

54-60 BELFORT STREET



A.P.- 60 Belfort St.

June 23, 1964

Mr. Carl M. O'Donnell  
60 Belfort Street

Dear Mr. O'Donnell:

Permit to construct a 1-story frame detached single car garage 12'x24' at the above location as per plans and application is being issued herewith as follows:

A permit cannot be issued in the future if it is desired to connect the garage to the dwelling by a breezeway or other rigid connection as the dwelling has a foundation below frost, whereas, the garage will rest on a concrete slab subject to frost action.

Very truly yours,

Gerald E. Mayberry  
Deputy Building Inspection Director

CLM:im



R3 RESIDENCE ZONE

### APPLICATION FOR PERMIT

PERMIT ISSUED

00720

JUN 23 1964

Class of Building or Type of Structure Third Class

Portland, Maine, June 22, 1964

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 60 Belfort Street Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Carl M. O'Donnell, 60 Belfort St. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address owner Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans Yes No. of sheets 1  
 Proposed use of building 1 car garage No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot dwelling  
 Estimated cost \$ 725. Fee \$ 5.00

#### General Description of New Work

construct 1-car frame garage 12'x24'

9' door opening - 1pc - 1/2" end

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

#### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate 7'8" Height average grade to highest point of roof 11'  
 Size, front 12' depth 24' No. stories 1 solid or filled land? solid earth or rock? earth  
 Material of foundation concrete slab Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof pitch Rise per foot 8" Roof covering asphalt roofing Class C Und. Lab.  
 No. of chimneys \_\_\_\_\_ Material of chimney: s \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind hemlock Dressed or full size? dressed  
 Corner posts 4x6 Sills 4x6 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-24" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor concrete, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x6  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 24"  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 6'  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

#### If a Garage

No. cars now accommodated on same lot 0, to be accommodated 1 number commercial cars to be accommodated 0  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED:

*G. E. M. W...*

#### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

DESIGNER: \_\_\_\_\_

INSPECTION COPY

Signature of owner

*Carl M. O'Donnell*

*[Handwritten initials]*

NOTES

16-23-64 Location OK *AD*  
7-6-64 Gravel on lot *AD*  
10-14-64 Completed *AD*

*X*

Permit No.

641730

8-18 7-19 7-28

Location

60 Bedford Street

Owner

Paul M. O'Donnell

Date of permit

6/23/64

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

R3 RESIDENCE ZONE



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, Aug. 30, 1963

PERMIT ISSUED

SEP 5 1963

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 60 Belfort St. Within Fire Limits? Dist. No.
Owner's name and address Carl M. O'Donnell, 60 Belfort St. Telephone 775-2059
Lessee's name and address
Contractor's name and address owner Telephone
Architect Specifications Plans No. of sheets
Proposed use of building 1 fam. dwelling No. families 1
Last use No. families
Material frame No. stories 1 1/2 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 160.00 Fee \$ 3.00

General Description of New Work

To demolish existing platform and steps, approx. 4x6 (without roof)
To construct porch, 6'x6' and steps with roof- (to be enclosed with windows) approx. 60' to side lot line.
To use 9" sonotube 5 feet below grade

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? no
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate 10' Height average grade to highest point of roof 11 1/2'
Size, front 6' depth 6' No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof pitch Rise per foot 6" Roof covering asphalt Class C. Und. Lab.
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind hemlock Dressed or full size? dressed Corner posts 4x4 Sills 4x6
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6, 2nd, 3rd, roof 2x6
On centers: 1st floor 14", 2nd, 3rd, roof 14"
Maximum span: 1st floor 6', 2nd, 3rd, roof 5'
Is one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

G. E. M.

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Carl O'Donnell

CS 301

INSPECTION COPY

Signature of owner

By:

Carl M. O'Donnell

7 Nov 63



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 15, 1958

PERMIT ISSUED 01087 AUG 18 1958

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location ... 56 Belfort Street ... Use of Building ... Dwelling ... No. Stories ... New Building Existing ... Name and address of owner of appliance ... Charles Hanson, 193 Allen Ave. ... Installer's name and address ... M. William Cohen, 67 Codman Street ... Telephone ...

General Description of Work

To install ... forced hot water heating system and oil burning equipment

IF HEATER, OR POWER BOILER

Location of appliance ... basement ... Any burnable material in floor surface or beneath? ... no ... If so, how protected? ... Kind of fuel? ... oil ... Minimum distance to burnable material, from top of appliance or casing top of furnace ... 15" ... From top of smoke pipe ... 15" ... From front of appliance ... 4' ... From sides or back of appliance ... 3' ... Size of chimney flue ... 8x10 ... Other connections to same flue ... none ... If gas fired, how vented? ... Rated maximum demand per hour ... Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? ... yes

IF OIL BURNER

Name and type of burner ... Crane ... Labelled by underwriters' laboratories? ... yes ... Will operator be always in attendance? ... Does oil supply line feed from top or bottom of tank? ... bottom ... Type of floor beneath burner ... concrete ... Size of vent pipe ... 1 1/2" ... Location of oil storage ... basement ... Number and capacity of tanks ... 1-275 gal. ... Low water shut off ... Make ... No. ... Will all tanks be more than five feet from any flame? ... yes ... How many tanks enclosed? ... 1? ... Total capacity of any existing storage tanks for furnace burners ... none

IF COOKING APPLIANCE

Location of appliance ... Any burnable material in floor surface or beneath? ... If so, how protected? ... Height of Legs, if any ... Skirting at bottom of appliance? ... Distance to combustible material from top of appliance? ... From front of appliance ... From sides and back ... From top of smokepipe ... Size of chimney flue ... Other connections to same flue ... Is hood to be provided? ... If so, how vented? ... Forced or gravity? ... If gas fired, how vented? ... Rated maximum demand per hour ...

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? ... 2.00 ... (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Signature of Approver: O. S. E. S. S. 8/18/58

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ... yes

MAINE PRINTING CO.

INSPECTION COPY

Signature of Installer: M. W. Cohen

Signature: agt

Signature: PH

RESIDENCE ZONE



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1
Portland, Maine, August 6, 1958

PERMIT ISSUED

AUG 7 1958

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 58-757, pertaining to the building or structure comprised in the original application in accordance with the Law of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location: 54-60 Belfort St. Within Fire Limits? no Dist. No.
Owner's name and address: Charles H. Hanson, 193 Allen Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address: Maine Shawnee Step Co. Inc., RFD#4 Lunt Road Telephone
Architect Plans filed YES No. of sheets
Proposed use of building: Dwelling No. families 1
Last use No. families
Increased cost of work Additional fee .50

Description of Proposed Work

To erect precast steps with 5' x 42" platform-4 risers and sets 30" high.

According to standard Shawnee plan. Approved by R.I. Perry. Structural Engineer filed in the Building Dept. 8/15/57

Details of New Work Richard Snowe, RFD#4 Lunt Rd. Portland

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories at least 4 below grade earth or rock?
Material of foundation concrete Sonotubes Thickness, top 9" bottom 9" cellar Form with mesh
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: OK 8-6-58 TTR

Signature of Owner by: Charles H. Hanson, Maine Shawnee Step Co. Inc. Richard L. Snowe

Approved: 8/6/58 Inspector of Buildings

INSPECTION COPY CS-105

(COPY)



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 54-60 Belfort St.

Issued to Charles H. Hanson

Date of Issue October 3, 1958

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 58/757, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

1-family dwelling house

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

*Earl Smith*

*Warren McDonald*

(Date)

Inspector

Inspector of Buildings

CS 147

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.





R3 RESIDENCE ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, June 19, 1958

PERMIT ISSUED

00757  
JUN 20 1958

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter-repair-demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 54-60 Belfort St. Within Fire Limits? no Dist. No. ....  
Owner's name and address Charles H. Hanson, 193 Allen Ave. Telephone 2-7848  
Lessee's name and address ..... Telephone .....  
Contractor's name and address owner Telephone .....  
Architect ..... Specifications ..... Plans yes No. of sheets 5  
Proposed use of building Dwelling No. families 1  
Last use ..... No. families .....  
Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....  
Other building on same lot .....  
Estimated cost \$ 9,000 Fee \$ 2.00

General Description of New Work

To construct 1 1/2-story frame dwelling house 26' x 32'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes  
Is connection to be made to public sewer? yes If not, what is proposed for sewage? .....  
Has septic tank notice been sent? ..... Form notice sent? .....  
Height average grade to top of plate 10' Height average grade to highest point of roof 20'  
Size, front 32' depth 26' No. stories 1 1/2 solid or filled land? solid earth or rock? earth  
Material of foundation concrete at least 4' below grade 11" Thickness, top 11" bottom 11" cellar yes  
Material of underpinning " to sill Height ..... Thickness .....  
Kind of roof pitchable Rise per foot 10" Roof covering Asphalt Class C Und. Lab.  
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat h. water fuel oil  
Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x4 Sills 6ox  
Size Girder 6x10 Columns under girders Lally Size 3 1/2" Max. on centers 7' 6"  
Kind and thickness of outside sheathing of exterior walls? .....  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor 2x8 2nd 2x8 3rd ..... roof 2x8  
On centers: 1st floor 16" 2nd 16" 3rd ..... roof 16"  
Maximum span: 1st floor 14' 2nd 14' 3rd ..... roof .....

If a Garage

No. cars now accommodated on same lot..... to be accommodated..... number commercial cars to be accommodated.....  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVED:

O.N. - 6/20/58 - agj

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
Charles H Hanson

Signature of owner

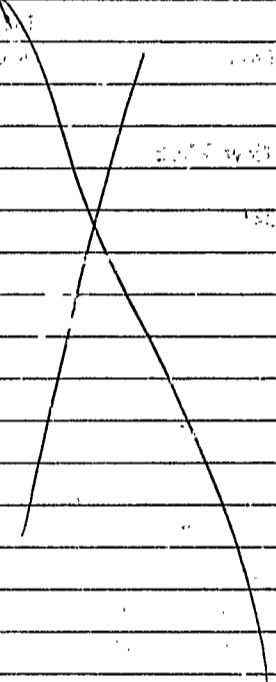
by: Charles H Hanson

INSPECTION COPY

F.M.

NOTES

6/25/58 - Form check made.  
 C.S.D.  
 7-8-58 OK to close in  
 9/5/58 - Mounds to get  
 in C.S.D.  
 9/9/58 - work done,  
 Cert. to be issued.  
 C.S.D.



~~7-8-58~~  
~~6/25/58~~  
 6/25/58

Permit No. 58-1757

Location ~~2000~~ 5460 Lehigh St.

Owner *Charles P. Weaver*

Date of permit 6/20/58

Notif. closing-in 7/7/58

Inspn. closing-in 7-8-58

Final Notif. 9/8/58

Final Inspn. 9/9/58

Cert. of Occupancy issued *9/9/58*

Staking Out Notice

Form Check Notice 6/24/58

AP-54-56 & 58-60 Balfort Street

April 8, 1938

Mr. Charles H. Hanson  
193 Allen Avenue

Dear Mr. Hanson:

Your appeals under the Zoning Ordinance concerning the lots at the above named locations having been denied, we are unable to issue permits for construction of a single family dwelling at each location. Therefore, as provided by Section 105-e of the Building Code, if you will return to this office within ten days the receipts for fees paid at time of filing applications for permits, we will authorize return to you by voucher of the amounts paid.

Very truly yours,

Albert J. Sears  
Deputy Inspector of Buildings

AJS/JS

AP-58-60 Belfort Street

March 26, 1958

Mr. Charles H. Hanson  
193 Allen Avenue

cc to: Donald A. Leubetter, Esq.  
415 Congress Street  
cc to: Corporation Counsel

Dear Mr. Hanson:

We are unable to issue a permit for construction of a single family dwelling 21 feet by 31½ at 58-60 Belfort Street because the land on which it is to be erected consists of two 30 foot wide lots having a combined width of only 60 feet instead of the minimum width of 65 feet required by Section 4-3-8 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located.

We understand you would like to exercise your appeal rights concerning this discrepancy. Accordingly we are certifying the case to the Corporation Counsel, at whose office the appeal should be filed.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WHD/36



# APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class  
Portland, Maine, March 25, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~repair~~ repair ~~the~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 58-60 Belfort St. Within Fire Limits? no Dist. No.           
 Owner's name and address Charles H Hanson, 193 Allen Ave. Telephone 2-7848  
 Lessee's name and address          Telephone           
 Contractor's name and address owner Telephone           
 Architect          Specifications          Plans yes No. of sheets 3  
 Proposed use of building Dwelling No. families 1  
 Last use          No. families           
 Material frame No. stories 1 Heat          Style of roof          Roofing           
 Other building on same lot           
 Estimated cost \$ 9,000 Fee \$ 9.00

### General Description of New Work

to construct 1-story frame dwelling 21' x 31'6"

*Plans retained  
to Hanson  
4/21/58*

*Refused 4/21/58  
denied 4/4/58*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

### Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes  
 Is connection to be made to public sewer? yes If not, what is proposed for sewage?           
 Has septic tank notice been sent?          Form notice sent?           
 Height average grade to top of plate 6'10" Height average grade to highest point of roof 14'  
 Size, front 21' depth 31'6" No. stories 1 solid or filled land? solid earth or rock? earth  
 Material of foundation concrete at least 4" below grade Thickness, top 11" bottom 11" cellar yes  
 Material of underpinning to sill Height          Thickness           
 Kind of roof pitch Rise per foot 7" Roof covering Asphalt Class C Und. Lab.  
 No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat h. water fuel oil  
 Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x4 Sills 4x6  
 Size Girder 6x10 Columns under girders Lally Size 3" Max. on centers 8'  
 Kind and thickness of outside sheathing of exterior walls?           
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor 2x8, 2nd         , 3rd         , roof 2x6  
 On centers: 1st floor 16", 2nd         , 3rd         , roof 16"  
 Maximum span: 1st floor         , 2nd         , 3rd         , roof           
 If one story building with masonry walls, thickness of walls?          height?         

### If a Garage

No. cars now accommodated on same lot         , to be accommodated          number commercial cars to be accommodated           
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?         

APPROVED

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Charles H Hanson

Signature of owner by:

*Charles H Hanson*

SECTION COPY

*F.M.*

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

MISCELLANEOUS APPEAL

*Denied 4/4/58*

*58/29*

March 27, 1958

Charles H. Hanson, owner of property at 58-60 Belfort Street,  
under the provisions of Section 23 of the Zoning Ordinance of the City of Portland, hereby  
respectfully petitions the Board of Appeals to permit construction of a single family dwelling  
21 feet by 31½ feet. This permit is not issuable because the land on which it is to be  
erected consists of two 30 foot wide lots having a combined width of only 60 feet instead  
of the minimum width of 65 feet required by Section 4-B-8 of the Zoning Ordinance applying  
to the R-3 Residence Zone in which the property is located.

LEGAL BASIS OF APPEAL:

Such permit may be granted only if the Board of Appeals finds that enforcement of the terms  
of the Ordinance would involve practical difficulty or unnecessary hardship and desirable  
relief may be granted without substantially departing from the intent and purpose of the  
Ordinance.

Mr. Charles H. Hanson

*Charles H. Hanson*  
By: *Charles H. Hanson*

APPELLANT

DECISION

After public hearing held April 4, 1958, the Board of Appeals finds that enforcement  
of the terms of the Ordinance would not involve practical difficulty or unnecessary hardship and  
desirable relief can not be granted without substantially departing from the intent and purpose  
of the Ordinance.

It is, therefore, determined that such permit should not be issued.

*Franklin H. Hillery*  
*Henry W. Smith*  
*Joseph J. Spry*  
BOARD OF APPEALS

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

April 1, 1958

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Friday, April 4, 1958, at 3:30 p.m. to hear the appeal of Charles H. Hanson requesting an exception to the Zoning Ordinance to permit construction of a single family dwelling 21 feet by 31½ feet at 58-60 Belfort Street.

This permit is not issuable because the land on which the dwelling is to be erected consists of two 30 foot wide lots having a combined width of only 60 feet instead of the minimum width of 65 feet required by Section 4-B-8 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located.

All persons interested either for or against this appeal will be heard at the above time and place.

BOARD OF APPEALS

Franklin G. Hinckley

Chairman

S

cc: William S. Curley, 64 Belfort St.  
Sylvester J. Perron, 41 West. Commonwealth Dr.

WARREN McDONALD  
INSPECTOR OF BUILDINGS

ALBERT J. SEARS  
DEPUTY INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE  
Department of Building Inspection

AP-58-60 Belfort Street

March 26, 1958

Mr. Charles H. Hanson  
193 Allen Avenue

cc to: Donald A. Leadbetter, Esq.  
415 Congress Street  
cc to: Corporation Counsel

Dear Mr. Hanson:

We are unable to issue a permit for construction of a single family dwelling 21 feet by 31½ at 58-60 Belfort Street because the land on which it is to be erected consists of two 30 foot wide lots having a combined width of only 60 feet instead of the minimum width of 65 feet required by Section 4-B-2 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located.

We understand you would like to exercise your appeal rights concerning this discrepancy. Accordingly we are certifying the case to the Corporation Counsel, at whose office the appeal should be filed.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMC/DJG



CITY OF PORTLAND  
DEPARTMENT OF BUILDINGS

CLANODSK  
INSPECTOR OF BUILDINGS

ALBERT J. SEARS  
DEPUTY INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE  
Department of Building Inspection

AP-58-60 Belfort Street

March 26, 1958

Mr. Charles H. Hanson  
193 Allen Avenue

cc to: Donald A. Leadbetter, Esq.  
415 Congress Street  
cc to: Corporation Counsel

Dear Mr. Hanson:

We are unable to issue a permit for construction of a single family dwelling 21 feet by 31 1/2 at 58-60 Belfort Street because the land on which it is to be erected consists of two 30 foot wide lots having a combined width of only 60 feet instead of the minimum width of 65 feet required by Section 4-B-8 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located.

We understand you would like to exercise your appeal rights concerning this discrepancy. Accordingly we are certifying the case to the Corporation Counsel, at whose office the appeal should be filed.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMcD/58

AP-54-56 & 58-60 Belfort Street

April 8, 1958

Mr. Charles H. Hanson  
193 Allen Avenue

Dear Mr. Hanson:

Your appeals under the Zoning Ordinance concerning the lots at the above named locations having been denied, we are unable to issue permits for construction of a single family dwelling at each location. Therefore, as provided by Section 105-e of the Building Code, if you will return to this office within ten days the receipts for fees paid at time of filing applications for permits, we will authorize return to you by voucher of the amounts paid.

Very truly yours,

Albert J. Sears  
Deputy Inspector of Buildings

AJS/JS

March 21, 1958

Mr. Charles H. Hanson  
193 Allen Avenue

AP - 54 - 56 Belfort Street

cc to: Corporation Counsel  
cc to: Donald A. Leadbetter, Esq.  
415 Congress Street

Dear Mr. Hanson:

We are unable to issue a permit for construction of a single family dwelling 26 feet by 32 feet at 54-56 Belfort Street because the land on which the building is to be erected, consisting of two recorded lots each having a width of 30 feet, has a width of only 60 feet instead of the minimum of 65 feet specified by Section 4-B-10 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located. We understand that you would like to exercise your appeal rights concerning this discrepancy. Accordingly we are certifying the case to the Corporation Counsel, at whose office the appeal should be filed.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMcD:M



# APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, March 21, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter repair or~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 54-56 Belfort St. Within Fire Limits? no Dist. No.           
 Owner's name and address Charles Hanson, 193 Allen Ave. Telephone 2-7348  
 Lessee's name and address          Telephone           
 Contractor's name and address owner Telephone           
 Architect          Specifications          Plans yes No. of sheets 5  
 Proposed use of building Dwelling No. families 1  
 Last use          No. families           
 Material          No. stories          Heat          Style of roof          Roofing           
 Other building on same lot           
 Estimated cost \$ 9,000 Fee \$ 9.00

## General Description of New Work

To construct  $1\frac{1}{2}$ -story frame dwelling house 32' x 26'

*Plans returned to Hanson 4/21/58*

*Appeal denied 4/4/58*

*Refunded 4/21/58*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

## Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes  
 Is connection to be made to public sewer? yes If not, what is proposed for sewage?           
 Has septic tank notice been sent?          Form notice sent?           
 Height average grade to top of plate 10' Height average grade to highest point of roof 20'  
 Size, front 32' depth 26' No. stories 1 1/2 solid or filled land? solid earth or rock? earth  
 Material of foundation concrete at least 4' below grade Thickness, top 11" bottom 11" cellar yes  
 Material of underpinning          to sill          Height          Thickness           
 Kind of roof pitch-gable Rise per foot 10" Roof covering Asphalt Class C Und. Lab.  
 No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat h. water fuel oil  
 Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x6 Sills box  
 Size Girder 6x10 Columns under girders Lally Size 3 1/2" Max. on centers 7'6"  
 Kind and thickness of outside sheathing of exterior walls? 1" boards  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor 2x8, 2nd 2x8, 3rd         , roof 2x8  
 On centers: 1st floor 16", 2nd 16", 3rd         , roof 16"  
 Maximum span: 1st floor 14', 2nd 14', 3rd         , roof           
 If one story building with masonry walls, thickness of walls?          height?         

## If a Garage

No. cars now accommodated on same lot         , to be accommodated          number commercial cars to be accommodated           
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?         

APPROVED:

.....  
 .....  
 .....

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
 Charles Hanson

Signature of owner by: Charles Hanson

INSPECTION COPY

*Fm*

Denial 4/4/58  
58/30

DATE: April 4, 1958

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF CHARLES HANSON  
AT 54-56 Belfort Street

Public hearing on the above appeal was held before the Board of Appeals

<u>BOARD OF APPEALS</u>	<u>VOTE</u>		<u>MUNICIPAL OFFICERS</u>
	Yes	No	
Franklin G. Hinckley	( )	( )	
Joseph T. Gough	( )	( )	
Harry M. Shwartz	( )	( )	
	( )	( )	
	( )	( )	
	( )	( )	
	( )	( )	

Record of Hearing:

Opposed: William A. James

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

MISCELLANEOUS APPEAL

March 24, 19 58

Charles H. Hanson, owner of property at 54-56 Belfort Street  
under the provisions of Section 23 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals To permit construction of a single family dwelling 26 feet by 32 feet at 54-56 Belfort Street. This permit is not issuable because the land on which the building is to be erected, consisting of two recorded lots each having a width of 30 feet, has a width of only 60 feet instead of the minimum of 65 feet specified by Section 4-B-10 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located.

LEGAL BASIS OF APPEAL:

Such permit may be granted only if the Board of Appeals finds that enforcement of the terms of the Ordinance would involve practical difficulty or unnecessary hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

Charles H. Hanson

BY

*David Chadwell*  
APPELLANT

DECISION

After public hearing held April 4, 1958, the Board of Appeals finds that enforcement of the terms of the Ordinance would not involve practical difficulty or unnecessary hardship and desirable relief can not be granted without substantially departing from the intent and purpose of the Ordinance.

It is, therefore, determined that such permit should not be issued.

*Franklin G. Hambley*  
*Henry M. Hambley*  
*Joseph T. Hambley*  
BOARD OF APPEALS

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

April 1, 1958

Donald A. Leadbetter, Esq.  
415 Congress Street  
Portland, Maine

Dear Mr. Leadbetter:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Friday, April 4, 1958, at 2:30 p.m. to hear the appeal of Charles H. Hanson under the Zoning Ordinance.

Please be present or represented at this hearing in support of this appeal.

BOARD OF APPEALS

Franklin G. Hinckley

Chairman

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

April 1, 1958

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Friday, April 4, 1958, at 3:30 p.m. to hear the appeal of Charles H. Hanson requesting an exception to the Zoning Ordinance to permit construction of a single family dwelling 25 feet by 32 feet at 54-56 Belfort Street.

This permit is not issuable because the land on which the building is to be erected consisting of two recorded lots each having a width of 30 feet, has a width of only 60 feet instead of the minimum of 65 feet specified by Section 4-B-10 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located.

All persons interested either for or against this appeal will be heard at the above time and place.

BOARD OF APPEALS

Franklin G. Hinckley

Chairman

S

cc: Laura G. James and Annie L. Fowler, 50 Belfort St., Portland, Me.  
Wesley W. Ridlon, 37 Commonwealth Dr. - West - Portland, Me.  
Sylvester J. Perron, 41 West Commonwealth Dr., Portland, Me.



WARREN McDONALD  
INSPECTOR OF BUILDINGS

ALBERT J. BEARS  
DEPUTY INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE  
Department of Building Inspection

March 21, 1958

Mr. Charles H. Hanson  
193 Allen Avenue

AP - 54 - 56 Belfort Street

cc to: Corporation Counsel  
cc to: Donald A. Leadbetter, Esq.  
415 Congress Street

Dear Mr. Hanson:

We are unable to issue a permit for construction of a single family dwelling 26 feet by 32 feet at 54-56 Belfort Street because the land on which the building is to be erected, consisting of two recorded lots each having a width of 30 feet, has a width of only 60 feet instead of the minimum of 65 feet specified by Section 4-B-10 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located. We understand that you would like to exercise your appeal rights concerning this discrepancy. Accordingly we are certifying the case to the Corporation Counsel, at whose office the appeal should be filed.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WHD:K

# APPLICATION FOR SUBMETER



RECEIVED

JUL 14 1980

PUBLIC WORKS ENGINEERING

## For Sewer User Charge Adjustments

The undersigned hereby requests permission to install additional water meter(s) in accordance with Section 322.6C of the "Municipal Code of the City of Portland, Maine".

It is understood that all expenses related to the purchase, installation and maintenance of the meter(s) is to be borne by the applicant.

### To be Completed by Applicant

Address where sub-meter is requested 60 Belfort St.

Property owner name Thomas White II + Karen P. White

Tax Map Reference (on Real Estate Tax Bill) 298-A-20 to 23

Property owner address 60 Belfort St.

Person to be contacted to schedule inspections Karen White 797-9281  
(Name and Telephone Number)

Portland Water District Acct. No. (on bill) D-74-D1052

Billing Name & Address (on bill) Thomas White II  
60 Belfort St.

Location and size existing Portland Water District Service Meter  
5/8 meter in basement

Proposed location and size of sub-meter 5/8 meter in basement

Will a remote reading register be utilized?  YES (If yes, state location near existing water meter)

Description of proposed changes in plumbing required for submetering:

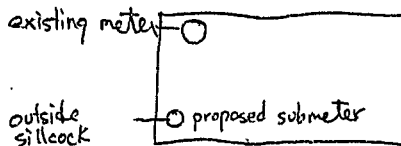
None

Sketch plan showing proposed changes in plumbing and the location of existing and proposed meters. Show water flow through submeter to non-discharge equipment or location (use additional sheet of paper if necessary)

BELFORT

The volume of water to be submetered can be shown not to enter the sewerage system by virtue of its use for:

5' above ground pool  
garden



I certify the above information is true and correct:

Karen P. White  
Signature

8/10/80  
Date

**INSTRUCTIONS**

- First - The applicant is to complete front of this form. The Tax Map Reference can be found on your Real Estate Tax Bill directly following owners name and address in the center of your Property Tax Bill. Billing name and address should be copied from your Water & Sewer Bill as well as the Portland Water District Account Number which is in the lower left corner of the Water and Sewer Bill.
- Second - Mail completed application form to:  
 City of Portland  
 Dept. of Public Works  
 404 City Hall  
 Portland, Maine 04101  
 ATTN: MR. WILLIAM GOODWIN
- Third - The Public Works Department will call the person indicated on front side to schedule pre-installation inspection. During this inspection the Public Works section of this form (below) will be completed. Following this inspection Public Works will make copies of the application form. If the application is approved 3 copies will be made, one will be mailed to the Portland Water District, one will be forwarded to the City Plumbing Inspector and one will be mailed back to the Applicant. If the application is denied, one copy will be made and mailed to the applicant showing reason for denial.
- Fourth - Upon receipt of a copy of the approved application, the applicant can purchase and install the sub-meter as approved. Following installation the applicant or his plumber must call the Chief Plumbing Inspector at 725-5451 Ext. 353 for an inspection of the completed installation. Following inspection by the Chief Plumbing Inspector, the Water District will be requested to seal the sub-meter and arrange to have an automatic reading system (if applicable - See General Information) instituted where by the volume shown by the submeter will be credited on the Sewer User Charges of the Bill.

**GENERAL INFORMATION**

Section 322.6C of the "Municipal Code of the City of Portland, Maine" reads as follows:

**Submetering of Water Volume.** Any person who feels that recorded water records are not a reliable index of his discharge volume may install an additional water meter of a type approved by the Director to measure the volume of water which can be shown not to enter the sewerage system. The person installing such a meter shall immediately notify the Director of such installation and shall be responsible to the Director for reporting meter readings not less often than every three months. Such person shall be credited with the volume charges for the volume shown by such meter, which meter shall be accessible for reading by the City or its agents at all reasonable times.

The City and the District have arranged to relieve the customer from the reporting responsibility required above if both meters can be read simultaneously by the District Meter Readers during their regularly scheduled visits to read the pre-existing service meter. This can be accomplished by locating the sub-meter directly adjacent to the pre-existing service meter or by equipping the sub-meter located elsewhere with a remote reading register located so both readings can be made at the same time.

Approved meters are Neptune and Rockwell meters, conforming to the following specifications:

1. shall meet or exceed ANWA accuracy test requirements and be accompanied by a certificate of test accuracy.
2. the meters will have straight reading, cubic foot registers.
3. the meters will have the meter number stamped into the main case.
4. the meters shall be magnetic drive.
5. shall have either a rotating disc or oscillating piston.
6. shall have a bronze case.

Approved meters are available from the Water District, which sells them for the price the District buys them from the manufacturers. If you wish to purchase a sub-meter from the District you must bring your copy of an approved application with you at time of purchase.

**TO BE COMPLETED BY PUBLIC WORKS**

Pre-installation inspection by NORMAN TWANDEL  
on JULY 14, 1980

Automatic reading system requested  YES  NO

A Watts #8A N.F. Back Flow Preventer or equal shall be installed on hosebib of outside sillcock.

Application  Approved  Denied

Comments  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**TO BE COMPLETED BY THE PLUMBING INSPECTOR**

An inspection of the completed installation of the submetering system approved on this application was conducted on 7-27-80 by Ernold R. Goodwin, Chief Plumbing Inspector of the City of Portland.

The submetering system was installed as approved.

No cross connections were found.

The installation is  approved  dis-approved

**TO BE COMPLETED BY THE WATER DISTRICT**

Date submeter sold 7-17-80  
 Submeter account number D-74-D 1052  
 Submeter make and number 5/8" R 28597244  
 Submeter installation readings 0  
 Submeter account entered into computer \_\_\_\_\_  
 Submeter account entered into meter book 7-17-80  
 Special Instructions \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Inspection Services



William D. Giroux  
Zoning Administrator

CITY OF PORTLAND

July 12, 1994

60 Belfort Street

Ms. Kate Marden  
60 Belfort St.  
Portland, ME 04103

Dear Kate,

Here is the applicable section of the Land Use Code. I checked the files here and it shows a permit to build the home was issued in June 1958 which disqualified you from the standard which says the home had to exist on June 5, 1957.

I tried to find a phone number for you but had no luck. Please call so we can discuss this in more detail.

Sincerely,

A handwritten signature in dark ink, appearing to read "WDG", with a long horizontal flourish extending to the right.

William D. Giroux  
Zoning Administrator

/el

cc: P. Samuel Hoffses, Chief of Inspection Services  
David Jordan, Code Enforcement Officer



**APPLICATION FOR PERMIT**  
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES  
 ELECTRICAL INSTALLATIONS

Date 5/17/94, 19\_\_  
 Receipt and Permit number 3844

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:  
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of  
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 60 Belfort  
 OWNER'S NAME: Marilyn Hickey ADDRESS: \_\_\_\_\_

OUTLETS:	Receptacles _____	Switches _____	Plugmold _____	TOTAL _____	FEE\$ _____
FIXTURES: (number of)	Incandescent _____	Flourescent _____	(not strip) TOTAL _____		
	Strip Flourescent _____	ft. _____			
SERVICES:	Overhead _____	Underground _____	Temporary _____	TOTAL amperes _____	
METERS: (number of)	<u>1</u>	replace meter socket			
MOTORS: (number of)	Fractional _____	& cable _____			<u>1.00</u>
	1 HP or over _____				
RESIDENTIAL HEATING:	Oil or Gas (number of units) _____				
	Electric (number of rooms) _____				
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler) _____				
	Oil or Gas (by separate units) _____				
	Electric Under 20 kws _____	Over 20 kws _____			
APPLIANCES: (number of)	Ranges _____	Water Heaters _____			
	Cook Tops _____	Disposals _____			
	Wall Ovens _____	Dishwashers _____			
	Dryers _____	Compactors _____			
	Fans _____	Others (denote) _____			
	TOTAL _____				
MISCELLANEOUS: (number of)	Branch Panels _____				
	Transformers _____				
	Air Conditioners Central Uni. _____	Separate Units (windows) _____			
	Signs 20 sq. ft. and under _____	Over 20 sq. ft. _____			
	Swimming Pools Above Ground _____	In Ground _____			
	Fire/Burglar Alarms Residential _____	Commercial _____			
	Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	over 30 amps _____			
	Circus, Fairs, etc. _____				
	Alterations to wires _____				
	Repairs after fire _____				
	Emergency Lights, battery _____				
	Emergency Generators _____				

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... INSTALLATION FEE DUE: \_\_\_\_\_  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) ..... DOUBLE FEE DUE: \_\_\_\_\_  
 TOTAL AMOUNT DUE: 15.00 minimum fee

INSPECTION:  
 Will be ready on 5/23 - 11 am, 1994; or Will Call \_\_\_\_\_  
 CONTRACTOR'S NAME: Affordable Electric  
 ADDRESS: 39 Finch St- Westbrook  
 TEL: 773-6288  
 MASTER LICENSE NO.: Ronald Bergstrom SIGNATURE OF CONTRACTOR: \_\_\_\_\_  
 CONTRACTOR'S LICENSE NO.: #13844

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN



**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8705, FAX: 874-8716

Location of Construction: 60 Belknap St		Owner: Marilyn Hickey		Phone: 797-9068		Permit No: <b>260110</b>	
Owner Address: 60 Belknap St- Ptd ME 04103		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: David Sloatman Woodworking		Address: 98 Parrott St- South Ptd ME		Phone: 799-0820		Permit Issued: <b>FEB 22 1996</b>	
Past Use: 1-fam		Proposed Use: 1-fam w intr rntns		COST OF WORK: \$ 800		PERMIT FEE: \$ 25	
Proposed Project Description: interior renovations		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group <u>A3</u> Type: <u>50</u>		Zone: <u>R-3</u> CBL:	
		Signature:		Signature: <u>[Signature]</u>		Zoning Approval: <u>to remain single family - OK</u>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input checked="" type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: <u>L Chase</u>		Date Applied For: <u>2/20/96</u>		Signature:		Date:	

- This permit application doesn't preclude the Applicant from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

**PERMIT ISSUED WITH LETTER**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: [Signature] ADDRESS: \_\_\_\_\_ DATE: 2/20/96 PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK TITLE: \_\_\_\_\_ PHONE: \_\_\_\_\_

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:

Approved  
 Approved with Conditions  
 Denied

Date: 2/20/96

CEO DISTRICT **6**

A. ROWE

**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101. Tel: (207) 874-8703, FAX: 874-87160 960110

Location of Construction: <b>60 Belmont St</b>		Owner: <b>Harold Hickey</b>	Phone: <b>799-9068</b>	Permit No: <b>960110</b>
Owner Address: <b>60 Belmont St - Portland ME 04103</b>		Leasee/Buyer's Name:	Phone:	Business Name:
Contractor Name: <b>David Sloatman Woodworking</b>		Address: <b>99 Parrott St - South Portland ME 04106</b>		Phone: <b>799-9068</b>
Past Use: <b>1-fam</b>	Proposed Use: <b>1-fam w intr renov</b>	COST OF WORK: <b>\$ 800</b>	PERMIT FEE: <b>\$ 25</b>	<b>PERMIT ISSUED</b> FEB 22 1996 <b>CITY OF PORTLAND</b>
Proposed Project Description:  <b>interior renovations</b>		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>AB</b> Type: <b>5B</b> <b>BOCA-92</b> Signature: <i>[Signature]</i>	
Signature: _____		Signature: _____		Zone: <b>R-3</b> CBL:
Date Applied For: <b>2/20/96</b>		Signature: _____		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied
Permit Taken By: <b>L Chase</b>		Date: _____		Zoning Approval: <b>to remove single family - OK</b> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
<p>1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>				Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
<p style="text-align: center;"><b>CERTIFICATION</b></p> <p>I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit</p>				Historic Preservation <input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review
SIGNATURE OF APPLICANT: _____		ADDRESS: _____		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		PHONE: _____		Date: <i>[Signature]</i>
White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector		CEO DISTRICT <b>6</b>		<i>[Signature]</i>

**PERMIT ISSUED WITH LETTER**

**A. ROWE**



COMMENTS

3-6-96 Framing OK / per plans / one side covered w/ GARB contractor states ok  
7-16-96 Close / work completed

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

CITY OF PORTLAND

February 22, 1996

Ms. Marilyn Hickley  
60 Belfort Street  
Portland, Maine 04104

RE: 60 Belfort Street

Dear Ms. Hickley,

Your application to make interior renovations (removal of bearing wall) has been reviewed and a permit is herewith issued subject to the following requirements. This permit does not excuse the applicant from meeting applicable State and Federal laws.

Building Code Requirements

1. This permit is being issued with the understanding that before work begins, a detailed plan of the proposed work shall be submitted to this office for approval.
2. This detail must show but not be limited to the length of the carry beam, the size and support of the columns, length and width of the house and the use of the space above the beam.
3. Until this information is submitted to this office and approval granted, no work is to be done.

If you have any question regarding these requirements, please do not hesitate to contact this office.

Sincerely,

A handwritten signature in dark ink, appearing to read "P. Samuel Hoffses".

P. Samuel Hoffses  
Chief, Code Enforcement Division

cc: A. Rowe, CEO  
D. Jordan

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 60 Belkott St		Owner: Marilyn Hickey		Phone: 797-9068		Permit No: 960110	
Owner Address: 60 Belkott St- Ptld ME 04103		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: David Sloatman Woodworking		Address: 98 Parrott St- South Ptld ME		Phone: 799-0820		Permit Issued: FEB 22 1996	
Past Use: 1-fam		Proposed Use: 1-fam w intr rntrs		COST OF WORK: \$ 800		PERMIT FEE: \$ 25	
Proposed Project Description: interior renovations		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: A3 Type: 50		Signature: BOCA 93	
		Signature:		Signature:		Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action:		Approved <input type="checkbox"/>		Approved with Conditions: <input type="checkbox"/>	
Signature:		Date:		Denied <input type="checkbox"/>		Signature:	
Permit Taken By: L Chase		Date Applied For: 2/20/96		Zone: R-3		CHL:	
<ol style="list-style-type: none"> <li>This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		<p style="text-align: center;"><b>PERMIT ISSUED WITH LETTER</b></p>		<p>Zoning Approval: to remain single family - ok</p> <p>Special Zone or Reviews:</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>		<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	
<p style="text-align: center;"><b>CERTIFICATION</b></p> <p>I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit</p>		<p style="text-align: center;">Historic Preservation</p> <input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review		<p>Action:</p> <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		<p>Date: 2/20/96</p>	
SIGNATURE OF APPLICANT		ADDRESS:		DATE: 2/20/96		PHONE:	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE:		PHONE:		S. JORDAN		CEO DISTRICT	

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

original sent to  
wrong address

duplicate permit

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

<b>PERMIT ISSUED</b> Please Read Application And Notes, if Any, Attached <b>CITY OF PORTLAND</b>	<b>CITY OF PORTLAND</b> <b>BUILDING INSPECTION</b> <b>PERMIT</b>	No. 960110
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This is to certify that David Sloatman  
has permission to make interior renovations  
AT 60 Belfort Street

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

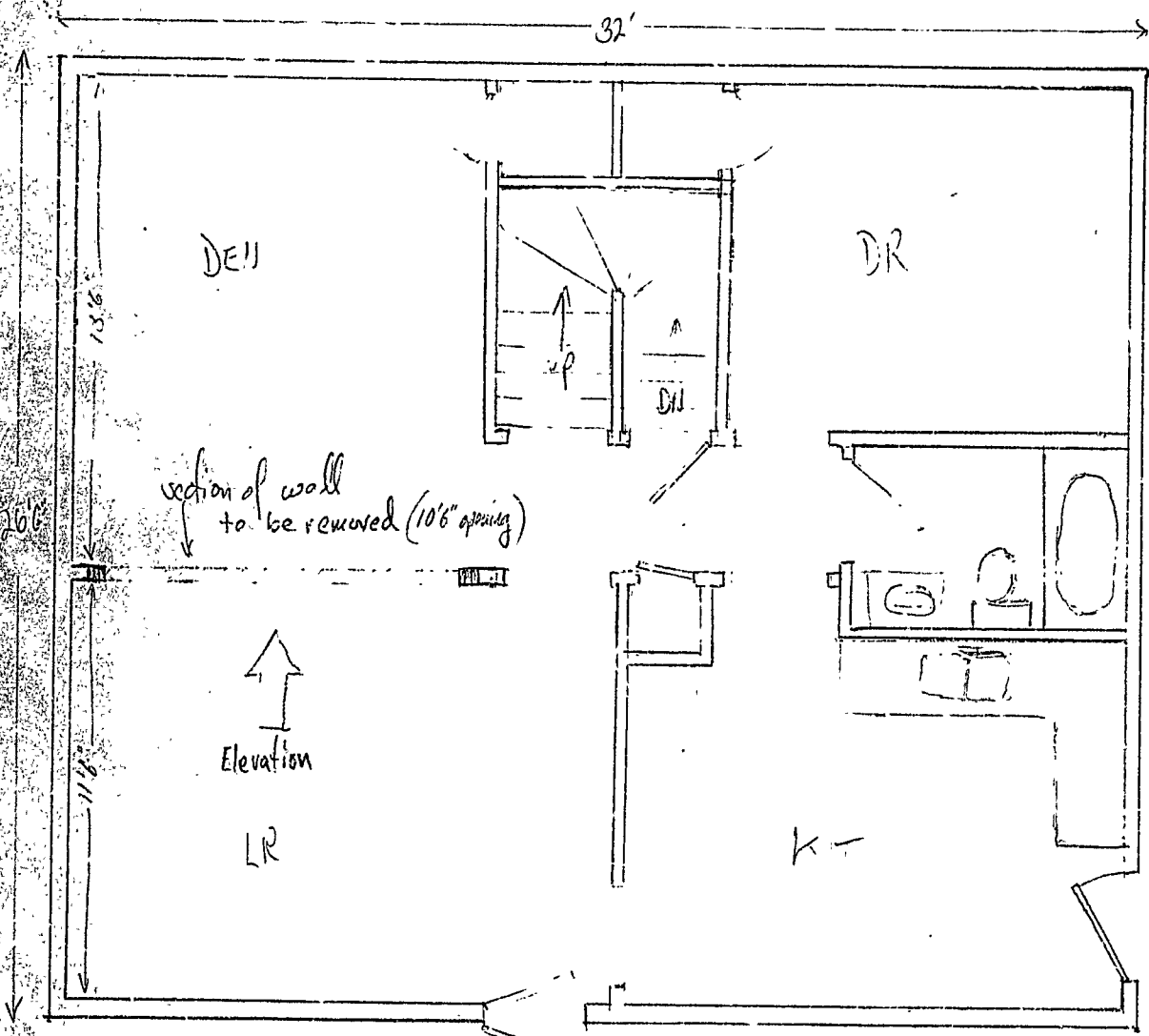
Apply to Public Works for street line and grade if nature of work requires such information.	Notification for inspection must be given and written permission procured before this building or part thereof is laid or otherwise closed-in.	A certificate of occupancy must be procured by owner before this building or part thereof is occupied.
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**OTHER REQUIRED APPROVALS**  
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

*7000-1-100*



1st floor plan

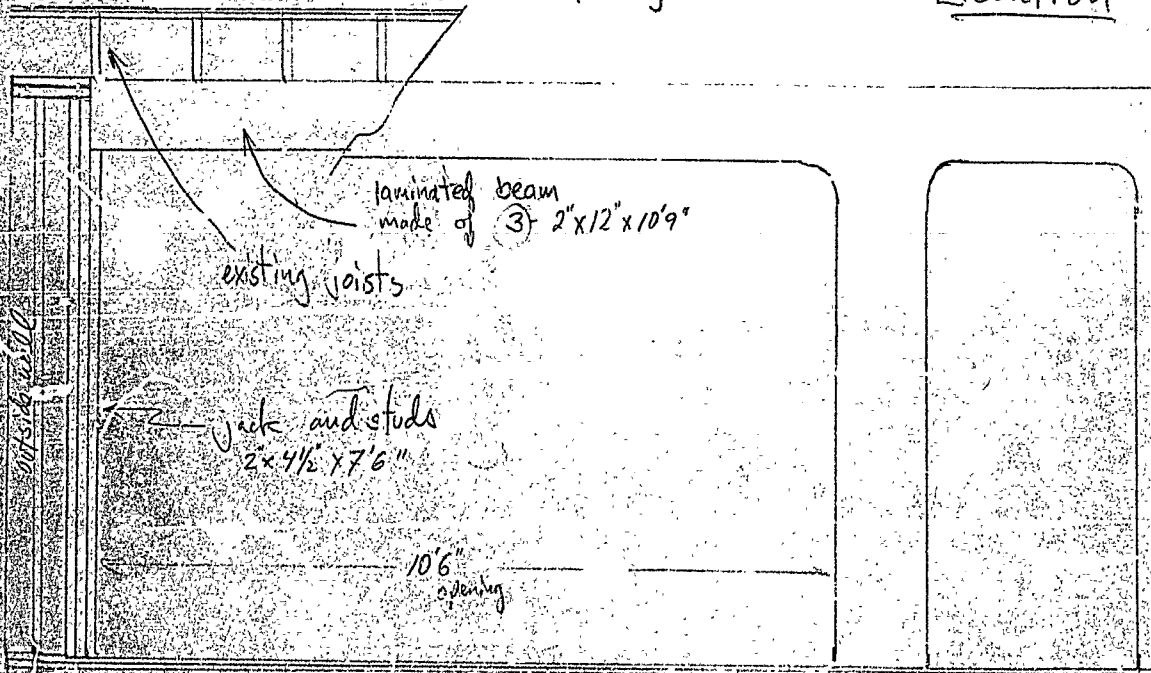
Residence is a cape style with a bedroom over the wall being removed.

Scale 1/4" = 1'

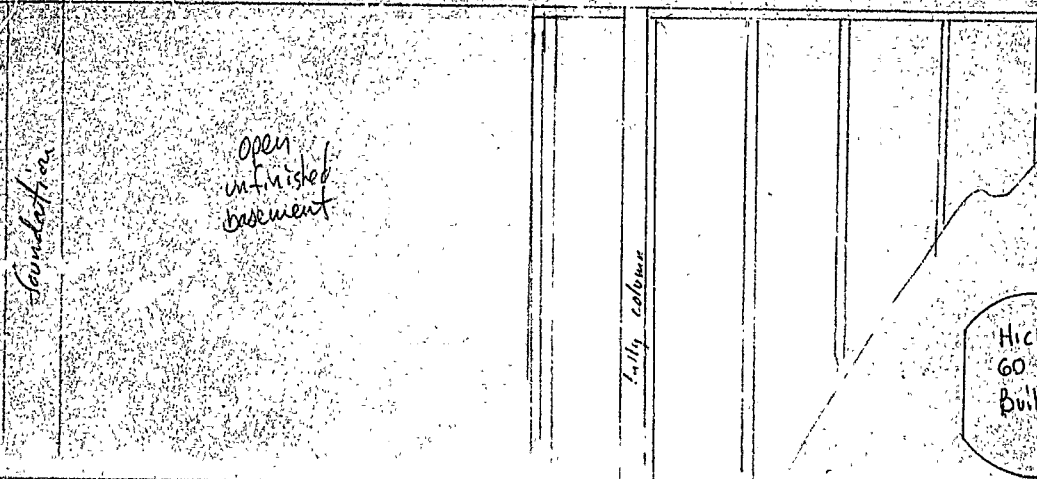
Hickey Residence  
 60 Belfort St  
 Builder: DAVID SLOTTMAN

Bedroom upstairs above opening

Elevation



6 1/2 x 11" solid carrying timber



HICKEY RESIDENCE  
 60 BELFORT ST  
 Builder: David Sloatman  
 799-0720

Scale  
 1/2" = 1'

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

**CITY OF PORTLAND**

February 22, 1986

Ms. Marilyn Hickley  
60 Belmont Street  
Portland, Maine 04104

RE: 60 Belmont Street

Dear Ms. Hickley,

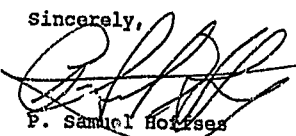
Your application to make interior renovations (removal of bearing wall) has been reviewed and a permit is herewith issued subject to the following requirements. This permit does not excuse the applicant from meeting applicable State and Federal laws.

Building Code Requirements

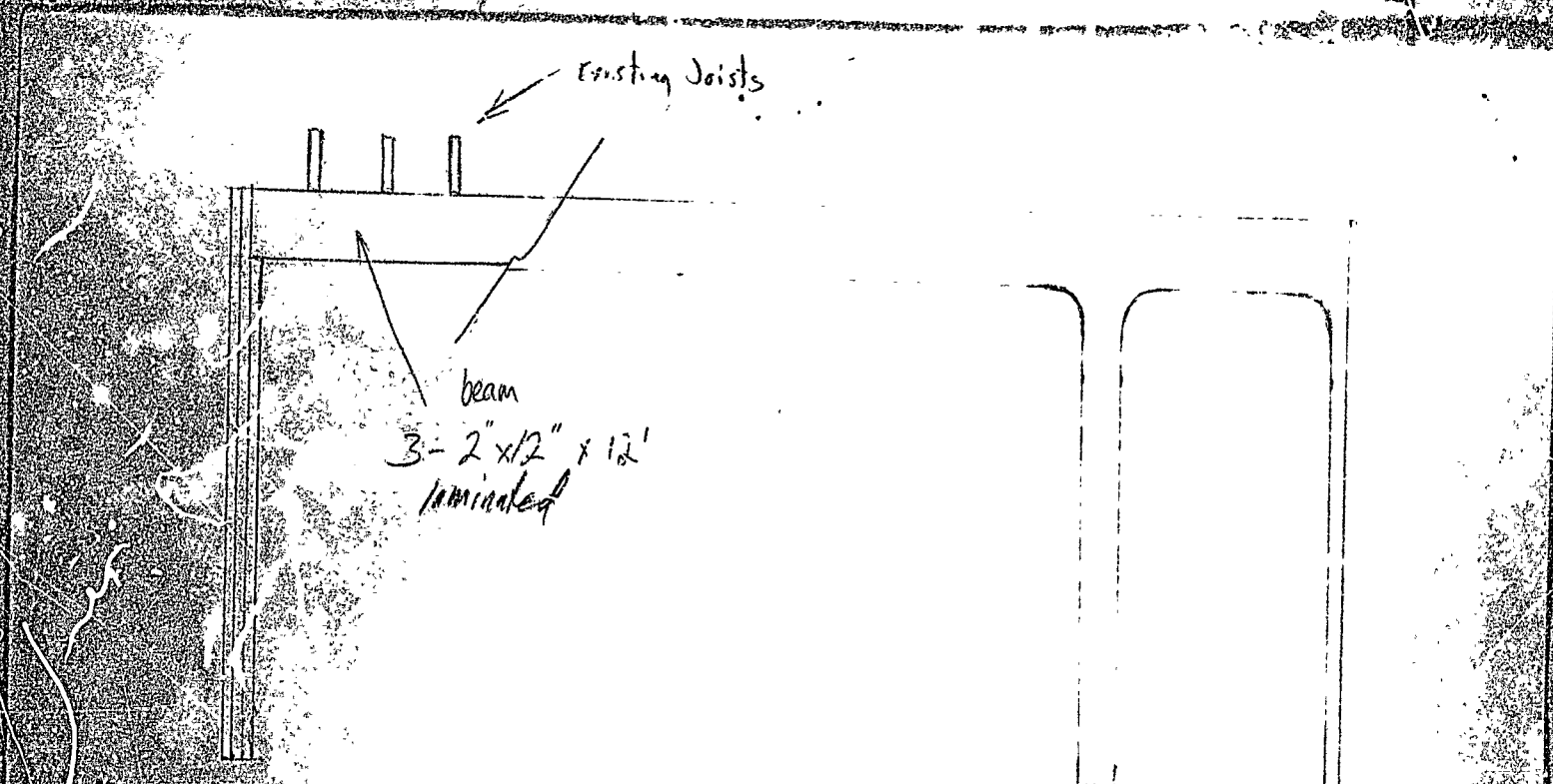
1. This permit is being issued with the understanding that before work begins, a detailed plan of the proposed work shall be submitted to this office for approval.
2. This detail must show but not be limited to the length of the carry beam, the size and support of the columns, length and width of the house and the use of the space above the beam.
3. Until this information is submitted to this office and approval granted, no work is to be done.

If you have any question regarding these requirements, please do not hesitate to contact this office.

Sincerely,

  
P. Samuel Hoffses  
Chief, Code Enforcement Division

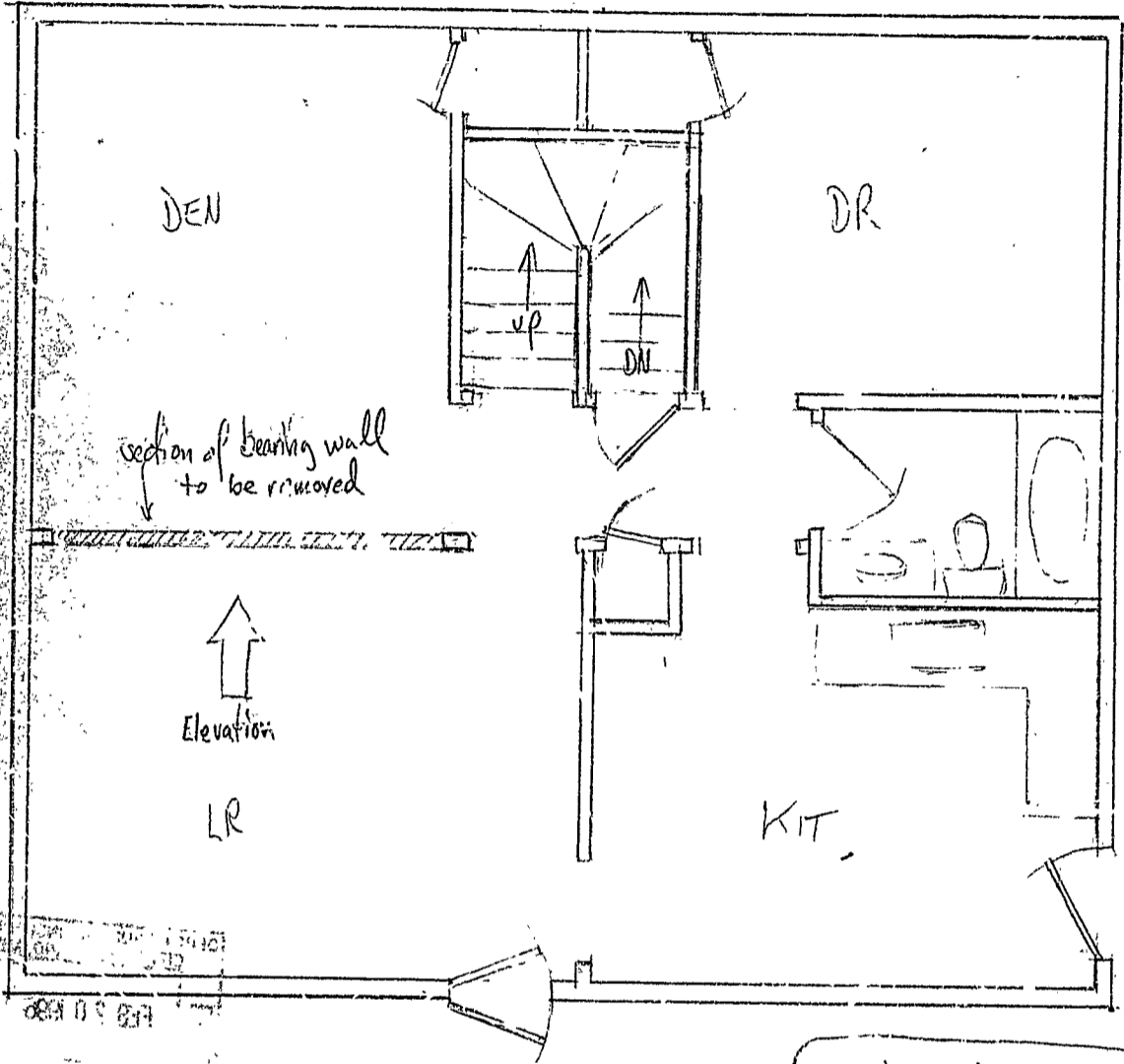
cc: A. Rowe, CEO



Construction Detail

Hickey Residence  
60 Belmont St  
Builder: David Sloan  
799-0820





Hickey Residence  
60 Belmont St  
Builder: DAVID SLOTTMAN  
799-0820