfully petitions the Board of Appeals for a variance from the provisions
of said Ordinance to permit: to construct a 1-story brick service station 30'
x 62' at the above named location. This permit is presently not issuable
under the Zoning Ordinance because this use is not allowable in the I-1
Industrial Zone in which this property is located. (Sec. 602.A.10)

LEGAL BASIS OF APPEAL: Such variance may be granted only if the Board of Appeals
finds that the strict application of the provisions of the Ordinance would result
in undue hardship in the development of property which is inconsistent with the
intent and purpose of the Ordinance; that there are exceptional or unique circum-
stances relating to the property that do not generally apply to other property in
the same zone or neighborhood, which have not arisen as a result of action of the
applicant subsequent to the adoption of this Ordinance whether in violation of the
provisions of the Ordinance or not; that property in the same zone or neighborhood
will not be adversely affected by the granting of the variance; and that the granting
of the variance will not be contrary to the intent and purpose of the Ordinance.

Humble Oil & Refining Co.
Douglas M. Richter
APPELLANT

DECISION

After public hearing held November 11, 1971, the Board of Appeals finds that
all of the above conditions do not exist with respect to this property and that
a variance should not be granted in this case.

It is, therefore, determined that a variance from the provisions of the Zoning
Ordinance should not be granted in this case.

W. Taile Eskilson
Harry M. Thwait
E. J. White
Board of Appeals

*E. Laddy
Middle St*

260-274 Riverside Street
cor. 694-708 Warren Ave.

Oct. 22, 1971

Humble Oil Company
Mutchinson River Parkway
Pelham, New York

cc to: Humble Oil Company
Box 105, Portsmouth, N.H.
cc to: Corporation Counsel

Gentlemen:

Building permit to construct a 1-story brick service station 30' x 62' at the above named location, is not issuable under the Zoning Ordinance because this use is not allowable in the I-1 Industrial Zone in which this property is located. (Sec. 602.A.10)

We understand that you would like to exercise your appeal rights in this matter. Accordingly your authorized representative should come to this office in Room 113, City Hall to file the appeal on forms which are available here. A fee of \$15.00 for a variance appeal shall be paid at this office at the time the appeal is filed.

Very truly yours,

Malcolm G. Ward
Plan Examiner

MGW:m