

222-236 RIVERSIDE STREET



Full cut # 920R • Half cut # 9202R • Yrtd cut # 9203R • Flth cut # 9209R

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form

11-17-77

John E. Burcill
Applicant
Rt. 302, South Windham, Me.
Mailing Address
Respiratory Therapy, Inc.
Proposed Use of Site
9721 sq. ft. / 3528 sq. ft.
Acreage of Site / Ground Floor Coverage

Date
226-232 Riverside Industrial Pkwy.
Address of Proposed Site
330A-B part of 4
Site Identifier(s) from Assessors Maps
I-1
Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No
Board of Appeals Action Required: () Yes () No
Planning Board Action Required: () Yes () No

Proposed Number of Floors 1
Total Floor Area 3528 sq. ft.

Other Comments:
Date Dept. Review Due: Nov. 21, 1977

BUILDING DEPARTMENT SITE PLAN REVIEW
(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 Requires Board of Appeals Action
 Requires Planning Board/City Council Action

Explanation
 Use complies with Zoning Ordinance — Staff Review Below

Zoning, SPACE & BULK, as applicable

COMPLIES
COMPLIES CONDITIONALLY
DOES NOT COMPLY

Table with 13 columns: DATE, ZONE LOCATION, INTERIOR OR DRIVEN-LOL, 40 FT. SETBACK AREA (SEC. 21), USE, SEWAGE DISPOSAL, REAR YARDS, SIDE YARDS, FRONT YARDS, PROJECTIONS, HEIGHT, LOT AREA, BUILDING AREA, AREA PER FAMILY, WIDTH OF LOT, LOT FRONTAGE, OFF-STREET PARKING, LOADING BAYS. Rows include COMPLIES, COMPLIES CONDITIONALLY, and DOES NOT COMPLY.

CONDITIONS SPECIFIED BELOW
REASONS SPECIFIED BELOW

REASONS:

Signature of Reviewing Staff/Date

BUILDING DEPARTMENT - ORIGINAL

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant: John E. Farrell Date: 11-17-77
 Mailing Address: 330A-B part of A Address of Proposed Site: 330A-B part of A
 Proposed Use of Site: Respiratory Therapy, Inc. Site Identifier(s) from Assessors Maps: T-1
 Acreage of Site: 1/2 Ground Floor Coverage: 3526 sq. ft. Zoning of Proposed Site: R-1
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors: 2
 Board of Appeals Action Required: () Yes () No Total Floor Area: 3526 sq. ft.
 Planning Board Action Required: () Yes () No
 Other Comments: _____
 Date Dept. Review Due: Nov. 21, 1977

FIRE DEPARTMENT REVIEW

11/17/77
 (Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMASE C. ANNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER
APPROVED	✓	✓	✓		✓		✓	
APPROVED CONDITIONALLY								
DISAPPROVED								

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

Capt. H. Lane
 SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

121

John C. Burrell

11-17-77

Applicant: John C. Burrell
 Rt. 502, South Windham, Me.
 Mailing Address: Laboratory Therapy, Inc.
 Proposed Use of Site: 3701 sq. ft. 2528 sq. ft.
 Acreage of Site / Ground Floor Coverage

Date: 11-17-77
 Address of Proposed Site: 200-202 Riverdale Industrial Hwy.
 Address of Proposed Site: 330A-B part of 3
 Site Identifier(s) from Assessors Maps: 7-1
 Zoning of Proposed Site:

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors: 1
 Total Floor Area: 3528 sq. ft.

Other Comments: _____

Date Dept. Review Due: Nov. 21, 1977

PUBLIC WORKS DEPARTMENT REVIEW

Nov. 18, 1977
 (Date Received)

	TRAF. CONC.	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER
APPROVED	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
APPROVED CONDITIONALLY															
DISAPPROVED															

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet If Necessary)

John P. Lopez 11-18-77
 SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

11-17-77

Applicant J. W. M. Curran Date 11-17-77
 Mailing Address P.O. Box 102, South Portland, Me. Address of Proposed Site 205-202 Riverside Industrial Way.
 Proposed Use of Site RESIDENTIAL THERAPY, INC. Site Identifier(s) from Assessors Maps 1-1
 Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____
 Proposed Number of Floors 1
 Total Floor Area 3000 sq. ft.

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Other Comments: _____
 Date Dept. Review Due: Nov. 21, 1977

PLANNING DEPARTMENT REVIEW

(Date Received)

- Major Development — Requires Planning Board Approval: Review Initiated
 Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
APPROVED CONDITIONALLY									✓			
DISAPPROVED												

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS: LIGHTING (EXTERIOR) ON THE STREET, IF ANY, TO BE DIRECTED DOWNWARD.

(Attach Separate Sheet if Necessary)

SIGNATURE OF REVIEWING STAFF/DATE
 PLANNING DEPARTMENT COPY

226-232 Riverside Industrial Parkway

November 17, 1977

John E. Burrill
Route 302
So. Windham, Me. 04082

cc: George E. DiMatteo Co.
169 Front St.
So. Portland, Me.

Dear Mr. Burrill:

Building permit and Certificate of Occupancy to construct a one story masonry, 63 ft. x 56 ft. building, at the above named location, are not issuable under the zoning ordinance because this building will have a zero foot rear yard set back rather than a 25 ft. minimum required by Section 602.11.C.3 of the ordinance applying to the I-1 Industrial Zone.

We understand that you would like to exercise your appeal rights in this matter. Accordingly, you or your authorized representative should come to this office, Rm. 113, City Hall, to file the appeal on forms which are available here. A fee of \$5.00 for a Space and Bulk Appeal shall be paid at this office at the time the appeal is filed. If fee has been paid and appeal filed prior to this letter, then consider this letter as a matter of formality. Section 602.24.C.3.b.1.

Very truly yours,

Malcolm G. Ward
Plan Examiner

MCW/r

444-5591
Don. Herndon

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Dec. 27, 1971

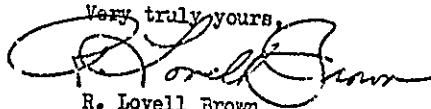
Daniel Cramer & William Sexton
232 Riverside St.

With relation to permit applied for to demolish a barn
at 232 Riverside St. it is unlawful
to commence demolition work until a permit has been issued from this
department.

Section 6 of the Ordinance for rodent and vermin control provides:
"It shall be unlawful to demolish any building or structure unless
provision is made for rodent and vermin eradication. No permit for the
demolition of a building or structure shall be issued by the Building
Inspection Department until and unless provisions for rodent and vermin
eradication have been carried out under supervision of a pest control
operator registered with the Health Department.

The building permit for demolition cannot be issued until the
provisions of this section have been satisfied. It is the obligation
of owner or demolition contractor or both to take up with the Health
Department the matter of complying with this section, being prepared
to inform that department what registered pest control operator is to
be employed.

Very truly yours,



R. Lovell Brown
Director

Eradication of this building has been completed.

Sent to Health Dept. 12/27/71
Rec'd from Health Dept. 1/3/72

Contractor:

Santino Viola

12 Frost St.

12-29-71

Demolition complete unable to inspect

Benny Keel



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____
Portland, Maine, December 27, 1971

PERMIT ISSUED
JAN 5 1972
0017
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications of any, submitted herewith and the following specifications:

Location 232 Riverside Street Within Fire Limits? _____ Dist. No. _____
Owner's name and address Daniel Cramer and William Sexton Telephone _____
Lessee's name and address 88 Stevens Ave. Telephone _____
Contractor's name and address Santino Viola, 12 Frost St. Telephone _____
Architect _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building _____ No. families _____
Last use Barn No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 5.00

General Description of New Work

To demolish existing barn - no sewer connection

Sent to Health Dept. 12/27/71
Rec'd from Health Dept. 1/3/72

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO Viola**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____; Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

D.S. E.S. 1/3/72

Miscellaneous

Will work require disturbing of any tree on a public site? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Y.E.R.

Daniel Cramer and William Sexton

CS 301

INSPECTION COPY

Signature of owner By: _____

Permit No. 78/0017
Location 332 Riverside St.
Owner Alfred Greene & Wm. Daxson
Date of permit 7/5/71
Notif. closing-in _____
Inspn. closing-in _____
Final visit _____
Final I. pn. _____
Cert. of Occupancy issued _____
~~State of Michigan~~ IRV
Form Check Notice _____

NOTES

1-25-72
Unutilized
76

Large area of the page is crossed out with a large 'X'.

CITY OF PORTLAND
DEPARTMENT OF PUBLIC WORKS
DEMOLITION OF BUILDINGS

A building will be demolished at # 232 Riverside St.

Street on _____

The Contractor is Santino Viola

12 Frost St.

The owner is. Daniel Cramer and William Sexton
232 Riverside St.

NO PERMIT REQUIRED

DEPARTMENT OF PUBLIC WORKS

PHILIP E. MADLON

B15 Pa 3/31/70
Denied 4/30/70
70/35

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

VARIANCE APPEAL

William Wolfe, owner of property at 222-236 Riverside St.
under the provisions of Section 24 of the Zoning Ordinance of the City of Portland,
hereby respectfully petitions the Board of Appeals for a variance from the provisions
of said Ordinance to permit changing the use of this building at the above named location
from a dwelling to a dwelling and storage of agricultural products in the basement and the
sale of these products on premises ~~as set forth under Section 602.114.6 of~~
~~the Zoning Ordinance in the I-1 Industrial Zone in which the property is located.~~
This permit is not issuable under the Zoning Ordinance because such a use is not allowable
under the Zoning Ordinance in the I-1 Industrial Zone in which the property is located.

LEGAL BASIS OF APPEAL: Such variance may be granted only if the Board of Appeals
finds that the strict application of the provisions of the Ordinance would result
in undue hardship in the development of property which is inconsistent with the
intent and purpose of the Ordinance; that there are exceptional or unique circum-
stances relating to the property that do not generally apply to other property in
the same zone or neighborhood, which have not arisen as a result of action of the
applicant subsequent to the adoption of this Ordinance whether in violation of the
provisions of the Ordinance or not; that property in the same zone or neighborhood
will not be adversely affected by the granting of the variance; and that the granting
of the variance will not be contrary to the intent and purpose of the Ordinance.

William Wolfe
Mrs. William Wolfe
APPELLANT

DECISION

After public hearing held April 30, 1970, the Board of Appeals finds that
all of the above conditions do not exist with respect to this property and that
a variance should not be granted in this case.

It is, therefore, determined that a variance from the provisions of the Zoning
Ordinance should not be granted in this case.

Franklin G. Hardy
Frank M. Hardy
Robert L. Hardy
Board of Appeals

222-236 Riverside St.

April 7, 1970

April 6, 1970

cc to: Corporation Counsel

William Wolfe
Box 02, Raymond, Maine

Dear Mr. Wolfe:

Building permit and a certificate of occupancy to change the use of this building at the above named location from a dwelling to a dwelling and storage of agricultural products in the basement and the sale of these products on the premises is not allowable under Section 602.11A, 6 of the Zoning Ordinance in the I-I Industrial Zone in which this property is located.

We understand that you would like to exercise your appeal rights in this matter. Accordingly you or your authorized representative should come to this office in Room 113, City Hall to file the appeal on forms which are available here. A fee of \$15.00 shall be paid for a variance appeal at this office at the time the appeal is filed.

Very truly yours,

A. Alan Stule
Assistant Director Building Inspection Dept.

AAS:EM

222 236 Riverside St.

April 6, 1970

cc to: Corporation Counsel

William Wolfe
Box 82, Raymond, Maine

Dear Mr. Wolfe:

Building permit and a certificate of occupancy to change the use of this building at the above named location from a dwelling to a dwelling and storage of agricultural products in the basement and the sale of these products on the premises is not allowable under Section 602.11A.6 of the Zoning Ordinance in the I-I Industrial Zone in which this property is located.

We understand that you would like to exercise your appeal rights in this matter. Accordingly you or your authorized representative should come to this office in Room 113, City Hall to file the appeal on forms which are available here. A fee of \$15.00 shall be paid for a variance appeal at this office at the time the appeal is filed.

Very truly yours,

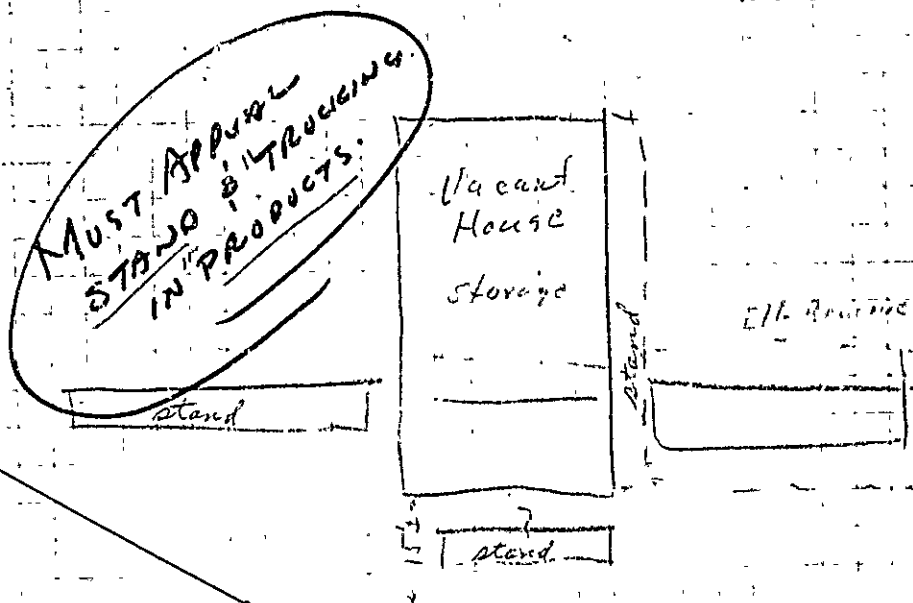
A. Allan Soule
Assistant Director Building Inspection Dept.

AAS:R

1 File

Garden Plot

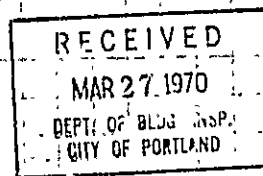
To use 3 Table stands



232 Riverside St

I-1 Zone

William Wolfe
Box 82
Raymond, Me.



232 Riverside St.

March 27, 1970

William Wolfe
Box 82
Raymond, Maine

Dear Mr. Wolfe:

The sale of agricultural products produced on the premises and the sale of agricultural products not produced on the premises are not allowable in the I-1 Industrial Zone in which this property is located.

You do have rights to take this use before the Board of Appeals (variance appeal). If this is your decision apply here at this office in Room 113, City Hall for a building permit to establish the type of use that you desire. We, in turn would deny it, setting up the appeal procedure for you.

Very truly yours,

A. Allan Soule
Assistant Director Building Inspection Dept.

AAS:m



14 INDUSTRIAL

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, April 3, 1970

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 232 Riverside St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address William Wolfe, Box 82 Raymond Maine Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address _____ Telephone _____
 Architect _____ Specifications _____ Plans YES No. of sheets 1
 Proposed use of building Dwelling & Sale of Agricultural Products No. families _____
 Last use _____ " _____ No. families _____
 Material frame No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 2.00

General Description of New Work

TO CHANGE USE OF BUILDING FROM DWELLING TO DWELLING AND SALE OF AGRICULTURAL PRODUCTS. (NOT PRODUCED ON PREMISES.)

To use cellar of existing dwelling for storage for vegetable produce. To provide stands to sell produce and flowers on premises.

This application is preliminary to get settled the question of zoning appeal. In event the appeal is sustained the applicant will pay legal fee.

Appeal Denied 4/30/70

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

William Wolfe

CS 201

INSPECTION COPY

Signature of owner

by: Mrs William L. Wolfe
William L. Wolfe

gm

Permit No. 701
Location 437 Riverside St.
Owner William Wolfe
Date of permit 4/17c
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final insp. _____
Cert. of Occupancy issued _____
Staking Out Notice _____
Form Check Notice _____

NOTES



INDUSTRIAL ZONE

APPLICATION FOR PERMIT

ISSUED
274
MAR 26 1970
CITY OF PORTLAND

Class of Building or Type of Structure Third Class
Portland, Maine, March 24 1970

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, Plans and specifications, if any, submitted herewith and the following specifications:

Location 23 1/2 Riverside St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address William Wolfe, Box 82 Raymond Maine. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans no No of sheets _____
 Proposed use of building Dwelling No. families 1
 Last use " No. families 1
 Material frame No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____ Fee \$ 2.00
 Estimated cost \$ 25.00

General Description of New Work

To demolish existing ^{1 1/2} story frame ell on ^{right side} rear of dwelling, approx. 15' x 25' (rear of dwelling all clapboarded).

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owner**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled in? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and _____ a over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

E. P. R. 3/24/70

William Wolfe

INSPECTION COPY

Signature of owner

by:

William Wolfe

NOTES

5-7-70 Not started

Cancel!

Bill's for sale

Permit No. 7012374
Location St. - Riverside Dr.
Owner William Kelly
Date of permit 5/24/70
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued
Staking Out Notice
Form Check Notice

PERMIT TO INSTALL PLUMBING

14030

PERMIT NUMBER

Address 222 Riverside Street
 Installation For: Edith Donnell
 Owner of Bldg. Edith Donnell
 Owner's Address: Same
 Plumber: Wilson A. Tripp Date: 5-25-64

PORTLAND PLUMBING INSPECTOR

By: J. P. Welch

APPROVED FIRST INSPECTION

Date: 6-3-64

By: J. P. Welch

APPROVED FINAL INSPECTION

Date: JOSEPH P. WELCH

CHIEF, PLUMBING INSPECTOR

- By:
- TYPE OF BUILDING
 - COMMERCIAL
 - RESIDENTIAL
 - SINGLE
 - MULTI FAMILY
 - NEW CONSTRUCTION
 - REMODELING

NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS		
		HOT WATER TANKS	1	\$ 2.00
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (Conn. to house drain)		

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

TOTAL ▶ \$ 2.00

3



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine August 8, 1960

PERMIT ISSUED
1075
AUG 10 1960
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE:

The undersigned hereby applies for a permit to erect or repair or demolish or install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 232 Riverside St. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Miss Edith W. Douglas, 232 Riverside St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Mr. Libby, Telephone _____
Architect: _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building _____ No. families _____
Last use barn & shed No. families _____
Material _____ No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To demolish existing barn and shed (attached to house)
and existing masonry wall existing to clapboard
land to be used for lawn.
no sewer connections.

Edith W. Douglas letter dated 8-8-60
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Site, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Kind and thickness of outside sheathing of exterior walls? _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

OK-8/10/60-ags

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

INSPECTION COPY

Signature of owner

Miss Edith W. Douglas

Fm em

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Edith W. Douglas
232 Riverside St.
Portland Maine

August 6 1960

Dear Madam:

With relation to permit applied for to demolish a building or portion of building at 232 Riverside St. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

Albert J. Sears

Albert J. Sears
Inspector of Buildings

AJS/jg

Eradication of portion of this building has been completed.

J. L. Klein
8-9-60



(P) GENERAL RESIDENCE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED

Permit No. 1500
OCT 2 1941

Class of Building or Type of Structure Third Class

Portland, Maine, October 2 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

This understood hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location: 232 Riverside Street Within Fire Limits? 29 Dist. No. _____

Owner's or Lessee's name and address Mrs. Eunice R. Oliver, 232 Riverside St. Telephone 2-0734

Contractor's name and address not let Telephone _____

Architect _____ Plans filed _____ No. of sheets _____

Proposed use of building dwelling house with stable attached No. families 1

Other buildings on same lot stable

Estimated cost \$ 20 Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____

Last use dwelling house with stable attached No. families 1

General Description of New Work

To remove existing outside door and put window in its place, to use front hall for new bath room

NOTIFICATION BEFORE LATHING OR CLOSING IN IS WAIVED

NOTIFICATION OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? ?

Is any electrical work involved in this work? _____ Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-10" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Edith W. Douglass

INSPECTION COPY

Permit No. 41/1500

Location 232 Riverside St.

Owner Mrs. Eunice J. Oliver

Date of permit 10/2/41

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Con. of Occupancy issued

NOTICE OF CANCELLATION FOR PERMIT

NOTES

Work not started.

DEPARTMENT OF PUBLIC UTILITIES AND WATER SUPPLY

RECEIVED DEPARTMENT OF PUBLIC UTILITIES AND WATER SUPPLY

RECEIVED DEPARTMENT OF PUBLIC UTILITIES AND WATER SUPPLY

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 778
ZONING LOCATION PORTLAND, MAINE JULY 2, 1981

PERMIT ISSUED

JUL 5 1981

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

CITY OF PORTLAND

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 236 Riverside St. Fire District #1 [] #2 []
1. Owner's name and address Henry Cannon Real Estate - Westbrook Telephone
2. Lessee's name and address Ballverance Center - 1008 Congress St. Telephone 774-8192
3. Contractor's name and address Lessee Telephone

Proposed use of building No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$

FIELD INSPECTOR—Mr. @ 775-5451

Appeal Fees \$
Base Fee 35.00
Late Fee
TOTAL \$ 35.00

To erect tent to be used July 4th thru 13th
at above address days
also to be used for 30 at 2 different locations
which will be named later, total of 90 days for tent
Flameproof certificate on file in office

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heat, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept. to see that the State and City requirements pertaining thereto
Health Dept. are observed?
Others:

Signature of Applicant Madeline Southard Phone #
Type Name Ballverance Center 1 [] 2 [] 3 [] 4 []
Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

B

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USF GROUP
B.O.C.A. TYPE OF CONSTRUCTION 0.6.2

JUN 21 1985

ZONING LOCATION PORTLAND, MAINE ... June 19, 1985

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 234-236 Riverside Street
1. Owner's name and address Gagnon Real Estate - Main St. Westbrook
2. Lessee's name and address Rev. James Reynolds, 1008 Congress St.
3. Contractor's name and address

Proposed use of building tent - temporary
Last use

Estimated contractual cost \$.....

FIELD INSPECTOR—Mr.
@ 775-5451

Appeal Fees \$
Base Fee 35.00
Late Fee
TOTAL \$

To erect 50 x 70 temporary tent to be erected June 21, and to be used for 90 days from date.

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? any electrical work involved in this work?
Is connection to be made to public sewer? what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

MISCELLANEOUS

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant Phone # same
Type Name of above Madelyn Gouthard for
..... James Reynolds for
Other
and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, May 6, 1967

PERMIT ISSUED

MAY 26 1967

City Of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit N97-333 ... pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location ... 223-236 Rivarado Street ... Within Fire Limits? ... Dist. No. ...
 Owner's name and address ... Superior Equipment Inc. - Scarborough P. O. Box 1390 Telephone 893-5111
 Lessee's name and address ... Telephone 074
 Contractor's name and address ... Morton Elera - Lewiston, Me. Telephone ...
 Architect ... Plans filed ... No. of sheets ...
 Proposed use of building ... No. families ...
 Last use ... No. families ...
 Increased cost of work ... 15,500 ... Additional fee 75.00

Description of Proposed Work

To increase length of building by 20' total size of building is now 30' x 60'
and permit to ...

Details of New Work

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
 Height average grade to top of plate ... Height average grade to highest point of roof ...
 Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
 Material of foundation ... Thickness, top ... bottom ... cellar ...
 Material of underpinning ... Height ... Thickness ...
 Kind of roof ... Rise per foot ... Roof covering ... of lining ...
 No. of chimneys ... Material of chimneys ...
 Framing lumber—Kind ... Dressed or full size? ...
 Corner posts ... Sills ... Girt or ledger board? ... Size ...
 Girders ... Size ... Columns under girders ... Size ... Max. on centers ...
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
 On centers: 1st floor ... 2nd ... 3rd ... roof ...
 Maximum span: 1st floor ... 2nd ... 3rd ... roof ...

Approved: _____ Signature of Owner

Approved: _____ Inspector of Buildings

INSPECTION COPY

FILE COPY

APPLICANT'S COPY

ASSESSOR'S COPY

PERMIT ISSUED

JUL 25 1986

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP 00938

B.O.C.A. TYPE OF CONSTRUCTION City Of Portland

ZONING LOCATION B-2 PORTLAND, MAINE July 24, 1986

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MA

The undersigned hereby applies for a permit to erect, alter, repair, demolish, install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the B.O.C.A. Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 222-236, Riverside Street Fire Dept. #1 #2

1 Owner's name and address Henry Gagnon & Roger Welch - 836 Main St., West Telephone 854-8431

2 Lessee's name and address General Contractors - Future Owners Telephone 04074

3 Contractor's name and address Equipco, Inc. - P.O. Box 1390, Scar, Me. Telephone 883-5114

Proposed use of building office No. of sheets

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ Appeal Fees \$

FIELD INSPECTOR - Mr. @ 775-5451 Base Fee

To set a construction trailer for office use for 90 day. 1GTAL \$ 25.00

July 24, to October 24, 1986.

Stamp of Special Conditions

ISSUE PERMIT TO #3

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof.

Size (front depth) No. stories solid or filled land? earth or rock?

Material of foundation thickness, top bottom cellar

Kind of roof Rise per foot R of covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Finishing Lumber - Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION PLAN EXAMINER

ZONING [Signature] July 25, 1986

BUILDING CODE

Fire Dept.

Health Dept.

Other

MISCELLANEOUS

Will work require disturbing of any tree on a public street? no.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant [Signature] Phone # 883-5114

Name of owner Thomas Saunders for Equipco, Inc. 1 2 3 4 and Henry Gagnon & Roger Welch Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

[Handwritten signature]

NOTES

7/28
Driver on location.

Permit No. 861938

Location 9219 E. Grand St.

Date of permit 7/24/88

Approved 7-25-88

Charge

Alteration

~~Large section of lined paper with a large diagonal X drawn through it.~~

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 778

JUL 5 1984

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE July 2, 1984

CITY OF PORTLAND

to the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or change use in accordance with the Laws of the State of Maine, the Portland B.C.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following particulars:

- 1. Owner's name and address: 236 Riverside St., Henry G. Moir Rev. Estate - Westbrook, Telephone: 774-8192
2. Lessee's name and address: Deliverance Center - 1038 Congress St., Telephone:
3. Contractor's name and address: Lessee, No of sheets

Proposed use of building, Last use, Material, No stories, Heat, Style of roof, Other buildings on same lot, Estimated contractual cost \$, Appeal Fees \$, Base Fee \$35.00, Late Fee, TOTAL \$35.00

To erect to be used July 4th thru 13th at above address also to be used for 30 days at 2 different locations which will be named later, total of 90 days for permit. Flameproof certificate on file in office.

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals

DETAILS OF NEW WORK

Is any plumbing involved in this work? no. Is any electrical work involved in this work? no. Is connection to be made to public sewer? If not, what is proposed for sewer? Form notice sent? Height average grade to top of plate. Height average grade to highest point of roof. Size, front depth. No stories. solid or filled land? earth or rock? Material of foundation. Thickness, top. bottom. cellar. Kind of roof. Rise per foot. Roof covering. No. of chimneys. Material of chimneys. of lining. Kind of heat. fuel. Framing Lumber--Kind. Dressed or full size? Corner posts. Sills. Size Girder. Columns under girders. Size. Max. on centers. Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Joists and rafters: 1st floor, 2nd, 3rd, roof. On centers: 1st floor, 2nd, 3rd, roof. Maximum span: 1st floor, 2nd, 3rd, roof height? If one story building with masonry walls thickness of walls?

IF A GARAGE

No cars now accommodated on same lot to be accommodated number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY DATE BUILDING INSPECTION PLAN EXAMINER ZONING BUILDING CODE Fire Dept Health Dept Others

MISCELLANEOUS

Will work require disturbing or cutting trees on a public street? Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant: Madeline Southard for Deliverance Center. Type Name of above: Madeline Southard for Deliverance Center. Phone # 774-8192. Other and Address

FIELD INSPECTOR'S COPY

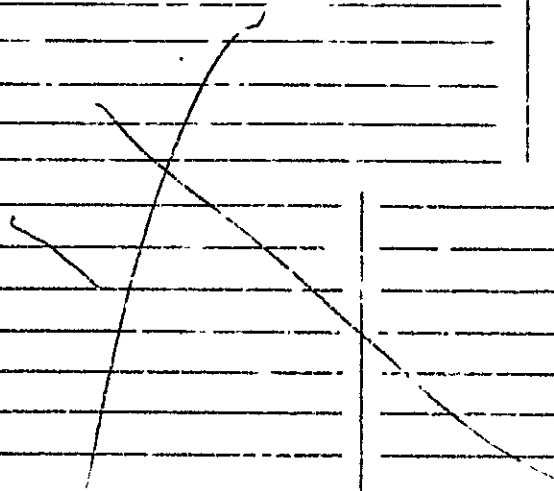
APPLICANT'S COPY

OFFICE FILE COPY

NOTES

7/6/81 - Tent ~~is~~ in place
 7/14/81 - Tent taken down
 7/16/81 - Tent RE-erected

Permit No. 811 278
 Location 291 S. Grand St. Detroit
 Owner Hunt & Rogers Co. Detroit
 Date of permit 7/12/81
 Approved J. F. Ryan
 Dwelling 5
 Garage
 Alteration



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 0 662

JUN 31 1945

ZONING LOCATION .. PORTLAND, MAINE June 19, 1945

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 234-236 Riverside Street ... Fire District #1 [] #2 []
1. Owner's name and address ... Gagnon Real Estate - Main St. Westbrook Telephone ...
2. Lessee's name and address ... Rev. James Reynolds 1908 Congress St. Telephone ... 774-8192
3. Contractor's name and address ... Telephone ...

Proposed use of building ... tent + temporary ... No families ... No families ...

Material ... No stories ... Heat ... Style of roof ... Roofing ...

Other buildings on same lot ... Estimated construction cost \$... Appeal Fees \$...

FIELD INSPECTOR - Mr. ... @ 77-2451 Base Fee ... 25.00 Late Fee ... TOTAL \$...

To erect 50 x 70 temporary tent to be erected June 21, and to be used for 90 days from date.

Stamp or Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and contractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... no ... Is any electrical work involved in this work? ... Yes ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of fuel ...
Framing Lumber - Kind ... Dressed or full size? ... Corner posts ... Sill ...
Size Girder ... Columns and girders ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" C C Bridging in every floor and flat roof spar over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height? ...

IF A GARAGE

No cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION - PLAN EXAMINER ... Will work require disturbing of any tree on a public street?
ZONING: ...
BUILDING CODE: ... Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
Fire Dept.: ...
Health Dept.: ...
Others: ...

Signature of Applicant Madelyn Southard ... Phone # 1230
Type Name of above ... Madelyn Southard for ... 1 [] 2 [] 3 [] 4 []
James Reynolds
and Address ...

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY
P2 MR. CARROLL

Permit No. 85-1669
Location 287-236
Owner James Chalkley
Date of permit 6-19-85
Approved 6-21-85
Dwelling Garage
Garage Frank
Alteration

NOTES

(The following area contains a large handwritten 'X' across the lines.)

APPLICATION FOR PERMIT

PERMIT ISSUED

APR 10 1987

City Of Portland

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 1338

ZONING LOCATION PORTLAND, MAINE July 24, 1956

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION: 224-236 Riverside Street

- 1. Owner's name and address: Henry Gagnon & Roger Welch, 8 1/2 Main St., Fire District #1, Telephone: 854-8431
- 2. Lessee's name and address: General Contractors - Future Janers, Telephone: 640-7777
- 3. Contractor's name and address: EQUIP, INC., P.O. Box 1399, Scar., Me., Telephone: 883-5114

Proposed use of building: Construction Equipment Sales & Supplies No. of sheets
 Last use: vacant lot No. families
 Material: No stories Heat Style of roof Roofing
 Other buildings on same lot

Estimated contractual cost \$ 55,000.00.

FIELD INSPECTOR—Mr
 @ 775-5451

Appeal Fees \$
 Base Fee \$ 300.00 - Minor
 Late Fee Site Plan Rev.
 TOTAL \$ 295.00
 pd 3-25-87

Minor Site Plan Review to construct 30' x 50' building for construction equipment sales & supplies.

Stamp of Special Conditions

ISSUE PERMIT TO #3

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

- Is any plumbing involved in this work?
- Is any electrical work involved in this work?
- Is connection to be made to public sewer?
- If not, what is proposed for sewage?
- Has septic tank notice been sent?
- Form notice sent?
- Height average grade to top of plate
- Height average grade to highest point of roof
- Size, front depth to stories solid or filled land?
- Material of foundation Thickness, top bottom cellar
- Kind of roof Rise per foot Roof covering
- No. of chimneys Material of chimneys of lining Kind of heat fuel
- Framing Lumber— Kind Dressed or full size?
- Corner posts Sills
- Size Girder Columns under girders Size Max on centers
- Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in eave floor and flat roof span over 8 feet
- Joists and rafters: 1st floor 2nd 3rd roof
- On centers: 1st floor 2nd 3rd roof
- Maximum span: 1st floor 2nd 3rd roof
- If one story building with masonry walls, thickness of walls?
- height?

IF A GARAGE

- No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
- Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
 BUILDING INSPECTION—PLAN EXAMINER
 ZONING:
 BUILDING CODE:
 Fire Dept.
 Health Dept.:
 Others:

MISCELLANEOUS

- Will work require disturbing of any tree on a public street? . NO.
- Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? . YES

Signature of Applicant Phone #

Type Name of above: Equip, Inc., 10 20 30 40
 and Henry Gagnon & Roger Welch

Other
 and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Dave Chase 803-5114

Applicant: *Future Owners* Date: *3/24/87*

Mailing Address: *Construction Sales & Supplies* Address of Proposed Site: *1111*

Proposed Use of Site: *Construction* Site Identifier(s) from Assessors Maps: *1111*

Acrlage of Site: *1000* Ground Floor Coverage: *1000* Zoning of Proposed Site: *1111*

Site Location Review (DEP) Required: Yes No Proposed Number of Floors: *1*

Board of Appeals Action Required: Yes No Total Floor Area: *1000*

Planning Board Action Required: Yes No

Other Comments: *None*

Date Dept. Review Due: *3/26/87*

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY PROJECT	DRAINAGE	SOIL TYPES	OWNER USES	CURBING	SIDEWALKS	OTHER
APPROVED	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
APPROVED CONDITIONAL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DISAPPROVED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

CONDITIONS SPECIFIED BELOW

REASON SPECIFIED BELOW

Conditions: 1) Curb installation and road construction along Riverside St. shall be done in accordance with standards and specifications.

PUBLIC WORKS DEPARTMENT

Richard J. [Signature] 3/26/87
SIGNATURE OF REVIEWING STAFF/DATE

COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant: James V. [Signature]
 Address of Proposed Site: 17-2735, Riverside St., Portland, ME 04106
 Date: 07/25/06
 Site Identifier(s) from Assessors Maps: 316- [unclear]
 Zoning of Proposed Site: R-2
 Proposed Number of Floors: 2
 Total Floor Area: 1,800 sq. ft.
 Site Location: 17-2735, Riverside St., Portland, ME 04106
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No
 Other Comments: [unclear]
 Date Dept. Review Due: [unclear]

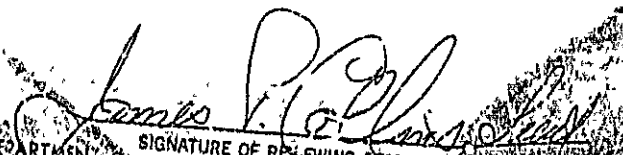
FIRE DEPARTMENT REVIEW

(Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMENSE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER
APPROVED								
APPROVED CONDITIONALLY								
DISAPPROVED								

CONDITIONS SPECIFIED BELOW
REASONS SPECIFIED BELOW

(Attach Separate Sheet if Necessary)


 FIRE DEPARTMENT COPY
 SIGNATURE OF REVIEWING STAFF/DATE: James V. [unclear] 7-25-06

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Equitron, Inc. - Future Owners
 Applicant _____ Date July 24, 1988
Box 1385, Scar, Me MA078
 Mailing Address _____
22-23 W. Verona Street
 Proposed User of Site _____ Address of Proposed Site _____
216
15900.00 sq. ft.
 Acreage of Site / Ground Floor Coverage _____ Site Identifier(s) from Assessors Maps _____
 Zoning of Proposed Site A-2
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____
 Board of Appeals Action Required: () Yes () No Total Floor Area 15900.00 sq. ft.
 Planning Board Action Required () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received)

- Major Development -- Requires Planning Board Approval- Review Initiated
 Minor Development -- Staff Review Below

LOADING AREA	TRAFFIC	CIRCULATION PATTERNS	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
X	X	X	X	X	X	X	X	X	X		

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

APPROVED
 APPROVED
 CONDITIONALLY
 DISAPPROVED
 SO

(Signature)
 SIGNATURE OF REVIEWING STAFF DATE
 PLANNING DEPARTMENT COPY

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Proposed Inc. - future owners

July 24, 1986
Date

190 Scar., Me. 04074

222-236 Riverside Street
Address of Proposed Site

Structure Equip. Sales & Supplies

316-4

15,500.00 sq. ft.

Site Identifier(s) from Assessors Maps

Ground Floor Coverage

B-2
Zoning of Proposed Site

City Review (DEF) Required: () Yes () No

Proposed Number of Floors 2

Board of Appeals Action Required: () Yes () No

Total Floor Area ~~15,500~~ sq. ft.

Planning Board Action Required: () Yes () No

1500 x 20 = 3000 ft²

Other Comments:

Date Dept. Review Due:

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 - Requires Board of Appeals Action
 - Requires Planning Board/City Council Action

Explanation: 2.5' setback required toward the 1 Corp lot line

Use complies with Zoning Ordinance - Staff Review Below

DATE	LINE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SETBACK DISTANCE	REAR YARDS	SIDE YARDS	FRONT YARDS	HEIGHT	LOT AREA	PL. AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF STREET PARKING	LOADING BAYS	CONDITIONS SPECIFIED BELOW	REASONS FOR CITING ALL IN

& BULK, available
 COMPLIANT CONDITION
 DOES NOT COMPLY

REASONS: Only 20' side bldg on side toward 2
Which is less
Soil Test Reports are attached

Andrea S. Sturmer 3/25/87
 SIGNATURE OF REVIEWING STAFF/DATE
 ORIGINAL

BUILDING DEPARTMENT

PERMIT # 1592

CITY OF Portland BUILDING PERMIT APPLICATION

MAP # LOT #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Equipco

Address: 222 Riverside Street 883-5114

LOCATION OF CONSTRUCTION: 222 Riverside Street

CONTRACTOR: NESA SURCONTRACTORS

ADDRESS: 17 Elm Street Corvallis 839-3569

Est. Construction Cost: Type of Use: Equipment sales

Past Use:

Building Dimensions: L, W, Sq. Ft., # Stories, Lot Size

Is Proposed Use: Single-Family, Multi-Family, Apartment

Conversation - Explain temp. sign from 12/9 to 1/8/88

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only

Of Dwelling Units: # Of New Dwelling Units

Foundation:

- 1. Type of Soil:
2. Set Backs - Front, Rear, Side(s)
3. Footings Size:
4. Foundation Size:
5. Other:

Floors:

- 1. Sills Size:
2. Girder Size:
3. Lally Column Spacing: Size
4. Joists Size:
5. Bridging Type: Size
6. Floor Sheathing Type: Size
7. Other Material:

Exterior Walls:

- 1. Studding Size: Spacing
2. No. windows
3. No. Doors
4. Header Sizes: Span(s)
5. Bracing: Yes, No
6. Corner Posts Size:
7. Insulation Type: Size
8. Sheathing Type: Size
9. Siding Type: Weather Exposure
10. Masonry Materials:
Metal Materials:

Interior Walls:

- 1. Studding Size: Spacing
2. Header Sizes:
3. Wall Covering Type:

For Official Use Only
Date: 12/9/87
Subdivision: Yes/No
Inch - Fire Limits
Bldg. Code
Time Limit
Estimated Cost
Value/Structure
Fee

Ceiling:
1. Ceiling Joists Size:
2. Ceiling Strapping Size:
3. Type of Ceilings:
4. Insulation Type:
5. Ceiling Height:

Roof:
1. Truss or Rafter Size: Span
2. Sheathing Type:
3. Roof Covering:
4. Other:

Chimneys:
Type:
Type of Heat:

Fire:
Service Entrance Size:
Smoke Detector Required: Yes/No

Swimming Pools:
1. Type:
2. Pool Size: x Square Footage
3. Must conform to National Electrical Code and State Law

Zoning:
District:
Street Frontage Req.:
Required Setbacks: Front, Back, Side

Review Required:
Zoning Board Approval: Yes/No
Planning Board Approval: Yes/No
Date:

Conditional Use: Variance:
Shore and Floodplain Mgmt:
Other: (Explain)

Date Approved:

Permit Received By: L. Benoit

Signature of Applicant: [Signature] Date: 12/9/87

Signature of CEO: [Signature] Date:

PERMIT ISSUED
DEC 10 1987
City of Portland

15
PERMIT # 001456 CITY OF Portland BUILDING PERMIT APPLICATION MAP # LOT #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Thomas K. Saunders

Address: PO Box 647, Westbrook, Me 04092

LOCATION OF CONSTRUCTION: 222 Riverside Street

CONTRACTOR: Robert Emerson SUBCONTRACTORS: 428-3888

ADDRESS: Cambel Shore Rd., Gray, 04039

Est. Construction Cost: \$5,000 Type of Use: commercial

Past Use: _____

Building Dimensions: L _____ W _____ Sq. Ft. _____ # Stories _____ Lot Size _____

Is Proposed Use: Seasonal _____ Condominiums _____ Apartment _____

Conversion - Explain Erect new storage shed (720 sq.ft.) as per plans

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only:

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only	
Date <u>November 1, 1988</u>	Subdivision Yes / No _____
Inside Fire Limits _____	Name _____
Bldg Code _____	Lot _____
Time Limit _____	Block _____
Estimated Cost <u>\$5,000</u>	Permit Expiration _____
Value/Structure _____	Ownership _____
Fee <u>\$45.00</u>	Public _____ Private _____

Ceilings:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceilings: _____ DEC 2 1988
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____
4. Other _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:

District _____ Street Frontage Req. _____ Provided _____

Required Setbacks: Front _____ Back _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date _____

Planning Board Approval: Yes _____ No _____ Date _____

Conditional Fee: _____ Variance _____ Site Plan _____ Subdivision _____

Share and Floodplain Mgmt _____ Special Exception _____

Other (Explain) _____

Date Approved _____

Permit Received By Nancy Grossman

Signature of Applicant Ricky [Signature] AGENT THE OWNER Date 11/1/88

Signature of CEO (4)KT Date _____

Inspection Dates _____

White-Tax Assessor

Yellow-GPCOG

White Tag -CEO

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PERMIT # 001456 CITY OF Portland BUILDING PERMIT APPLICATION

MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Thomas K. Anderson

Address: PO Box 647, Westbrook, Me 04092

LOCATION OF CONSTRUCTION 222 Riverside Street

CONTRACTOR: Robert Emerson SUBCONTRACTORS 428-3888

ADDRESS: Cambel Shore Rd., Gray, 04039

Est. Construction Cost: \$5,000 Type of Use: commercial

Past Use: _____

Building Dimensions: L _____ W _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____

Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____

Conversion - Explain Erect new storage shed (720 sq.ft.) as per plans

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only:

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Spacing(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Size _____ Spacing(s) _____
3. Wall Covering Type _____
4. Fire Wall If required _____
5. Other Materials _____

For Official Use Only	
Date: <u>November 21, 1988</u>	Subdivision: Yes <input type="checkbox"/> No <input type="checkbox"/>
Inside Fire Limits _____	Name _____
Bldg Code _____	Lot _____
Time Limit _____	Block _____
Estimated Cost: <u>\$5,000</u>	Permit Expiration: _____
Value/Structure _____	Ownership: _____ Public _____ Private _____
Fee: <u>\$45.00</u>	

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceiling: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____
4. Other _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required Yes No
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____ 00.00

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:

District: B-4 Street Frontage Req.: _____ Provided _____

Required Setbacks: Front _____ Back _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shore and Floodplain Mgmt. _____ Special Exception _____

Other (Explain) _____

Date Approved: Nov 21, 1988

Permit Received By: Nancy Gossman

Signature of Applicant: Kellan Mackinnon Agent for Owner Date: 11/11/88

Signature of CEO: _____ Date: _____

Inspection Dates: _____

881/111

White-Tax Assessor Yellow-GPCOG

White Tag-CEO

Copyright GPCOG 1987

(4) 1/27/88

PLOT PLAN

N



FEES (Breakdown From Front)

Base Fee \$ 25.00 _____
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ 20.00 _____
(Explain) _____
Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	/ /
_____	_____	/ /
_____	_____	/ /
_____	_____	/ /
_____	_____	/ /

COMMENTS

Signature of Applicant

Richard Lachance - Agent for Owner

Date *11/1/88*



CITY OF PORTLAND, MAINE

399 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

November 2, 1988

Mr. Thomas K. Saunders
P.O. - Box 647
Westbrook, Maine 04092

Dear Mr. Saunders,

Your recent application for a building permit to construct a storage shed 720 sq. feet. At 222 Riverside Street, Portland, Maine is being held due to insufficient information in the following areas:

- 1.) Please submit a complete framing detail of your proposed building.
- 2.) Second floor, floor plan with proposed use.

Please supply this office with the required information so that we may complete a plan review and issue a permit.

Sincerely,


P. Samuel Hoffses
Chief, Inspection Service

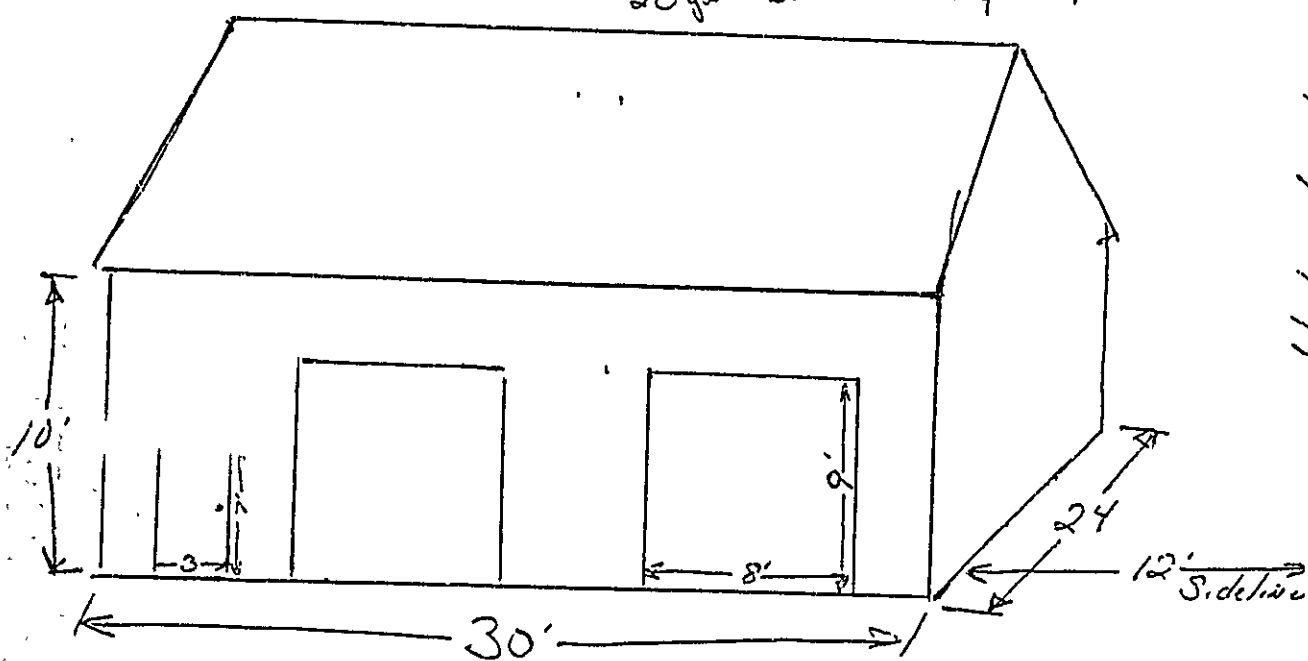
Equipco Inc

HEADERS 3-2x12 8ft

Materials

1 of 2

2x6" 16" oc.
Textured 1-11 siding
2x12" 16" oc Floor joists
2" x 8" Rafters
Fiberglass batt insulation
30 x 70 steel passage door
Insulated overhead doors
20 yr Bird roofing - Asphalt



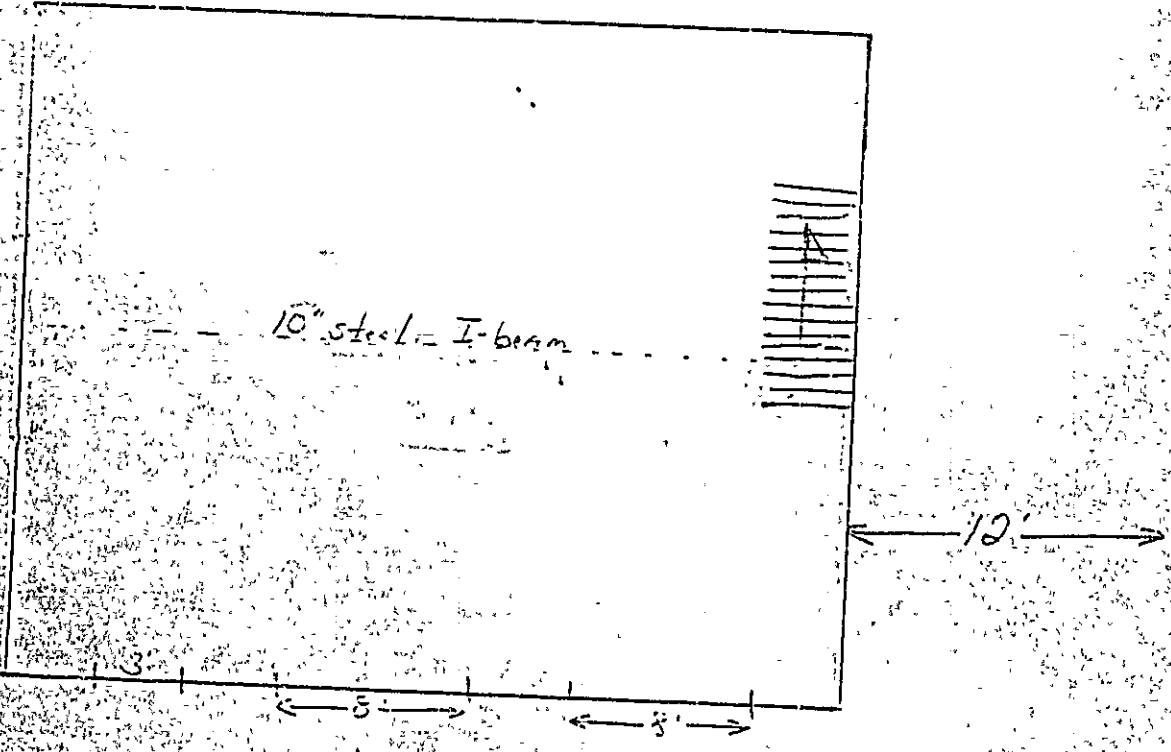
Whicks Lumber

Not to Scale

Equip. line

216-113

1st Floor



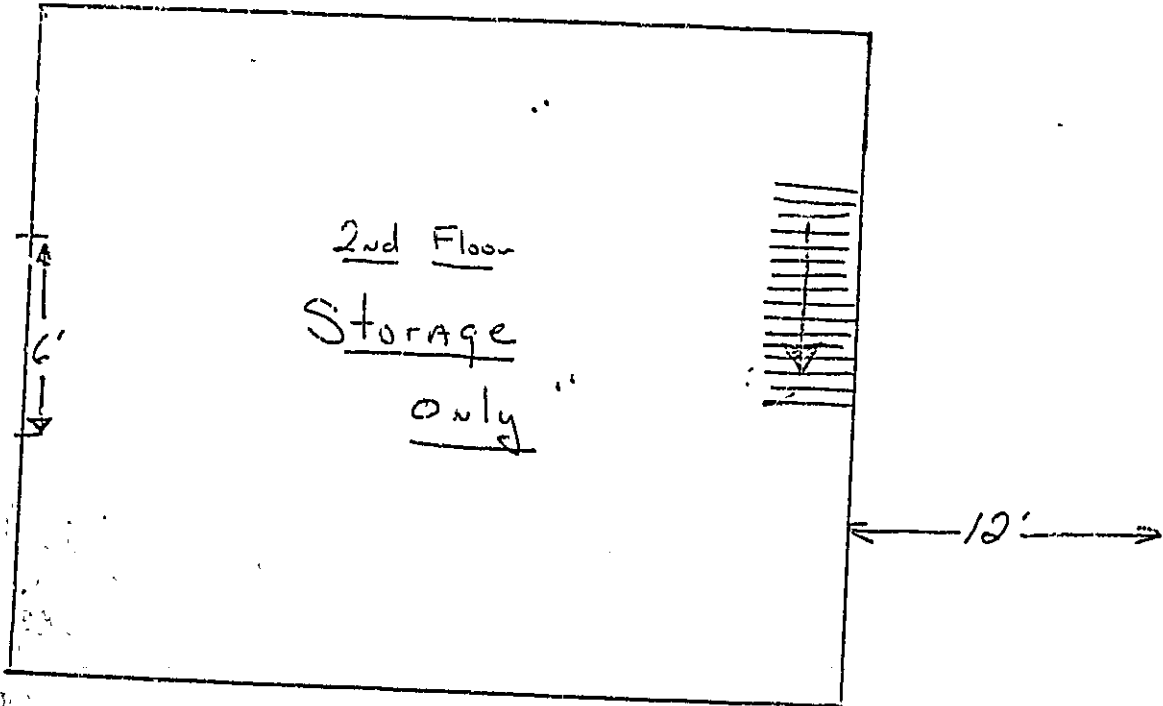
Wicks / lumber

Not to Scale

Equipos Inc

3 of 3

2nd Floor



blocks lumber

Not to Scale

Equipco Inc

Materials

1 of 3

2" x 6" 16" OC

Texture 1-11 Siding

2" x 10" ^{12"} 16" OC Floor Joists

2" x 8" Rafters

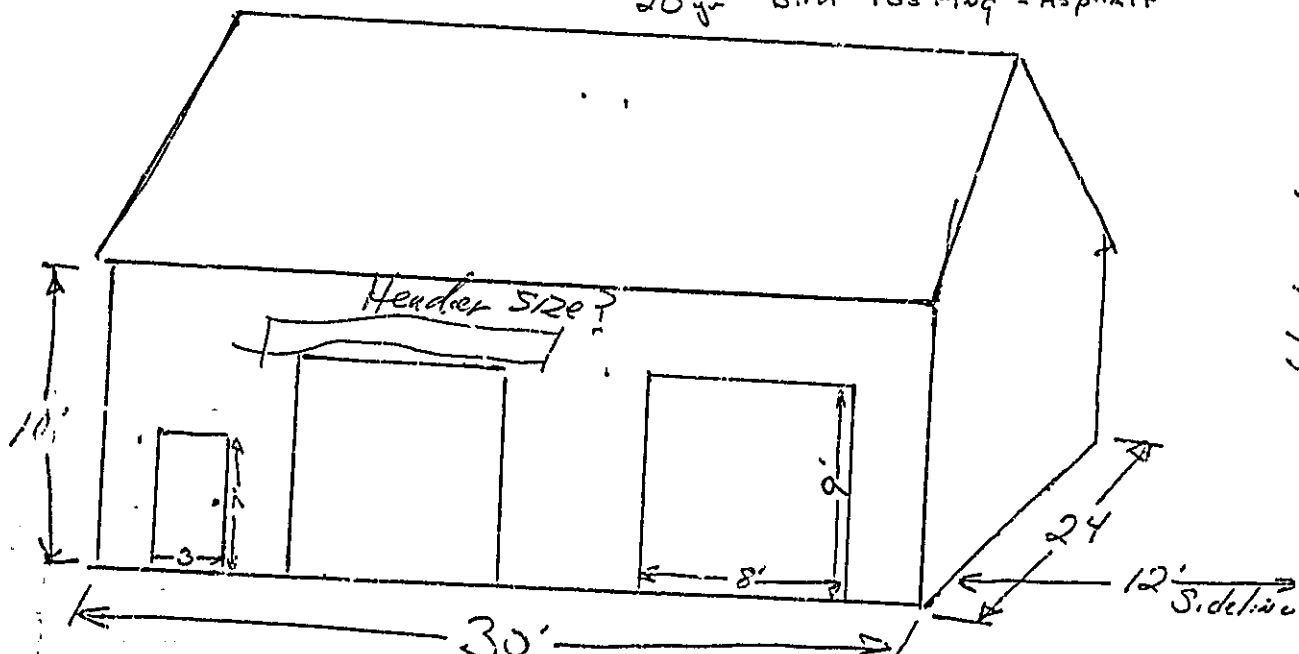
Fiber glass batt insulation

30' x 7'0" Steel passage door

Insulated overhead doors

20 yr Bird roofing - Asphalt

HEADERS 3 - 2 x 12 ^{8" T}

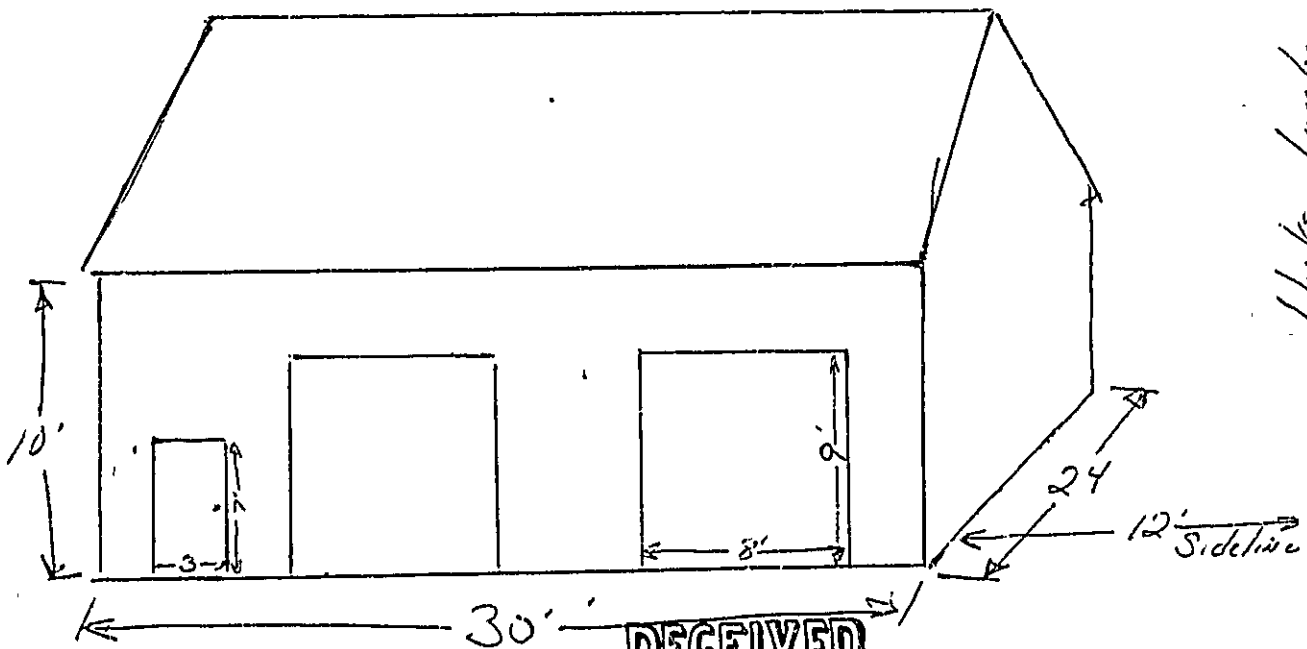


Wicks Lumber

Not to Scale

Equipo Inc

2' x 6' studs
Fiberglass Insul.
Texture 1-11
Panco Slat



Wicks Lumber

RECEIVED

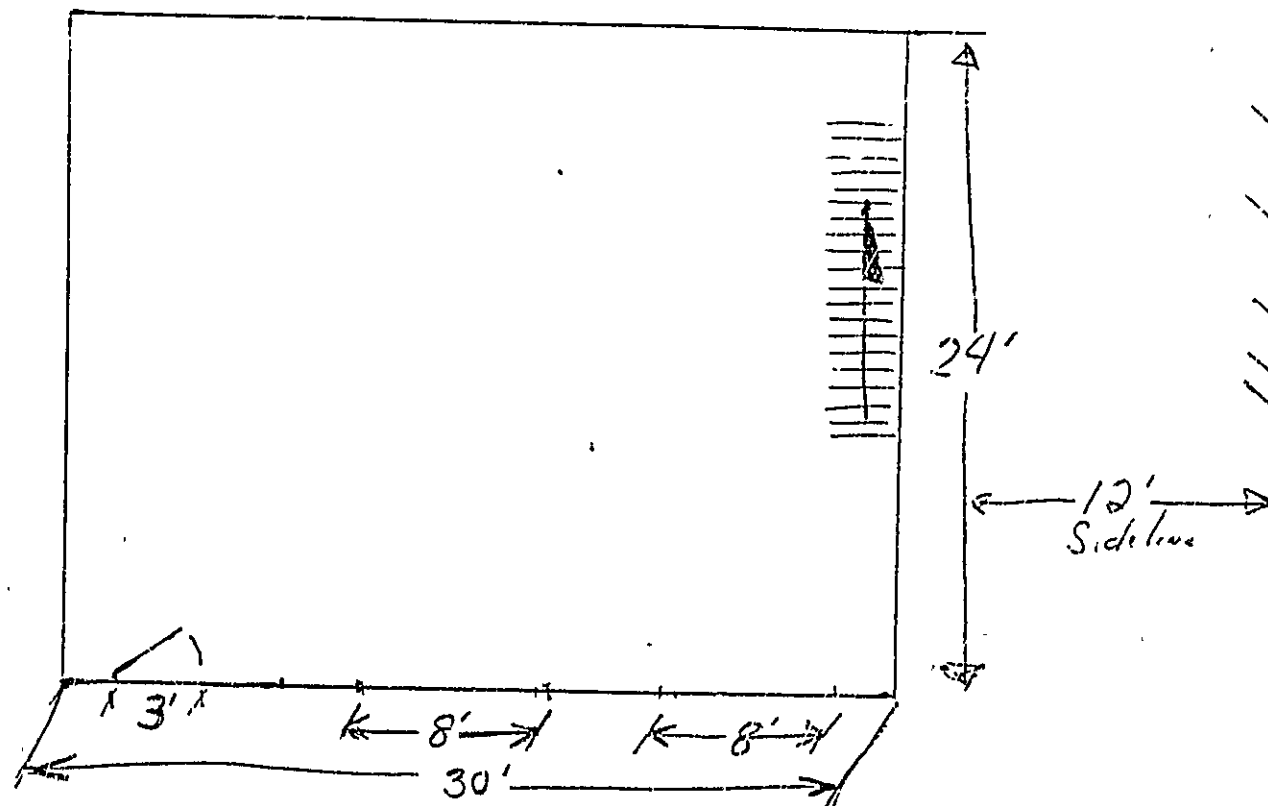
NOV 01 1988

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

Not to Scale

Equipco, Inc

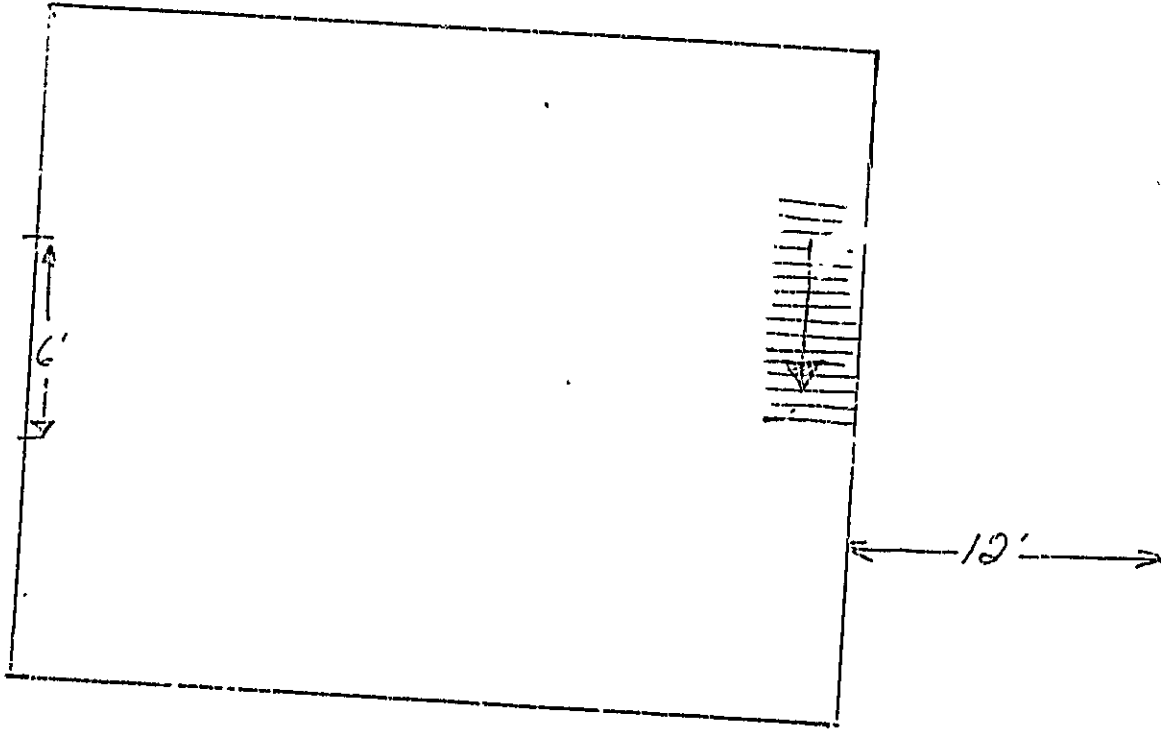
1st Floor



Not to Scale

Equipeo Inc

2nd Floor



Wicks Lumber

Not to Scale

Permit # 901782 City of Portland

BUILDING PERMIT APPLICATION Fee \$40.40 Zone _____ Map # _____ Lot # _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Madawaska Brick & Block Phone # 878-2152

Address: 222 Riverside St., Portland, ME 04103

LOCATION OF CONSTRUCTION 222 Riverside Street

Contractor: N.E.S.A. Sub: 04183

Address: 56 Warren Ave., Portland, ME Phone # 878-8844

Est. Construction Cost: _____ Proposed Use: Comm.

of Existing Res. Units: 02 Past Use: Home

Building Dimensions L _____ W _____ Total Sq. Ft. _____

Stories: _____ # Bedrooms _____ Lot Size: _____

Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____

Explain Conversion To erect two pole signs, as per plan.

Foundation: One sheet of plans. & Certificate of Insurance.

1. Type of Soil: _____

2. Set Backs - Front _____ Rear _____ Side(s) _____

3. Footings _____

4. Foundation _____

5. Other _____

Floor: _____

1. Sills Size: _____ Sills must be anchored.

2. Girder Size: _____

3. Lally Column Spacing: _____ Size: _____

4. Joists Size: _____ Spacing 16" O.C.

5. Bridging Type: _____ Size: _____

6. Floor Sheathing Type: _____ Size: _____

7. Other Material: _____

Exterior Walls: _____

1. Studding Size _____ Spacing _____

2. No. windows _____

3. No. Doors _____

4. Header Sizes _____ Span(s) _____

5. Bracing: Yes _____ No _____

6. Corner Posts Size _____

7. Insulation Type _____ Size _____

8. Sheathing Type _____ Size _____

9. Siding Type _____

10. Masonry Materials _____ Weather Exposure _____

11. Metal Materials _____

Interior Walls: _____

1. Studding Size _____ Spacing _____

2. Header Sizes _____ Span(s) _____

3. Wall Covering Type _____

4. Fire Wall if required _____

5. Other Materials _____

PERMIT ISSUED

Date: August 15, 1990 Subdivision: _____

Inside Fire Limits: _____ Name: AUG 20 1990

Bldg Code: _____ Lot: _____

Time Limit: _____ Ownership: City of Portland

Estimated Cost: _____ Private _____

Zoning: B-4

Street Frontage Provided: _____

Provided Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required: _____

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____

Special Exception _____

Other (Explain): OK WPA = 8-16-90

HISTORIC PRESERVATION

1. Ceiling Joists _____

2. Ceiling Strapping Size _____ Spacing _____ Not in District nor Landmark.

3. Type Ceilings: _____ Does not require review.

4. Insulation Type _____ Size _____ Requires Review.

5. Ceiling Height: _____

Roof: _____

1. Truss or Rafters Size _____ Open Action: _____ Approved.

2. Sheathing Type _____ Size _____ APPROVED WITH CONDITIONS

3. Roof Covering Type _____

Chimneys: _____

Type: _____ Number of Fire Places _____ Date: 8/13/90

Heating: _____ Signature: [Signature]

Type of Heat: _____

Electrical: _____

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing: _____

1. Approval of soil test if required _____

2. No. of Tubs or Showers _____ Yes _____ No _____

3. No. of Flushes _____

4. No. of Lavatories _____

5. No. of Other Fixtures _____

Swimming Pools: _____

1. Type: _____

2. Pool Size: _____ x _____ Square Footage _____

3. Must conform to National Electrical Code and State Law.

Permit Received By: Joyce M. Rinaldi

Signature of Applicant: [Signature] Date: 8/13/90

Signature of CEO: N.E.S.A.

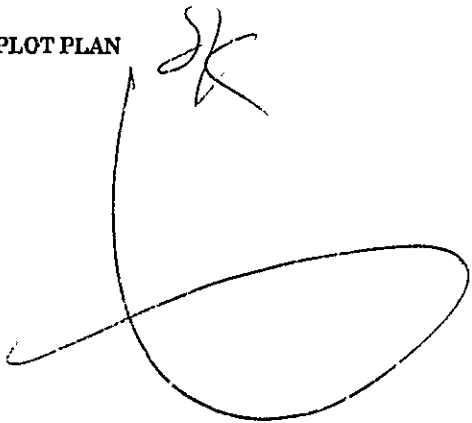
Signature of CEO: _____ Date: _____

Inspection Dates: _____

Whits-Tax Assesor Yellow-GPCOG

White Tag - CEO © Copyright GPCOG 1988

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ 40.40	_____
Subdivision Fee \$	_____
Site Plan Review Fee \$	_____
Other Fees \$	_____
(Explain)	_____
Late Fee \$	_____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

Signature of Applicant Stephen A. Dem..., Contractor for owner

Date 8/13/90

WESN

ACORD CERTIFICATE OF INSURANCE

ISSUE DATE (MM/DD/YY)
8-9-90

PRODUCER

EZZY/MADORE AGENCY
PO BOX 159
MADWASKA, MAINE 04756THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND
CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE
DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE
POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY LETTER A HANOVER
 COMPANY LETTER B AMERICAN FIDELITY
 COMPANY LETTER C
 COMPANY LETTER D
 COMPANY LETTER E

INSURED

MADWASKA BRICK & BLOCK
DBA DISTINGUISHED PAVING
PO BOX 796
PORTLAND, MAINE 04104

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE AIR BRANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY BE REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECT DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY X COMMERCIAL GENERAL LIABILITY 1 MADE OCCUR 2 CONTINUATION 2 PAID	73307793L	7-1-90	7-1-91	GENERAL AGGREGATE \$ 1,000 PRODUCT AGGREGATE \$ 1,000 PERSONAL & ADV. INJURY \$ 500 EACH OCCURRENCE \$ 500 EPL. DAMAGE (Any one person) \$ 50 MED. EXPENSE (Any one person) \$ 5
A	AUTOMOBILE LIABILITY X ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS LEASED AUTOS NON OWNED AUTOS GARAGE LIABILITY	ARB3427683	7-1-90	7-1-91	COMBINED SINGLE LIMIT \$ 1,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$ 50 EACH OCCURRENCE \$ 1,000 AGGREGATE \$ 1,000
A	EXCESS LIABILITY X BUREAU FORM OTHER THAN COMMERCIAL FORM	U3328612L	7-1-90	7-1-91	STATE QUOTE LIMIT \$ 500 INCL. - POLICY LIMIT \$ 500 UNLESS EACH EMPLOYER \$ 500
B	WORKERS' COMPENSATION AND EMPLOYERS' LIABILITY	WCA5465221-01	5-14-90	5-14-91	

DESCRIPTION OF OPERATIONS, LOCATIONS, ETC. (SPECIAL ITEMS)

CERTIFICATE HOLDER

CITY OF PORTLAND
PORTLAND, MAINE 04101

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THIS LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Arthur Winkham

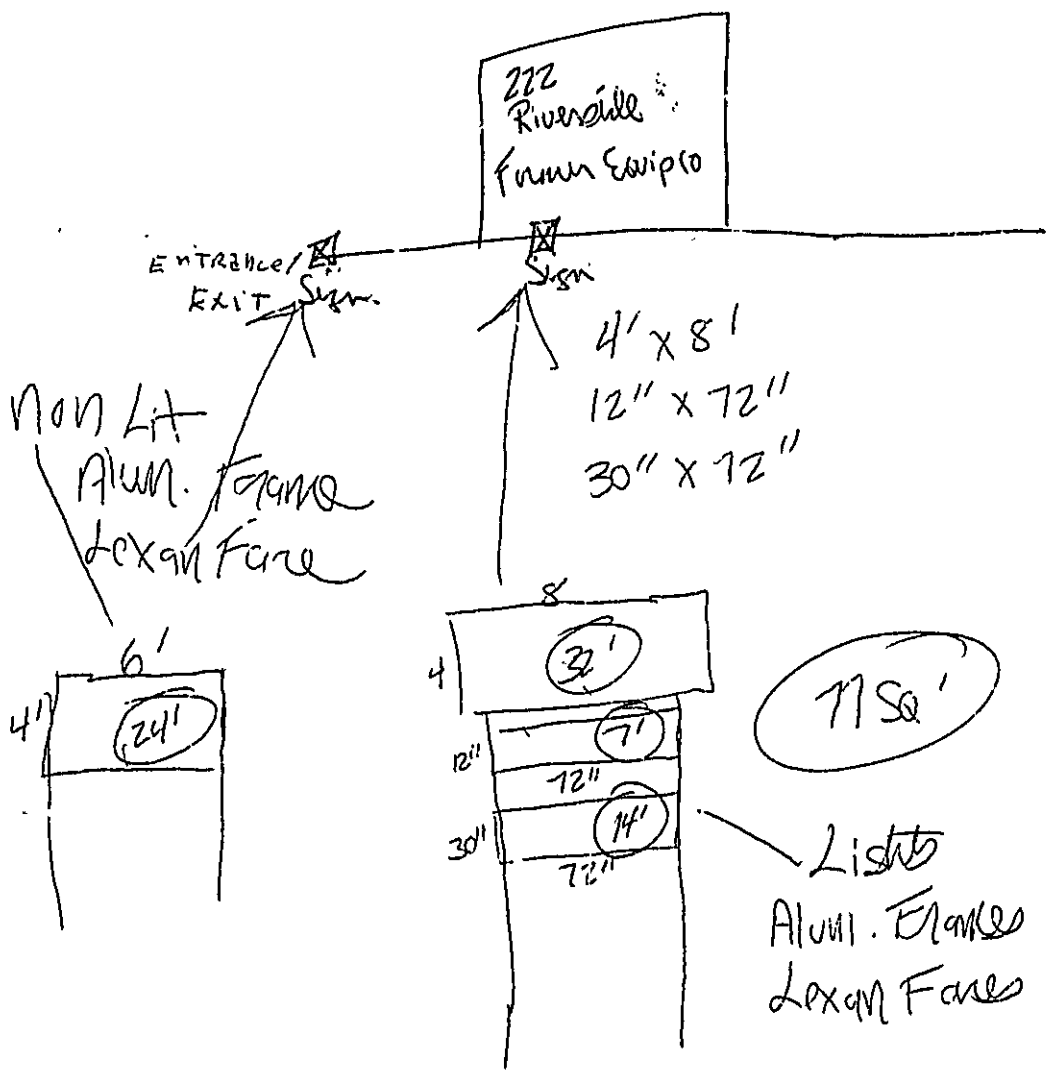
ACORD CORPORATION 1989

ACORD 25-6 (7/80)

RECEIVED

AUG 13 1990

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND



Proposal

NEW ENGLAND SPECIALTY ADVERTISING
1109 Forest Avenue • Portland • Maine • 04103
878-8844 1-800-462-6303

Proposal submitted to:
David Johnston
Fax # _____

Phone 878-2152

Date: 8/6/90

Address: Rt. 302
Portland ME. 04101

Job name: Madawaska

N.E.S.A. Stephen Reina

Job Address: 222 Riverside
Portland, ME.

We hereby submit specifications and estimates for: Removal of existing poles of main sign at ground level and installing by welding existing poles onto larger poles. Poles will be supported by concrete foundations. All sign cabinets, faces and lamps will be removed from structure prior to relocation. Electrical connections are not included. All work will be completed by week ending August 10 subject to weather conditions.

We propose to furnish material and labor - complete in accordance with above specifications, for the sum of: \$1295.00
Twelve hundred and ninety five dollars

50% down / balance due on delivery-completion

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices within the industry. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, theft and other necessary insurance. Our workers are fully covered by workman's compensation insurance.

N.E.S.A. Stephen Reina Date 8-7-90

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Authorized by: David R. Johnston Date 8-7-90
Authorized by: _____ Date _____

901782

Permit # _____ City of Portland BUILDING PERMIT APPLICANT Fee \$40.40 Zone _____ Map # _____ Lot# _____
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Madawaska Brick & Block Phone # 878-2152
 Address: 222 Riverside St., Portland, ME 04103
 LOCATION OF CONSTRUCTION 222 Riverside Street
 Contractor: N.E.S.A. Sub: 04103
 Address: 56 Warren Ave., Portland, ME Phone # 878-8844
 Est. Construction Cost: _____ Proposed Use: Comm.
 _____ Past Use: same
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion To erect two pole signs, as per plan.

August For Official Use Only
 Date XXXXX 13, 1990 Subdivision _____
 Inside Fire Limits _____ Name _____
 Bldg Code _____ Lot _____
 Time Limit _____ Ownership: RE-20, 1990
 Estimated Cost _____ Private _____
 City of Portland
 Zoning: B-4
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____ Side _____
 Revisions Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) OK to build - 7-8-16-90

Foundation: One sheet of plans. & Certificate of Insurance.
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____
 Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____
 Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____
 Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____ Spacing _____ NOT IN LATEST BOR LUMBER
 2. Ceiling Strapping Size _____ Does not require review.
 3. Type Ceilings: _____ Requires Review.
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____
 Roof:
 1. Truss or Rafter Size _____ Span _____ Action: Approved.
 2. Sheathing Type _____ Size _____ Approved with Conditions
 3. Roof Covering Type _____
 Chimneys:
 Type: _____ Number of Fire Places _____ Date: 8/13/90
 Signature: [Signature]
 Heating:
 Type of Heat: _____
 Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____
 Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____
 Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.
 Permit Received By Joyce M. Rinaldi
 Signature of Applicant [Signature] Date 8/13/90
 Signature of CEO _____ Date _____
 Inspection Dates _____



CITY OF PORTLAND, MAINE
389 CONGRESS STREET
PORTLAND, MAINE 04101
(207)874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

222 Riverside Street

Mr. Dan Albert
Madawaska Brick & Block Corporation
P. O. Box 1450
Westbrook, Maine 04092

Dear Mr. Albert:

By telephone this afternoon, you requested that a letter be sent to you confirming that the former Equip Co. site at 222 Riverside Street is within the B-4 Business Zone. This will confirm that it is in fact located in the B-4 Business Zone.

Sincerely,

Warren J. Turner
Administrative Assistant

cc: P. Samuel Hoffses, Chief, Inspection Services
William D. Giroux, Zoning Enforcement Officer
Kathleen Lowe, Code Enforcement Officer