



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 00067C

AUG 10 1979

ZONING LOCATION I-2 PORTLAND, MAINE, Aug. 10, 1979 CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 102 Bishop Street... Fire District #1 [], #2 []
1. Owner's name and address Tilcon - Warren - same... Telephone 797-7386
2. Lessee's name and address... Telephone
3. Contractor's name and address Owner... Telephone
4. Architect... Specifications... Plans... No. of sheets
Proposed use of building paving contractor... No. families
Material... No. stories... Heat... Style of roof... Roofing
Other buildings on same lot
Estimated contractual cost \$... Fee \$ 12.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling Ext. 234

To erect pole sign, 4 x 5 as per plans, 1 sheet of plans.

Stamp of Special Conditions

Send permit to Box 1560 Portland, Me.

~~XXXXXXXXXXXXXX~~

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [] 2 [] 3 [] 4 []

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connector to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet:
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated... number commercial cars to be accommodated...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING: O.K. M.G.O. 8/10/79
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Lawrence C. Warren, Jr. Phone # same
Type Name of above Tilcon-Warren

1 [X] 2 [] 3 [] 4 []

Other and Address

FIELD INSPECTOR'S COPY

102 Bishop Street

November 4, 1977

Warren Bros. Co.
102 Bishop Street
Portland, Maine

cc: Fire Dept.

Gentlemen:

A permit is issued herewith to erect a 30' x 40' metal building as per plans subject to the following Fire Dept. requirements.

One more hydrant is required as per conversation with Lt. James Collins, because as he pointed out there was insufficient water flow on the existing water main.

Very truly yours,

Earle S. Smith
Plan Examiner

ESS/r



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION **102 Bishop Street**

Issued to **Warren Brothers Company** Date of Issue **July 21, 1978**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit **N77,1033**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Asphalt Emulsion Plant

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

7-21-78
(Date)

Mary Schmitt
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 1033

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION I-2 PORTLAND, MAINE, Oct. 3, 1977

NOV 10 1977

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 102 Bishop St. Don McCullis Fire District #1 #2
1. Owner's name and address Warren Bros. Co. same Telephone 797-7386
2. Lessee's name and address Telephone
3. Contractor's name and address Undecided Telephone
4. Architect Specifications Plans No. of sheets
Proposed use of building asphalt emulsion plant No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 20,000 Fee \$ 80

FIELD INSPECTOR—Mr.

GENERAL DESCRIPTION

This application is for: @ 775-5451 To erect 30'x40' addition metal bldg as per
Dwelling Ext. 234 plans (one story)
Garage Appeal sustained 11/3/77
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

PERMIT ISSUED WITH LETTER

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [x] 2 [] 3 [] 4 []

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

Will work require disturbing of any tree on a public street?

ZONING: [Signature]

BUILDING CODE: 2101 11/4/77

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .. YES..

Fire Dept.:

Health Dept.:

Others:

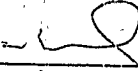
Signature of Applicant Don McCullis Phone # 453-9381

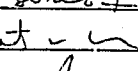
Type Name of above Don McCullis 1 [x] 2 [] 3 [] 4 []

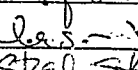
Other and Address

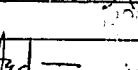
FIELD INSPECTOR'S COPY

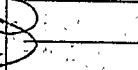
NOTES

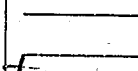
11-28-77 Not started yet - 

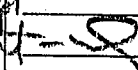
11-30-77 started work - pour on SLCh (18" at ends) - MR. Brown said it was OK - will be pouring tomorrow - Don McCullis gave me some plans to go by since I only had a site plan with the permit - 

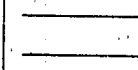
12-1-77 Got some more plans from Brown consist to complete my files - 

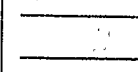
12-19-77 foundation in steel structure is up - 

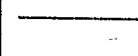
1-13-78 most of walls completed - has concrete walls installed in asphalt tanks - most of the tanks in place but not anchored down yet - fire hydrant not in place - 

2-10-78 No hydrant yet - started partitioning off inside - Needs bridging - 

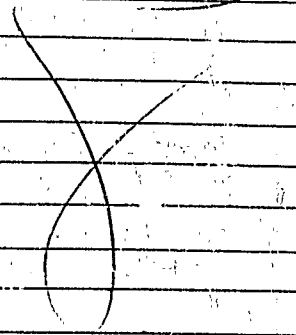
3-2-78 completed except for both rooms & fire hydrant - 

3-29-78 Bathroom fixtures installed - NO water hook up yet -> Thus no hydrant yet - 

4-28-78 - Water hooked up - has both fire hydrants installed & hooking up sewer line - 

7-21-78 Fire Dept gave OK - Elec & plumb finished - Issue I.C.O. - 

Permit No. 77/1033
 Location 102
 Owner Manna
 Date of permit 10-3-77
 Approved 11-11-77
 30x40 w/d
 2x4x8





APPLICATION FOR PERMIT

Class of Building or Type of Structure _____
Portland, Maine, March 19, 1973

PERMIT ISSUED

MAR 20 1973

00246

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 102 Bishop St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Texaco, Inc. 102 Mechanic St., S. Portland Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address W.E. Hall & Son, Inc. Box 413 Gray, Maine Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building _____ No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 6.00

General Description of New Work

To remove two 1000 gal. gasoline tanks

Sent to Fire Dept. 3/19/73
Rec'd from Fire Dept. 3/20/73

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:
Eric C. O'Neil 3-20-73

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

W.E. Hall & Son

INSPECTION COPY

Signature of owner By: _____

James B. Hall



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1
Portland, Maine, Jan. 31, 1978

PERMIT ISSUED

JAN 31 1978

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 77/1033 pertaining to the building or structure comprised in the original application, in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 102 Bishop St. Within Fire Limits? Dist. No.
Owner's name and address Warren Bros. Co. - same Telephone 797-7386
Lessee's name and address Telephone
Contractor's name and address Owner Telephone
Architect Plans filed No. of sheets
Proposed use of building office & production bldg. No. families
Last use No. families
Increased cost of work no increase cost of work Additional fee 5.00

Description of Proposed Work

Amendment to permit, to provide a ceiling using 2 x 8, 1ft on center on 14 ft. span
14

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: [Signature] 1/31/78

Signature of Owner Donald W. McCallie

INSPECTION COPY [Signature] 1/31/78

Approved: Inspector of Buildings

B

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
 B.O.C.A. TYPE OF CONSTRUCTION
 ZONING LOCATION PORTLAND, MAINE April 28, 1986

PERMIT ISSUED

JUN 2 1986

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 102 Bishop Street Fire District #1 #2
 1. Owner's name and address Tilcon Maine Inc. 04103 Telephone 797-7386
 2. Lessee's name and address Telephone
 3. Contractor's name and address David Gray - No. Berwick, Me. Telephone
 Proposed use of building Maintenance garage No. of sheets
 Last use same No. families
 Material No. stories Heat Style of roof Roofing
 Other buildings on same lot
 Estimated contractual cost \$ 5,000.00 ..

FIELD INSPECTOR—Mr.
 @ 775-5451

Appeal Fees \$
 Base Fee
 Late Fee
 TOTAL \$ 45.00

To construct addition on front of existing building, 24' x 30', as per plan.

Stamp of Special Conditions

ISSUE PERMIT TO #1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
 BUILDING INSPECTION—PLAN EXAMINER
 BUILDING CODE:
 Fire Dept.:
 Health Dept.:
 Others:

MISCELLANEOUS
 Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant Phone #
 Type Name of above Larry Springer for Tilcon Maine Inc. 1 2 3 4
 Other
 and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

2

May 4, 1987
 PERMIT # BUILDING PERMIT APPLICATION **Portland** (Previous permit, #.....)
APPLICANT FILL OUT I - XVIII AND DETAILS OF WORK ON REVERSE
 Please insert N/A (not applicable) for any item not pertaining to your request

I. GENERAL INFORMATION
 Location/address of construction 102 Ashon Street
 Owner or lessee's name Tilcon Maine Inc. Tel. 797-7386
 Address same

Contractor's name owner Tel. _____
 Address _____

Subcontractors: _____

II. NEW SUBDIVISION OR EXISTING LOT-REFERENCE
 Name _____
 Lot _____
 Block _____
 Blk. & pg. Reg./deeds _____
 Date recorded _____

III. PROPOSED USE: CODE _____ If other, explain _____ Seasonal _____ Condominium _____ Apartment _____
IV. PAST USE: _____
V. OWNERSHIP: PUBLIC (Federal/State/local government) _____ PRIVATE (individual/corp./nonprofit) _____

VI. DESCRIPTION OF WORK:
 demolition of a storage shed
 no utilities

VII. BUILDING DIMENSIONS: length _____ width _____ square footage _____ height _____ #stories _____

VIII. EST. CONSTRUCTION COST: _____ **IX. GR. SQ. FT. OF LAND:** _____ **BUILDING:** _____

X. RESIDENTIAL BUILDINGS ONLY: BEDROOMS
 1 BDRM 2 BDRMS 3 BDRMS
 * NEW DWELLING UNITS WITH: _____
 * EXISTING DWELLING UNITS WITH: _____

XI. RESIDENTIAL UNITS:
 * NEW DWELLINGS _____
 * EXISTING DWELLINGS _____
 NET RESIDENTIAL UNITS _____

XII. SIGNATURE OF APPLICANT: _____ DATE: _____

DO NOT WRITE BELOW THIS LINE

XIII. ZONING:
 DISTRICT _____ STREET FRONTAGE _____
 SETBACKS: front _____ back _____ side _____ side _____
 ZONING BOARD APPROVAL: no yes (date) _____
 PLANNING BOARD APPROVAL: no yes (date) _____

XIV. OFFICE USE:
 TAX MAP _____
 LOT _____
 VALUE/STRUCTURE _____
 PERMIT EXPIRATION _____

XV. CONDITIONAL USE: variance _____ site plan _____ subdivision _____ shore and floodplain mgmt _____
 special exception _____ other _____ (explain) _____

XVI. SIGNATURE OF FIELD INSPECTOR (CEO)..... DATE.....

XVII. FEES:
 base fee.....
 subdivision fee.....
 site plan review fee.....
 other fees.....
 late fee.....
 TOTAL..... \$25.00

XVIII. SPACE FOR FIGURING /ADDITIONAL COMMENTS:

1. WATER SUPPLY <input type="checkbox"/> public <input type="checkbox"/> private	8. CHIMNEY * flues * fireplaces material
2. SEWER <input type="checkbox"/> public <input type="checkbox"/> private, type	9. FRAMING: floor joists
3. HEAT type fuel	size max. on centers
4. FOUNDATION type thickness footing	ceiling joists
5. ROOF type pitch covering load	rafters
6. PLUMBING * tubs * showers * lavatories * laundry tubs * flushes * other	studs
SPRINKLER SYSTEM? <input type="checkbox"/> yes <input type="checkbox"/> no	wall studs
7. ELECTRICAL service entrance size * smoke detectors	10. If 1-story building w/ masonry walls. wall thickness height
NUMBER OF OFF-STREET PARKING SPACES: enclosed outdoors	11. BEDROOM WINDOWS height width sill height egress window? <input type="checkbox"/> yes <input type="checkbox"/> no

PLOT PLAN/DETAILS OF WORK ON REVERSE
 White - Municipal Office
 Yellow - CEO
 Pink - Tax Assessor
 Gold - GPCUG



APPLICATION FOR PERMIT
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES
 ELECTRICAL INSTALLATIONS

Date April 29, 1988
 Receipt and Permit number 28691

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installation in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 192 Bishop Street
 OWNER'S NAME: Tilcon Maine ADDRESS: Pleasant St. Benton, Maine

OUTLETS:		FEES	
Receptacles _____	Switches _____	Plugmold _____	P. TOTAL _____
FIXTURES: (number of)			
Incandescent _____	Fluorescent _____	(not strip) TOTAL _____	
Strip Fluorescent _____	ft. _____		
SERVICES:			
Overhead _____	Underground _____	Temporary _____	TOTAL numbers 200 _____
METERS: (number of) _____			_____
MOTORS: (number of) _____			_____
_____			_____
_____			_____
RESIDENTIAL:			
Oil or Gas (by a main boiler) _____			
Electric (over 100 watts) _____			
COMMERCIAL OR INDUSTRIAL HEATING:			
Oil or Gas (by a main boiler) _____			
Oil or Gas (by separate units) _____			
Electric Under 20 kws _____	Over 20 kws _____		
APPLIANCES: (number of)			
Ranges _____	Water Heaters _____		
Cook Tops _____	Disposals _____		
Wall Ovens _____	Dishwashers _____		
Dryers _____	Compactors _____		
Fans _____	Others (specify) _____		
TOTAL _____			
MISCELLANEOUS: (number of)			
Branch Panels _____			
Transformers _____			
Air Conditioners: Central Unit _____			
Separate Units (windows) _____			
Signs 20 sq. ft. and under _____			
Over 20 sq. ft. _____			
Swimming Pools: Above Ground _____			
In Ground _____			
Fire/Burglar Alarms Residential _____			
Commercial _____			
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____			
over 30 amps _____			
Circus, Fairs, etc. _____			
Alterations to wires _____			
Repairs after fire _____			
Emergency Lights, battery _____			
Emergency Generators _____			

INSTALLATION FEE DUE: 3.50
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE
 FOR REMOVAL OF A "STOP ORDER" (304-16.b)
 TOTAL AMOUNT DUE: 5.00

INSPECTION:
 Will be ready on 4/29/88, 1988; or Will Call _____
CONTRACTOR'S NAME: David A. Noci
ADDRESS: Hussey Hill Road, Oakland, Maine 04963
TEL: 465-2987
MASTER LICENSE NO.: 04232 **SIGNATURE OF CONTRACTOR:** _____
LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

PERMIT # 001523 CITY OF Portland BUILDING PERMIT APPLICATION MAP # LT, COLLINS

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Tilcon of Maine
 Address: P.O. Box 489 North Berwick Maine
 LOCATION OF CONSTRUCTION Tilcon of Maine Bishop St.
 CONTRACTOR: A L Doggett Inc. SUBCONTRACTORS: 657-4569
 ADDRESS: Box 35 Gray Maine

Est. Construction Cost: 23,000 Type of Use: Paving
 Past Use: same
 Building Dimensions L W Sq. Ft. # Stories Lot Size:
 Is Proposed Use: Seasonal Condominium Apartment

Conversion - Explain install 2 6000 filterglass tanks underground

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only:
 # Of Dwelling Units # Of New Dwelling Units

Foundation:
 1. Type of Soil:
 2. Set Backs - Front Rear Side(s)
 3. Footings Size:
 4. Foundation Size:
 5. Other

Floor:
 1. Sills Size: Sills must be anchored.
 2. Girder Size:
 3. Lally Column Spacing: Size:
 4. Joists Size: Spacing 16" O.C.
 5. Bridging Type: Size:
 6. Floor Sheathing Type: Size:
 7. Other Material:

Exterior Walls:
 1. Studding Size Spacing
 2. No. windows
 3. No. Doors
 4. Header Sizes Span(s)
 5. Bracing: Yes No
 6. Corner Posts Size
 7. Insulation Type Size
 8. Sheathing Type Size
 9. Siding Type Weather Exposure

Will pick up
 Date: December 19 1988 Subdivisor: DEB
 Inside Fire Limits:
 Bldg Code:
 Time Limit: DEC 21 1988
 Estimated Cost: 23,000 Ownership:
 Value Structure: 35,000 City of Portland
 Fee:
This has DEP. APPROVAL WILL bring in DEP. APPROVAL

Ceiling:
 1. Ceiling Joists Size:
 2. Ceiling Strapping Size Spacing
 3. Type Ceilings:
 4. Insulation Type Si
 5. Ceiling Height:

Roof:
 1. Truss or Rafter Size Si
 2. Sheathing Type Si
 3. Roof Covering Type
 4. Other

Chimneys:
 Type: Number of Fire Places

Heating:
 Type of Heat:

Electrical:
 Service Entrance Size: Smoke Detector Required Yes No

Plumbing:
 1. Approval of soil test if required Yes No
 2. No. of Tubs or Showers
 3. No. of Flushes
 4. No. of Lavatories
 5. No. of Other Fixtures

Swimming Pools:
 1. Type:
 2. Pool Size: x Square Footage
 3. Must conform to National Electrical Code and State Law.

Zoning:
 District Street Frontage Req.: Provided
 Required Setbacks: Front Back Side Side

Review Required:
 Zoning Board Approval: Yes No Date:
 Planning Board Approval: Yes No Date:
 Conditional Use: Variance Site Plan Subdivision
 Shore and Floodplain Mgmt. Special Exception
 Other (Explain)
 Date Approved

Deborah Goode

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 285-3825

PROPERTY ADDRESS

Town Or Plantation: Portland Maine

Street: 17 Bishop Street

PROPERTY OWNERS NAME

Last: Dirigo Management Co

Applicant Name: The Gerber Co, INC

Mailing Address of Owner/Applicant (If Different): 226 Anderson Street Portland, Me 04101

PORTLAND PERMIT # 3,032

Date Permit Issued: 8.19.88 \$ 42 FEE

[Signature] L.P.I. # _____

Local Plumbing Inspector Signature

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the local plumbing inspector to deny a permit.

[Signature] 8/16/88

Signature of Owner/Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

[Signature] 8/16/88

Local Plumbing Inspector Signature Date

PERMIT INFORMATION

This Application is for	Type Of Structure To Be Served:	Plumbing To Be Installed By:
1. <input checked="" type="checkbox"/> NEW PLUMBING	1. <input type="checkbox"/> SINGLE FAMILY DWELLING	1. <input checked="" type="checkbox"/> MASTER PLUMBER
2. <input type="checkbox"/> RELOCATED PLUMBING	2. <input type="checkbox"/> MODULAR OR MOBILE HOME	2. <input type="checkbox"/> OIL BURNERMAN
	3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING	3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC
	4. <input checked="" type="checkbox"/> OTHER - SPECIFY: <u>COMMERCIAL</u>	4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE
		5. <input type="checkbox"/> PROPERTY OWNER
		LICENSE # _____

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type Of Fixture	Number	Column 1 Type Of Fixture
	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebibb / Sillcock		Bathub (and Shower)
			Floor Drain	1	Shower (Separate)
		1	Urinal	3	Sink
	HOOK-UP: to an existing subsurface wastewater disposal system.		Drinking Fountain	4	Wash Basin
			Indirect Waste	6	Water Closet (Toilet)
			Water Treatment Softener, Filter, etc.		Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator		Dish Washer
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____	1	Water Heater
\$	Hook-Up Fee		Fixtures (Subtotal) Column 2	15	Fixtures (Subtotal) Column 1
				1	Fixtures (Subtotal) Column 2
				16	Total Fixtures
				\$	Fixture Fee
				\$	Hook-Up Fee
				\$ <u>42.00</u>	TOTAL FEE

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

102 BISHOP STREET

PERMIT # _____ **CITY OF** Portland **BUILDING PERMIT APPLICATION** **MAP #** _____ **LOT#** _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Tilcon Maine Inc.

Address: 102 Bishop Street Portland 797-7386

LOCATION OF CONSTRUCTION 102 Bishop Street

CONTRACTOR: Same SUBCONTRACTORS: _____

ADDRESS: _____

Est. Construction Cost: 1,000 Type of Use: Storage Shed

Past Use: _____

Building Dimensions L W Sq. Ft. # Stories: Lot Size:

Is Proposed Use: Seasonal Condominium Apartment

Conversion - Explain Demolish storage shed, no utilities

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only:

Of Dwelling Units # Of New Dwelling Units

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only	
Date: <u>May 19, 1988</u>	Subdivision: Yes / No _____
Inside Fire Limits _____	Name: _____
Bldg Code _____	Lot: _____
Time Limit _____	Block: _____
Estimated Cost: <u>1,000</u>	Permit Expiration: _____
Value/Structure _____	Ownership: _____
Fee: <u>25</u>	Public _____ Private _____

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceilings: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____
4. Other _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:

District _____ Street Frontage Req. _____ Provided _____

Required Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Supervision _____
 Shore and Floodplain Mgmt _____ Special Exception _____
 Other (Explain) _____
 Date Approved _____

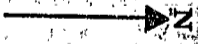
Permit Received By Lynne Benoit

Signature of Applicant Larry Springer Date 5/19/88

Signature of CEO Larry Springer Date _____

Inspection Dates _____

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ _____
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

Work done,

Signature of Applicant

Raymond B.

Date

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION ... 69A ...
ZONING LOCATION ... FR ... PORTLAND, MAINE April 28, 1986

JUN 2 1986
City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 122 Bishop Street ... Fire District #1 [] #2 []
1. Owner's name and address Tilcon Maine, Inc. ... same ... 04103 ... Telephone 797-7386 ...
2. Lessee's name and address ... Telephone ...
3. Contractor's name and address David Gray ... No. Berwick, Me. ... Telephone ...
Proposed use of building Maintenance garage ... No. of sheets ...
Last use ... same ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$ 5,000.00 ...
FIELD INSPECTOR—Mr. ... @ 775-5451 ...
To construct addition on front of existing building, 24' x 30', as per plan. ... TOTAL \$ 45.00 ...

Stamp of Special Conditions

PERMIT ISSUED
WITH LETTER

ISSUE PERMIT TO #1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... no ... Is any electrical work involved in this work? ... yes ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height? ...

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER ... Will work require disturbing of any tree on a public street? ... no ...
ZONING: ... May 21, 1986 ... Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ... yes ...
BUILDING CODE: ...
Fire Dept.: ...
Health Dept.: ...
Others: ...

Signature of Applicant ... Phone # 797-7386 ...
Type Name of above ... Larry Springer for Tilcon Maine Inc. ...

PERMIT ISSUED
FIELD INSPECTOR'S COPY
WITH LETTER

APPLICANT'S COPY

OFFICE FILE COPY

Handwritten signature and initials

Permit No.

56/694

Location

108 1/2 Maple St

Owner

T. Lam Moore Inc

Date of permit

4/28/86

Approved

C/A 86

Dwelling

Garage

Alteration

NOTES

Notes section with 10 horizontal lines.

Notes section with 20 horizontal lines.

Notes section with 20 horizontal lines.



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

June 2, 1986

RE: 102 Bishop Street

Tilcon Maine, Inc.
102 Bishop St.
Portland, Maine 04103

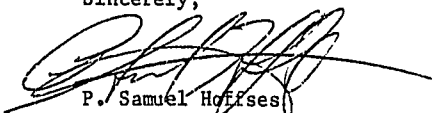
Dear Sir:

Your application to construct a 24" by 30" addition to your structure has been reviewed and a permit is herewith issued subject to the following requirements.

1. The rafters must be designed to carry a 50 PSF live load.
2. A complete set of structural plans must be submitted before work begins.

If you have any questions on these requirements please call this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

SH/rc

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: William Boothby, Parks & Public Works Department

FROM: Warren J. Turner, Zoning Enforcement Inspector

DATE:

May 20, 1986

SUBJECT: Bishop Street (Unaccepted Portion)

A sketch plan received from Larry Springer of TILCON of Maine, Inc. re: 102 Bishop Street indicates that the accepted portion of Bishop Street is 1643 feet west of the Stevens Avenue side line. Thence for about 556.83 feet the street would be unaccepted, as shown in the enclosed sketch.

Is this 556.83 feet recognized by the City as private property or as a designated or unaccepted street?

If a dedicated or unaccepted street, then I would assume the proposed building addition should also be set back 30 feet from the proposed street right-of-way. Do you concur?

Enclosure
Sketch

cc: P. Samuel Hoffses, Chief, Inspection Services

May 21, 1986

Bill Boothby called to say that right of way is for a sewer and is not dedicated as a proposed City street. Therefore, since the site is private property it can be built upon as long as no structure is placed on the sewer right-of-way.

W.J. Turner



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

May 7, 1986

Mr. Larry Springer
TILCON Maine, Inc.
102 Bishop Street
Portland, Maine 04103

Dear Mr. Springer:

The additional information which you furnished shows that Bishop Street has been accepted for a distance of 1,643 feet westerly of Stevens Avenue and indicates that the portion of street, which abuts your building, is an unaccepted street.

As an unaccepted street right-of-way, the front yard setback must be 25 feet in the I-2 Industrial Zone, and so the diagram or sketch which you have furnished still needs to be corrected to show compliance with the 25 foot setback.

There is also some question as to the appropriateness of issuing a building permit on an unaccepted street due to the recent amendment to the City Zoning Ordinance in Section 14-403 Street Access, a copy of which is enclosed to this letter for your information.

Sincerely,

Warren J. Turner
Warren J. Turner
Zoning Enforcement Inspector

Enclosure
Copy of Amendment Section 14-403

cc: P. Samuel Hoffses, Chief, Inspection Services
Kevin Carroll, Code Enforcement Officer

CITY OF PORTLAND, MAINE
ZONING BOARD OF APPEALS



MERRILL S. SELTZER
Chairman

JACQUELINE COHEN
Secretary

ROBERT J. GAUDREAU
THOMAS F. JEWELL
EUGENE S. MARTIN
DAVID L. SILVERNAIL
MICHAEL E. WESTORT

April 28, 1986

RE: 102 Bishop Street

Mr. Larry Springer
Tilcon Maine Inc.
102 Bishop Street
Portland, Maine 04103

Dear Mr. Springer:

Upon reviewing your proposed building addition for 102 Bishop Street in the I-2 Industrial Zone, I find that the proposed addition is not in accordance with the front yard setback of 25 feet as required by Section 14-243(2) of the Zoning Ordinance.

The sketch shows a 30 foot addition which would nearly front on the side line of Bishop Street. Would it be possible to relocate this proposed building addition either at the side or directly behind the building? If so, please send us a revised plot plan for this proposed addition.

Sincerely,

Warren J. Turner
Zoning Enforcement Inspector

WJT/el

cc: P. Samuel Hoffses, Chief of Inspection Services
Kevin Carroll, Code Enforcement Officer.

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Warren J. Turner - Zoning Enforcement Inspector
FROM: William S. Boothby, Principal Engineer *WSB*
SUBJECT: Bishop Street

DATE: 5/23/86

There is no portion of Bishop Street which is unaccepted.

It first appears on a plan drawn by the then City Engineer, George N. Fernald, in September 1903.

It was laid out and accepted by the City Council on October 23 of that same year.

There is no record of any further dedication beyond the end of the accepted street (which is as mentioned in your memo 1643± feet in length).

On several plans what does appear to be an extension of Bishop Street is in fact the right-of-way for the West Side Interceptor Sewer and the Bishop Street Branch Sewer.

This right-of-way was never intended nor dedicated for street purposes.

Based on these facts, I would say that there are no set back requirements for the proposed Tilcon building addition.

If you have any further questions or concerns, please give me a call.

WSB/bjk

CITY OF PORTLAND, MAINE
MEMORANDUM

File

TO: Warren J. Turner - Zoning Enforcement Inspector
FROM: William S. Boothby, Principal Engineer *WSB*
SUBJECT: Bishop Street

DATE: 5/23/86

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It first appears on a plan drawn by the then City Engineer, George N. Fernald, in September 1903.

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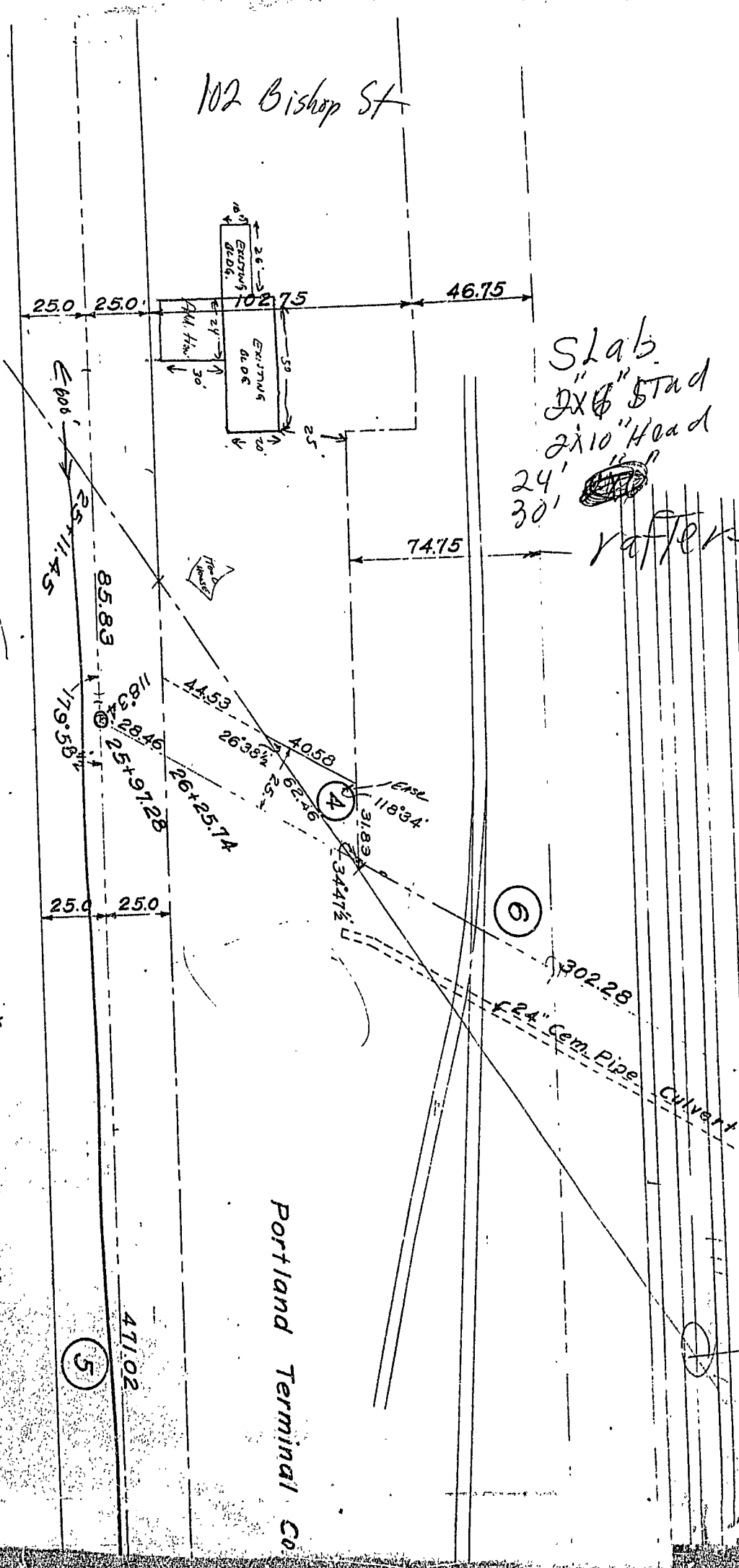
This right-of-way was never intended nor dedicated for street purposes.

Based on these facts, I would say that there are no set back requirements for the proposed Tilcon building addition.

If you have any further questions or concerns, please give me a call.

WSB/bjk

102 Bishop St



Slab
 2x8" Stud
 2x10" Head
 24'
 30'
 Rafter

George Wilson

Brook

Portland Terminal Co.

5

47102

6

302.28

24" Cem. Pipe Culvert

118°34'

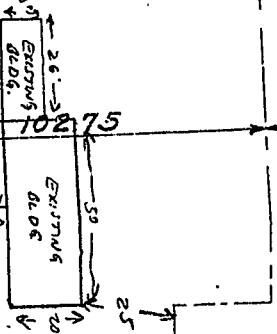
40.58

44.53

85.83

25.11.45

25.0



74.15

46.75

102.75

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

25.0

To Mon. at P.T. near Forest Ave. γ

149.72

25.0

$179^{\circ} 59\frac{1}{2}'$

BISHOP

1643' TO STEVENS AVE

STREET

End of Accepted Street

25.0

TILLOW MAINE INC.

797-7386

Larry Springer

PERMIT # 001523 CITY OF Portland BUILDING PERMIT APPLICATION MAP # 17-11-11 LOT # 11

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Tilcon of Maine
 Address: P.O. Box 359 North Berwick Maine
 LOCATION OF CONSTRUCTION Tildon of Maine Bishop St.
 CONTRACTOR: A L Daggatt Inc. SUBCONTRACTORS: 657-4569
 ADDRESS: Box 35 Gray Maine
 Est. Construction Cost: 23,000 Type of Use: Paving
 Past Use: None
 Building Dimensions L W Sq. Ft. # Stories Lot Size
 Is Proposed Use: Seasonal Condominium Apartment
Conversion - Explain in detail 7 6000 fiberglass tanks underground

For Official Use Only

Date December 19 1988 Subdivision: Yes No
 Inside Fire Limits Name
 Bldg Code **PERMIT ISSUED**
 Time Limit Permit Expiration: Dec 24 1988
 Estimated Cost 23,000 Public Private
 Value/Structure Fee 35.00

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only:
 # Of Dwelling Units # Of New Dwelling Units

Foundation:
 1. Type of Soil:
 2. Set Backs - Front Rear Side(s)
 3. Footings Size:
 4. Foundation Size:
 5. Other

Floor:
 1. Sills Size: Sills must be anchored.
 2. Girder Size:
 3. Lally Column Spacing: Size:
 4. Joists Size: Spacing 16" O.C.
 5. Bridging Type: Size:
 6. Floor Sheathing Type: Size:
 7. Other Material:

Exterior Walls:
 1. Studding Size Spacing
 2. No. windows
 3. No. Doors
 4. Header Sizes Span(s)
 5. Bracing: Yes No
 6. Corner Posts Size
 7. Insulation Type Size
 8. Sheathing Type Size
 9. Siding Type Weather Exposure
 10. Masonry Materials
 11. Metal Materials

Interior Walls:
 1. Studding Size Spacing
 2. Header Sizes Span(s)
 3. Wall Covering Type
 4. Fire Wall if required
 5. Other Materials

Ceiling:
 1. Ceiling Joists Size:
 2. Ceiling Strapping Size Spacing
 3. Type Ceilings:
 4. Insulation Type Size
 5. Ceiling Height:

Roof:
 1. Truss or Rafter Size Span
 2. Sheathing Type Size
 3. Roof Covering Type
 4. Other

Chimneys:
 Type: Number of Fire Places

Heating:
 Type of Heat:

Electrical:
 Service Entrance Size: Smoke Detector Required Yes No

Plumbing:
 1. Approval of soil test if required 00 Yes No
 2. No. of Tubs or Showers
 3. No. of Flushes
 4. No. of Lavatories
 5. No. of Other Fixtures

Swimming Pools:
 1. Type:
 2. Pool Size: x Square Footage
 3. Must conform to National Electrical Code and State Law.

Zoning:
 District Street Frontage Req. Provided
 Required Setbacks: Front Back Side Side

Review Required:
 Zoning Board Approval: Yes No Date:
 Planning Board Approval: Yes No Date:
 Conditional Use: Variance Site Plan Subdivision
 Shore and Floodplain Mgmt. Special Exception
 Other (Explain)
 Date Approved

Permit Received By Deborah Goode
 Signature of Applicant Paul Beane Date 12-19-88
 Signature of CEO William P. Shaw Date 12-20-88
 Inspection Dates

PLOT PLAN



FEES (Breakdown From Front)
Base Fee \$ 35.00 _____
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(explain) _____
Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	/ /
_____	_____	/ /
_____	_____	/ /
_____	_____	/ /
_____	_____	/ /

COMMENTS

Signature of Applicant Paul Burnell

Date _____



STATE OF MAINE

Department of Environmental Protection

MAIN OFFICE: RAY BUILDING, HOSPITAL STREET, AUGUSTA
MAIL ADDRESS: State House Station 17, Augusta, 04333
207-289-7688

JOHN R. MCKERNAN, JR.
GOVERNOR

Date: 11/30/88

DEAN C. MARRIOTT
COMMISSIONER

To: David R. Boston
P.O. Box 209
Fairfield ME
04937

Dear David

This letter is to acknowledge that on 11/30, 1988 this Department received your completed registration materials for new or replacement underground oil storage tank(s) located at Tikcon inc. Portland Me. Maine statute dictates that installation of a new or replacement facility may begin five (5) business days after notification of the Department (38 M.R.S.A.), Section 563(A)(1)), your installation may begin on 12/6/88. For administration purposes, your registration has been assigned the number WT 88-286.

Please have a copy of your registration and display this letter in a prominent place during construction, making it available to Department staff and to local fire officials.

Sincerely,

Richard Kaselis

Richard Kaselis, ESS II
Division of Licensing & Enforcement
Bureau of Oil & Hazardous Materials Control

RK/so

(Box# _____, Fold# _____, Form# _____)

• Portland •

REGIONAL OFFICES
• Bangor •

• Presque Isle •

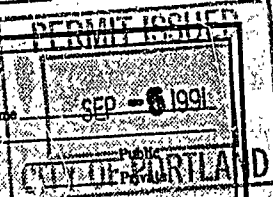
Permit # 912997 912997 City of Portland BUILDING PERMIT APPLICATION Fee \$180. Zone _____ Map # _____ Lot# _____
 Please fill out any part which applies to job. Proper plans must accompany form. (minor site plan 7/25/91)

Owner: Tilcon Minerals Inc Phone # 797-7386
 Address: 102 Bishop St; Ptld. ME 04101
 LOCATION OF CONSTRUCTION 102 Bishop St.
 Contractor: owner Sub.: _____
 Address: _____ Phone # _____
 Est. Construction Cost: 32,000. Proposed Use: bldg - aggregate stg
 Past Use: _____
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion Construct building for aggregate storage
(30'x40) (sandblast grit)

For Official Use Only

Date: 8/23/91 Subdivision: _____
 Inside Fire Limits: _____ Name: _____
 Blg Code: _____ Lot: _____
 Time Limit: _____ Ownership: _____
 Estimated Cost: 32,000.

Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Dto: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other: WDA Explain: 9-4-91



Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other: _____

Floor: Sills must be anchored.
 1. Sills Size: _____
 2. Girder Size: _____ Size: _____
 3. Lally Column Spacing: _____ Spacing 13" O.C.
 4. Joists Size: _____ Size: _____
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size _____ Spacing _____
 2. Ceiling Strapping Size _____
 3. Type Ceilings: _____ Size _____
 4. Insulation Type _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 Action: _____ Approved _____
 Approved with conditions _____
 Date: 8/23/91
 Signature: [Signature]

Chimneys: Type: _____ Number of Fire Places _____
 Signature: [Signature]

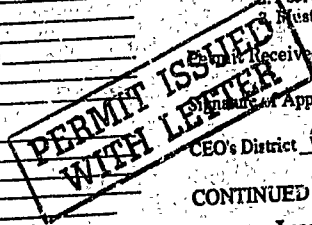
Heating: Type of Heat: _____

Electrical: Service Entrance Size: _____ Smoke Detector Required: Yes _____ No _____

Plumbing: Yes _____ No _____
 1. Approval of soil test if required _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

HISTORIC PRESERVATION



Received By: Louise E. Chase Date: 8/23/91
 Signature of Applicant: [Signature]
 Signature of CEO: Jonathan Oakes
 CEO's District: 4 MR. CARROLL
 CONTINUED TO REVERSE SIDE FAB WCR
 Ivory Tag - CEO 4 MR. C

White - Tax Assessor

930460 Suburban Propane, Thompsons Point, Ptld., Me. 04102 35.00

Permit # 930460 City of Portland BUILDING PERMIT APPLICATION Fee _____ Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

PERMIT ISSUED

Owner: Pavement Treatment Inc. Phone # 985-8552
 Address: P.O. Box 775, Kennebunk 04043
 LOCATION OF CONSTRUCTION 102 Bishop Street
 Contractor: _____ Sub: _____
 Address: _____ Phone # _____
 Est. Construction Cost: _____ Proposed Use: Propane fill plant
 Past Use: same
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion installing 500 gallon propane tank

For Official Use Only
 Date: 5/28/93 Subdivision: _____
 Inside Fire Limits: _____ Name: JN-31993
 Bldg Code: _____ Lot: _____
 Time Limit: _____ Ownership: CITY OF PORTLAND
 Estimated Cost: _____

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Zoning:
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____ Side _____
Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) WDA - 5-1-93

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____ not in District nor Landmark
 3. Type Ceilings: _____ Does not require review
 4. Insulation Type _____ Size _____ Requires Review
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span Action: Approved
 2. Sheathing Type _____ Size _____ Approved with conditions
 3. Roof Covering Type _____ Date: 5/28/93

Chimneys:
 Type: _____ Number of Fire Places _____ Signature: _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By D. Marq **PERMIT ISSUED WITH REQUIREMENTS** Date 5/28/93

Signature of Applicant [Signature] Signature of CEO _____ Date _____

Inspection Dates _____

PERMIT ISSUED WITH REQUIREMENTS

[Signature] MA. CARROLL