

BP 65 Bishop Street-I

4/17/E

April 5, 1950

Mr. Benjamin Lewis
Lewis Lumber Company
65 Bishop Street
Portland, Maine

Subject: Advanced permit for excavation and
construction of foundation only for planing
mill at 65 Bishop Street.

Dear Mr. Lewis,

After we had made every effort that we could to assist you in getting excavation and foundation for the proposed building during the mild part of the early winter, bad weather overtook you before you got a great deal done, and it is necessary now to get all of the matters cleared up so that when you are ready to start again, all will be in order.

On January 7 we issued an amendment to the original advanced permit for excavation of foundation only to increase the width of the mill and for the construction of only ninety-six feet of the mill. This amendment was approved and issued based on a plot plan only which was hurriedly marked up in crayon in an attempt to show what you then proposed--information which in no way would satisfy the obligation upon me to have full information of what is intended before a permit is issued.

All of this was done in an effort to assist you, and based on your own statements on the application for amendment to the effect that you would furnish a revised detailed plan of foundations showing the true proposition and compliance with Building Code for the design of foundations depending upon the type of roof construction decided upon; and that in the meantime you would work closely with the architects to avoid getting in foundations which would not work out with the roof construction determined upon.

No information besides the plot plan has been received, probably, because you found that you had to stop work on the building. You did bring in plans of roof trusses by Bancroft-Martin or had them sent to me and asked me to approve them. I had to tell you that we do not approve plans outside of applications for permits, that we could not even examine these truss plans intelligently, since you had furnished us information as to how the balance of the roof was to be framed.

Inasmuch as you have not yet made good on the detailed plans of the foundations which you really intend to build, it becomes necessary to stop all work on the project under advanced permits issued as provided in Section 107 of the Building Code. The Building Code really requires that this order shall be served on you or sent by registered mail, but this is a friendly proceeding in an effort to help you get your plans all straightened out and the final permit for the building issued without further delay so we are not following strictly the usual formalities.

Besides the advanced permit for partial excavation and foundation construction which we have issued and by this letter cancelled, you have here an application for a permit to build the entire building at a cost of thirty-five thousand dollars, and with the application you paid a fee of thirty-five dollars. The application calls for the construction of a mill 70'x192'. Since then (the application was filed on October 6, 1949) numerous changes have been made as regards location, length and width of the proposed building, and as to type of roof construction.

Mr. Benjamin Lewis

April 5, 1950

Presumably you will soon be ready to start construction again and we want to assist you to get started when you want to and to proceed clear through to the final building without interruption. To this end I respectfully suggest that you have the originals of your architectural plans revised and fresh completed prints filed here with your original application for general construction permit, adjust the estimated cost and the building permit fee accordingly, so that we can check the plans against the Building Code and issue their permit at an early date to cover the entire job which you want to do now.

The revised plans should show the correct location of the future entire project, and the correct location of the portion that you plan to construct under this permit. They should also show full details of arrangement and designs of foundations, framing, including roof framing, and incorporating the Hansroft-Martin design of trusses, if you intend to use them, and also the design of the 15' width of roof which would not be supported by their trusses.

May I hear from you about this matter before April 17, 1950?

Very truly yours,

Warren McDonald,
Inspector of Buildings

CG Miller & Seal Inc.,
465 Cassara Street

WMD/B



APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED

JAN 7 1950

CITY of PORTLAND

Amendment No. 1

Portland, Maine, January 6, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. A9/2173... pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 65 Bishop Street Within Fire Limits? no Dist. No.
Owner's name and address Lewis Lumber Co., 45 Bishop Street Telephone
Lessee's name and address Telephone
Contractor's name and address George L. Chase, E. Livingston, Maine Telephone
Architect Plans filed yes No. of sheets 1
Proposed use of building Planing Mill No. families
Last use No. families
Increased cost of work Additional fee 25

Description of Proposed Work

To change extent of excavation and foundation construction so that the proposed mill will be 85' wide instead of 76' wide so that only 96' of the length of the total mill will be constructed at this time.

The type of roof construction is not full determined as yet, but it is the intention of the owner to construct continuous wall under side toward Bishop Street and end toward Hawbolt property.

The plan filed with this amendment is merely a plot plan and will be followed by a revised detailed plan of the foundations showing true proposition and compliance with Building Code for the design of foundations pending upon type of roof construction decided upon. In the meantime the owner will work closely with architects to avoid getting in foundations which will not work out with roof construction determined upon.

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber--Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span? 1st floor, 2nd, 3rd, roof

Approved: Lewis Lumber Co.

Signature of Owner by: Benjamin Lewis

Approved: 1/7/50 Inspector of Buildings

INSPECTION COPY

for filing with letter

BP 65 Bishop Street
Amit #1-1

January 7, 1950

Mr. Benjamin Lewis
65 Bishop Street.
Mr. George L. Chase
c/o Lewis Lumber Company
65 Bishop Street

Subject: Amendment of advance permit to cover excavation and foundation only of the planing mill at 65 Bishop Street—the amendment to constitute a change in excavation and foundation only

Gentlemen:

This amendment is approved without clear information as to how the superstructure is to be framed and without clear details of the foundations, at the owner's request to enable the owner to take advantage of the mild weather at the present time to construct the foundation; but subject to the following conditions:

The owner is to proceed with all possible haste to make the decision as to what shape and size of roof structure is to be used, and to have the foundation plan revised immediately to show all details of the foundations now proposed and precisely what part of the finally projected structure is to be built at this time and covered by the permit.

The owner in proceeding under a permit without definite information must take full responsibility for any mistakes made in location or design of foundations, making all finally to comply with Building Code requirements.

When both of you were in the office, Mr. Lewis had the idea from a mill that he owns elsewhere, that it might be economy to span with roof trusses only the originally intended 70' width, and to frame the extra 15' of width now intended as a comparatively flat roof, thus keeping down the length of span of the trusses, which is desirable, and perhaps effecting some economy as well.

If this scheme is followed, extra care must be exercised in designing and constructing the foundations because one support of each truss would probably be an isolated pier and, therefore, more attention to lateral stiffness will be necessary.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/c

CC: Miller & Beal, Inc.
465 Congress Street

AF 65 Bishop Street
(Advance permit)-I

Written - December 9, 1949
Sent with advance permit - December 22, 1949

Lewis Lumber Company
65 Bishop Street
Portland, Maine

Subject: Advance permit for excavation and foundation only
for new planing mill at 65 Bishop Street

Gentlemen:

Advance permit for excavation and foundation only for the above job is issued herewith, subject to the following:

All of the foundation piers and foundation walls are to extend to a level no less than 4' below the surface of the ground. None of these depths appear to be shown in figures on the plans and one or more of the piers seems to scale less than 4' below the grade of the ground.

All of the concrete footings and the concrete walls are to have forms to shape up the concrete according to dimensions on plans. The walls of the excavation are not permitted to serve as forms.

After the piers on the end of the platform toward the Hawboldt property have been forced up and the forms built for the other end wall of the mill and before any concrete or anything else has been placed in the forms for the entire job, you are to notify this office for a check of location and nothing is to be put in the forms of any part of the foundation until the location has been checked and the "go-ahead" given. When notice of readiness for this check of location is given, it is important that the property line between Hawboldt property and yours and the property line between your property and that adjoining toward Morrills Corner be accurately marked by stakes or otherwise so that the location of the mill can be accurately checked.

After the "go-ahead" has been given it will be necessary of course to cast the anchors for all of the wooden sills and posts to rest upon the foundation, into the concrete, but no work above the level of the foundations is to be attempted until the general construction permit has been issued. For more information about the general construction permit, please see separate letter.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMCD/G

P. S. No foundations are discovered beneath the outside platform and steps at new exit. Piers are required under outer end of platform and beneath steps, no less than 8x8 at the ground level, no less than 10x10 at the bottom of pier, to extend 4' below grade 465 Congress Street and 6" above.



(1) INDUSTRIAL ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
MAY 20 1936
CITY OF PORTLAND

Class of Building or Type of Structure

Portland, Maine, October 6, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~at 65 Bishop Street~~ and install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 65 Bishop Street Within Fire Limits? no Dist. No. _____
 Owner's name and address Levi's Lumber Co., 65 Bishop St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect Miller & Neal 3-4047 Specifications _____ Plans yes No. of sheets 4
 Proposed use of building Planing Mill No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____
 Other buildings on same lot Office and mill Roofing _____
 Estimated cost \$ 25,000 Fee \$ 35.00

General Description of New Work

To construct 1 story frame building ^{96'}~~70' x 28'~~ for planing mill, as per plans

INSPECTION NOT COMPLETED
Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owners

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____
 Girders _____ Size _____ Columns under girders _____ Size _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED
Wm. J. ...
INSPECTOR OF WORK

Miscellaneous
 Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are _____

Lumber Co.

NOTES

8/20 First fire proofed and
 - needed etc
 7/1/50 Loading of items under
 other buildings work progressing Ref & install
 2/21/50 Work progressing with
 8/1/50 - Charles [unclear] design of platform roof
 and hard built formwork
 for platform differently
 than we plan Appl. for
 permit # 3 is in unissued
 cabinet awaiting plan by
 for fire proof as a quality
 built

Cert of Occupancy Issued	
Final Inspn.	
Final Notice	
Inspection-in	
Joint closing-in	
Date of permit	5/15/50
Permit No.	122950
Address	1000 [unclear]
City	San Francisco
County	San Francisco
State	California
Inspector	[unclear]
Signature	[unclear]
Date	8/24/50

11/1/50 - New addition completed for side platform
 11/5/50 - Exit door on east end addition
 has a work & eye for lock & regular
 house lock set. This small door
 on western end to loading platform
 are sliding doors. The addition
 ceiling on western end is the
 first two bow string trusses
 & is sprinkled with down &
 below. Machinery is in and
 operating in this Bldg. New
 addition has been completed
 10/2/50
 no exit signs

INSPECTION NOT COMPLETED

BP 65 Bishop Street-I
(Amendment # 4)

December 20, 1950

Lewis Lumber Co.,
65 Bishop Street
Portland, Maine

Copy to: Engineering Services, Inc.
844 Stevens Avenue

Gentlemen:

Amendment # 4 to permit 50/624 covering a 36' extension of the open platform on the westerly end of the new mill at 65 Bishop Street is issued herewith based on the plans filed with the application but subject to the following:

1. It is understood that 8x8 posts are to be provided between the tops of the concrete piers and the underside of the 8x8 sills. These posts are to be all one piece in cross section and not built up of 2x8's as are the posts above supporting the trusses.
2. The 8x8 posts supporting the trusses are to be built up of 4-2x8's extending in one length from sill to truss. Besides the bolts shown on the plans at top and bottom of each post, 3/4" diameter bolts extending through the posts with 3x3x3/16" plate washers on each end are to be provided at intermediate points on spacings not exceeding 30" on centers vertically. The sides of the posts where the edges of the 2x8's are exposed are to be covered with full width boards or planks to keep the weather from penetrating the cracks between the 2x8's.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/B

P. S. After further consideration of the matter, I feel that the posts supporting the roof of the existing platform should be bolted at intervals of not over 30" as indicated for the new posts above and the edges of the 2" members making up the posts should be covered as called for above.

Inspector of Buildings

EP 65 Bishop Street-I
(Amendment #4)
12/22/50/ATH

December 12, 1950

Lewis Lumber Company
65 Bishop Street
Portland, Maine

Copy to: Engineering Services, Inc.
844 Stevens Avenue

Gentlemen:

In checking the application for amendment #4 to permit 50/624 covering extension of open platform on the westerly end of new mill at 65 Bishop Street the following questions concerning old and new work are raised:

1. We find that the foundation piers for the addition have already been constructed, apparently even before the application for the amendment was filed. As you know it is unlawful to proceed with such work until a permit or amendment to a permit has been issued and in your possession. We therefore would like an explanation as to why you have proceeded with this work without authorization therefor.

2. While the plans filed with the application call for the concrete piers to extend up to the underside of the sills and girders of the platform, the piers have been brought up only to the grade level. What do you propose to use between the piers and the sills and girders for support of the platform?

3. It is noted that the wood posts supporting the roof of the existing platform have been built up of 2x8's of random lengths bolted together at top and bottom but only fastened with spikes in between and that in some cases there are cracks between the different layers of 2x8's wide enough so that daylight may be seen between them. These posts may be called upon to handle loads of considerable magnitude and the construction provided hardly seems adequate or good from a maintenance standpoint. In construction of the new platform it will be necessary to have each 2x8 making up the posts extend in one piece for the full length of the posts, to have the several members fastened adequately together other than by spiking and to devise some method of preventing penetration of moisture between the 2x8's to cause early deterioration. We shall need to know how this is to be done and what is to be done to fasten the members of the existing posts together and to prevent moisture from penetrating the cracks before the amendment may be issued.

4. It is also noted that machinery is being installed in the mill and that apparently preparations are being made to use it although the automatic sprinkler system has not been installed and work has not progressed far enough so that a certificate of occupancy for use of the mill can be issued. It is necessary that the sprinkler system be installed and in working order before the building is put into use or before the certificate of occupancy may be issued. We have no record of any permit having been issued for the installation of this system. What arrangements have you made for its installation?

5. A ceiling has been provided over a small area of the mill although none is indicated on the plans filed with the application for permit for its construction. Is a ceiling planned over the entire area? If so its construction should be covered by an amendment to the permit giving information as to size and spacing of ceiling timbers and type of ceiling material. Installation of a ceiling will have considerable bearing on the installation of the sprinkler system since it is likely that heads will be required above as well as below the ceiling. It is necessary that this

Inspector of Buildings

Lewis Lumber Company _____ 2

December 12, 1950

department make a "closing-in" inspection of the building before the erection of such a ceiling and no more work on it is to be done until authorization for its installation has been given by a green tag left at the job.

6. Although it was specifically called to your attention in paragraph #5 of our letter of May 5, 1950 that the small exit doors at either end of the mill are required to be swinging not sliding, we find that a sliding door has been provided for the exit at the easterly end of the mill. It is necessary that this door be replaced by a door at least 3' but not over 4' wide and at least 6' 4" high, which will swing and not slide.

Before the amendment covering the construction of the addition can be issued, it is necessary that full information be furnished as to how all of the above details are to be cared for. Until issuance of the amendment it is unlawful to proceed further with any part of the work covered by it.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G.

Dear Mr. Adams:

Please note questions raised in paragraph #3 and furnish information as to whether you consider the construction of these posts adequate and if so, submit data supporting that contention; otherwise suggest what you would do to remedy the situation.

Warren McDonald

Inspector of Buildings

APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. 4

Portland, Maine, December 1, 1950

PERMIT NO. 10000
DEC 21 1950
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 50/624 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 65 Bishop Street

Owner's name and address Lewis Lumber Co., 65 Bishop Street Within Fire Limits? no Dist. No. _____

Lessee's name and address _____ Telephone _____

Contractor's name and address owner Telephone _____

Architect _____ Telephone _____

Proposed use of building Planing Mill Plans filed yes No. of sheets 3

Increased cost of work 500. No. families _____

Additional fee 25

Description of Proposed Work

To construct open platform 36' x 47' 3" on west end of existing platform as per plans.

Permit Issued with Letter

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____ 2nd _____ 3rd _____ roof _____

On centers: 1st floor _____ 2nd _____ 3rd _____ roof _____

Maximum span: 1st floor _____ 2nd _____ 3rd _____ roof _____

Approved: with letter by QJS

Lewis Lumber Company

Signature of Owner by: Tom Steinberg

Approved: [Signature]
Inspector of Buildings

INSPECTION COPY

INSPECTOR OF BUILDINGS

Inspector of Buildings

BP 50,624, Add. #3-1
(65 Bishop Street)

August 21, 1950

Lewis Lumber Company
65 Bishop Street
Engineering Services, Inc.
244 Stevens Avenue

Gentlemen:

Amendment to building permit at 65 Bishop Street to cover change in design of the roof trusses over the open platform is issued, herewith, to the owner, subject to the following:

Mr. Adams' statement of design has been received and we are compelled to rely wholly upon it since he has not shown on his plan the completed stress diagram for both sides of this asymmetrical truss.

It is not known who is to actually construct the trusses, but care must be used to use the correct edge distances from the toothed connectors to the edge of the member which it is to connect. This is especially important with the diagonal nearer the cantilevered end of the truss which is shown to carry 16,000 pounds, the largest stress in the entire diagram. These minimum edge distances should be secured from Mr. Adams, otherwise the connections will not be as strong as the members connected.

It is equally important to use the correct distances center to center of the toothed connectors and where not shown on the plan should be secured from Mr. Adams.

I learned from the designer of the trusses that he is not responsible for the design of the foundations, he being involved only with the design of the trusses.

It is unfortunate that the owner has seen fit to put in all of these piers without having covered them with an amendment to the permit, they having been put in differently than authorized under the original permit.

The owner's attention is called again to the figures in my letter of August 14 as to the unequal load on the sill for adjacent piers, piers under the trusses depositing about 3½ tons per square foot upon the soil beneath them while adjacent piers which support only the floor would deposit only about one ton per square foot on the soil. Such an inequality would probably not show up until such time as there was an extraordinary load of ice and snow on the roof.

Under these circumstances I am unable to include the new foundation piers in the amendment, and if difficulty arises due to unequal settlement, the owner will have to take responsibility for it.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMC/D

Inspector of Buildings

65 Bishop Street-2
(50/624) Amdt. #3

August 14, 1950

Engineering Services, Inc.
844 Stevens Avenue
Portland, Maine

Copy to:
Lewis Lumber Company, 65 Bishop Street

Gentlemen:

With reference to your design of roof trusses for open platform of Lewis Lumber Company at 65 Bishop Street, will Mr. Adams be kind enough to forward his signed statement of design as per Section 104-b-3 of the Building Code to be attached to the design plan of the trusses.

I presume Mr. Weisberg for Lewis Lumber Company must have meant to include in his application for amendment for the change in roof trusses, the extensive changes from the original plan on which the permit was issued in foundation piers for the platform and for the trusses. I understand that these piers have already been built, though extensively different from the arrangement and piers indicated on the original plans. Nevertheless the piers must now be included in the amendment now applied for.

I do not know whether Engineering Services, Inc. designed the foundations or not, as they are now built, but their plan of these piers indicates, as I understand the plan that all of the piers are uniform-12" diameter stem and a 20" x 20" footing 8" deep.

There has been some concern about the bearing capacity of the soil. In fact Mr. Lewis had the foundations redesigned, when the true character of the soil was known, so as to avoid future settlement.

It appears that the maximum reaction of each truss (on the end toward Bishop Street) is indicated at 15,000 pounds or 7½ tons, and that the posts supporting the trusses will come on every other pier or 12' from center to center.

It hardly seems possible that it would be attempted, but ^{as} I see the plans, the footings of the common piers (those which would not support the trusses) would deposit about three tons or a little over one ton per square foot on the soil beneath them while according to the figures on the plan for truss reactions, the footings of the piers under the truss reactions toward Bishop Street would deposit at maximum load 10½ tons or more than 3½ tons per square foot upon the soil beneath them.

Will you be good enough to tell me either where my figures are in error, or make some explanation of this extraordinary discrepancy?

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/3

Inspector of Buildings



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 3
Portland, Maine, July 31, 1950

PERMIT ISSUED
PERMIT ISSUED
AUG 21 1950
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 50/62A pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 65 Bishop Street Within Fire Limits? no Dist. No. _____
Owner's name and address Lewis Lumber Co., 65 Bishop Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Telephone _____
Proposed use of building Planing Mill Plans filed yms. No. of sheets 1
Last use _____ No. families _____
Increased cost of work _____ Additional fee 25

Description of Proposed Work

To change design of roof trusses over west platform so that the end post will set in about 7' 6" along bottom chord from its former proposed location as per plan from Engineering Services, Inc. dated 7/31/50.

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____
Framing lumber—Kind _____ Dressed or full size? _____ of lining _____
Corner posts _____ Sills _____ Girt or ledger board? _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved: _____
Signature of Owner by: Louis Steinberg
Approved: 8/21/50 _____
Inspector of Buildings

INSPECTION COPY



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 2
Portland, Maine, July 10, 1950

PERMIT ISSUED
JUL 10 1950
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 504621 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 65 Bishop Street Within Fire Limits? no Dist. No.
Owner's name and address Lewis Lumber Co., 65 Bishop Street Telephone
Lessee's name and address Telephone
Contractor's name and address OWNER Telephone
Architect Plans filed no No. of sheets
Proposed use of building Planing Mill No. families
Last use No. families
Increased cost of work Additional fee .25

Description of Proposed Work

To change location of the open platform on west end of building so that it will be 5' closer to the line of Bishop Street than shown on the plan with original permit, platform and roof to be the same overall size as shown on original plan and both to be framed in the same manner as originally shown, except that independent piers will be provided against the building to support the girders of the platform instead of supporting them on the foundation of the main building as originally shown.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber--Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: Lewis Lumber Co.
Signature of Owner by Benjamin Lewis
Approved: 7/10/50 Inspector of Buildings

INSPECTION COPY



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1
Portland, Maine, May 23, 1950

PERMIT ISSUED

MAY 31 1950

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 50/624 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 65 Bishop Street Within Fire Limits? no Dist. No. _____
Owner's name and address Lewis Lumber Co., 65 Bishop Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
City _____ Plans filed yes No. of sheets 1
Type of building Planing Mill No. families _____
Additional fee .25
Estimated cost of work _____

Description of Proposed Work

To make changes in foundation as per plan.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
Lewis Lumber Co.

Approved: _____

Signature of Owner by Louis Heisberg

Approved: 5/29/50 WUT
Inspector of Buildings

INSPECTION COPY

AP 65 Bishop Street-I

May 5, 1950.

Mr. Benjamin Lewis
Lewis Lumber Company
65 Bishop Street
Portland, Maine

Copies to:
- Miller & Seal, Inc., 465 Congress Street
Bancroft & Martin Rolling Mills Co., 7 Main Street
South Portland,

Dear Mr. Lewis

The permit for construction of a new planing mill 70' x 96' on your property at 65 Bishop Street is issued herewith based on the plans of Miller & Seal, including details as shown on Sheet 3 bearing revision date of January 1, 1950, and the design of the trusses for roof of main building as indicated on plan of Bancroft & Martin Rolling Mills Company bearing the date of January 13, 1950. Conditions under which the permit is issued are as follows:

1. While the plans call for a building 176' long, the permit is issued for only the westerly 96' of this overall length on your advice that this section is all you intend to build at this time. Construction of a building greater than 96' in length will call for another permit or an amendment to this permit if work under it has not been completed at that time.
2. The location of the building on which the permit is issued is with the front wall 15' in from the line of Bishop Street and the westerly wall 81' from the property line between the Rawboldt property and yours, this being the location for which excavation has already been made and some of the forms for foundation walls have been erected. This will mean that in order to keep an open driveway at least 20' wide next to the Rawboldt property line to give quick access to the existing mill on the rear of your lot as you have agreed with Chief Sanborn of the Fire Department you would do, the open platform with roof over it on the westerly end of the new building will be not more than 61' wide instead of the 65' shown on the location plan. The permit is issued on this basis.
3. The front, rear and westerly walls of the building are to be supported on concrete trench walls extending at least four feet below grade, the easterly wall being the only one to be supported on piers. The permit is issued on the basis that if wet soil conditions are encountered, you will consult the architects as to the adequacy of the thickness of the wall as shown on the plans to spread the loads involved so as not to overload the particular kind of soil on which it is placed and will file an amendment to this permit covering any changes in design that may be necessary.
4. It is understood that the entire building is to be protected by an automatic sprinkler system. A separate permit issuable only to the installer is required for the installation of this system.
5. As indicated in red crayon on the plans, an exit door with platform and steps outside it is to be provided in the easterly end of the building near the rear wall. This door as well as the small door in the other end of the building is required to be at least 36" wide and 6' 4" high and to be swinging, not sliding. Vestibule locksets so installed that the doors may always be opened from the inside even though locked against entrance from the outside by merely turning the usual door knob or by pressure on the ordinary thumb lever are required and are to be installed on each of these doors. An exit sign with letters at least six inches high is required over the door in the end of the building towards Forest Avenue.

Mr. Benjamin Lewis-----2

May 5, 1950

6. The platform outside the easterly exit door is to be at least 3' deep and wide enough to extend at least 9" beyond the door opening on each side. Sills of platform are to be no less than 4x6, all one piece in cross section with the floor timbers no less than 2x4 spaced 16" on centers and supported either on top of the sills or on no less than 2x3 nailing strips spiked to the sides of the sills. Steps are to be at least 3' wide with risers not over 8 1/2" high and treads not less than 9" wide, measured on the points, and with a handrail on at least one side. Foundations of platform and steps are to be either cedar posts or concrete piers extending at least 4' below grade. If concrete piers are used they are to be no less than 8" square on the top and 10" square on the bottom.

7. Before the building is put into use, floor load signs of a permanent character are to be displayed in conspicuous places, these signs to indicate the maximum superimposed or live load which the floor is designed to support.

8. It is unlawful under State law to occupy the building upon completion until the certificate of occupancy has been issued by this department. Therefore as soon as all essential details of the building have been constructed, you are to notify this office for a "final" inspection of the building when, if everything is found in compliance with law, the certificate of occupancy will be issued.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G

AP 65 Bishop Street
Amendment # 5

May 3, 1951.

Lewis Lumber Company
65 Bishop Street
Portland, Maine

Gentlemen:

Amendment # 5 to Permit 50/624 covering a 16'x 70' addition to the easterly end of the planing mill at 65 Bishop Street and additions to the loading platform on the westerly end of the building is issued subject to the following:

1. It is understood that the addition to the mill is to be constructed in the same manner as the rest of the building except that no roof truss is to be provided over the new end wall, which is to be built in the same way as the westerly end wall of the building.

2. The exit door in the present easterly wall of the building is to be moved to a similar location in the new end wall and the platform and steps outside this door are to be set in place on foundations extending at least four feet below grade outside the new door opening.

3. The sprinkler system in the building is to be extended to cover the new addition.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/B



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #5

Portland, Maine, April 18, 1951

PERMIT ISSUED

MAY 4 1951

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 50/621 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 65 Bishop Street Within Fire Limits? no Dist. No.
Owner's name and address Lewis Lumber Co., 65 Bishop Street Telephone
Lessee's name and address Telephone
Contractor's name and address owner Telephone
Architect Plans filed YES No. of sheets 3
Proposed use of building Planing Mill No. families
Last use " No. families
Increased cost of work 1250. Additional fee .25

Description of Proposed Work

To construct 16'x70' addition to mill on east end as per plan. Moving existing wall over 16'.
To construct 9' x 4'52' wide addition on west end of loading platform, as per plan.
To construct 4'x48' addition to loading platform as per plan and 16' x 36' "

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: with letter by AGJ

Lewis Lumber Co.

Signature of Owner by L. Hainberg

Approved: 5/4/51 Inspector of Buildings

INSPECTION COPY

AP 65 Bishop St.

December 19, 1949

Mr. Benjamin Lewis,
c/o Lewis Lumber Co.,
65 Bishop Street
Portland, Maine

Subject: Application for permit to
construct planing mill at 65 Bishop St.

Dear Mr. Lewis:

After checking the architects' revised plans we found that we could not issue the general construction permit because of lack of information with regard to the roof trusses.

Being mindful of the fact that both you and the architects had told me that you were anxious to get the foundation in on account of the approach of severe weather, I telephoned your office on December 9th, found that you were out of the city, and left the message that if you desired to get started at once, we could issue an advance permit for excavation and foundation only, but that in order to issue such a permit, you would first have to file application for it—suggesting that if possible you come in on Saturday morning, December 10th and file the application for the advance permit, whereupon it would be issued and you could start immediately.

You have not been in to file the application for advance permit, so that we could not issue it. When I mentioned the matter at the zoning hearing on Friday, you seemed to have some misunderstanding about it. This letter is for the purpose of clearing up any possible misunderstanding.

If you desire to come in and apply for the advance permit for excavation and foundation only, it will be issued to you immediately, whether I am in the office or not. We cannot issue the permit until it is applied for.

You will be notified shortly as to what information is missing with regard to the roof trusses.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMC/D/H
CC: Miller & Beal, Inc.
465 Congress St.

Gentlemen:

With regard to the roof truss over the platform Mr. Mayo phoned that he desired to revise the details as regards connections. We have not received any revised plans as yet.

Warren McDonald

AP 65 Bishop Street-1

November 7, 1947

Lewis Lumber Company
Attn: Mr. Benjamin Lewis
65 Bishop Street
Miller & Beal, Inc.
465 Congress Street

Subject: Application for building permit for
construction of mill at 65 Bishop Street

Gentlemen:

While we are awaiting the detailed plans and design data (bearing the signed statement of design of the designer) of the bow-string trusses which the architect says are to be designed and fabricated outside of the Portland area, also the name of the contractor, check of the plans discloses the following features which require decisions or additional information:

1. Construction of the proposed mill in the location shown again raises the question of approaches for the Fire Department in case of fire in the present mill. Permit for enlargement of the present mill to its present area was issued on the basis of two good ways of approach for the Fire Department in case of fire. Two ways of approach are required by the Building Code, even though the building is sprinklered, because the area is so large and the building is of wooden frame construction.

After discussion with Mr. Lewis and the Chief of the Fire Department, it was agreed to accept the railroad right of way as one means of approach and the other from Bishop Street provided the owner would keep an open driveway wide enough for the Fire Department apparatus to get through, adjacent to the easterly property line of the Hawboldt property to give quick access to the east end of the present mill. This arrangement did not show complete compliance with Building Code requirements, but was acceptable upon approval of the Chief of the Fire Department. The Chief now feels that this verbal arrangement should be lived up to, that the driveway proposed on the east side of the proposed mill is not the equivalent of the one agreed upon and that the proposed location of the mill should be changed or the open platform on the west end cut down so that the driveway of adequate width agreed upon on the easterly side of the Hawboldt property will always be available. The owner should decide which course to pursue and give us the revised location plan and also a written statement that this driveway from Bishop Street and sufficient open area will always be kept open, free of obstruction, and that a width of open space, full length of the north side of the proposed mill between the proposed platform and the third building on the property occupied by others will always be kept open and available for maneuvering of Fire Department in case of fire in this third building which, I understand, is not sprinklered. This latter space between proposed platform and third building on the property scales only 35' which includes the railroad siding, which might have one or more cars on it in time of fire. I have talked this situation over with Chief Sanborn, and it seems best for owner or architect to talk the matter over with him to arrive at some suitable adjustment satisfactory to him. It may be that the proposed mill can be moved closer to Bishop Street.

2. Show an exit doorway at least 3' wide, swinging, in the east wall of the proposed mill, and necessary platform and steps outside; show that the door toward Bishop Street on the other end of the mill will be at least 3' wide, and that both of these doors will be equipped with vestibule latchsets and with standard exit signs over them in such a position that all persons in the mill will know unerringly what direction to take to reach either of these doors—not obstructed by piles of lumber or anything else.

Sections 205e, 212e2.5 and 4.

Lewis Lumber Company
Hiller & Beal, Inc.

November 7, 1949

3. How is the mill to be heated? Section 212h does not allow the warm air system by gravity.
4. Show depth of foundation walls and piers in figures, and method of anchoring superstructure. It would be well for the owner to determine in advance by tests about how deep it is necessary to go to reach the soil of required bearing area for 8,000 pounds per square foot, and we would like to have the conditions found by such an investigation.

If the bow-string trusses are to be fabricated by welding, it is necessary that the manufacturer furnish a written statement to the effect that all of the welding has been done by welders who have been qualified under the qualification procedure of the American Welding Society within one year prior to the date of doing the welding (no other procedure will satisfy the requirements), and this written certification, allowed for work outside of the Portland area, should be in this office before the trusses are shipped to avoid delay in erection of them after their arrival.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/G
CC: Oliver T. Sanborn
Chief of the Fire Department

INDUSTRIAL ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

APR 25 1949

CITY of PORTLAND



Class of Building or Type of Structure Installation

Portland, Maine, April 23, 1949

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~repair~~ install the following ~~building~~ equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland; plans and specifications, if any, submitted herewith and the following specifications:

Location 65 Bishop Street Within Fire Limits? Dist. No.
Owner's name and address Lewis Lumber Co., 65 Bishop Street Telephone
Lessee's name and address Telephone
Contractor's name and address Grinnell Co., 275 W. Exchange Street, Providence Telephone
Architect Specifications Plans yes R. I. No. of sheets 1
Proposed use of building Saw Mill & Lumber Storage No. families
Last use " " " No. families
Material wood No. stories 1 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ Fee \$2.00

General Description of New Work

To install automatic sprinkler system to cover entire building as per plan. Dry system.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO E. N. Sweetser, 38 Green St., Gorham.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated.
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Lewis Lumber Co.
Grinnell Co.

Signature of owner by: E. N. Sweetser

INSPECTION COPY

SPECIFICATIONS ACCOMPANYING APPLICATION FOR AMENDMENT NO. 2 TO BUILDING PERMIT
55/1774 AND RELATING TO CONSTRUCTION OF STORAGE BUILDING AT THE
CORNER OF 61 PISHA STREET

December 16, 1935

1. This specification is to be considered as such a part of the application for the amendment to the original permit as though written upon the application form, and failure to mention any requirement of the Building Code herein does not relieve the owner or contractor from complying therewith.

2. Collar beams at least 2x4 in size will be provided across every other pair of rafters in the second story.

3. The 4x6 knee braces supporting the 4x6 plates and 4x6 and 4x10 built-up girts or girders beneath the second floor will be supported at their lower ends by pieces of 2x6 thoroughly spiked or bolted to the posts and that their upper ends be 2x6 thoroughly spiked or bolted to the underside of girts, plates, or girders and extending between the upper end of the pairs of knee braces supporting each given timber. (It is understood that this knee brace construction is not recommended by the Building Inspection Department especially where the knee braces are likely to produce an outward thrust on posts in the outside walls.)

4. The girts and center girder beneath the second floor level will be halved out and the corresponding posts in the second story cut in such a manner that the second story posts will all rest directly upon the top of the first story posts and in the case of the corner posts, the first story posts will be cut and all arranged so that there will be a splice at least 18 inches in length where the corner posts in the second story join the corner posts in the first story.

5. If the second ^{story} is to be enclosed, at least 2x4 vertical studs placed not more than 16 inches from center to center will be used in the outside walls.

6. Before the second floor of this building is occupied, a permanent and conspicuous sign will be provided on the wall indicating the capacity of the floor per square feet.

File: P.55/1774-I
Amendment 2

December 14, 1955

Mr. Francis J. Bram,
Sunderland Club,
116 High Street,
Portland, Maine

Dear Sir:-

I have checked the plan of your proposed change in the storage building now under construction at the rear of 61 Bishop Street.

There are several details on the plan which are not very clear to me, and for your convenience I have written a brief specification which you may sign and thus make a part of your application for the amendment to the permit and avoid making changes in the plan.

If you will sign this specification and return to this office promptly we will issue the amendment to the permit.

Very truly yours,

McD/H
CC: J. Everett Low

Inspector of Buildings.

SPECIFICATIONS ACCOMPANYING APPLICATION FOR AMENDMENT NO. 2 TO BUILDING PERMIT
55/1774 AND RELATING TO CONSTRUCTION OF STORAGE BUILDING AT THE
REAR OF 61 BISHOP STREET

December 14, 1935

1. This specification is to be considered as such a part of the application for the amendment to the original permit as though written upon the application form, and failure to mention any requirement of the Building Code herein does not relieve the owner or contractor from complying therewith.
2. Collar beams at least 2x4 in size will be provided across every other pair of rafters in the second story roof.
3. The 4x6 knee braces supporting the 4x6 plates and 4x6 and 4x12 built-up girts or girders beneath the second floor will be supported at their lower ends by pieces of 2x6 thoroughly spiked or bolted to the posts and that their upper ends by 2x6 thoroughly spiked or bolted to the underside of girts, plates, or girders and extending between the upper end of the pairs of knee braces supporting each given timber. (It is understood that this knee brace construction is not recommended by the Building Inspection Department especially where the knee braces are likely to produce an outward thrust on posts in the outside walls.)
4. The girts and center girder beneath the second floor level will be halved out and the corresponding posts in the second story cut in such a manner that the second story posts will all rest directly upon the top of the first story posts and in the case of the corner posts, the first story posts will be cut and all arranged so that there will be a splice at least 18 inches in length where the corner posts in the second story join the corner posts in the first story.
5. If the second ^{story} is to be enclosed, at least 2x4 vertical studs placed not more than 16 inches from center to center will be used in the outside walls.
6. Before the second floor of this building is occupied, a permanent and conspicuous sign will be provided on the wall indicating the capacity of the floor per square foot.



Original Permit No. _____

Amendment No. 2

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, December 7, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 35/1774 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 71 Bishop Street Ward 9 With the Fire Limits? NO Dist. No. _____

Owner's or Lessee's name and address Francis J. Brown, Cumberland Club

Contractor's name and address J. Everett Low, 1819 Forest Avenue

Plans filed as part of this Amendment yes No. of Sheets _____

Increased cost of work \$00. Additional fee \$5

Description of Proposed Work

To erect second story app. 29' x 20' in rear of shaving tower on shed covered under amendment No. 1 of this permit, as per plans submitted

*Amendment denied by
failure to sign specifications*

Signature of Owner Francis J. Brown

Approved: _____

Chief of Fire Department.

Approved: 12/14/35

Commissioner of Public Works.

Inspector of Buildings.

INSPECTION COPY



Original **PERMIT ISSUED**

Amendment No. _____

NOV 7 1935

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, November 5, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 35/1774 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Road 61 Bishop Street Ward 9 With the Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address Francis J. Braun, Cumberland Club

Contractor's name and address J. Everett Low, 1819 Forest Ave.

Plans filed as part of this Amendment yes No. of Sheets 1

Increased cost of work 150. Additional fee .25

Description of Proposed Work

To erect one story frame addition app. 29' x 50' on west of shaving tower
Foundation concrete piers, pitch roof 5" rise to foot, Asphalt roofing Class C Under-
writers' Lab. corner posts 6x6 ~~2x4~~ - dirt floor, rafters 1x6 12" on center
Addition to be open shed for storage of baled shavings and lumber 20'

Signature of Owner Francis J. Braun

Approved: _____

Chief of Fire Department.

Commissioner of Public Works.

INSPECTION COPY

Approved: 11/7/35

Inspector of Buildings.

File P.35/1774-1

Mr. Francis J. Braun,
Cumberland Club,
118 High Street,
Portland, Maine

Dear Sir:-

Referring to your application for an amendment to your building permit for a shaving tower at the rear of 81 Bishop Street, the amendment calling for a one story frame addition 28'x50', in order that I may tell whether or not the proposed addition will comply with Building Code requirements, please put additional information on the plans which we have or let me have the answers to the following questions:

Are the rafters to be dressed and therefore be reduced to about five and five-eighths inches in depth? *5 3/4 x 1 3/4 Negative Hand touch*
Will there be any second floor? *no*
If so, for what will it be used?
What will be the spacing of the 2x6's shown across the building at the level of the eaves?
What will be the size and spacing of the vertical studs?
For what are the 2x4's intended which are shown across the building, on what is evidently a cross section on the plan? *all sides*
Is either end of the building to be opened? *all sides*
How is the roof or rafters to be supported at the end of the building at an acute angle with one of the sides? *4 x 6*
Are the sills to be dressed on four sides thus cutting down their defective strength?

The Building Code requires a minimum of 2x4 vertical studs spaced not more than 16 inches from center to center. If any material is to be stored in the building which would cause outward pressure on these studs, they should be larger on account of their 12 foot height. If you intend to use this stud construction it is not clear what you gain by using so many 6x6 posts. Unless the rafters are to be full size 2x6 and spaced no more than 16 inches from center to center they are not heavy enough.

May we have this additional information promptly so that the permit may be issued.

Very truly yours,

Inspector of buildings.



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, October 17, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Rear app. 61 Bishop Street Ward 9 Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address Francis J. Braun, Cumberland Club Telephone _____
 Contractor's name and address J. Everett Low, 1319 Forest Ave. Telephone _____
 Architect's name and address _____
 Proposed use of building Shaving Tower No. families _____
 Other buildings on same lot Will
 Plans filed as part of this application? yes No. of sheets 2
 Estimated cost \$ 500. Fee \$.75

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect shaving tower, 20' x 20' as per plan

NOTIFICATION BEFORE LOCKING
OR CLOSING-IN IS WAIVED
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
 Size, front 20' depth 20' No. stories 1 Height average grade to highest point of roof 70'
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation concrete piers Thickness, top 10" bottom 14"
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof hip Rise per foot 4" Roof covering Asphalt roofing Class C Und. 5cb.
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat no Type of fuel _____ Is gas fitting involved? _____
 Corner posts 6x6 Sills 4x6 Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x5
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof 2"
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Francis J. Braun

Signature of owner By J. Everett Low

INSPECTION COPY

55 278

Ward 9 Permit No. 35/1774
 Reason: Reapp. 61 Bishop St
Francis J. Braun
 Date of permit 10/17/35
 Notif. closing-in
 Inspn. closing-in
 Fina. Notif.
 Final Inspn. 9/9/36
 Cert. of Occupancy issued none

NOTES
 10/23/35 Framing started - A.G.S.
 11/12/35 Framing of shaving trough nearly completed; additional work not started except for concrete work - A.G.S.
 11/16/35 40' span
 span good for
 framing
 dated. Ad-
 + town
 ced by
 all. See

COMMIT PERMITS
 OCT 1935

Description of proposed building to be erected
 General Description of Work

City Engineer

Permit No.

Date of Issue

City

State

County

City

November 15, 1934

File Receipt 3304 B-I

Mr. Francis J. Braun,
Cumberland Club,
116 High Street,
Portland, Maine

Dear Sir:

Enclosed is a preliminary building permit covering excavation, foundation and superstructure except roof framing in connection with your proposed building at the rear of 61 Bishop Street.

While the construction work, covered by this permit, apparently satisfies the Building Code requirements, it seems only fair to call your attention to rather large inconsistencies in the floor framing. The design that you have submitted calls for 8x8 girders on eight foot spans and 3x10 floor joists on nine foot spans. The girders appear to be good for a total load of 90 pounds per square foot while the 3x10 joists are adequate to carry a load of 250 pounds per square foot. In other words the strength of the joists is almost three times the corresponding strength of the girders.

Whether or not you desire to change the framing in order to make the two classes of members of more equal strength is not of great moment to this department, although a load of 90 pounds per square foot for the girders does not seem very large when the nature of materials and machinery that you are likely to store in the building is taken into account. By eliminating one line of girders, thus putting the 3x10 joists on a 12 foot span, and by increasing somewhat the size of the girders you can eliminate one entire line of concrete piers and make the joists and girders of almost exactly the same carrying capacity at 140 pounds per square foot.

If you should desire to change this framing, please give the details as soon as possible. If we do not hear from you within a day or two we shall assume that you are going ahead with your own plans. The final permit will be available as soon as the roof framing has been checked and found satisfactory.

Very truly yours,

McD/H

Inspector of Buildings.

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for planing mill

at app. 65 Bl. hop. Street

Date 11/8/34

1. In whose name is the title of the property now recorded? Portland Terminal Co.
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Takes on line - R.R. Track.
3. Is the outline of the proposed work now staked out upon the ground? yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced?
4. What is to be maximum projection or overhang of eaves or drip? 5 to 6"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Haris J. Braun



INDUSTRIAL ZONE

Permit No. _____

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, November 8, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~after install~~ the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Rear app. 61 Bishop Street Ward 9 Within Fire Limits? no Dist. No. _____

Owner's ~~or Lessee's~~ name and address Francis J. Braw, Princeton, Pa. Telephone _____
Gusborland Club Telephone 3-6834

Contractor's name and address Owner Telephone _____

Architect's name and address _____

Proposed use of building Finding Mill No. families _____

Other buildings on same lot _____

Plans filed as part of this application? yes No. of sheets 2

Estimated cost \$ 5,000. Fee \$ 2.50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To erect one story frame building 160' x 33'

10/15/34

Preliminary Permit given to excavate and construct foundation and build superstructure except roof framing.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height above grade to top of plate 18'

From _____ depth _____ No. stories _____ Height above grade to top of plate _____

To excavated on solid or filled land? no earth or rock? _____

Material of foundation concrete piers Thickness 8" and 9" CC top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof pitch Rise per foot 5" Roof covering A split roofing Class C Und. Lab.

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat non steam Type of fuel _____ Is gas fitting involved? _____

Corner posts 8x8 Sills 8x8 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 5x10, 2nd _____, 3rd _____, roof 2x8

On centers: 1st floor 16"-17", 2nd _____, 3rd _____, roof 24"

Maximum span: 1st floor 9', 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls: _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Francis J. Braw

INSPECTION COPY

2306

Ward 9 Permit No. 34/1950
 Location: 11/23/34
 Owner: Francis J. Brown
 Date of permit: 11/23/34
 Notif. in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 11/27/34
 Cert. of Occupancy issued

11/23/34
 12/1/34
 12/21/34
 1/14/35
 2/16/35

NOTES

11/26/34
 12/1/34
 12/21/34
 1/14/35
 2/16/35

11/26/34
 12/1/34
 12/21/34
 1/14/35
 2/16/35