

AP- 111-121 Bishop St.

Jan. 13, 1960

Kibler & Storer, Inc.
Yarmouth, Maine
Mr. Wilbur R. Ingalls, Jr.
45 Exchange Street

cc to: U. S. Plywood Corp.
55 West 44th Street
New York, N. Y.

Gentlemen:

General construction permit for erection of a one story masonry and wood frame building for storage warehouse purposes at the above named location is issued herewith based on revised plans and architect's letter of January 12, 1960, but subject to the following conditions:

1. Permit is issued on the understanding that occupancy of the entire building will never be in excess of 20 persons at any one time unless means of egress complying with Building Code requirements for more than that number of persons are provided.
2. Wherever wood strapping is used against masonry walls for fastening of interior wall covering, incombustible fire stopping is required between the strapping at the ceiling line.
3. Approval for the use of the Acrilux plastic sheets for sheathing on the upper part of the walls cannot be given unless it can be established that this material has the strength and stability equal to that of wood boarding of nominal one inch thickness. If this cannot be done, some changes will be needed in the construction at these locations. It is understood that information in this regard is being sought from manufacturers of the plastic.
4. If skylights are to be without curbs extending at least four inches above the roof, reinforced thermosetting plastic is required for their glazing.
5. While design plans of the roof trusses have been received, no statement of design for them has as yet been furnished. It is understood that this has been sent for. Information is also needed as to truss bracing, to be furnished for checking and approval at least before their erection is started.
6. Separate permits issuable only to the actual installers are required for installation of the heating equipment and the sprinkler system. Provision will need to be made for furnishing an adequate supply of fresh air to the heater room for combustion purposes.
7. The usual "closing-in" and final inspection notices are required. It is unlawful to occupy the building until a certificate of occupancy authorizing its use has been issued by this department. Very truly yours,

AJS:im

Albert J. ...

WILBUR R. INGALLS, JR.
A R C H I T E C T

45 EXCHANGE STREET, PORTLAND, MAINE
BP 2-4073

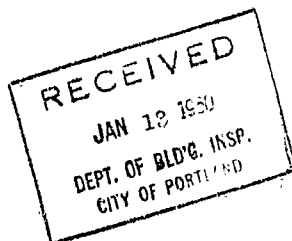
January 12, 1960

Mr. Albert Sears
Building Inspector
City Building
Portland, Maine

Dear Mr. Sears:

Regarding your letter of January 8, 1960, concerning the building permit for the U.S. Plywood Building, Bishop St., Portland, Maine, the following will be done:

1. The Owner will appeal the sidewalk requirement. Curb lay-out has already been discussed and approved by Mr. Conner.
2. Masonry Pier between doors #8 & #9 will be reinforced as per drawing dated January 11, 1960.
3. Structural information on corrugated Acrilux will be furnished.
4. 2 x 10 rafters will be furnished rough and spaced at 2'0" O.C. and doubled at 8' 0" O.C. as per submitted sketch.
5. 4 x 16 D.F. beams over office area will be furnished rough or of dense construction D.F. with a fiber stress of 1750 lbs. per sq. inch. A plywood gusset will be installed at the bottom of the 2 x 4 roof framing at the side of the office area.



Very truly yours,

Wilbur R. Ingalls, Jr.
Wilbur R. Ingalls, Jr.

cc: Kibler & Storer

AP 111-121 Bishop Street
Warehouse for United States Plywood Corp. - - Wilbur Ingalls, Jr. Architect

MEMORANDUM RESULTING FROM CHECK OF PLANS AND SPECIFICATIONS AGAINST ZONING ORDINANCE,
BUILDING CODE AND ASSOCIATED ORDINANCES

November 23, 1959

the requirements of
1. Unless the City Council waives or amends the ordinance relating to public sidewalks and curbing after written application by the owner, a paved sidewalk and curb along the Bishop Street frontage is required, and a plan of approaches over the sidewalks, approved by the Traffic Engineer, should be filed with the application for the permit. If the owners are not planning upon providing sidewalk and curbing, they should address to the City Council a letter of application seeking a waiver, and this office should be notified.

2. Since a septic tank and drainage field is to be relied upon for sewage disposal, approval of the Director of Health upon the arrangements is required before the building permit may be issued. The usual form for his approval is being sent to him, and, if you have not already done so, Sanitary Engineer Winch of that department should be contacted to make arrangements for percolation tests.

3. The minimum depth of front yard (25 feet) is indicated to the front wall of the office portion. The entrance porch, having an area of less than 50 square feet is an allowed encroachment under Sec. 19D of the Zoning Ordinance; but the canopy projecting into the front yard has an area of over 120 square feet and is therefore not permitted.

On the basis that the warehouse is to be a business or industrial building not catering to retail trade Sec. 14B12 of the Zoning Ordinance requires off street parking, and the location of each required parking space and any additional spaces that may be desired should be shown on the plot plan (each space at least 8 feet wide by 18 feet long) and the approaches thereto with maneuvering spaces. The total area of the building inside the walls, excluding the truckwell, appears to be about 14,600 square feet. At the allotment of 1000 square feet of floor area or major fraction thereof to a parking space, it would appear that fifteen parking spaces are required. Grading, surfacing and drainage of the parking area should be indicated as described in Sec. 14J of the Zoning Ordinance. If this reasoning is based on faulty assumptions, please advise for adjustment.

Please bear in mind that the Zoning Ordinance does not allow any fixed encroachments upon the front yard (entire width of the lot) or the required width of the one side yard (25 feet wide measured in from the side lot line). Pole or detached signs, floodlight poles, or signs projecting out from the building wall and encroaching on these spaces would have to be counted as obstructions.

4. The large overhead doors in the warehouse portion cannot be counted as a required means of egress. Under Building Code requirements, this causes no difficulty provided there would not be more than 20 persons at one time in the entire building. If circumstances would arise where there would be more than 20 persons in the entire building, a swinging door of ordinary size would be needed near the rear of the warehouse with steps to the ground and this door and the entrance door to the office and door No. 13 from the truckwell should be equipped with vestibule latches and standard exit signs, directional or otherwise, should be provided to indicate the means of egress.

Sec. 2121 requires a roof scuttle at least 24 inches by 36 inches in the roof of the warehouse portion with a ladder fixed in place leading to it. If any other arrangement is desired to fulfill this requirement, it would have to be approved by the Chief of the Fire Department.

OK
Approval
Received

25'-0"
2'-0"
23'-0"
26'-6"
23'-0"
3'-6"

?

Less than 20 - OK

OK

5. The following questions appear as to fire protections

At least one and one-half inches of concrete should be indicated beneath and at both sides of the reinforcement of the lintels over doors 11, 12 and 12A. *OK*

Fire stops of incombustible material are required wherever ceilings join masonry walls. *Will do.*

Since no curb at least 4 inches high above the roof is to be provided for the plastic skylight, the skylights are required to be of reinforced thermosetting plastics. *Will be taken care of*

6. The following items appear as to structural details:

The concrete block pier between doors 8 and 9 would have an unsupported height of twelve times the least cross-sectional dimension instead of the maximum of ten times stipulated by Sec. 309b14. If blocks are used they require filling with concrete in any case. *To be reinforced*

Sec. 309b8 calls for lateral supports whenever a wall of concrete block exceeds in critical dimension sixteen times. *OK*

Reinforcement of the front and rear walls of warehouse section is needed or lateral ties or bracing at the top of the concrete block portions to satisfy the intent of 309b8. *Will do.*

If the arches are to be used in the roof, assurance is needed from the designers of the arches and their supports that the arches will serve adequately as struts to withstand the wind load from the outside. *Arches not to be used*

Sec. 309b12 requires that the bearing partitions between warm storage room and boiler room and the one opposite be at least 8 inches in thickness instead of 6 inches. *OK*

Proof is needed that the corrugated plastic ("Acrilux") indicated in front and rear walls between concrete block and the crown of the arches will have strength and stability equal to that of the nominal thickness 1-inch boards called for by 312c3.4; also similarly for the 18-inch high plastic sheets used around the top of the sidewalls. *?*

7. Certain structural members and finish are indicated on plans and specifications to be Douglas Fir. It appears that all wooden structural members, except possibly the studs and 2x4's in the roof of the office should be designated as Douglas Fir of such a grade as to be credited with 1500 pounds per square inch fibre strength. *?*

Two rows of bridging are required in the roof of the truck well. *OK*
Even though Douglas Fir the 2x10's in the long canopy in the front elevation do not appear to work out on 24 inch centers. Neither do the 4x10 cross beams. *Change to 24"*

Method of fastening the 3/4" rods (intended to support the canopies) to the walls and beams of the canopies, is not understood. *?*

If the "crossed" arrangement of 2x4's in the roof of the office is to be relied upon to make up the difference between the actual roof load and the strength of the 4x16's figured as simple beams on a 31-foot span, analysis of this truss action should be supplied; also the method of fastening the 2x4's to the lower edge of the 4x16's. *?*

Anchorage of roof joists over truck well and over office should be indicated as called for by Sec. 312c3.2c, bearing in mind that anchors are required where the joists are parallel to masonry walls also, fire-cuts should be shown where applicable. *OK*

Uprights or studs of 2x2 instead of 2x4 are shown in exterior wall panels of office, and 4x4 sill instead of solid 4x6 sill is shown contrary to Sec. 312c. It is suggested that the latter be bolted to the foundation. *Changed to 2x4 flat + 4x6 - O.K.*

8. Irrespective of which type of roof framing is used, the manufacturer is to design the arches or trusses. When the manufacturer is known, we shall need his statement of design, called for by Sec. 104b3, and that statement should include responsibility for the method of tying together the haunches of the arches, the stability and stiffness of the supporting reinforced concrete columns and the design of the long-span roof plank (if used). *?*

If either alternative for glued laminated structural arches is followed, reference should be made to Appendix B (page 209) of the Code, and attention of the contractor called to the standards set up there for design, manufacturer and installation of such members, including the requirement of a statement of design signed by a qualified person, and a certificate of inspection to be furnished to set forth the lumber grades, moisture content and glue type together with certification that the manufacturer has conformed to the standards set forth. *not to be used O.K.*

If the 3 inch plank are to be used in the roof, it is assumed that because of the long span bearings will have to occur between supports. In that case the standards set by the Municipal Officers in Appendix B (page 210) should be referred to, and the directions there followed (these are also to be brought to the attention of the contractor) including reports of tests and conclusions therefrom by an acceptable testing agency and including the certification by the manufacturer as to species and grades of lumber etc. *not to be used O.K.*

If the trusses are used, the designer will no doubt show the usual lateral bracing of the bottom chords. Perhaps these may also be used for staying the tops of the front and rear concrete block walls.

9. Because more lime is used in the mortar than would qualify it for "combination" mortar, the bearing capacity over the gross area of the concrete blocks, is estimated at 67 pounds per square inch. *?*

10. The type of heat to be used in warm room and office has not been found.

WMD

11/27/59 - Went over these matters with Mr. Ingalls to whom the original of this memo was given - AJH

March 3, 1960

Information received from Mr. Quinn of United States Plywood Corp. over phone from New York concerning Weldwood Acrilux plastic to be used for sheathing on portions of walls of new building under construction on Bishop Street.

1. Acrilux to be used is manufactured of Dupont Company Lucite, weighs 8 oz. per square foot, and has 25% by weight, or 2 oz., of glass fiber reinforcement per square foot. Burning rate of 1.3" per minute.

2. Certified tests give it a carrying capacity of 180 pounds per square foot on a four foot simple span. He did not know whether this is ultimate or safe carrying capacity.

3. Acrilux is manufactured by the Wasco Mfg. Co., a subsidiary of United States Plywood Corp.

Conclusions reached on basis of above information.

1. Dupont Lucite is listed by Underwriters Laboratories as slow burning. This is confirmed by the fact that its 1.3" per minute is well under the 2.5" per minute allowable for a slow burning plastic under Sect. 2001 of the B.O.C.A. Code.

2. Its reinforcement of 2 oz. per square foot is well over the minimum reinforcement of 1-1/2 oz. per sq. foot needed to qualify it as a reinforced thermosetting plastic under Section 2001 of the B.O.C.A. Code.

3. If the 180# per sq. ft. capacity on four foot span is ultimate, a safety factor of four would give it a safe carrying capacity of 45# per sq. ft., which is well over the 15# or 20# per sq. ft. needed to care for wind load on side walls of building.

The above information would appear to qualify this as an approved material under Section 2000.1 of the B.O.C.A. Code.

Acrlux PROPERTIES and CHARACTERISTICS

U.S. PLYWOOD BUILDING
BISHOP STREET

I. Mechanical Properties

Reinforcement, wt % glass fiber mat.	25 ✓
Tensile Strength, PSI, 23 C.	12,000
(ASTM D 638-52)	
Tensile Elongation, %, 23 C.	1.7
Flexural Strength, PSI, 23 C.	22,000
(ASTM D 790-49T)	
Flexural Strength, PSI, 23 C (wet)	17,000
(ASTM D 790-49T)	
Flexural Modulus, PSI, 23°C.	900,000
(ASTM D 790-49T)	
Compressive Strength, PSI, 23 C.	24,000
(ASTM D 695-54)	
Hardness, Rockwell R.	121
Hardness, Barcol.	50
Taber Abrasion, mg loss/1,000 cycles.	33
(ASTM D 1242-52T and ASTM D 1044-52T)	
IZOD Impact, ft lbs/in. of notch	5
Heat Distortion Temp., 264 PSI, F.	230
(ASTM D 648-45T)	

II. Physical Properties

1. Specific gravity, at 23 C.	1.34 to 1.42
(ASTM D 570-50)	
2. Coefficient of linear thermal expansion, inch/inch/ F.	4 x 10 ⁻⁵
(ASTM D 696-44)	
3. Flammability in /min.	13 ✓
(ASTM D 635-56T)	
4. K Factor (resin only).....	1.4

III. Chemical Resistance

after 7 days immersion at room temperature

Reagent	Weight Change, %	Resistance*
Acetic Acid, 5%	.23	S
Ammonium hydroxide, 10%	.22	S
Carbon tetrachloride, 100%	2.9	S
Ethylene Dichloride, 100%	Resin Dissolved	U
Sodium carbonate, 2%	1.1	S
Sodium hydroxide, 1%	1.2	S
Sulphuric acid, 3%	1.0	S
Sulphuric acid, 30%	0.8	S

S - Satisfactory
U - Unsatisfactory

Acrlux also exhibits excellent resistance to most chemical fumes.
Note: Data on Acrlux resistance to other chemicals available on request

IV. Light Transmission

Percentages of visible light and energy transmission

Acrlux Color	% Light Transmission*	% Heat Transmission**
Industrial Clear	95	83
Industrial White	79	58
Sandstone	65	40
Yellow	65	36
White	62	35
Industrial Green	41	40
Green	21	30
Gray	17	29

*Data established using S.P.I. Transmissometer
**Data established using Eppley Pyrheliometer

RECEIVED
 MAR 7 1960
 DEPT. OF PORTLAND
 CITY OF PORTLAND

WELWOOD ACHILUX
PROPERTIES AND CHARACTERISTICS

I. MECHANICAL PROPERTIES

Reinforcement, Wt. % Glass fiber est	25
Tensile Strength, PSI, 23°C, ASTM D-638-52	12,000
Tensile Elongation, % 23°C	1.7
Flexural Strength, PSI 23°C, ASTM D-790-49T	22,000
Flexural Strength, PSI, 23°C(wet) ASTM D-790-49T	17,000
Flexural Modulus, PSI, 23°C, ASTM D-790-49T	900,000
Compressive Strength, PSI, 23°C, ASTM D-695-54	24,000
Hardness, Rockwell R	121
Hardness Barcol	50
Taber Abrasion, D-1242-52T and D-1044-54T mg. loss/1,000 cycles	33
IZOD Impact, ft. lbs./in. of notch	5
HEAT Distortion Temp., 264 PSI, °F, D-648-45T	230

II. PHYSICAL PROPERTIES

- 1.) Specific gravity--1.34 to 1.42 at 23°C, ASTM D-570-50
- 2.) Coefficient of linear thermal expansion, inch/inch/°F,
ASTM D-696-44 -- 4×10^{-5}
- 3.) Flammability in./min., ASTM D-635-56T -- 1.3
- 4.) K Factor (resin only) -- 1.4

RECEIVED
JAN 13 1950
DEPT. OF P.S.C. DEPT.
CITY OF PORTLAND

AP-111-121 Bishop Street

October 9, 1959

Mr. W. R. Ingalls, Jr.
45 Exchange Street

cc to: United States Plywood Corp.
55 West 44th Street
New York, N. Y.
cc to: Corporation Counsel

Dear Mr. Ingalls:

A building permit for construction of a one story masonry building 110 feet by 120 feet for warehouse purposes with an attached office section 30 feet by 64 feet of wood frame construction at the above named location is not issuable under the Zoning Ordinance for the following reasons:

1. The building is to be located only 3 feet from one side lot line instead of the minimum side yard of 25 feet being provided as required by Section 12-C-1 of the Ordinance applying to the I-2 Industrial Zone in which the property is located.
2. The rear wall of the building is to be located on the rear lot line, which abuts the railroad right-of-way, instead of the minimum rear yard of 25 feet being provided as required by Section 12-C-4 of the Ordinance.

We understand that the owners of the proposed building would like to exercise their appeal rights concerning these discrepancies. Accordingly we are certifying the case to the Corporation Counsel, to whose office in Room 208, City Hall, you should go to file the appeal.

Very truly yours,

Albert J. Sears
Inspector of Buildings

AJS/JG

AP-111-121 Bishop Street

January 8, 1960

cc to: U. S. Plywood Corp.
55 West 44th Street
New York, N. Y.
cc to: Kibler & Storer, Inc.
Yezmouth, Maine

Mr. Wilbur R. Ingalls, Jr.
45 Exchange Street

Dear Mr. Ingalls:

Check of revised plans for construction of a one story masonry and wood frame building for storage warehouse purposes at the above named location discloses that the following details as to compliance with Zoning Ordinance and Building Code requirements are still in question:

1. While plot plan showing off-street parking has been furnished, there is no indication of location and width of driveway entrances to the lot so that required approval of traffic engineer can be secured. Plot plan should also indicate that parking area is to be so drained that surface water will not run over or across any public sidewalk or street. It should also be borne in mind that sidewalk and curbing is required along the entire frontage of the property by the City Sidewalk Ordinance unless permission for their omission is secured from the Municipal Officers. The City Traffic Engineer should be consulted as to application of this Ordinance and informed as to what you propose to do. - *check notes*
2. It seems questionable if the three one-quarter inch diameter rods indicated for reinforcement of masonry pier between door openings #8 and #9 will add material reinforcement to this pier, whose unsupported height is greater than the allowable ten times its least dimension. - *OK*
3. Information is needed that the Acrilux plastic sheets to be used for sheathing on the upper portion of the walls of the building have strength and stability equal to that of wood boarding of nominal one inch thickness in compliance with Building Code requirements. - *later*
4. The 2x10 rafters of roof of main building spaced 24 inches on centers, if of spruce or hemlock lumber, are somewhat deficient in carrying capacity to provide the required live load carrying capacity of 40 pounds per square foot. Just how the interior timbers will be strengthened by only doubling those at the edges of the proposed 8 foot wide panels is problematical. - *will use full size lumber*
5. We are unable to determine that the 4x16 Douglas Fir beams spaced about 8 feet on centers for support of roof of office section of building will figure out to provide a live load carrying capacity of 40 pounds per square foot. Method of support of 2x4 rafters on overhanging section of this roof on side of office section is not fully understood. We can find no definite indication on framing plans that overhang on front of building is to project only 3 feet 6 inches from wall of building as required to keep edge of it no closer than 23 feet from the street line in order to meet Zoning Ordinance requirements. - *Use full size 1500 or dressed 1750 D.F.*

121 Bishop Street

(2)

January 2, 1960

We shall be unable to issue general construction permit until revised plot plan approved by the City Traffic Engineer has been furnished and information indicating compliance with requirements has been submitted for other details in question.

Very truly yours,

Albert J. Sears
Inspector of Buildings

AJS/js



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1
Portland, Maine, December 30, 1959

PERMIT ISSUED
JAN 5 1960
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 59/1828, pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 111-121 Bishop Street Within Fire Limits? Dist. No.
Owner's name and address United States Plywood Corp., 55 West 44th St., New York, N. Y. Telephone
Leasee's name and address Kibler & Storer, Inc., Yarmouth Telephone
Contractor's name and address Telephone
Architect Plans filed Yes No. of sheets 1
Proposed use of building Warehouse No. families
Last use No. families
Increased cost of work Additional fee .50

Description of Proposed Work

To change from foundations and footings to foundations on ledge and to concrete piers on ledge as per plans

Details of New Work Kibler & Storer, Inc.

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber--Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved:

U.S. Plywood Corp.

Signature of Owner By: [Signature]

Approved: [Signature] Inspector of Buildings

INSPECTION COPY

Foreman Dolgin

22-111-121 Bishop Street

December 9, 1959

Zibler & Storer, Inc.
Yarmouth, Maine
Wilbur H. Ingalls, Jr.
45 Exchange Street

cc to: United States Plywood Corp.
55 West 44th Street
New York, N. Y.
cc to: Traffic Engineer

Gentlemen:

Advance permit covering excavation and construction of foundation only for proposed one story warehouse at the above named location is issued herewith subject to the following conditions:

1. While revised plot plan can be used in connection with this permit, a plan showing location and width of driveway entrances to the lot and bearing the approval of the City Traffic Engineer will need to be furnished before issuance of the general construction permit.

2. Permit is issued on the understanding that sidewalk and curbing in accordance with the City Sidewalk Ordinance will be provided unless approval for their omission is secured from the Municipal Officers.

3. Permit is issued without prejudice as to the solution of several problems involving the construction of the building, matters which have been discussed with Mr. Ingalls and which he is to care for on revised plans which must be filed for checking and approval before the general construction permit can be issued.

4. It is understood that width of canopy on front of building is to be reduced from 4 feet to 3½ feet so that, on the basis of a 26½ foot set back of front wall from street line, the edge of canopy will be no closer than 29 feet to the street line.

5. Separate permits are required for demolition of any buildings now located on site of proposed building.

6. It is understood that the building is to be equipped with an automatic sprinkler system, as otherwise the area is excessive for the type of construction involved.

7. It should be understood that the permit now being issued covers no work above the foundation and that, unless information on which the general construction permit can be issued has been furnished by the time that work on the foundation has been completed, all further work will have to be stopped until this has been done.

Very truly yours,

Albert J. Sears
Inspector of Buildings

MS/SE



APPLICATION FOR PERMIT

Class of Building or Type of Structure Foundation

Portland, Maine, December 8, 1959

PERMIT IS

DEC 9 1959

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 111-121 Bishop Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address United States Plywood Corp., 55 West 144th St. Telephone _____
 Lessee's name and address _____ New York, N. Y. _____
 Contractor's name and address Kihler & Storer, Inc., Yarmouth, Maine Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building Warehouse No. families _____
 Last use _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To excavate and construct foundation only for 1-story masonry building
310' x 150' as per plans

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Kihler & Storer

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? no If not, what is proposed for sewage? septic tank
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of heat _____ fuel _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters? 1st floor _____ 2nd _____ 3rd _____, roof _____
 On centers: 1st floor _____ 2nd _____ 3rd _____, roof _____
 Maximum span? 1st floor _____ 2nd _____ 3rd _____, roof _____
 Is one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 United States Plywood Corp.
 Kihler & Storer

INSPECTION COPY

Signature of owner C. R. Storer

PH

NOTES

12-17-59 O.K. to pour left corner of wall on ledge
 Two piers in rear rear corner & 2 in front left corner. O.K. to pour Arches to bring in design of grade beams (P)

12-23-59 Continuing left wall all on ledge
 Found no bottom under one pier just front of center of Right wall.

1-4-59 Waiting for steel to pour 10' wall Front and excavated (P)

1-6-60 - Rear grade beam & wall ready to pour (P)

1-25-60 O.K. to pour grade beams right corner (P)

2-5-60 Main walls about up (P)

2-16-60 Trusses being assembled on job (P)

3-3-60 Ready to go up roof work (P)

See bldg permit 60/44

Permit No. 59/1828
 Location 111-141 Broadway
 Owner United States Chemical Corp.
 Date of permit 12/9/59
 Notif. closing-in 1/22/60
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice 12/22/59

IT

CITY OF PORTLAND, MAINE

Department of Building Inspection

NOTICE RELATING TO SEWAGE DISPOSAL

x means copy sent to the parties (date) November 25, 1959

Location 111-121 Bishop St. Description New Warehouse & Office

Owner and Address: U.S. Plywood Corp. 55 West 44th Street New York, N.Y.

Contractor or Architect: _____

Architect Name and Address Wilbur R. Ingalls Jr. 45 Exchange St.

Actual Area of Lot 26,850 Sq. Ft. Zone I-2 Industrial Zone

Area required by Zoning Ord. if sewer were available No requirements.

Where septic tank systems are required for sewage disposal, the Zoning Ordinance provides that the least allowable area of the lot shall be determined by the rate of percolation of the soil, this being the capacity of the soil to allow liquids to pass through as determined by tests. The Building Code directs that, where a septic tank is to be used, a building permit shall not be issued unless the proposed method of sewage disposal has been approved by the Director of Health.

Since application for the above permit indicates that connection to a sewer is not possible, it is necessary for the owner or his agent to file a site plan with the Health Department, to explain the method of sewage disposal proposed, and to make arrangements for a percolation test to be made under supervision of that department.

After the rate of percolation has been determined, the Director of Health will notify this department of the area of lot required on the basis of the results of the test. If the lot area required by the tests is equal to or less than the actual area of the lot and not less than the minimum lot area required in the zone in which the property is located for cases where connection to a sewer is available, the building permit can be issued; otherwise the permit cannot be issued unless authorization is secured from the Board of Appeals.

Albert J. Sears
Inspector of Buildings

2 copies to Health Director

(This space for Health Department use)

Inspector of Buildings

Rate of Percolation is 30 minutes. On this basis area required by Zoning

Ordinance is 13 800 sq. ft.

Comments in event zoning appeal is filed: _____

Donald W. Corbett
Director of Health

[Handwritten signature]

AP-111-121 Bishop Street

October 16, 1959

Mr. W. R. Ingalls Jr.
45 Exchange Street
Portland, Maine

cc to: United States Plywood Corp.
55 West 44th Street
New York, N. Y.

Dear Mr. Ingalls:

Although appeal under the Zoning Ordinance involving yard spaces for a proposed warehouse building at the above named location has been sustained, it is necessary before further action can be taken by this department that the permit application be completed by giving an estimated cost of the building, by paying the required permit fee based on that cost, and by furnishing for checking and approval by this department plans of the building indicating compliance with Building Code requirements.

Very truly yours,

AJS/jg

Albert J. Sears
Inspector of Buildings

Granted 10/15/59

59/94

DATE: Oct. 15, 1959

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF PORTLAND TERMINAL CO.

AT 111-121 Bishop Street

Public Hearing on the above appeal was held before the Board of Appeals.

BOARD OF APPEALS

VOTE

Franklin G. Hinckley
Joseph T. Gough
Harry M. Shwartz

Yes

()
()
()

No

()
()
()

Record of Hearing:

No opposition.

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

MISCELLANEOUS APPEAL

Portland Terminal Co., owner of property at 111-121 Bishop Street
under the provisions of Section 23 of the Zoning Ordinance of the City of Portland, hereby respect-
fully petitions the Board of Appeals to permit construction of one-story masonry building
110 feet by 120 feet for warehouse purposes with attached office section 30 feet by 64 feet
of wood frame construction. This permit is presently not issuable because the building is
proposed only 3 feet from one side lot line instead of the minimum required side yard of
25 feet as provided in Section 12-C-1 of the Ordinance applying to the I-2 Industrial Zone
and because the rear wall of the building is to be located on the rear lot line, abutting
the railroad right-of-way, instead of the minimum rear yard of 25 feet being provided as
required by Section 12-C-4 of said Ordinance applying to the said I-2 Industrial Zone.

LEGAL BASIS OF APPEAL: Such permit may be granted only if the Board of Appeals finds that
enforcement of the terms of the ordinance would result in undue hardship and that desirable
relief may be granted without substantially departing from the intent and purpose of the
Ordinance.

Portland Terminal Co.

By Scott W. Scully
APPELLANT *attor.*

DECISION

After public hearing held October 15, 1959, the Board of Appeals find that enforcement
of the terms of the ordinance would result in undue hardship and that desirable relief may be
granted without substantially departing from the intent and purpose of the Ordinance.

It is therefore, determined such permit should be issued.

Franklin G. Hillier
Joseph T. Jorgensen
Harry M. [unclear]
BOARD OF APPEALS

ALBERT J. SEARS
INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE
Department of Building Inspection

AP-111-121 Bishop Street

October 9, 1959

Mr. W. B. Ingalls, Jr.
45 Exchange Street

cc to: United States Plywood Corp.
55 West 44th Street
New York, N. Y.
cc to: Corporation Counsel

Dear Mr. Ingalls:

A building permit for construction of a one story masonry building 210 feet by 120 feet for warehouse purposes with an attached office section 30 feet by 64 feet of wood frame construction at the above named location is not issuable under the Zoning Ordinance for the following reasons:

1. The building is to be located only 3 feet from one side lot line instead of the minimum side yard of 25 feet being provided as required by Section 12-C-1 of the Ordinance applying to the I-2 Industrial Zone in which the property is located.
2. The rear wall of the building is to be located on the rear lot line, which abuts the railroad right-of-way, instead of the minimum rear yard of 25 feet being provided as required by Section 12-C-4 of the Ordinance.

We understand that the owners of the proposed building would like to exercise their appeal rights concerning these discrepancies. Accordingly we are certifying the case to the Corporation Counsel, to whose office in Room 208, City Hall, you should go to file the appeal.

Very truly yours,

Albert J. Sears
Inspector of Buildings

Asa/jb

924452

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$25. Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Environomics Inc Phone # 934-3682
 Address: Box 8432; Ptld, ME 04104
 LOCATION OF CONSTRUCTION 119 Bishop St.
 Contractor: _____ Sub.: _____
 Address: _____ Phone # _____
 Est. Construction Cost: _____ Proposed Use: Warehousing of
whole/chipped tires
 Past Use: _____
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion permit for warehousing/tires

For Official Use Only

Date 12/21/92 Subdivision: _____
 Inside Fire Limits _____ Name DEC 21 1992
 Bldg Code _____ Lot _____
 Time Limit _____ Ownership: _____ Public _____ Private _____
 Estimated Cost _____

Zoning: I-2
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) _____

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor: (Minor site plan - 12/11/92)
 1. Sill Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____
 prop owner: P R B Holding Lmt.

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling: **HISTORIC PRESERVATION**
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____ Not in District nor Landmark.
 3. Type Ceilings: _____ Does not require review.
 4. Insulation Type _____ Size _____ Requires Review.
 5. Ceiling Height: _____

Roof: *****
 1. Truss or Rafter Size _____ Span _____ Action: Approved
 2. Sheathing Type _____ Size _____ Approves with Conditions
 3. Roof Covering Type _____

Chimneys:
 Type: _____ Number of Fire Places _____ Date: _____
 Signature: _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____
 3. Must conform to National Electrical Code and State Law.

PERMIT ISSUED WITH LETTER
 Signature of Applicant: Chari Chalmers Date 12/21/92
 CEO's District: 4

CONTINUED TO REVERSE SIDE 4 Mr. Carroll
 Ivory Tag - CEO

White - Tax Assessor



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 119 Bishop St.

Issued to **Environomics, Inc.**

Date of Issue 1/21/93

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No.92/4452, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

entire

Warehousing of whole & chipped tires

Limiting Conditions:

1. No more than 10,000 square feet to be occupied.
2. No chipping or shredding, manufacturing or processing can be done.
3. All storage must be within the building - no outside storage.
4. Sprinkler and alarm systems must be operable at all times.

This certificate supersedes certificate issued

Approved: *[Signature]*
(Date) 1/21/93
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and right to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

924452 924452

Permit # 924452 City of Portland BUILDING PERMIT APPLICATION Fee \$25. Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Environomics Inc Phone # 934-3682

Address: Box 8432; Ptld, ME 04104

LOCATION OF CONSTRUCTION 119 Bishop St.

Contractor: _____ Sub: _____

Address: _____ Phone # _____

Est. Construction Cost: _____ Proposed Use: Warehousing of

_____ Past Use: shole/chipped tire

of Existing Res. Units _____ # of New Res. Units _____

Building Dimensions L _____ W _____ Total Sq. Ft. _____

Stories: _____ # Bedrooms _____ Lot Size: _____

Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____

Explain Conversion permit for warehousing/tires

For Official Use Only	
Date <u>12/21/92</u>	Subdivision: _____
Inside Fire Limits _____	Name: <u>DEC 24 1992</u>
Bldg Code _____	Lot: _____
Time Limit _____	Ownership: <u>CITY OF PORTLAND</u>
Estimated Cost _____	_____

Zoning: _____ Street Frontage Provided: I-2
Provided Setbacks: Front _____ Back _____ Side _____

Review Required:
Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
Special Exception _____
Other (Explain) _____

Foundations:
1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

(Minor site plan - 12/11/92)

Floor: for ch/use -- Sills must be anchored.

1. Sills Size: _____
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____ Spacing 16" O.C.
4. Joists Size: _____
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: prop owner: P R B Holding Lmt. - Dallas, TX

Exterior Walls:
1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:
1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

White - Tax Assessor

Ceiling:
1. Ceiling Joists Size: _____ Spacing _____ Special District or Landmark
2. Ceiling Strapping Size _____ Spacing _____ Does not require review
3. Type Ceilings: _____ Size _____ Requires Review
4. Insulation Type: _____
5. Ceiling Height: 7.5

Roof:
1. Truss or Rafter Size _____ Span _____ Action: Approved
2. Sheathing Type _____ Size _____ Approved with Conditions
3. Roof Covering Type _____ Asph/Flt

Chimneys:
Type: _____ Number of Fire Places _____ Date: 12/21/92
Signature: [Signature]

Heating:
Type of Heat: _____

Electrical:
Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:
1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Permit Received By Louise

Signature of Applicant [Signature]

CEO's District 4 - Charl

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

[Signature] Mr. Carroll

PERMIT ISSUED WITH LETTER

PERMIT ISSUED WITH LETTER

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ 25

Subdivision Fee \$ _____

Site Plan Review Fee \$ _____

Other Fees \$ _____
(Explain) _____

Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS Renovations Completed per Plan -
Send C of O w/Restrictions as noted on permit letter D 1/21/93

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Chaim Kelm 31 Kenox St #1, Portland, ME 0410 879-0254
 SIGNATURE OF APPLICANT ADDRESS PHONE NO.

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE NO.