

GOSSEN LIVINGSTON  
ASSOCIATES, P.A.

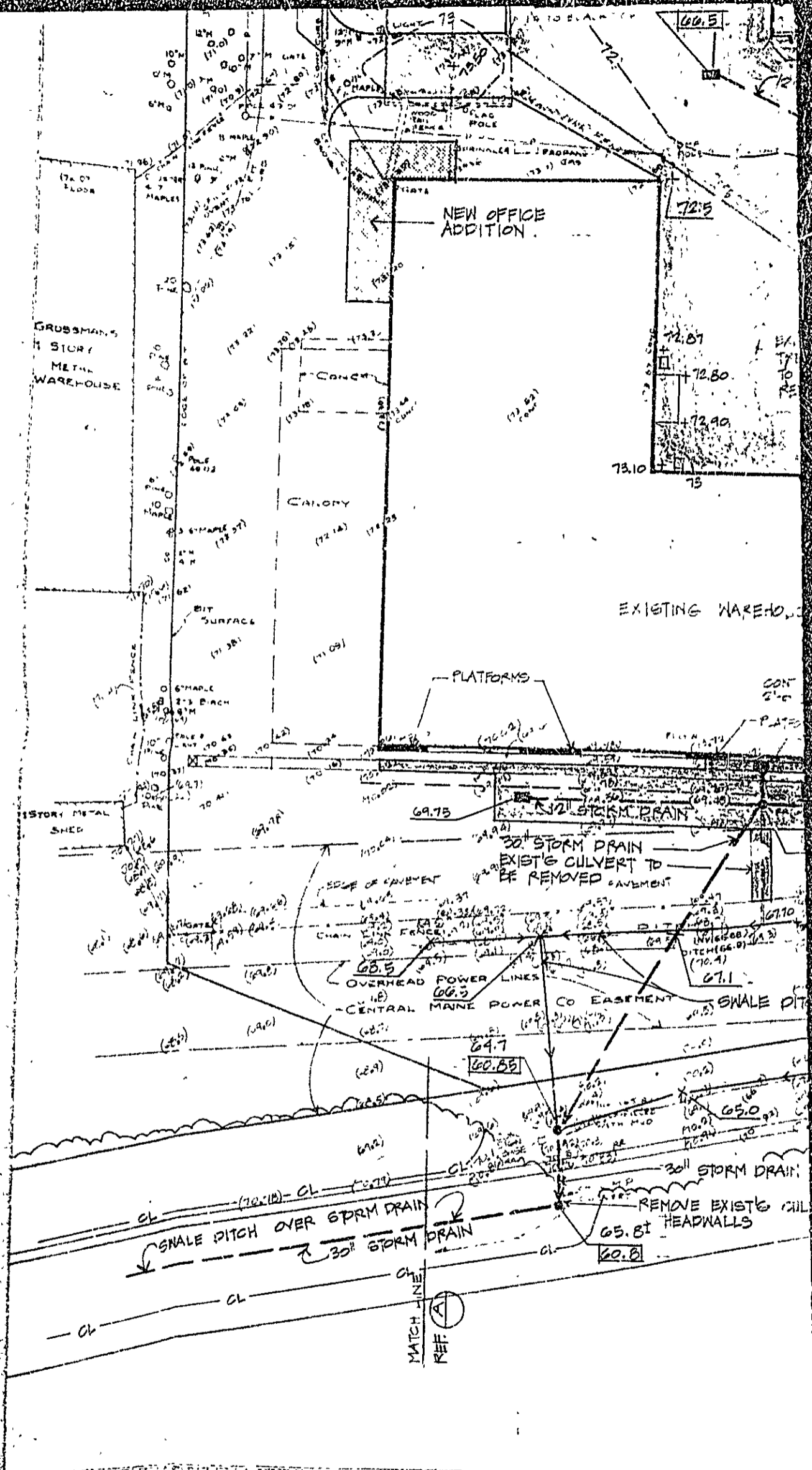
420 S. EMPORIA, WICHITA, KANSAS 67202  
ARCHITECTS • PLANNERS • ENGINEERS (316) 265-5367



9/7/78 —  
Permit for addition  
Voided.

Fire Dept —  
Planning Board —  
Public Works —  
have approval <sup>into</sup> plan.

Georgia Pacific has  
decided not to go ahead  
with addition at this



NEW OFFICE ADDITION

GRUSSMAN'S 4 STORY METAL WAREHOUSE

EXISTING WAREHOUSE

PLATFORMS

30" STORM DRAIN

EXIST'G CULVERT TO BE REMOVED

OVERHEAD POWER LINES  
CENTRAL MAINE POWER CO EASEMENT

SWALE PITCH OVER 30" STORM DRAIN

30" STORM DRAIN

REMOVE EXIST'G CUL HEADWALLS

MATCH LINE

FILE # 48 5

SHALLOW SWALE DITCH

MEET EXISTING

70.9  
67.0

71.4

71.5

71.5

MEET EXISTING

72.0

71.0  
66.5

NEW OFFICE ADDITION

72.5

GROSSMANS  
1-STORY  
METAL  
WAREHOUSE

72.87

72.80

72.90

73.10

73

CANOPY

EXISTING WAREHO.

PLATFORMS

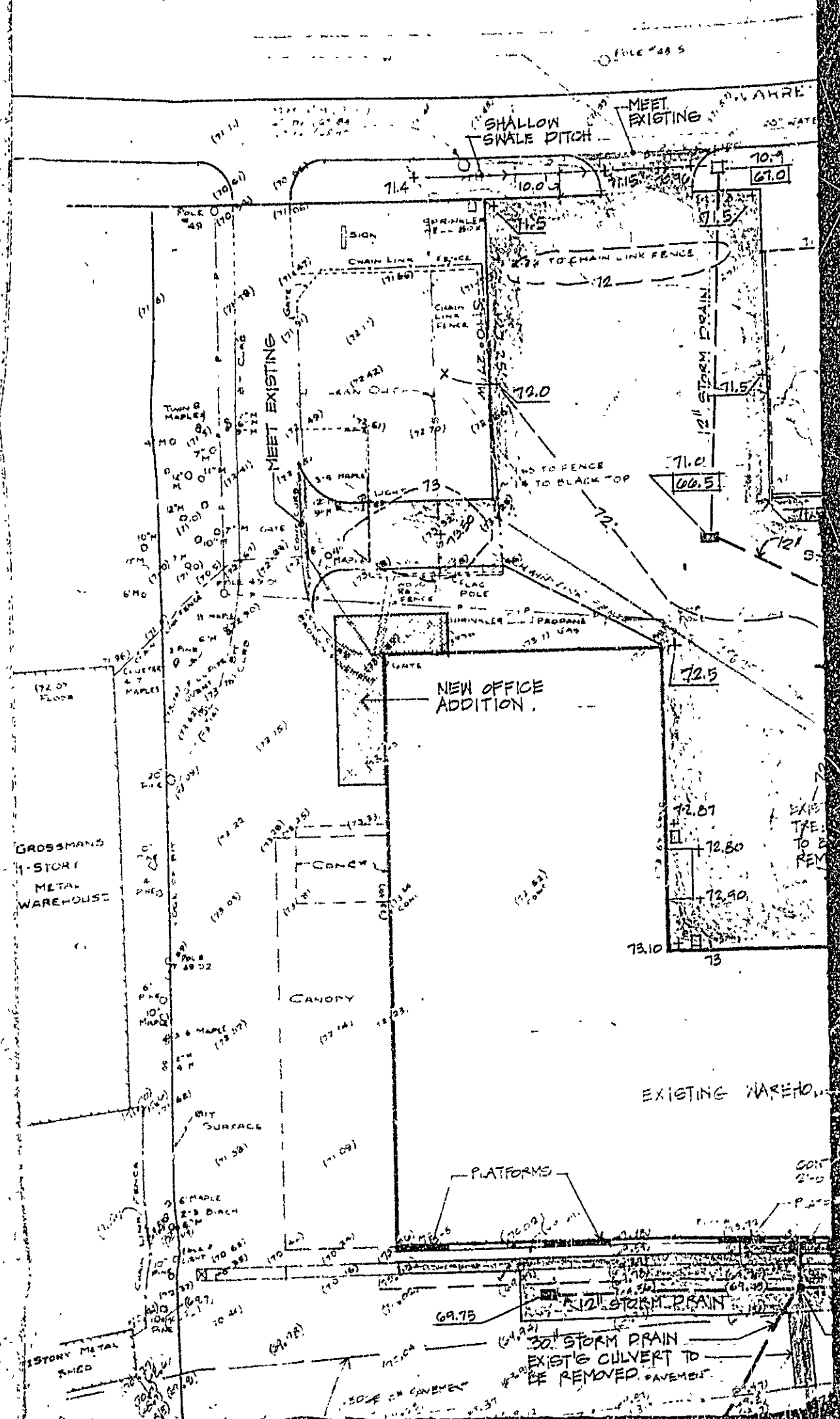
EXISTING 12" STORM DRAIN

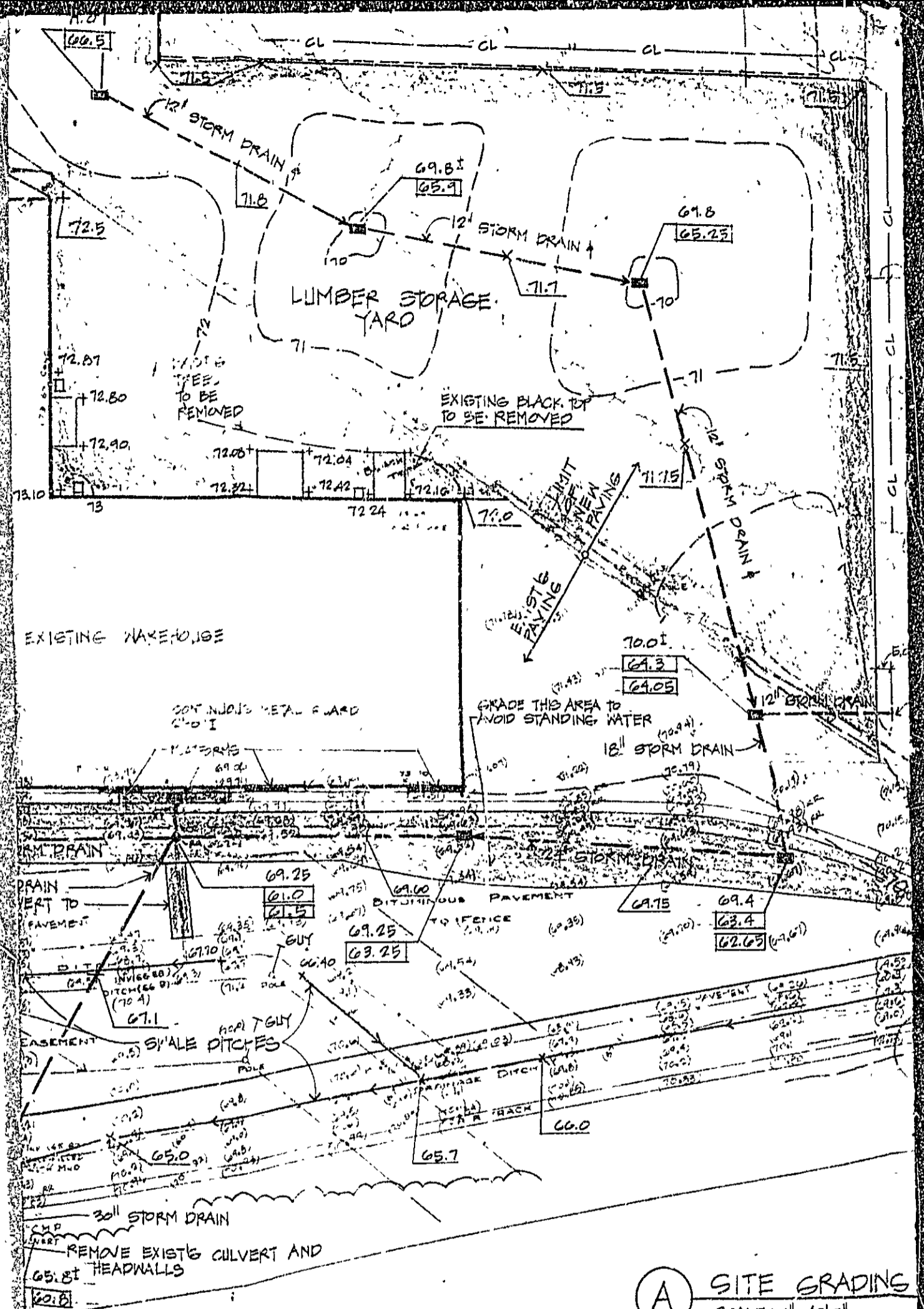
EXISTING 30" STORM DRAIN  
EXISTING CULVERT TO  
BE REMOVED PAVED

69.75

EXISTING METAL  
SHED

SOLE ON CONCREMENT

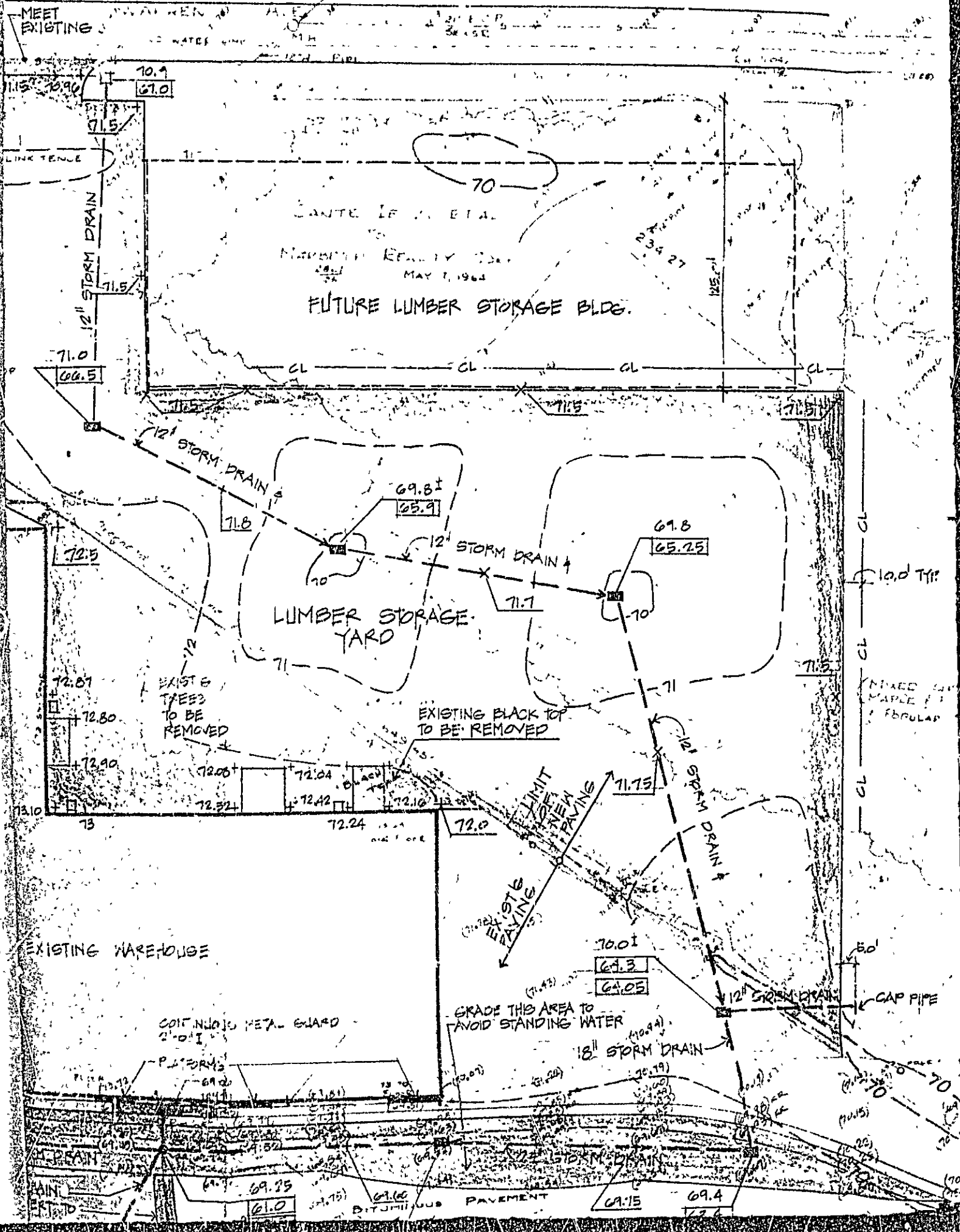


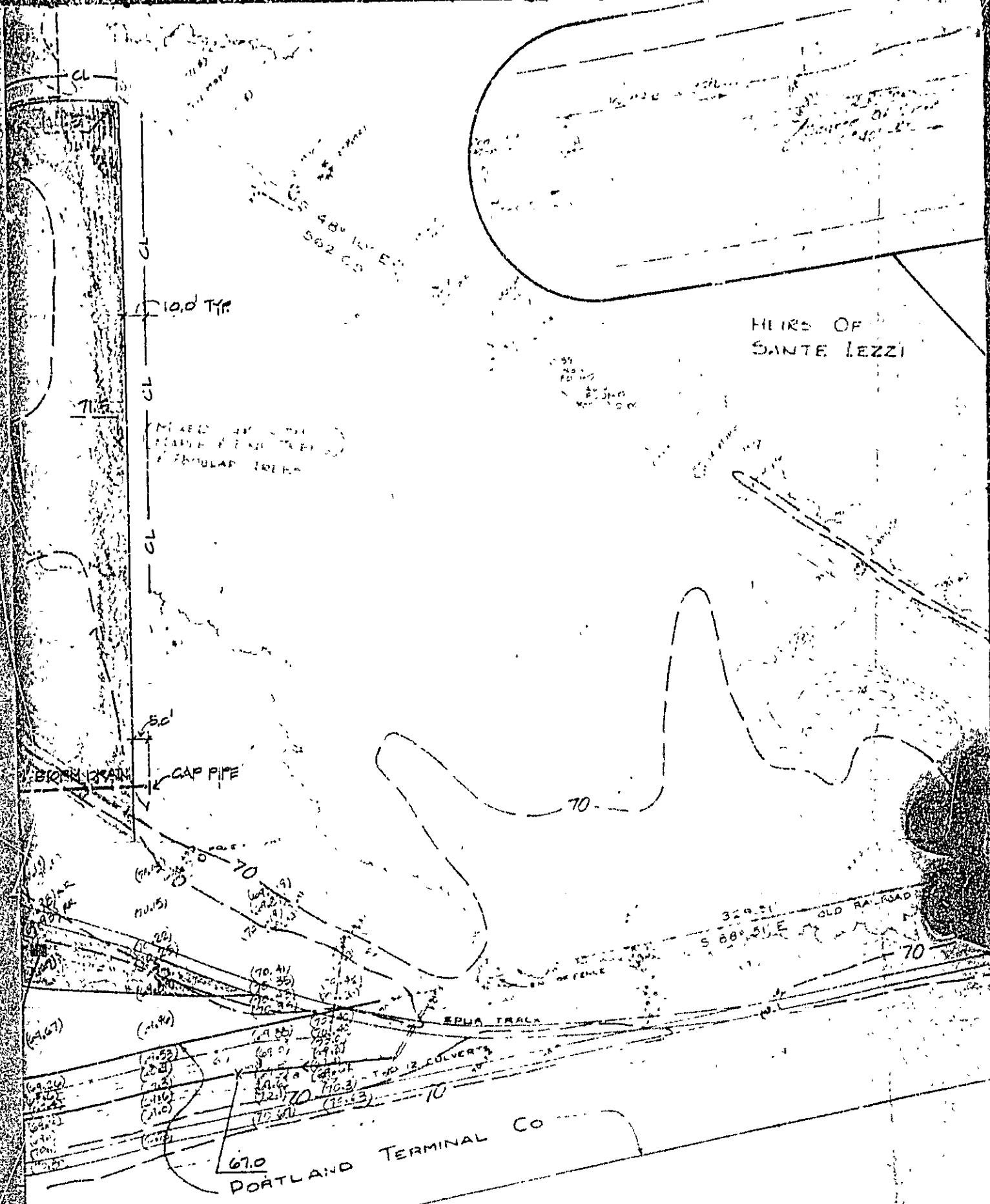


**(A) SITE GRADING**  
 SCALE: 1" = 40'-0"

NOTE: BENCH MARK IS SP ELEV (72.18) MEAN 7

DATE: 11 13  
TIME: 10:45  
BY: [unclear]





HILLS OF  
SANTE LEZZI

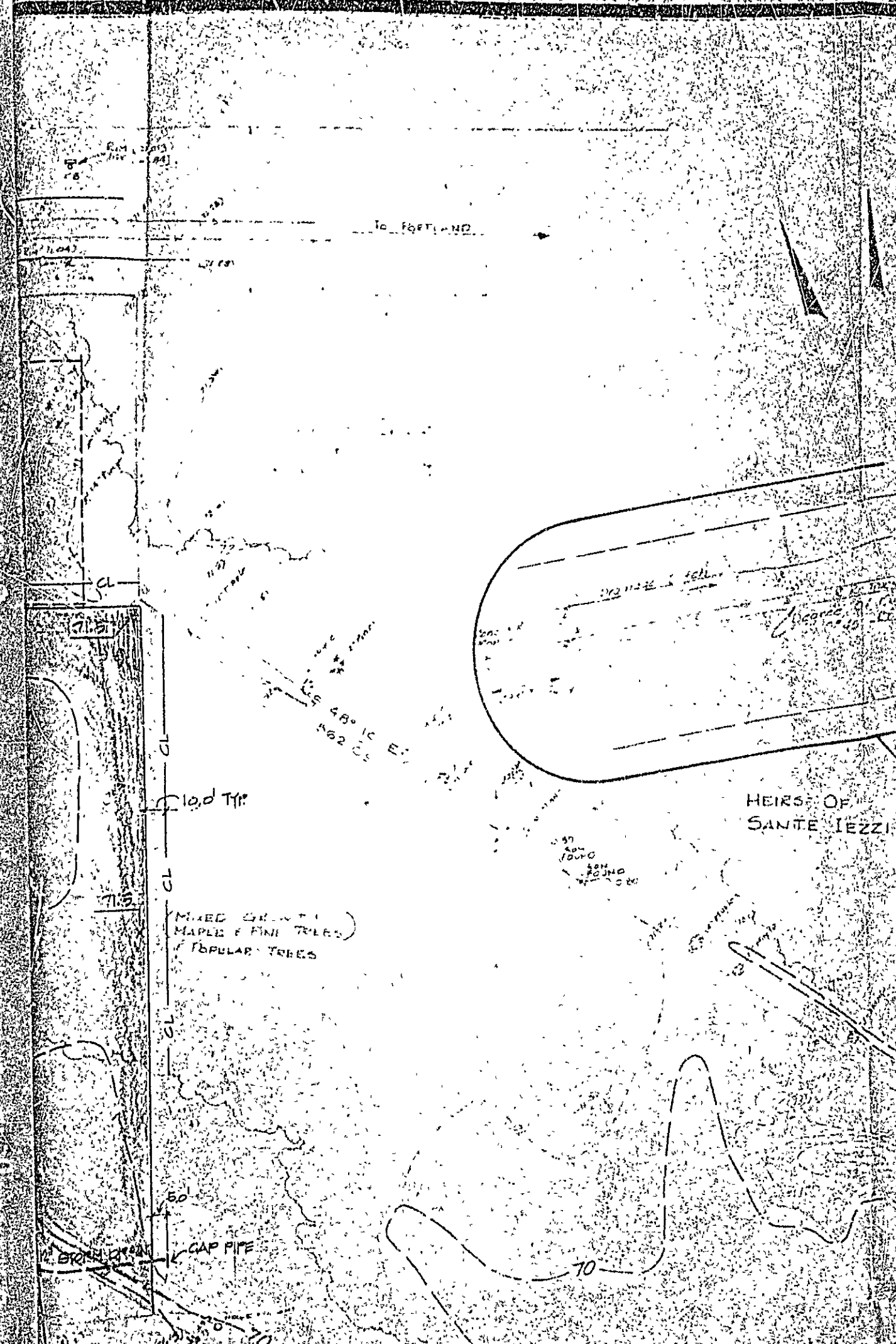
**GRADING PLAN**

Scale: 1" = 40' 0"  
 BENCH MARK IS SPIRE IN POLE 48-5  
 ELEV (72.18) MEAN TIDE + (00.00)

PLANNING Dept.  
 OK 1/20/18  
 8/31/18

**LEGEND**

- 69.51 CATCH BASIN AND RIM ELEV
- 69.51 5' DIAMETER MANHOLE WITH BASIN TOP
- 69.51 FINISHED GROUND ELEVATION
- CL CLEARING LIMIT LINE (TREE)
- EXISTING TREE LINE (APPR)
- PITCH OR CHANNEL
- 60.4 INVERT ELEVATION



TO FORTLAND

HEIRS OF  
SANTE IEZZI

MIXED GRANT (MAPLE & PINE TREES)  
& POPULAR TREES

50'  
GAP PIPE

70'

71.5

71.5

71.5

CL

CL

CL

CL

CL

CL

CL

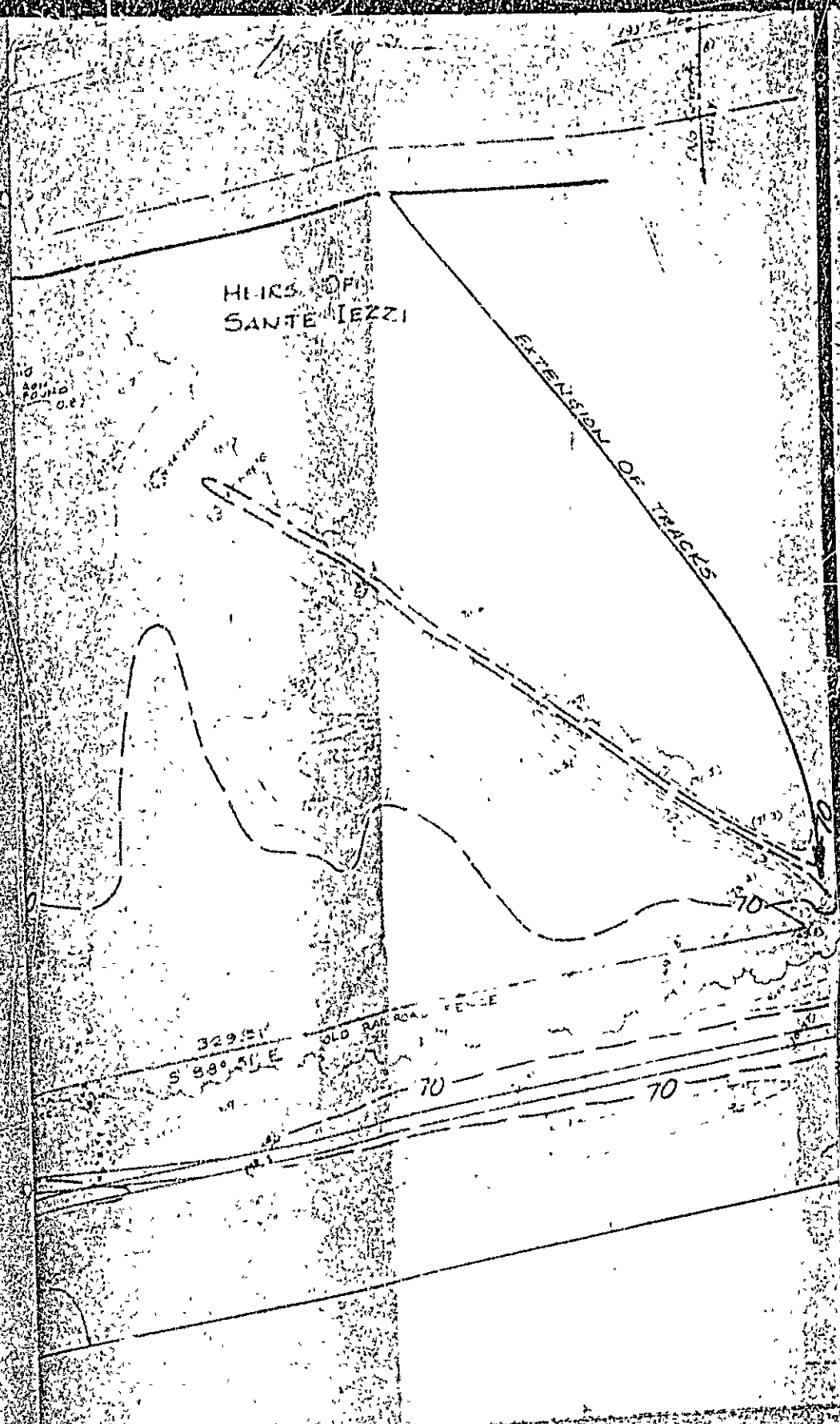
CL

100' TR

48° 10' E  
502.05

50'  
40'  
100'  
50'  
FOUND

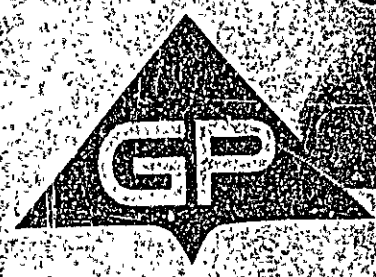
RAILROAD



**LEGEND**

- CATCH BASIN AND RIM ELEVATION
- 5' DIAMETER MANHOLE WITH CATCH BASIN TOP
- FINISHED GROUND ELEVATION
- CLEARING LIMIT LINE (TREES)
- EXISTING TREE LINE (APPROX.)
- PITCH OF CHANNEL
- INVERT ELEVATION

GP



ADDITIONS TO  
DISTRIBUTION CENTER IN  
PORTLAND, MAINE

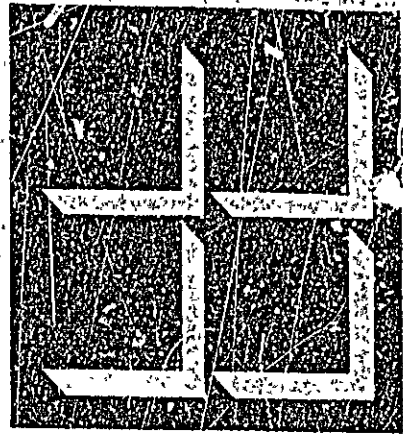
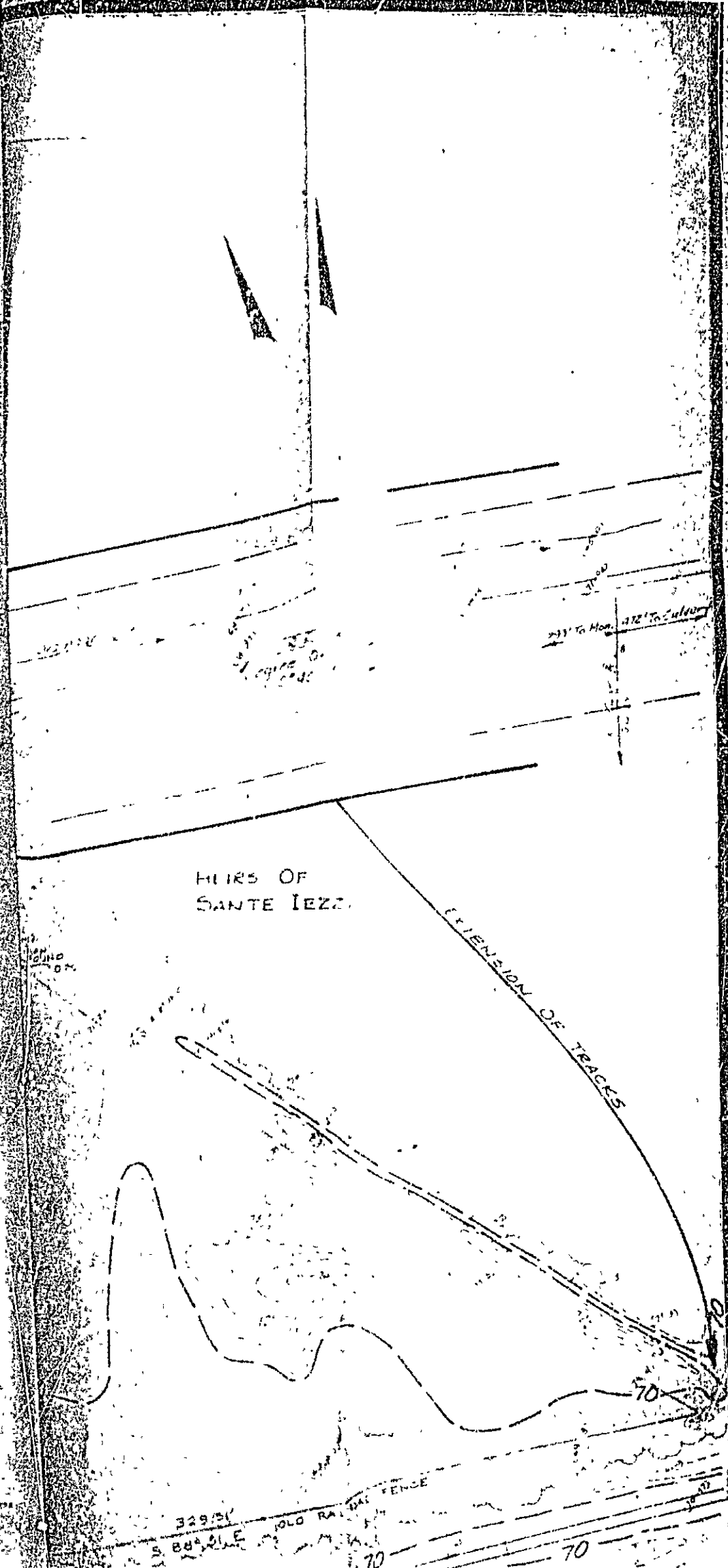
SITE GRADING PLAN

JOB NO. 209  
DATE  
DRAWN  
CHECKED

OF  
AUG 17 1978

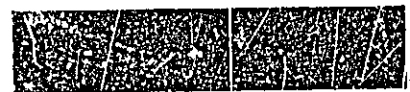
RECEIVED  
AUG 19 1978  
DEPT. OF  
CITY OF PORTLAND





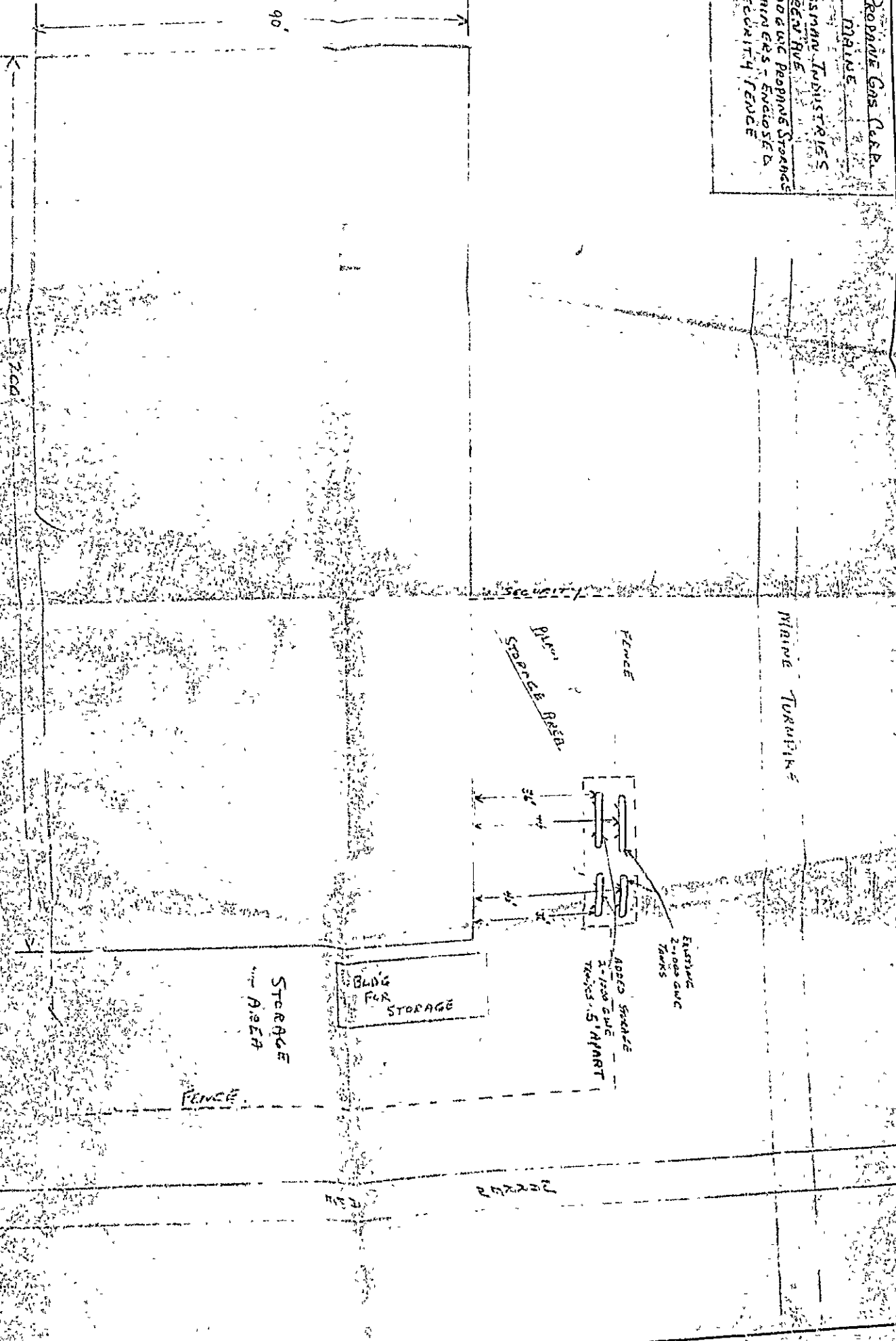
GOSSEN LIVINGSTON  
ASSOCIATES, P.A.

420 S. EMPORIA, WICHITA, KANSAS 67202.  
ARCHITECTS • PLANNERS • ENGINEERS (316) 255-9367



CITY OF BOSTON  
 DEPT. OF BLDG. INSP.  
 RECEIVED  
 MAR 30 1925

SUBURBAN PEOPLES GAS CO. INC.  
 PORTLAND, MAINE  
 NO. SALE  
 FOR  
 CROSSMAN INDUSTRIES  
 WAREHOUSING AVE.  
 4-1000 & W.C. PEOPLES STORAGES  
 CONTAIN GAS - ENCLOSED  
 BY SECURITY FENCE  
 12/18/25



512 Warren Ave

Bldg A. -

4/11/73 -

A/27

Storage of materials  
to sell

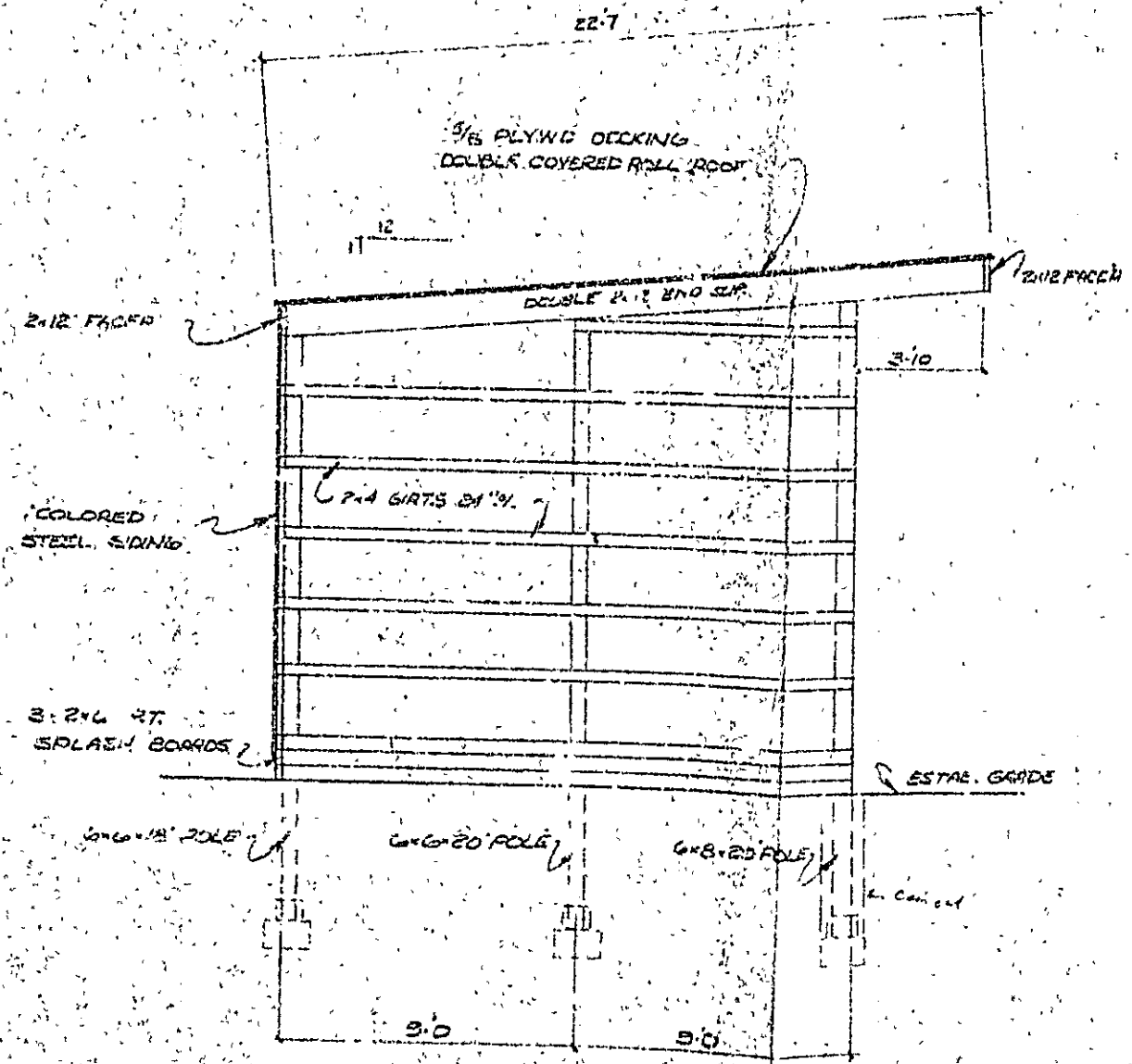
I-2

CHECK LIST AGAINST ZONING ORDINANCE

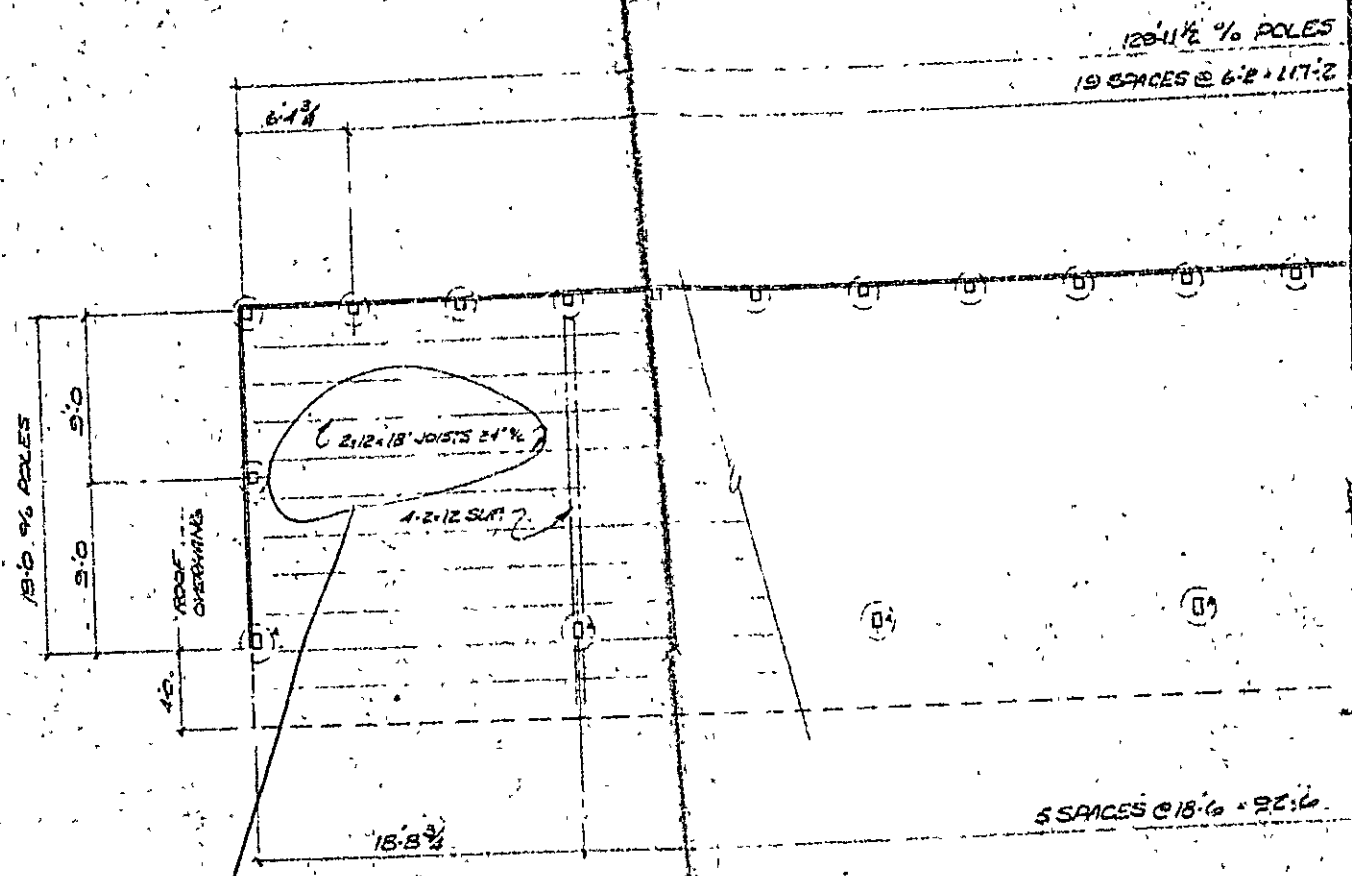
- Date - New
- Zone Location - I-2
- Interior or corner lot -
- 40 ft. setback area (Section 21) - Yes
- Use - Storage of materials to sell
- Sewage Disposal -
- Rear Yards - 20' - 6' Res
- Side Yards -
- Front Yards -
- Projections -
- Height -
- Lot Area -
- Building Area -
- Area per Family -
- Width of Lot -
- Lot-Frontage
- Off-street Parking -
- Loading bays -

Good Set - 145414  
Low - 144104

FLOOR PLAN



END WALL FRAMING 1/2-1-0



Good for  
load

1457 #  
1440 #

FLOOR PLAN 1/8" = 1'-0"

5/8" PLY 1/2" DECKING  
DOUBLE COUPLED ROLL ROOF

6 SPACES @ 18'-6" = 92'-6"

18'-8 1/2"

FLOOR PLAN 1/8" = 1'-0"

GENERAL NOTES

A' POLES TO BE 6" x 8" 1/2" DIA. CONK. FTG. (SEE DETAIL)  
ALL OTHERS TO BE 6" x 6" 1/2" x 8" 1/2" DIA. CONK. FTG.  
ALL POLE TO BE 4'-0" BELOW GRADE  
ROOF LIVE LOAD... 25 PSF

2x12 FICER

2x4 FACER w/ RIGID FILLER  
F. J-CHANNEL

STEEL JOIST  
BRACING

2x12-18' PC  
JOISTS 24"

2x12-22' & 2x12-20' SUR

4x6 K.B.  
@ 45°

2x8-24"  
BEARING BLK

DETAIL A

13'-5" UNDER ROOF

3'-0" SIDING

12'-6 1/2" CLEAR

11'-7 3/8"

STAB. GRADE

LONG 18' POLE

6" x 8" 20' POLE

4'-0"

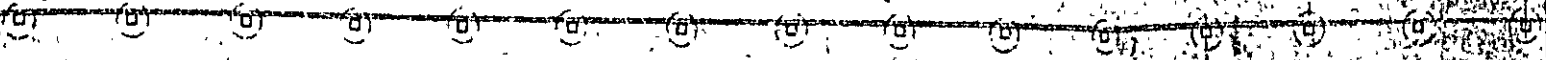
2'-0"

24"

18'-0" 9/16" POLES

TYPICAL SECTION 1/4" = 1'-0"

128-1 1/2" POLES  
19 SPACES @ 6'-8" = 117'-2"



6 SPACES @ 18'-6" = 92'-6"

18'-6"

FLOOR PLAN 1/8" = 1'-0"

GENERAL NOTES

A' POLES TO BE 6'-8" 4" DIA CONCR. FTG (SEE DETAIL)  
ALL OTHERS TO BE 6'-6" 4" DIA CONCR. FTG  
ALL POLES TO BE 4'-0" BELOW GRADE  
ROOF LIVE LOAD... 25' PSF

2x12 FICER

2x4 FILER w/ RIDGE FILER  
F. J-CHANNEL

STEEL JOIST  
BRACING

2x12-22' @ 2'-0" ON CENTER

2x6 K.B.  
@ 45'

2x8-24'  
BEAMS

(SEE DETAIL)  
FTG

18'-8 3/4"

2-12-18 ROOF  
JOISTS 24" O.C.

TEL. NO. 57  
(SUN)

2-2x12-22' & 2-2x12-20' SUR

4x6 K.B.  
@ 45°  
2x8-24"  
BEARING B.K.

DETAIL A

11'-7 1/2"

15'-0 3/4"

14'-0" CLEAR

ESTAB. GRADE

6-8-20 POLE

24" x 5'-0" CONC.

5'-0"

4'-0"

24"

18'-0" POLES

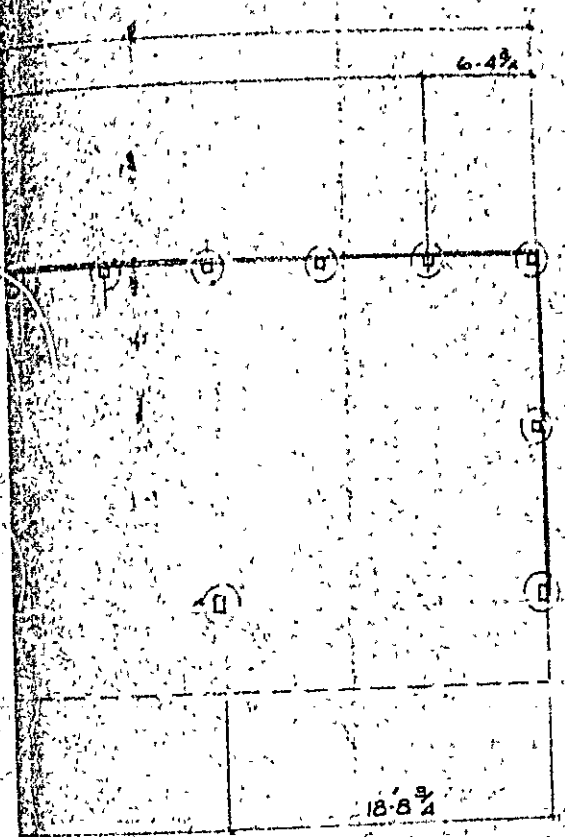
TYPICAL SECTION 1/2" = 7'-0"

2-12 DIST'S  
24" O.C.

BEARING  
2-12-20 SUR  
STACKED

5/8" DBL C.





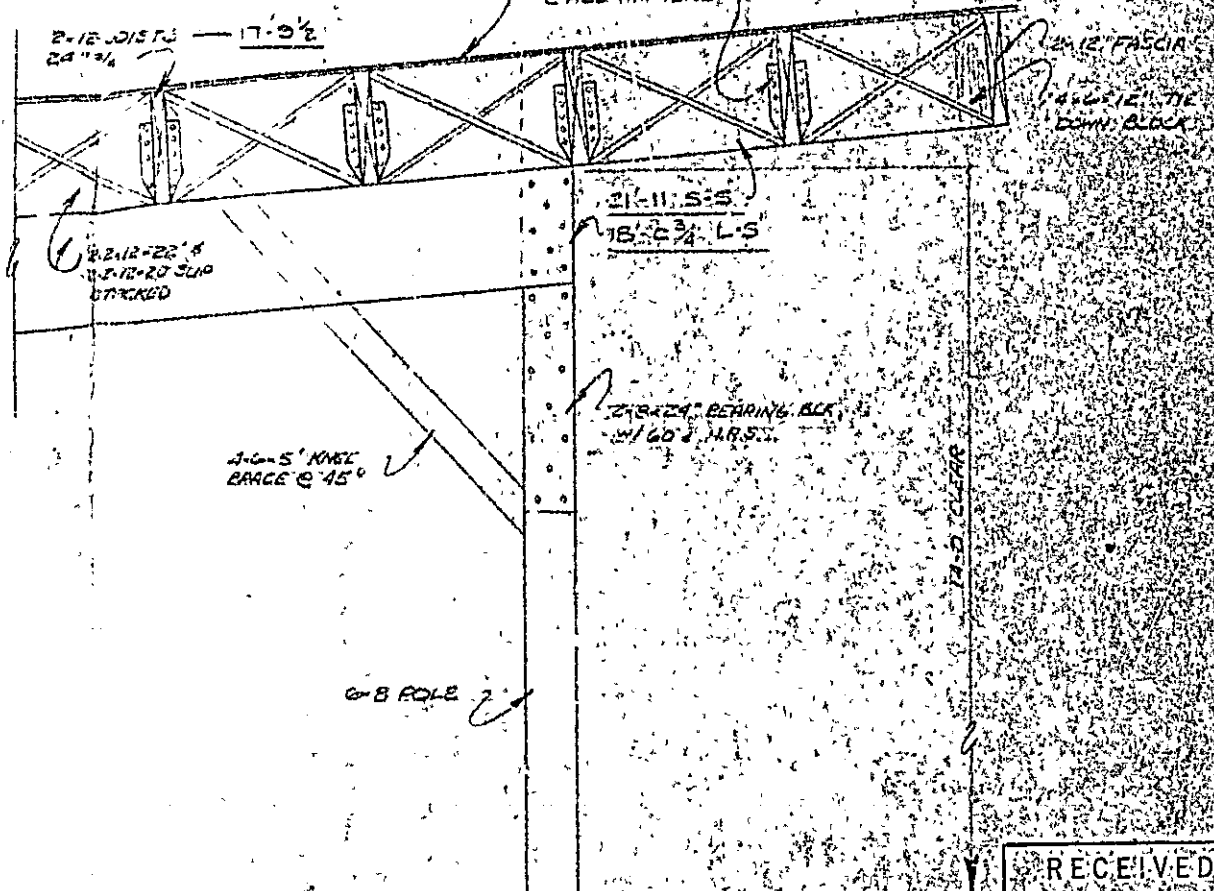
(SEE DETAIL)  
PART 6

2-12" x 15" ROOF  
JOISTS @ 24" o.c.



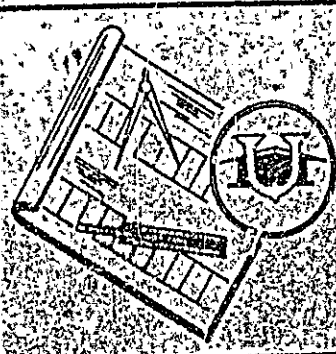
5/8" PLYWOOD DECKING  
DB - COVERED ROLL ROOF

JOIST HANGERS  
& ALL RAFTERS



DETAIL A 3/4" = 1'-0"

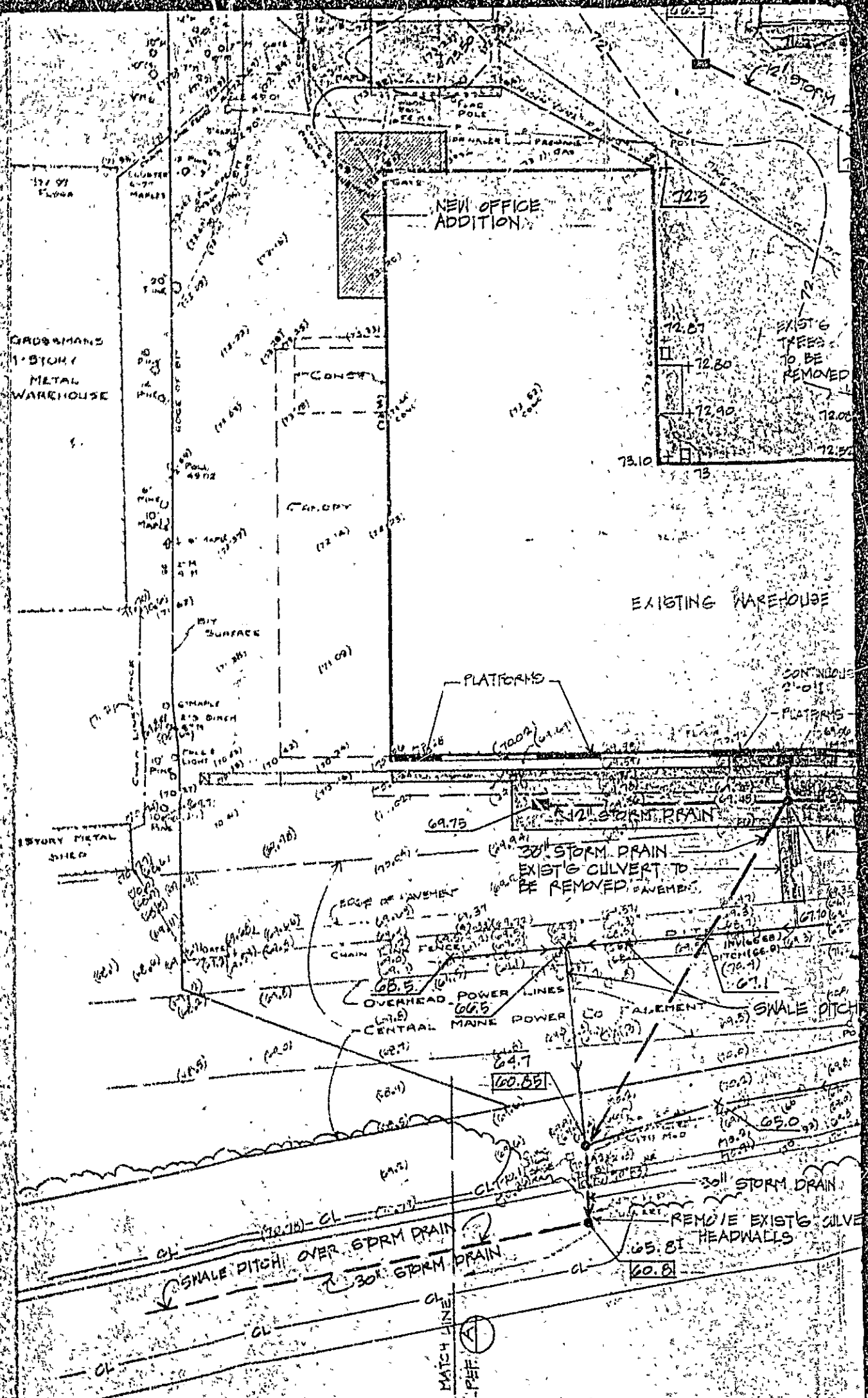
RECEIVED  
APR 25 1973  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND



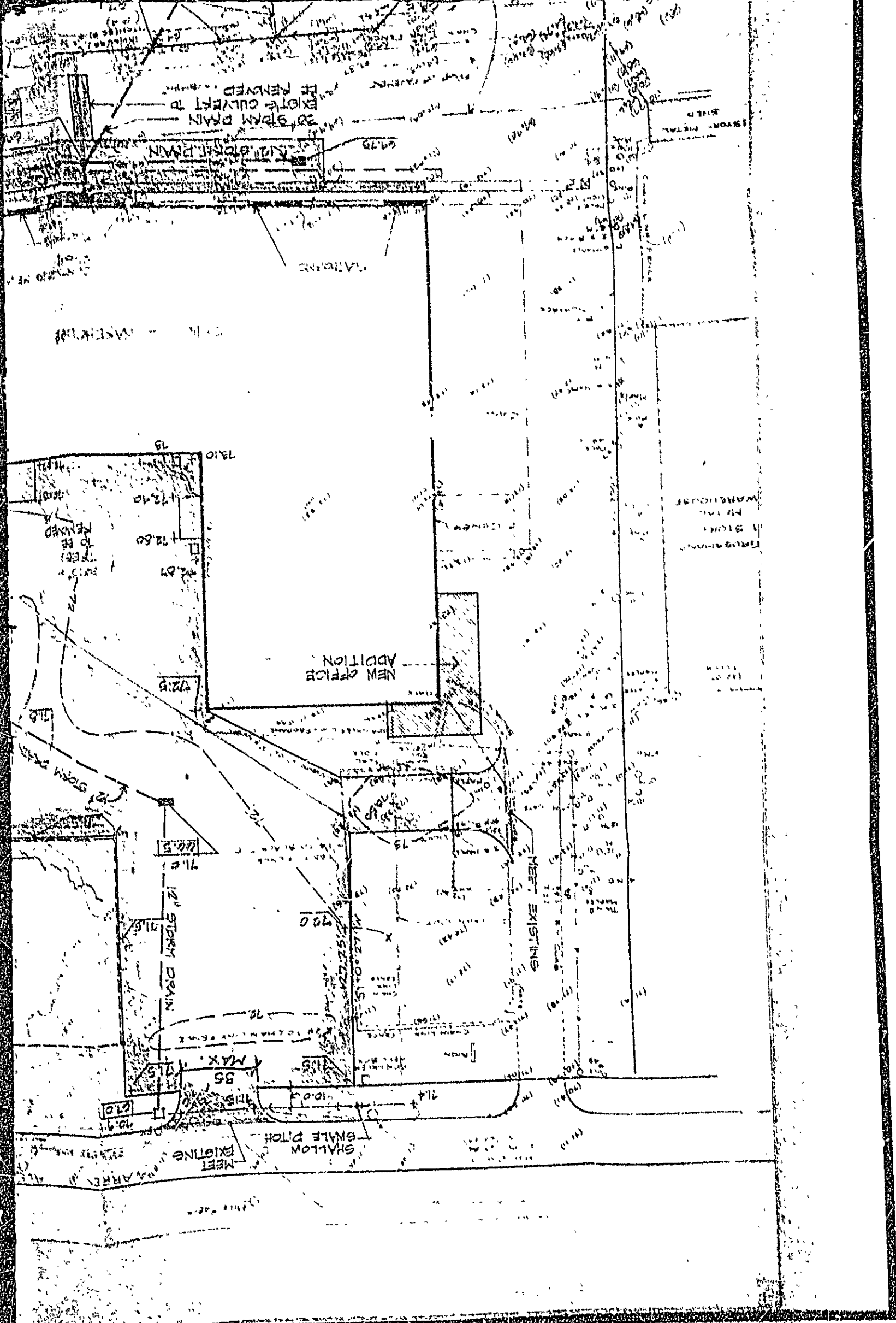
**Umbaugh Pole Building Co., Inc.**

**USAGE RESTRICTIONS**  
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO SITES DESIGNATED BY UMBGAUGH POLE BUILDING CO., INC. AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE/REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED UNLESS THE PLANS REMAIN IN THE NAME OF THE UMBGAUGH POLE BUILDING CO., WITH NO PREJUDICE.  
VERBAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA-FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

PROPOSED: 2x11 LUMBER STORAGE	
CROSSMAN LUMBER	
MONTPELIER INT.	
DATE: 16 FEB 73	DRAWN BY: JENY
SCALE: NOTED	APPROVED BY:
REV: 16 APR 73	DRAWING NO: 071177
21 APRIL 73 (LEA/1173)	



Received  
 Reviewed  
 Chief E  
 Highw  
 Sanita  
 Traffic  
 Service



EXISTING DRAIN TO BE REMOVED

NEW 12" STORM DRAIN

NEW OFFICE ADDITION

12" STORM DRAIN

MEET EXISTING

MEET EXISTING SHALLOW GRADE PITCH

MAX. 5% SLOPE

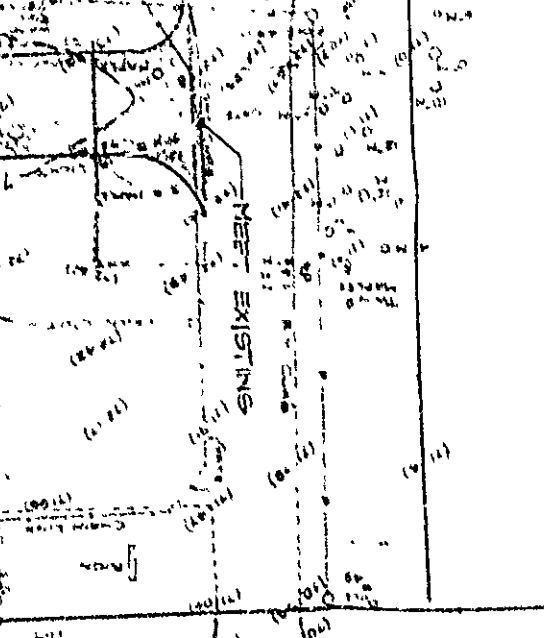
STORAGE AREA FOR WAREHOUSE

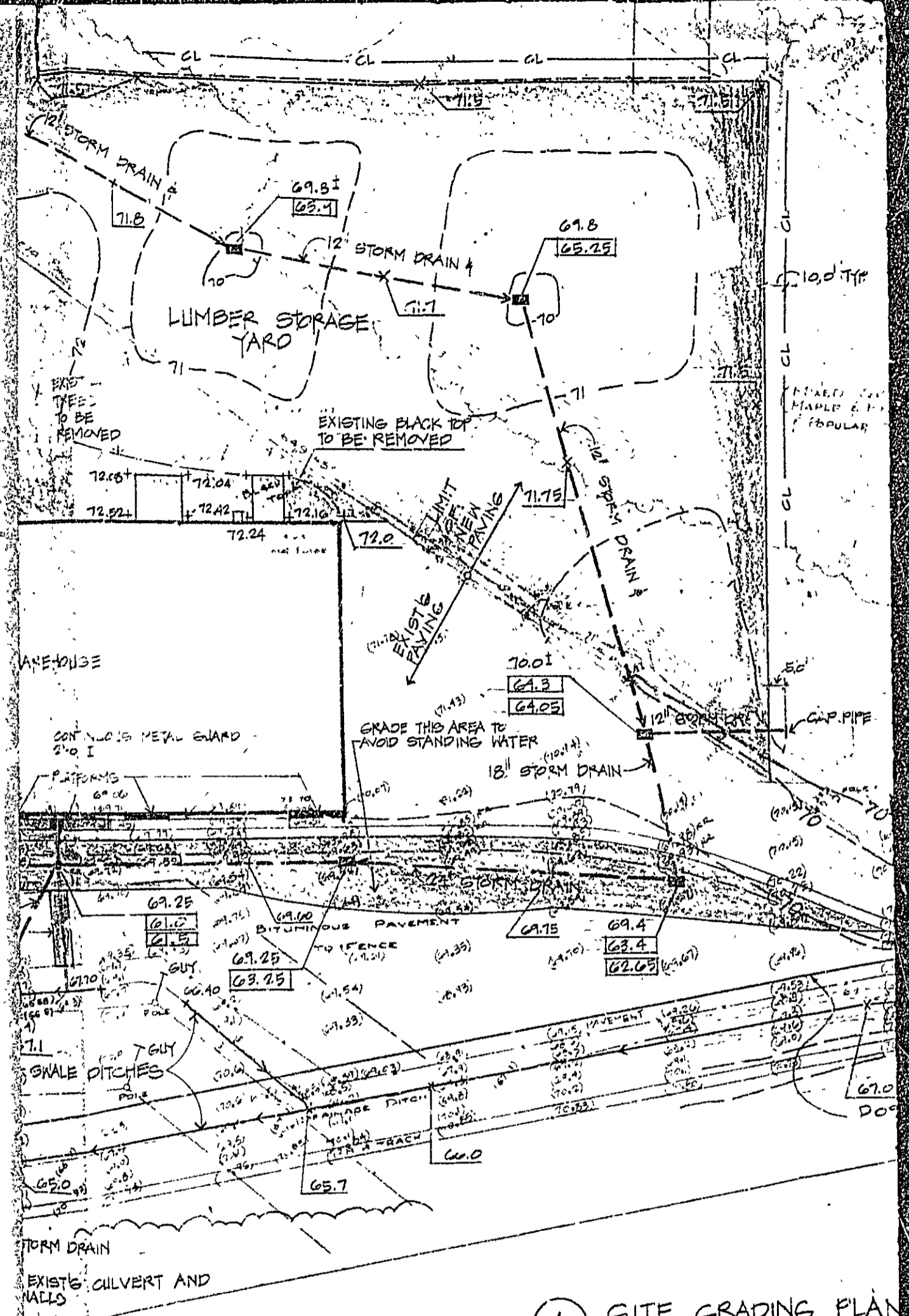
EXISTING DRAIN

73.10  
72.40  
72.60  
72.25

73.00  
72.50  
72.00

71.5  
71.0  
70.5  
70.0





**(A) SITE GRADING PLAN**  
 SCALE: 1" = 40'

NOTE: BENCH MARK IS SPIKE IN F  
 ELEV (72.18) MEAN TIDE + (00)

**DEPARTMENT OF PUBLIC WORKS**

Received by \_\_\_\_\_ Date \_\_\_\_\_ 19\_\_\_\_

Reviewed by \_\_\_\_\_ Initialed \_\_\_\_\_ Date \_\_\_\_\_ Comments \_\_\_\_\_

Chief Engineer \_\_\_\_\_

Highways \_\_\_\_\_

Sanitary \_\_\_\_\_

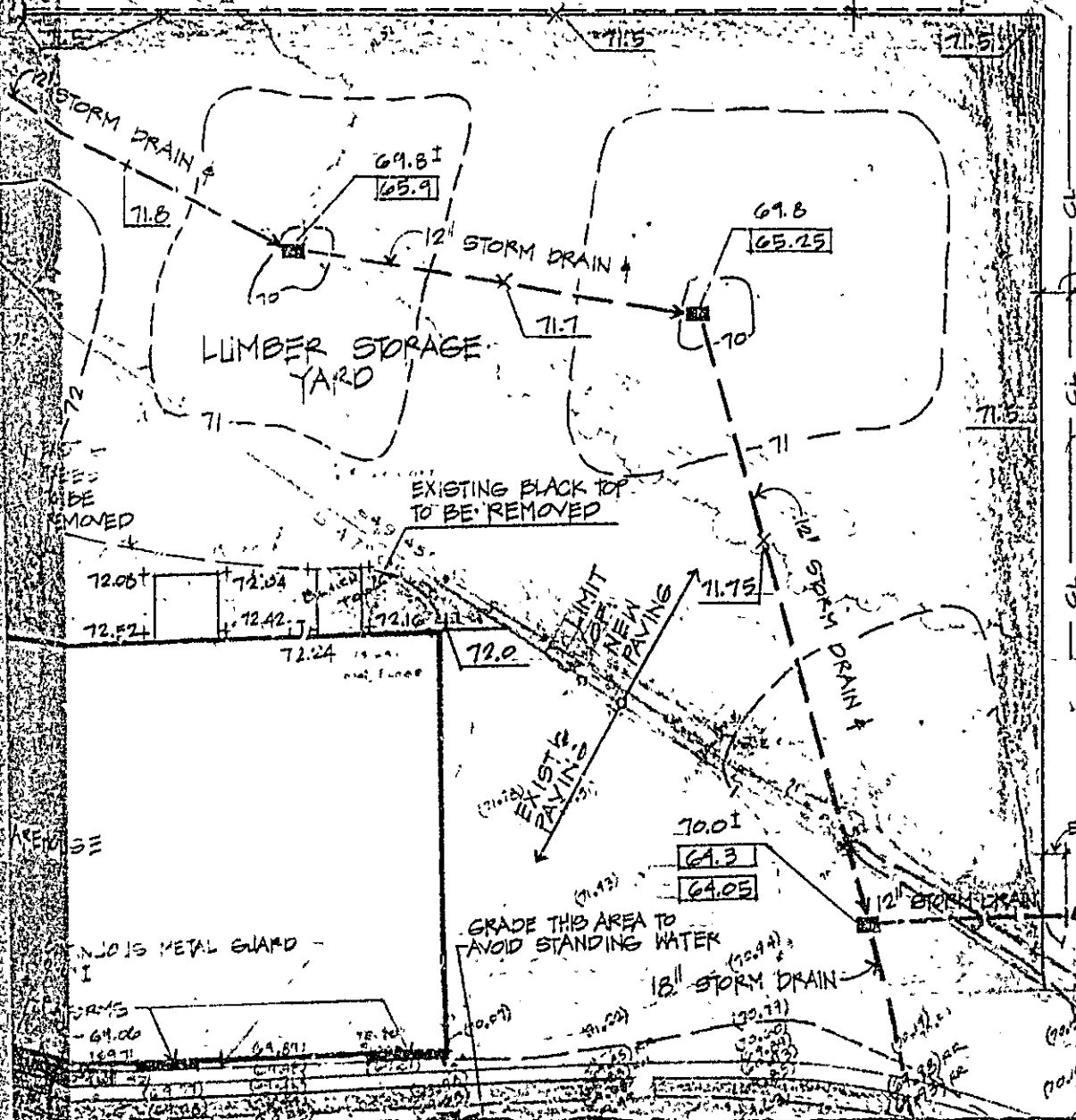
Traffic \_\_\_\_\_

WAHLE

10.9  
61.0

SAINT JEROME PLAT  
TO  
MAYOR'S REALTY CORP  
MAY 7, 1964

FUTURE LUMBER STORAGE BLDG.



LUMBER STORAGE YARD

EXISTING BLACK TOP TO BE REMOVED

EXISTING PAVING  
LIMIT OF NEW PAVING

GRADE THIS AREA TO AVOID STANDING WATER

12" STORM DRAIN

18" STORM DRAIN

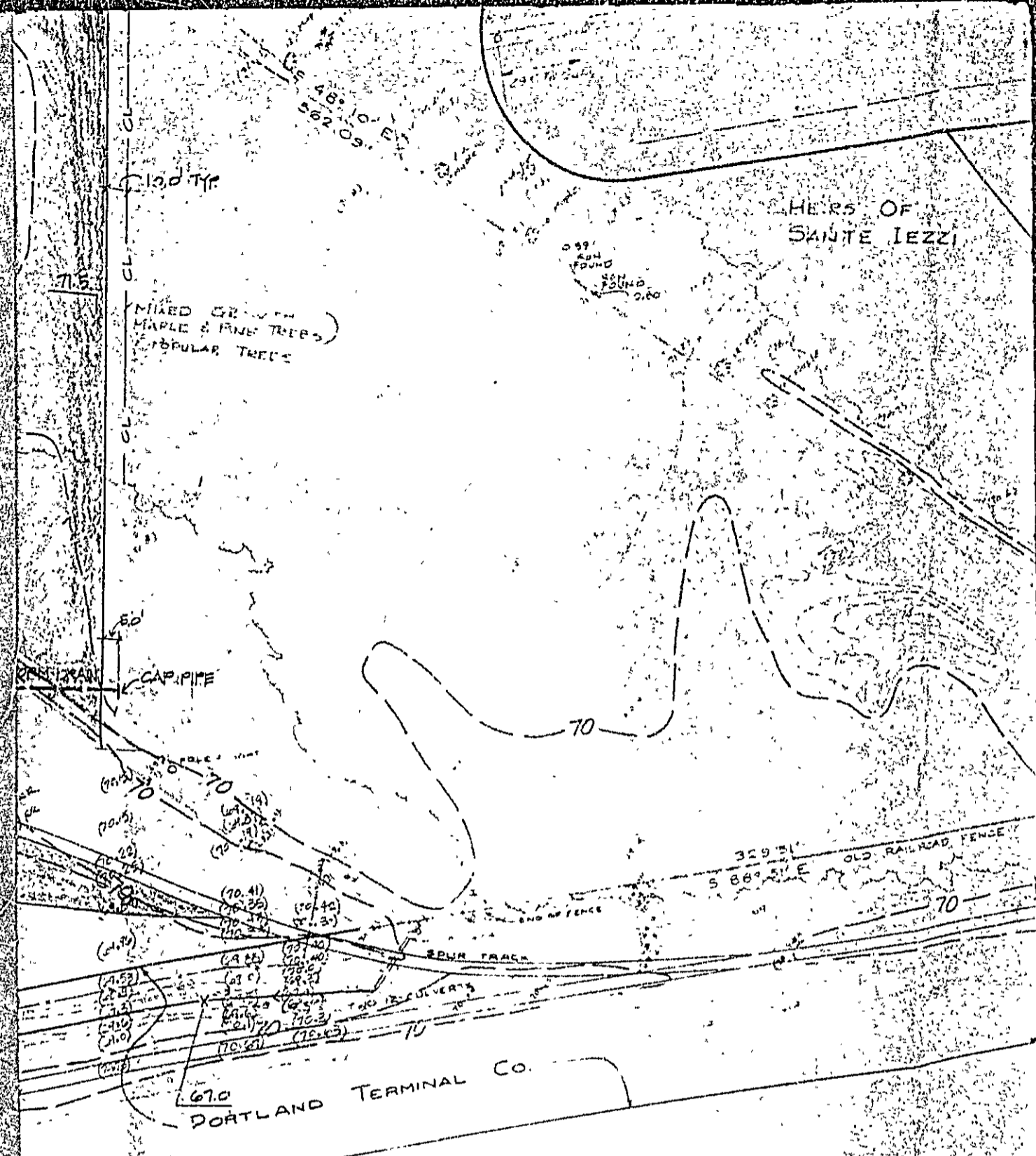
12" BRICK DRAIN

GAP PIPE

MIXED HEIGHT MAPLE & PINE TREES  
SCARLET TREES

12" STORM DRAIN  
64.00  
64.80

12" STORM DRAIN  
64.00  
64.80



HEIRS OF  
SANTE IEZZI

MIXED GROWTH  
MAPLE & PINE TREES  
POPULAR TREES

RAIN  
CAP PIPE


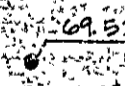
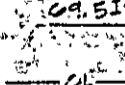
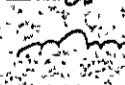

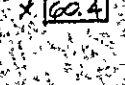
329.51  
5 889.51 E  
OLD RAILROAD FENCE

67.0  
DORTLAND TERMINAL CO.

GRADING PLAN

40'-0"  
MARK IS SPIKE IN POLE 48-5  
72.18 MEAN TIDE (00.00)

LEGEND

-  CATCH BASIN AND RIM ELEVATION
-  5' DIAMETER MANHOLE WITH CATCH BASIN TOP
-  FINISHED GROUND ELEVATION
-  CLEARING LIMIT LINE (TREES)
-  EXISTING TREE LINE (APPROX.)
-  PITCH OR CHANNEL INVERT ELEVATION

78

T. BAYLAND

471 463

11.5

11.5

CLOD TYPE

MIXED GROWTH  
MAPLE & BIRCH TREES  
POPULAR TREES

50

CLAD PIPE

70

70

48° 10' E  
552.09'

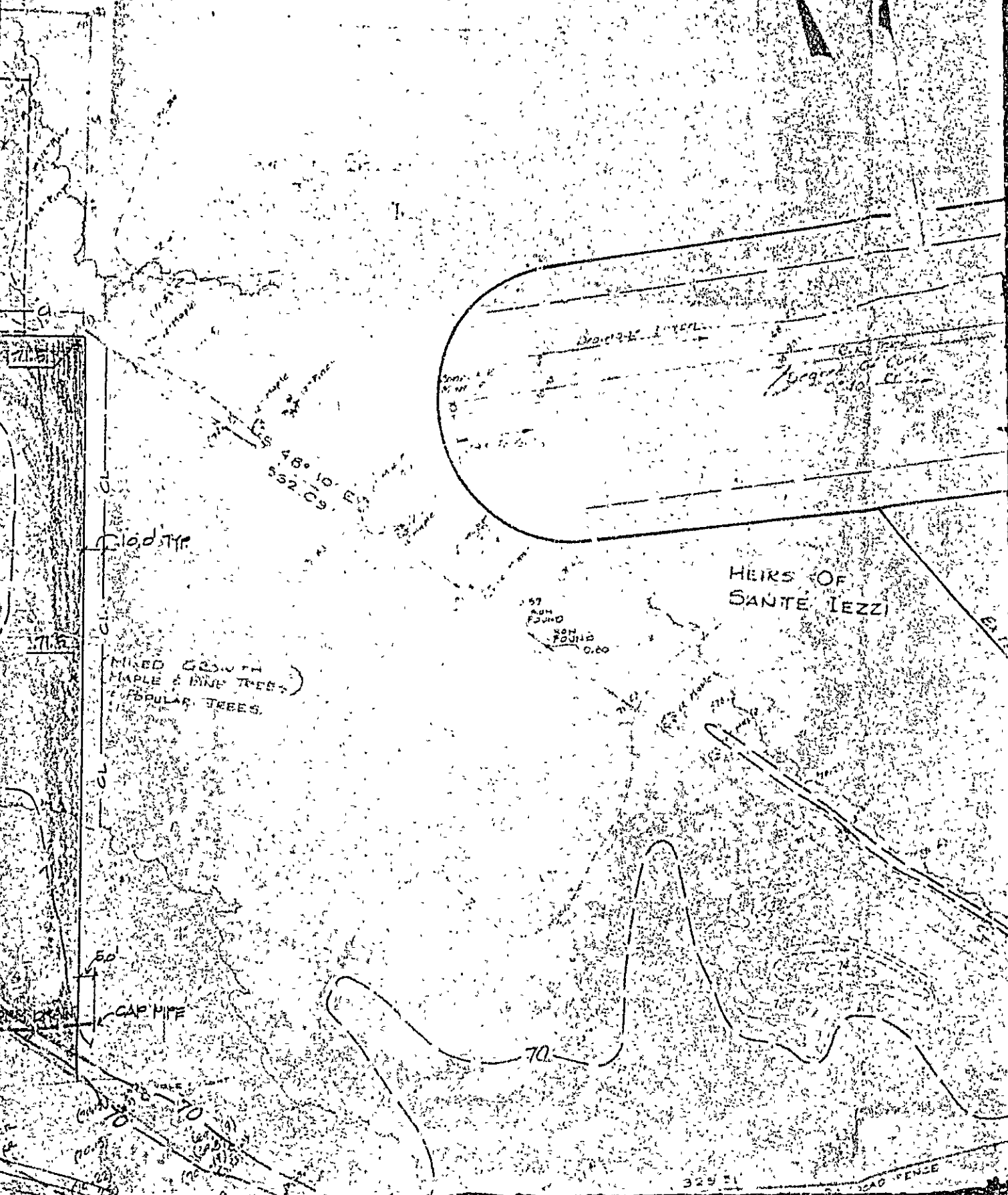
157  
NON  
FOUND  
0.60

HEIRS OF  
SANTE IZZI

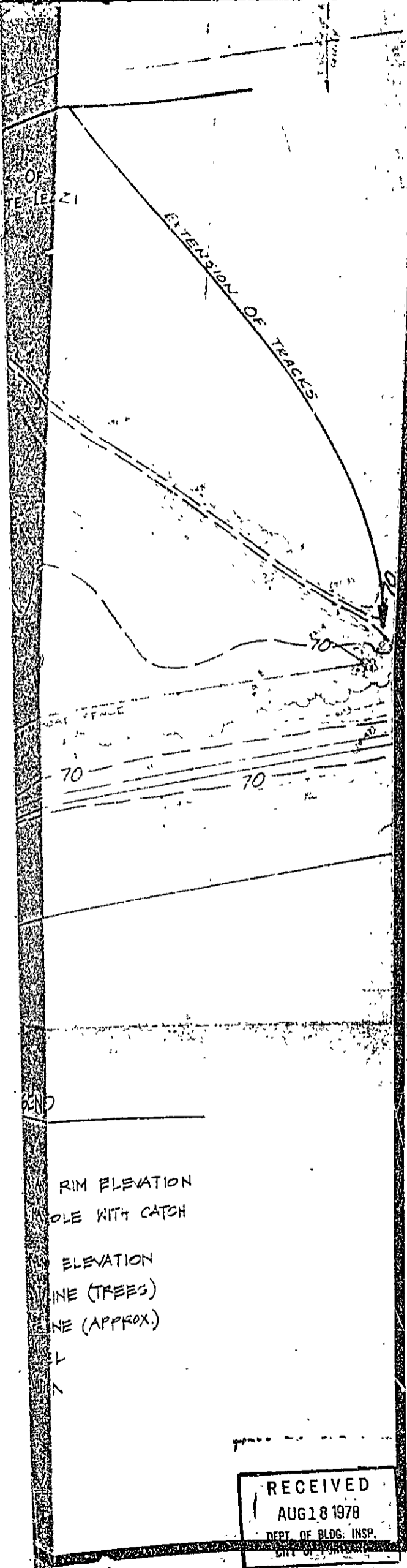
70

329 51

ROAD FENCE







RIM ELEVATION  
 ELEVATION  
 LINE (TREES)  
 LINE (APPROX.)

RECEIVED  
 AUG 18 1978  
 DEPT. OF BLDG. INSP.  
 CITY OF PORTLAND

THIS PLAN IS APPROVED BY DRAW. -  
 1. BASED ON A CONVERSATION W/ WAYNE WENTWORTH OF E.C. JORDAN CO., THE EXISTING PIPE IN THE P.T.C. R/W IS TO BE RECONSTRUCTED W/ THE APPROVAL OF P.T.C.: OUR APPROVAL IS CONTINGENT ON P.T.C.'S APPROVAL.

2. THE NEW DRIVEWAY CUT ONTO WARREN AVE. SHALL BE A MAXIMUM OF 35 FEET WIDE! - Logan 9-6-78



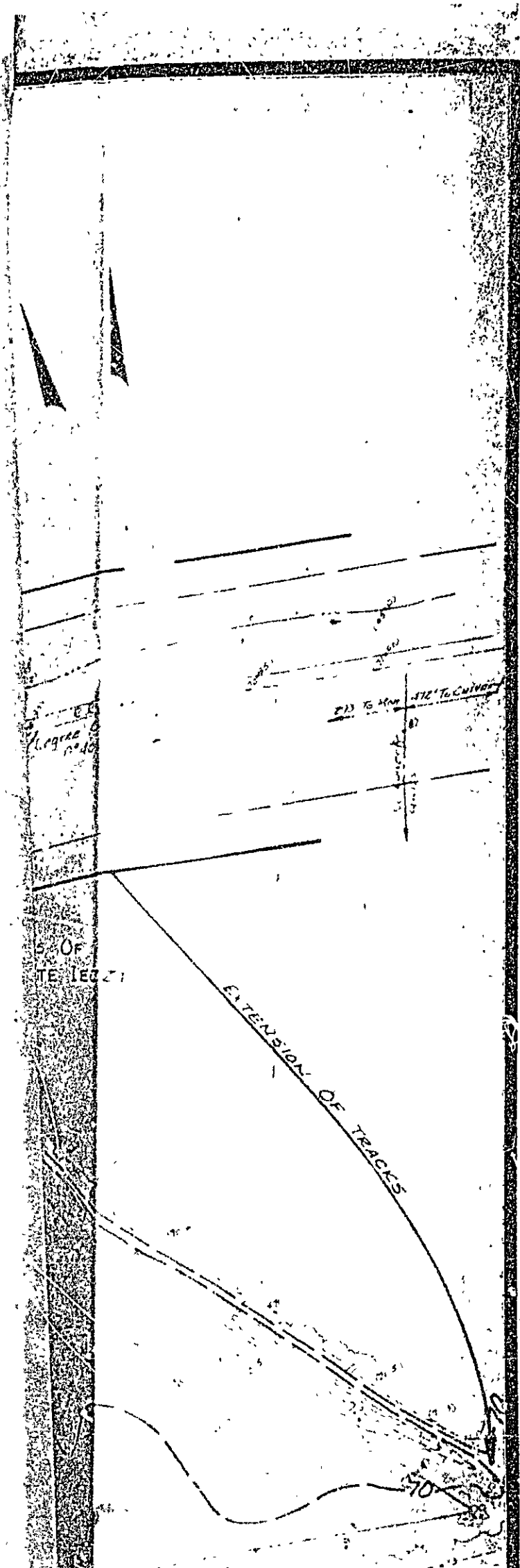
ADDITIONS TO  
 DISTRIBUTION CENTER IN  
 PORTLAND, MAINE.

SITE GRADING PLAN

JOB NO. 209  
 DATE  
 DRAWN  
 CHECKED

OF

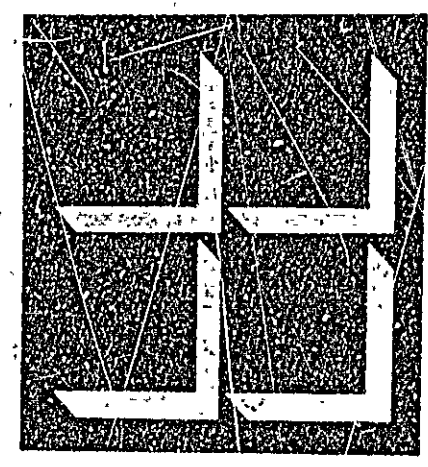
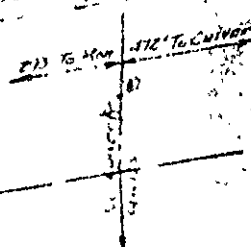
AUG 17 1978



LEGEND

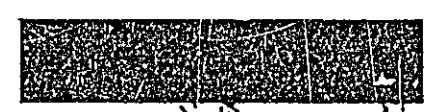
OF  
TE. 1000

EXTENSION OF TRACKS

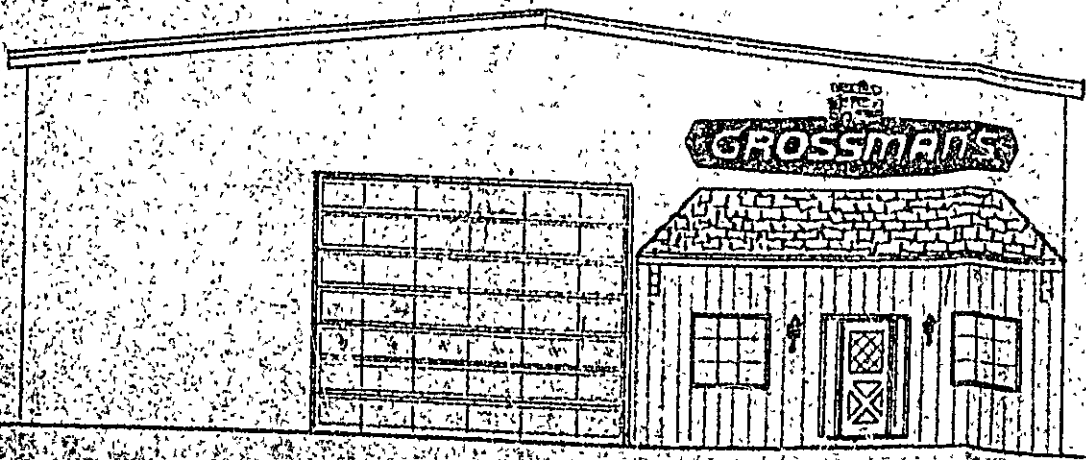
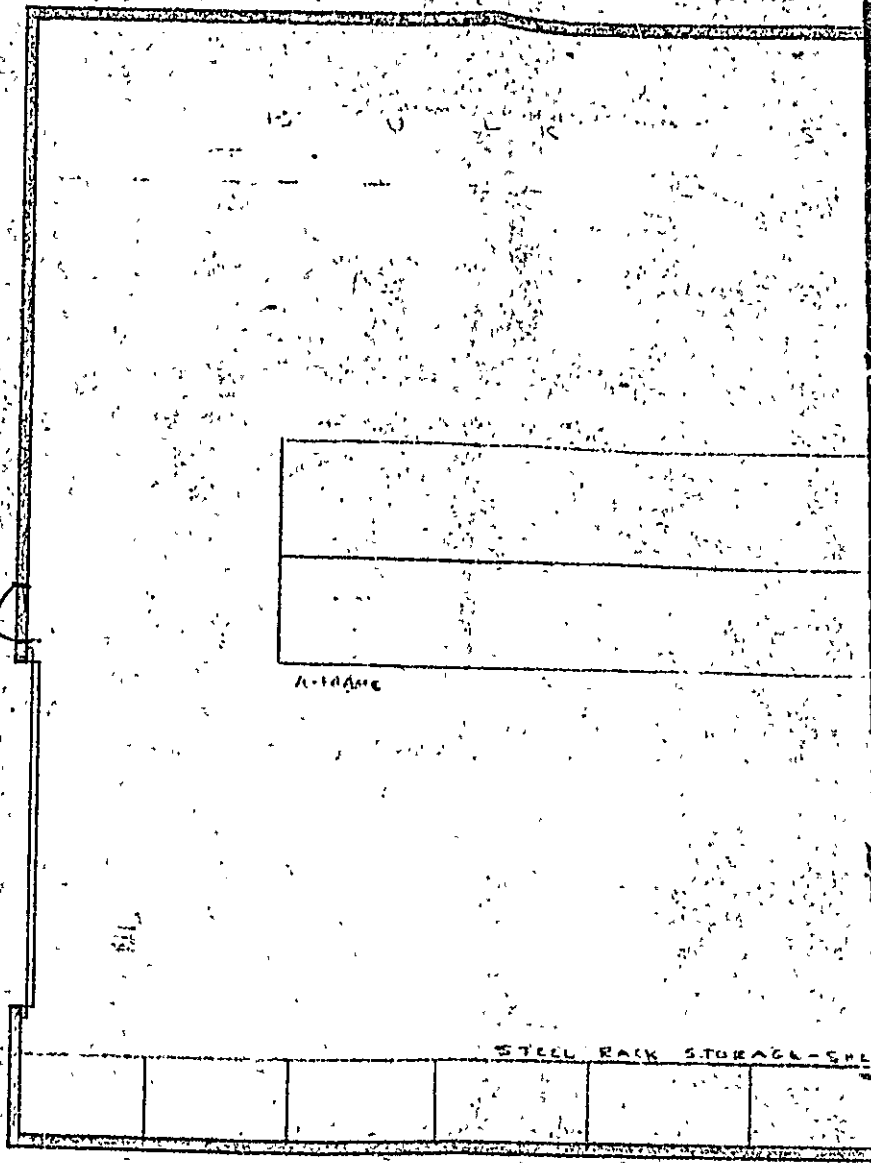


GOSSEN LIVINGSTON  
ASSOCIATES, P.A.

420 S. EMPORIA, WICHITA, KANSAS 67202  
ARCHITECTS • PLANNERS • ENGINEERS (316) 265-9367



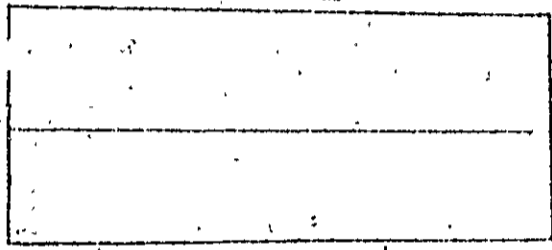
THIS PLAN IS APPROVED BY D.F.W. -  
 BASED ON A CONVERSATION W/ WAYNE  
 WENTWORTH OF E.C. JORDAN CO., THE  
 EXISTING PIPE IN THE P.T.C. R/W IS  
 TO BE RECONSTRUCTED W/ THE APPROVAL  
 OF P.T.C.. OUR APPROVAL IS CONTINGENT  
 ON P.T.C.'S APPROVAL.  
 THE NEW DRIVEWAY CUT ONTO  
 WAREHOUSING AVE. SHALL BE A MAXIMUM  
 OF 35 FEET WIDE! - Logan 9.6.78



FRONT ELEVATION

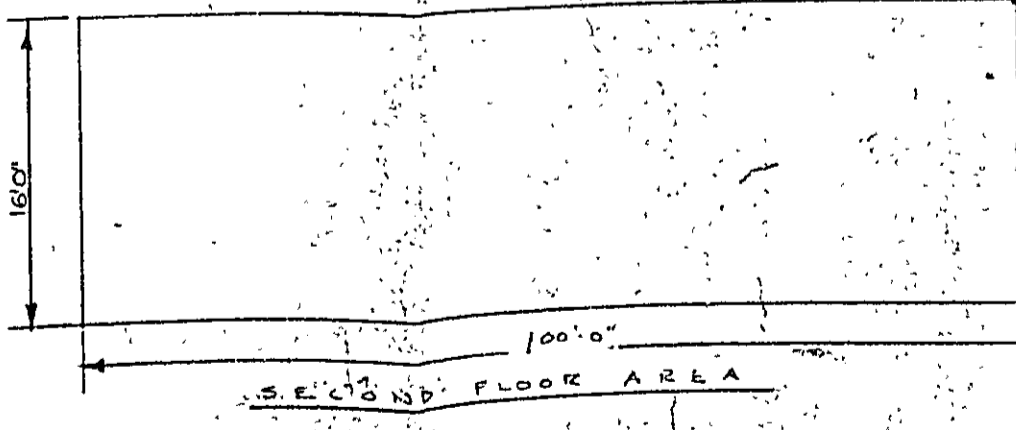
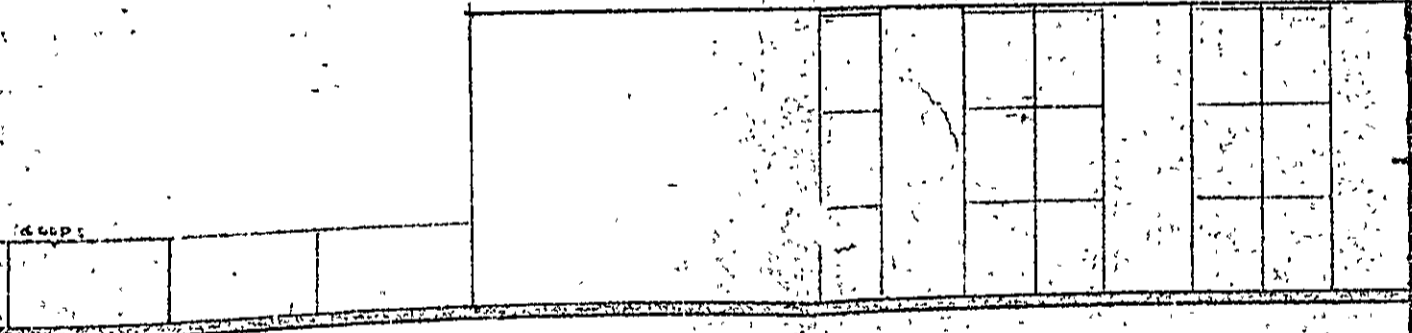
T O K A G E

36'0"

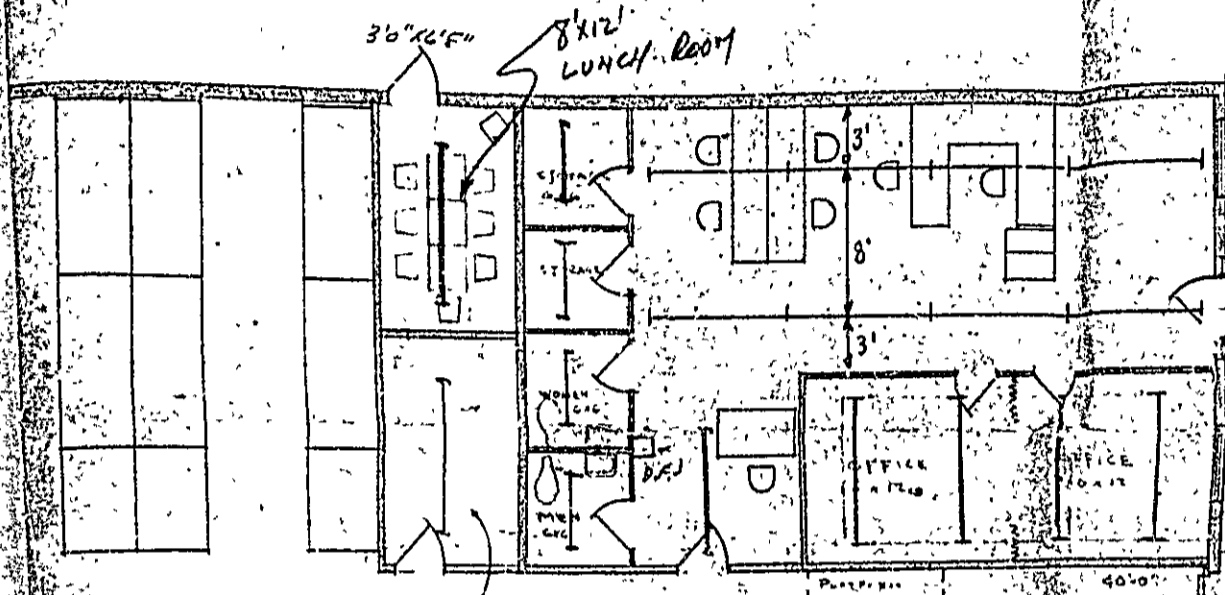


A FRAME

SWEET SHOP

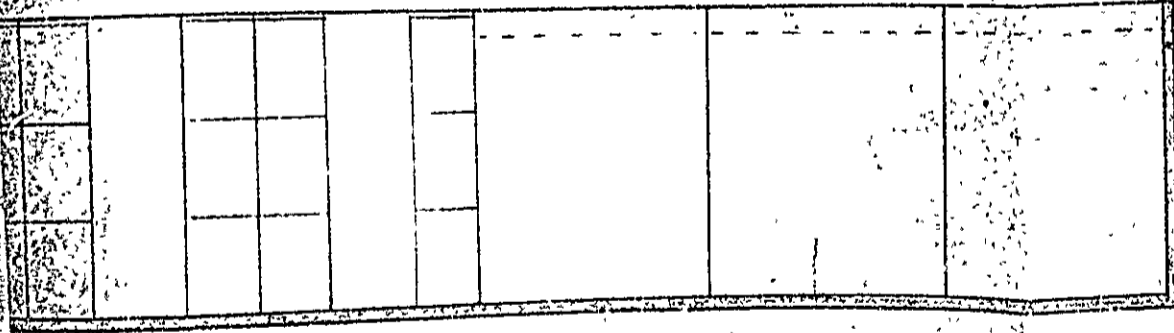


MEZZANINE PLAN

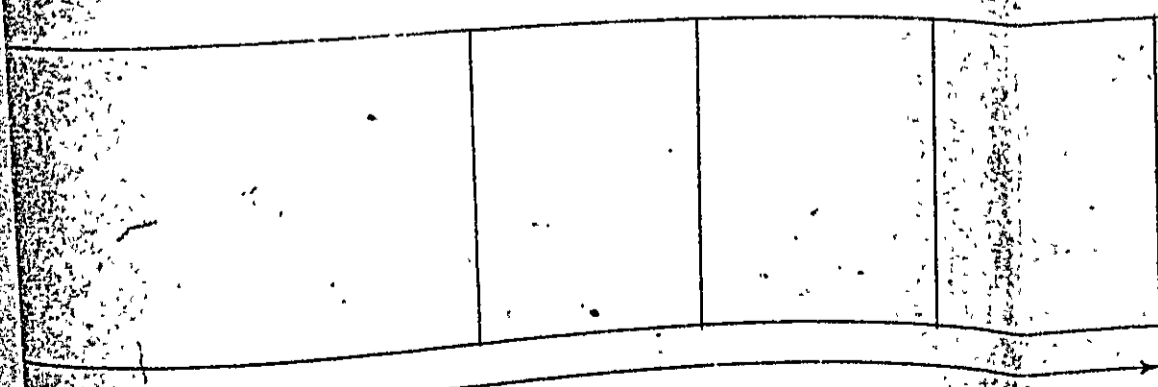


36" x 12"  
8' x 12' LUNCH ROOM

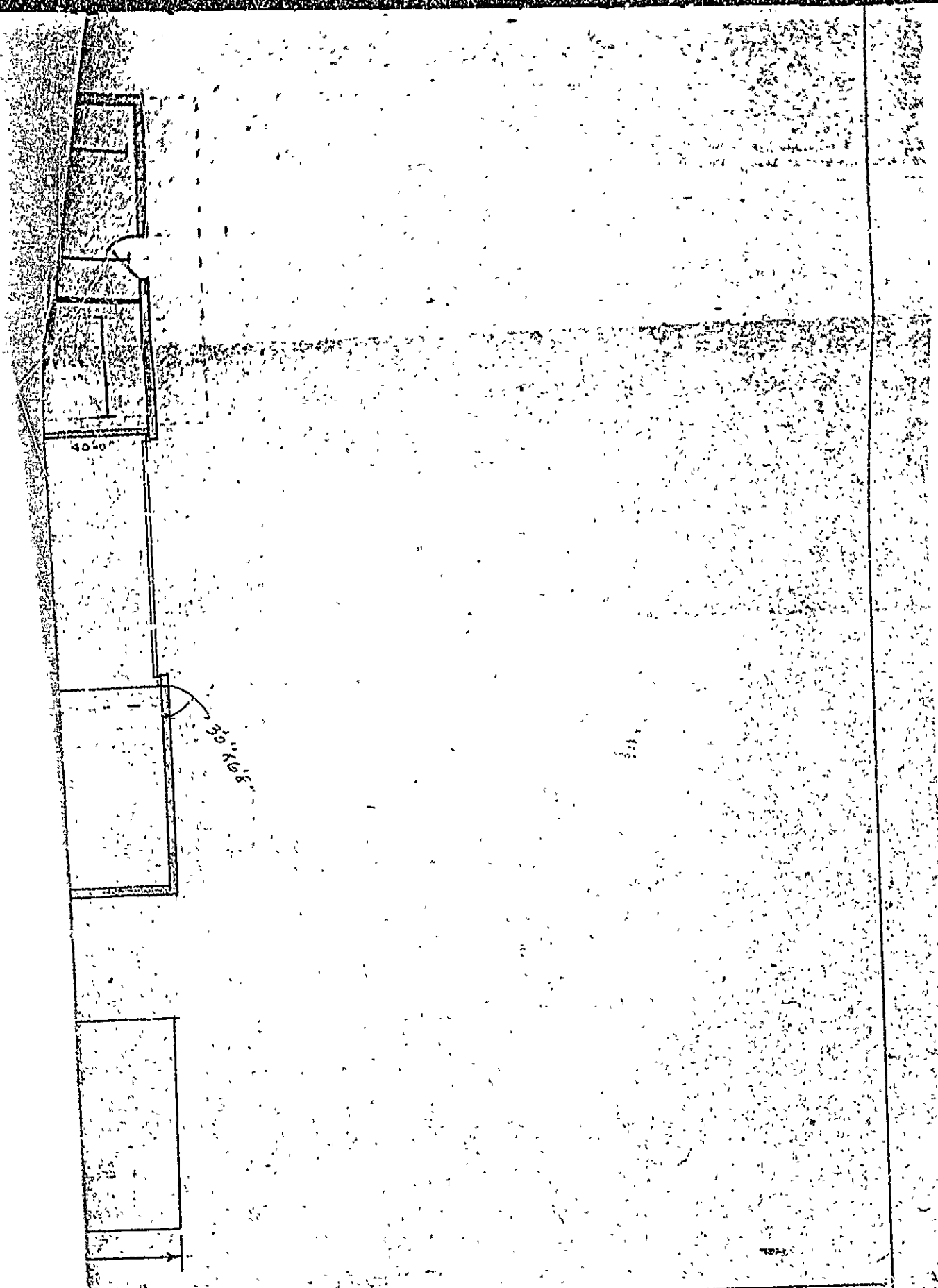
8' x 12' HEATED STOLK ROOM



36" x 12" x 8'



E.L.A.



<small>A DIVISION OF EVERETT'S PRODUCTS COMPANY</small> <b>GROSSMANS</b> <small>EVERYTHING TO BUILD WITH</small>					DATE: 11/16/72
EXECUTIVE OFFICES BRAINTREE, MASS. 02184 AREA CODE 617 848-0100					REVISED: 3-2-73 GWO
RETAIL AND CONTRACTOR YARD PORTLAND, MAINE					
SCALE:	DRAWN BY:	CHECKED:	JOB NO.:	SHEET NO.:	
1/4" = 1'-0"	L. DURANT				

512 Warren Avenue  
Bldg. A

June 13, 1973

Grossman's  
Att: Sam Kaufman  
512 Warren Avenue

cc to: Grossman's  
Att: Sam Kaufman  
200 Union St. Braintree, Mass.  
cc to: Carlin Nightingale,  
Rt. 2, Lisbon, N.H., 03585

Gentlemen:

Building permit to erect a one story building 60' x 176'  
called Bldg. A at the above named location is being issued  
subject to Building Code restrictions as follows:

1. Inside toilet rooms will need to be vented as  
required by the plumbing inspector.
2. A separate permit will need to be taken out for  
any heating units to be applied for by the actual installer.
3. I am excluding from this permit at this time the  
mezzanine that is to be located within this building. I will  
need to know before we can give the O.K. on the construction  
of this mezzanine, how it will be framed. Will it be enclosed?  
How will the means of egress be provided?

Very truly yours,

A. Allan Soule  
Assistant Director

AAS:m



**UMBAUGH POLE BUILDING CO., Inc.**

**P. O. BOX 300 • MILLBURY, MASSACHUSETTS 01527**

*or 617-645-3282*

**CARLIN NIGHTINGALE**  
SALES REPRESENTATIVE

**R D 2**  
**LISBON, N. H. 03055**  
**RES (603) 838-8820**





1-2 INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure \_\_\_\_\_

Portland, Maine, April 3, 1973

PERMIT ISSUED

JUN 14 1973

00629

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512 Warren Ave. Bldg. A Within Fire Limits? Dist. No.
Owner's name and address Grossman's same Telephone
Lessee's name and address Telephone
Contractor's name and address Umbaugh Pole Building Co. Inc. Millbury, Mass. Telephone 617-65-3232
Architect Specifications Plans yes No. of sheets 3
Proposed use of building storage of bldg. materials No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 25,000. Fee \$ 75.

General Description of New Work

pd. 4-17-73

To erect 60' x 176' one story frame bldg as per plans

HOLD SEE LETTER

Mail to 512 Warren Ave

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Grossman's

Details of New Work 200 Union St. Braintree, Mass. Att: Sam Kaufman

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat of span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

G.K. - 6/13/73 - Allan W. Allen

PERMIT ISSUED WITH LETTERS Signature of owner

Grossman's

by: S. Kaufman

CS 301

INSPECTION COPY

NOTES

6-21-73 work mit  
started. *[Signature]*  
6-28-73 SAME *[Signature]*  
7-10-73 " *[Signature]*  
7-30-73 work started *[Signature]*  
8-13-73 work going  
well. *[Signature]*  
8-26-73 SAME <sup>2/3</sup>  
completed. *[Signature]*  
9-30-73 done work  
OK. Occupancy in  
storage area *[Signature]*

No. 73/ 629

Location 512 Alaman Ave Bldg A

Owner *Procomms*

Date of permit 6/14/73

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy Issued

Striking Out Notice

Form Check Notice

**AUTOMATED BUILDING**  
 THE GANG NAIL TRUSS MIAMI FLA • CHARLOTTE S.C. • TORONTO  
 ZURICH • JOHANNESBURG • WILLOWDALE • AUCKLAND

MEMBER	NO	CHORD	CHORD	CHORD	CHORD	CHORD	CHORD	CHORD	CHORD	CHORD
TC	1	2	3	4	5	6	7	8	9	10
SC	1	2	3	4	5	6	7	8	9	10

**HAMMING AND INJECTION**

It shall be the responsibility of the contractor to provide adequate drainage for the roof and to provide adequate ventilation for the attic space. The contractor shall be responsible for the proper installation of the roof and attic ventilation system. The contractor shall be responsible for the proper installation of the roof and attic ventilation system. The contractor shall be responsible for the proper installation of the roof and attic ventilation system.

**MISCELLANEOUS INFORMATION**

The design and construction of this truss shall conform to the requirements of the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 9th Edition, 1989. The design shall also conform to the requirements of the Florida Building Code, Chapter 6, Part 6-10, which is based on the AISC Specification. The design shall also conform to the requirements of the Florida Building Code, Chapter 6, Part 6-10, which is based on the AISC Specification.

The design and construction of this truss shall conform to the requirements of the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 9th Edition, 1989. The design shall also conform to the requirements of the Florida Building Code, Chapter 6, Part 6-10, which is based on the AISC Specification. The design shall also conform to the requirements of the Florida Building Code, Chapter 6, Part 6-10, which is based on the AISC Specification.

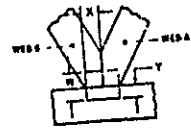
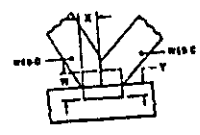
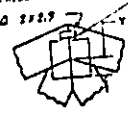
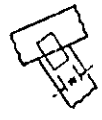
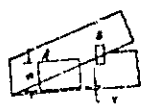
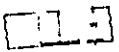


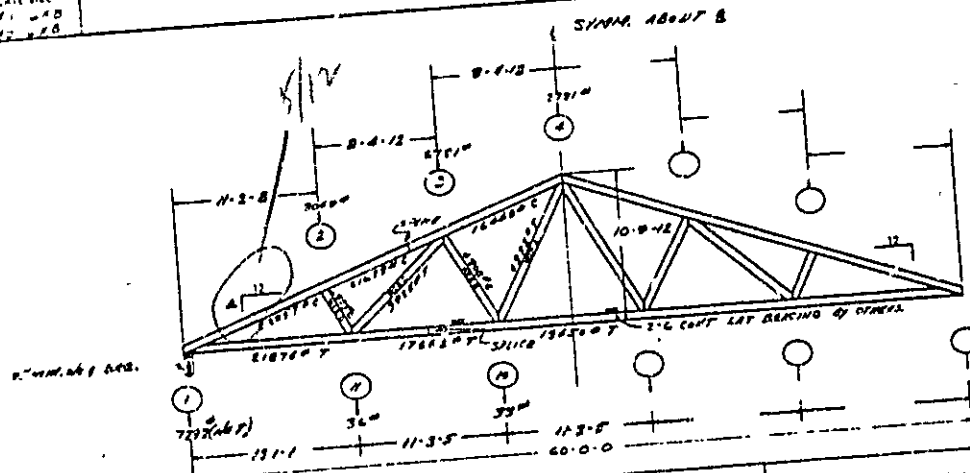
PLATE SIZE	X	Y	PLATE SIZE	X	Y	PLATE SIZE	X	Y	PLATE SIZE	X	Y
1A CWD 2X5 1/2	3	4	1B CWD 2X5 1/2	3	4	1C CWD 2X5 1/2	3	4	1D CWD 2X5 1/2	3	4



**NOTES**  
 1. ALL LVL IN DECK PLATE  
 2. THIS TRUSS CONSISTS OF TWO TRUSSES BUILT SEPARATELY THEN NAILS TOGETHER WITH NAILS STAGGERED THROUGHOUT HOPE FACES 12" O.C.



MEMBER	PLATE SIZE
1A	CWD 2X5 1/2
1B	CWD 2X5 1/2



**DESIGN & FABRICATION DATA**

Design and fabrication shall conform to the requirements of the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 9th Edition, 1989. The design shall also conform to the requirements of the Florida Building Code, Chapter 6, Part 6-10, which is based on the AISC Specification. The design shall also conform to the requirements of the Florida Building Code, Chapter 6, Part 6-10, which is based on the AISC Specification.

**DESIGN CRITERIA**

TOP CHORD: 50 ksi  
 BOTTOM CHORD: 50 ksi  
 TOTAL DESIGN LOAD: 37 psf  
 WIND: 15 psf

**LUMBER SPECIFICATIONS**

TOP CHORD: 8-5 1/2  
 NO. 1 S. P.F.  
 EQ. OR BETTER  
 BOTTOM CHORD: 8-3 1/2  
 NO. 1 S. P.F.  
 EQ. OR BETTER

**GANG NAIL HARDWARE**

30/40 GALV. GALVANIZED STEEL  
 MANUFACTURED AND SUPPLIED BY AMERICAN BUILDING CORPORATION, INC. MIAMI, FLORIDA

**DOUBLE FINK TRUSS**  
 NOT TO SCALE  
 60'0" SPAN  
 1/4" SLOPE



DESIGNED BY	DATE	PROJECT	JOB NUMBER
J.P.	3-6-78	MIAMI	A-1967
CHECKED BY	COST		DESIGN NUMBER
N.S.	777.70		D-19779



BUILD today for a BETTER tomorrow

UMBAUGH POLE BUILDING CO. INC.  
P. O. BOX 300 · MILLBURY, MASS. 01527 · AREA CODE 617 865-3232

April 30, 1973

City of Portland  
Building Inspection Services  
City Hall, Room 113  
Portland, Me. 04100

ATTENTION: Mr. Soule

Dear Mr. Soule:

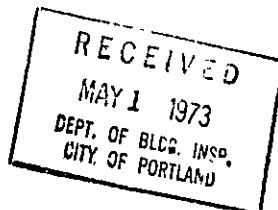
Based on our discussions of April 25, 1973, enclosed please find a mini-print of the double fink truss which will be used for the Grossman clear span building on Warren Avenue. Please note the pitch is shown as 4/12; however, we will be using a 5/12 designed truss for this particular building.

I will be in touch with you early next week in regard to picking up the building permit. If you have any questions in regard to the enclosure or the above, please call me collect at 603-838-5520.

Very truly yours,

*Carlin S. Nightingale*  
Carlin S. Nightingale  
Sales Representative

CSN:e  
Enc.



I-2 INDUSTRIAL ZONE



# APPLICATION FOR PERMIT

**PERMIT ISSUED**

JUN 13 1973

00623

CITY OF PORTLAND

Class of Building or Type of Structure \_\_\_\_\_

Portland, Maine, \_\_\_\_\_

April 3, 1973

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512 Warren Ave. Bldg B Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_

Owner's name and address Grossman's Telephone \_\_\_\_\_

Lessee's name and address \_\_\_\_\_ P.O. Box 300 Telephone \_\_\_\_\_

Contractor's name and address Umbaugh Pole Building Co. Inc. Millbury, Mass. Telephone 617-865-3232

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1

Proposed use of building storage No. families \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_ Fee \$ 15.

Estimated cost \$ 5,000.

### General Description of New Work

*Pd-4-17-73*

To erect 22' x 170' - one story frame bldg as per plans.  
*130*

*Mail to*  
*512 Warren Ave*  
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Grossman's - c/o Sam Kaufman

### Details of New Work

200 Union Sts  
Braintree, Mass. 02184

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_

Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_

Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_

Framing Lumber-Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_

Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? \_\_\_\_\_

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? \_\_\_\_\_

APPROVED:

G.M. - 6/11/73 - Allen

Grossman's

Permit No. 73 / 623

Location 512 Warren Ave Bldg B

Owner: *Shannon*

Date of permit 6/13/73

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

*Jan*

NOTES

8-13-73 *had going out*

Blank lined area for notes.

PERMIT TO INSTALL PLUMBING

PERMIT NUMBER **3260**

Address **500-512 Warren Ave.**

Installation For **Store House and Office**

Owner of Bldg. **Grosman**

Owner's Address **512 Warren**

Plumber **John Jensen**

Date **8-20-73**

Date Issued **8-21-73**  
Portland Plumbing Inspector  
By **ERNOLD R GOODWIN**

App. Final  
**AUG 21 1973**  
Date **ERNOLD R. GOODWIN**  
By **CHIEF PLUMBING INSPECTOR**

App. Final  
**0-22-73**  
Date  
By **ERNOLD R. GOODWIN**  
**CHIEF PLUMBING INSPECTOR**

- Type of Bldg.
- Commercial
  - Residential
  - Single
  - Multi Family
  - New Construction
  - Remodeling

NEW	REPL		NO	FEE
1		SINKS	1	2.00
2		LAVATORIES	2	4.00
2		TOILETS	2	4.00
		BATH TUBS		
		SHOWERS		
		DRAINS FLOOR SURFACE		
1		HOT WATER TANKS	1	.60
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
1		Drinking Fountain	1	2.00
			<b>TOTAL</b>	<b>7 11.20</b>

Building and Inspection Services Dept.: Plumbing Inspection

522  
512558 Warren Avenue

May 2, 1974

cc to: Corporation Counsel

Grossman's  
Division of Evans Products  
200 Union Street, Braintree, Mass.

Gentlemen:

Building permit to erect a detached pole sign 24'6" wide with the top about 22' above the grade at the above named location is not issuable under the Zoning Ordinance because, the sign, which is to be located about 10' back from the street line would be an unlawful encroachment upon the 25' front yard area required by Section 602.12.C.2 of the Ordinance applying to the I-2 Industrial Zone in which this property is located and also upon the 40' setback area required by Section 602.21 of the Ordinance applying to that part of Warren Avenue.

We understand that you would like to exercise your appeal rights in this matter. Accordingly, you or your authorized representative should come to this office in Room 113, City Hall to file the appeal on forms which are available here. A fee of \$5.00 shall be paid at this office at the time the appeal is filed. If fee has been paid and appeal filed prior to this letter then consider this letter as a matter of formality.

Very truly yours,

Malcolm G. Ward  
Plan Examiner

MGW:m



CITY OF PORTLAND, MAINE  
IN THE BOARD OF APPEALS

MISCELLANEOUS APPEAL

Grossman's, owner of property at 522-558 Warren Avenue under the provisions of Section 24 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals to permit the erection of a detached pole sign 20' x 8' wide with the top about 22' above the grade at the above named location. This permit is not issuable under the Zoning Ordinance because the sign, which is to be located about 10' back from the street line, would be an unlawful encroachment upon the 25' front yard area required by Section 602.12.C.2 of the Ordinance applying to the I-2 Industrial Zone in which this property is located, and also upon the 40' setback area required by Section 602.21 of the Ordinance applying to that part of Warren Avenue.

LEGAL BASIS OF APPEAL: Such permit may be granted only if the Board of Appeals find that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

J. Kaufman  
APPELLANT

DECISION

After public hearing held May 16, 1974, the Board of Appeals finds that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

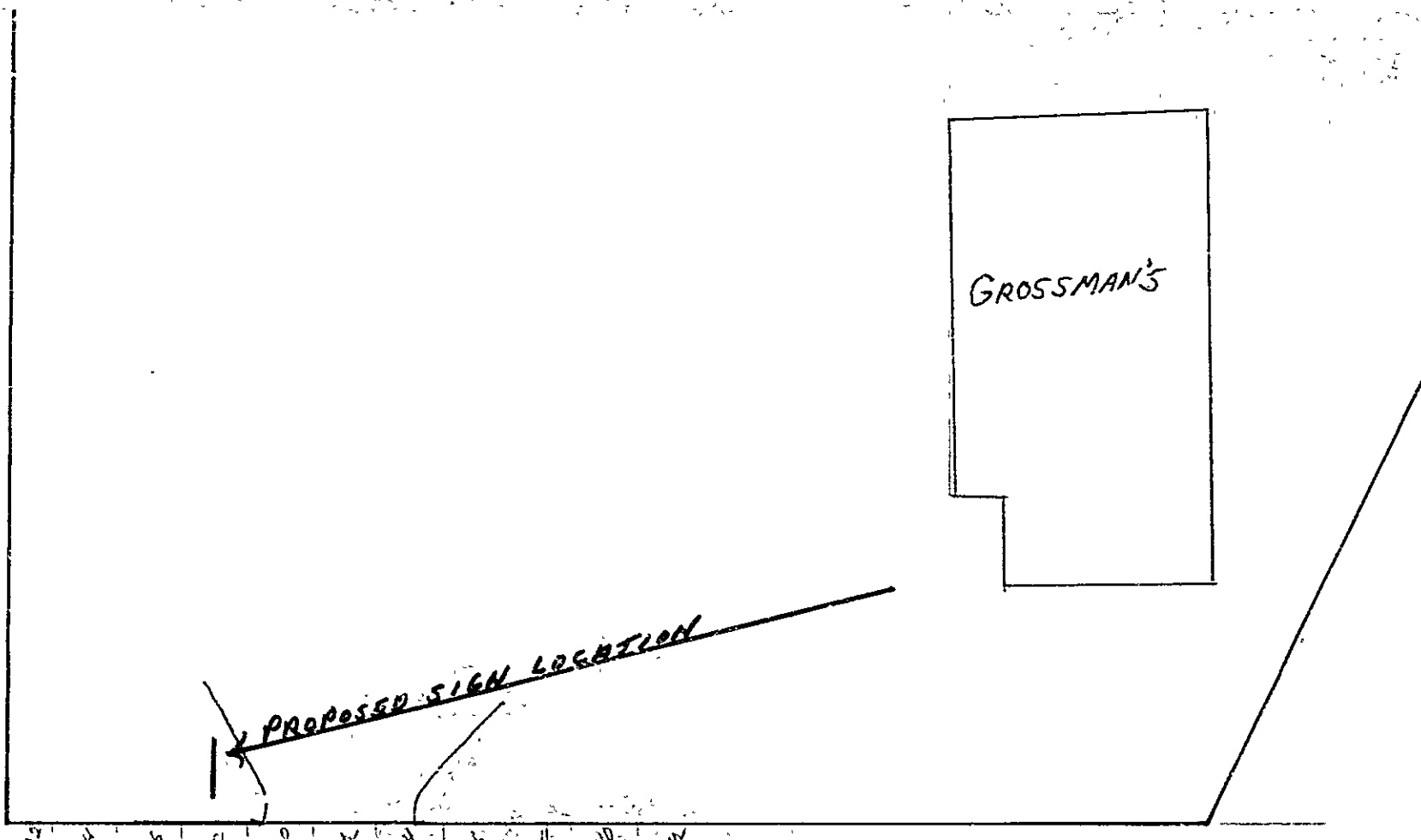
It is, therefore, determined that such permit may be issued.

BOARD OF APPEALS

W. Carl Erickson  
Jacqueline Ghe  
Thomas J. Murphy

5/14/74 MGD

50558 WARREN AVE.



528  
534  
536  
538  
540  
542

Warren Ave.

GROSSMAN'S

PROPOSED SIGN LOCATION

CITY OF PORTLAND, MAINE  
IN THE BOARD OF APPEALS

May 6, 1974

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in Room 112, City Hall, Portland, Maine on Thursday, May 16, 1974 at 4:00 p.m. to hear the appeal of Grossman's requesting an exception to the Zoning Ordinance to permit the erection of a detached pole sign 24'6" wide with the top about 22' above the grade at 522-558 Warren Avenue.

This permit is not issuable under the Zoning Ordinance because the sign, which is to be located about 10' back from the street line, would be an unlawful encroachment upon the 25' front yard area required by Section 602.12.C.2 of the Ordinance applying to the I-2 Industrial Zone in which this property is located and also upon the 40' setback area required by Section 602.21 of the Ordinance applying to that part of Warren Avenue.

All persons interested either for or against this appeal will be heard at the above time and place.

BOARD OF APPEALS

W. Earle Eskilson  
Chairman

cc to:

right of way/ Me. Turnpike Authority, Augusta, Me. 04330

Central Maine Power, Box 1801, Portland, Me. 04111

510-520 Warren Ave/ Georgia-Pacific Corp., Box 311, Portland, Oregon  
97207

May 9, 1974

Grossman's  
Division of Evans Products  
200 Union Street  
Braintree, Mass.  
RE: 522-558 Warren Avenue

112

May 16, 1974

11645

291 A 2

522-538

512-558 Warren Avenue

May 2, 1974

cc to: Corporation Counsel

Grossman's  
Division of Evans Products  
200 Union Street, Braintree, Mass.

Gentlemen:

Building permit to erect a detached pole sign 24'6" wide with the top about 22' above the grade at the above named location is not issuable under the Zoning Ordinance because, the sign, which is to be located about 10' back from the street line would be an unlawful encroachment upon the 25' front yard area required by Section 602.12.C.2 of the Ordinance applying to the I-2 Industrial Zone in which this property is located and also upon the 40' setback area required by Section 602.21 of the Ordinance applying to that part of Warren Avenue.

We understand that you would like to exercise your appeal rights in this matter. Accordingly, you or your authorized representative should come to this office in Room 113, City Hall to file the appeal on forms which are available here. A fee of \$5.00 shall be paid at this office at the time the appeal is filed. If fee has been paid and appeal filed prior to this letter then consider this letter as a matter of formality.

Very truly yours,

Malcolm G. Ward  
Plan Examiner

MGW:m

CHECK LIST FOR SIGNS

Date - 5/2/74

Checked By M.G.W.

Location - 522-558  
576-558 WARREN AVE.

✓ Zone Location - I-2

✓ Fire Zone - N

→ Sign & Review Committee - over 8" in least dimension - YES

✓ Area of sign - 176 sq

Area of existing signs -

✓ Material - WOOD + STEEL

Design -

✓ Facing adjoining Residence Zone - NO

✓ Flashing or Steady light -

If on State road - check with State -

Attached Sign -

Height above level of roof -

Detached or pole sign -

→ ✓ Height - 22'  
→ Required yards (single pole OK - 2 poles a structure) 40"  
→ setback - 10' (602.12.C.2) (603.21.)  
→ Corner clearance - 25' 4'  
Footing -  
Certificate of Design -

Projecting Sign -

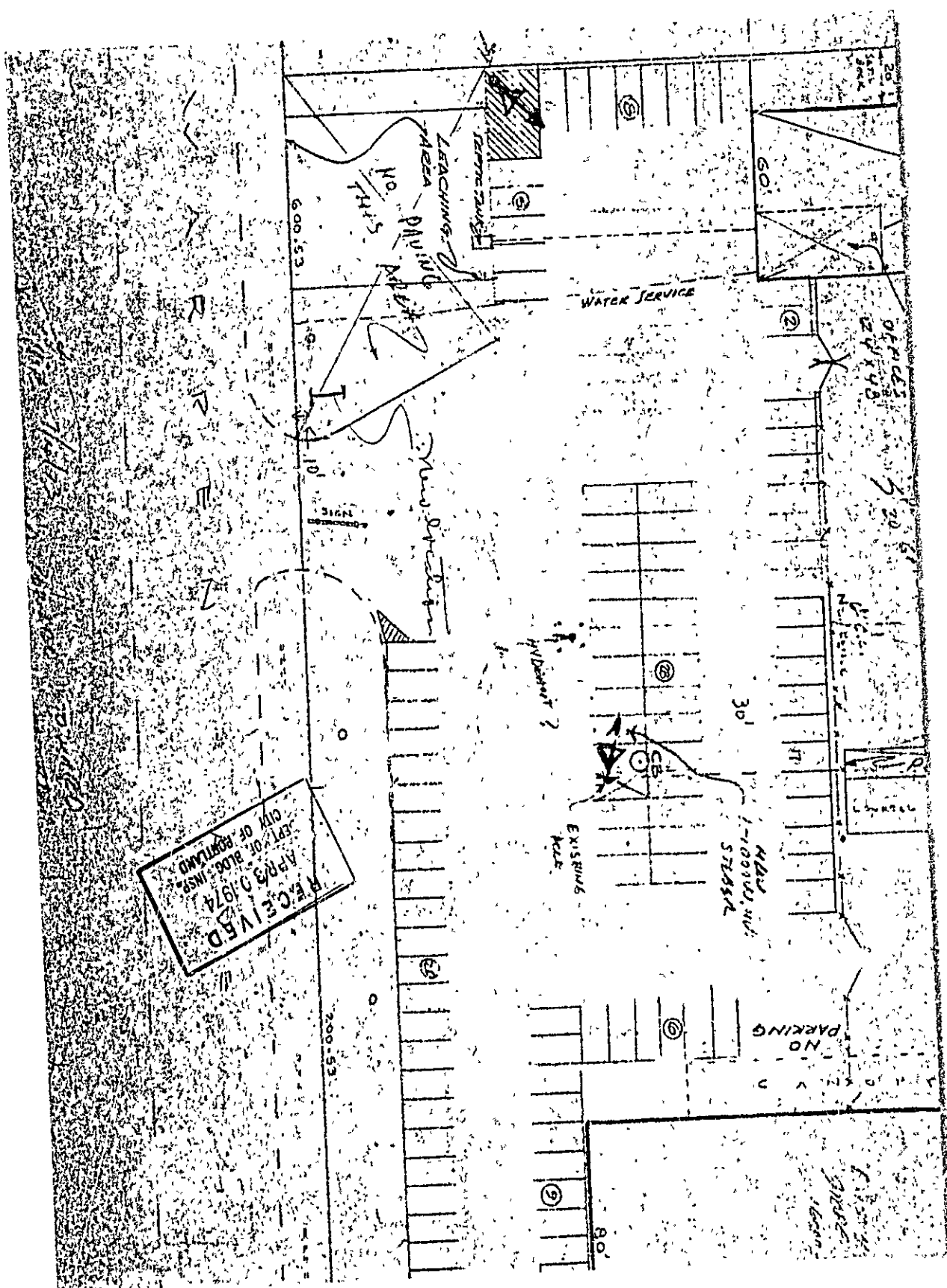
Clearance 10' -

Bonded -


Height -

Written Consent -

Projection over sidewalk (18" from curb) -



**GROSSMANS**

A DIVISION OF  EVANS PRODUCTS COMPANY

SAM KAUFMAN  
Construction Department

200 UNION ST., BRAintree, MASS 02184, (617) 848-0100





# APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP .....

00477 MAY 30 1974

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION PORTLAND, MAINE, April 30, 1974

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 572-558 Warren Ave Fire District #1  #2

1. Owner's name and address Grossman's - Division of Evans Products Telephone .....

2. Lessee's name and address 200 Union St, Braintree, Mass Telephone 617-848-8400

3. Contractor's name and address owner Telephone .....

4. Architect .....

Proposed use of building .....

Last use .....

Material .....

Other buildings on same lot .....

Estimated contractual cost \$ .....

Fee \$ 24.00 (paid) (5/22/74)

FIELD INSPECTOR—Mr. Ray Reitze GENERAL DESCRIPTION

This application is for: @ 775-5451 to erect a two pole sign 10'x14'

Dwelling Ext. 234 (gross area) double sign per plan.

Garage .....

Masonry Bldg .....

Metal Bldg .....

Alterations .....

Demolitions .....

Change of Use .....

Other .....

Stamp of Special Conditions 5-16-74

This application is preliminary to get settled the question of zoning appeal. In the event the appeal is sustained the applicant will furnish complete information, estimated cost and pay legal fees.

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1  2  3  4

### DETAILS OF NEW WORK

Is any plumbing involved in this work? .....

Is any electrical work involved in this work? yes .....

Is connection to be made to public sewer? .....

If not, what is proposed for sewage? .....

Has septic tank notice been sent? .....

Form notice sent? .....

Height average grade to top of plate .....

Height average grade to highest point of roof .....

Size, front .....

depth .....

No. stories .....

solid or filled land? .....

earth or rock? .....

Material of foundation .....

Thickness, top .....

bottom .....

cellar .....

Kind of roof .....

Rise per foot .....

Roof covering .....

No. of chimneys .....

Material of chimneys .....

of lining .....

Kind of heat .....

fuel .....

Framing Lumber—Kind .....

Dressed or full size? .....

Corner posts .....

Sills .....

Size Girder .....

Columns under girders .....

Size .....

Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Fridding in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor .....

2nd .....

3rd .....

On centers: 1st floor .....

2nd .....

3rd .....

Maximum span: 1st floor .....

2nd .....

3rd .....

If one story building with masonry walls, thickness of walls? .....

height? .....

### IF A GARAGE

No. cars now accommodated on same lot .....

to be accommodated .....

number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: .....

DATE .....

BUILDING INSPECTION—PLAN EXAMINER .....

ZONING: .....

BUILDING CODE: R.K. C.S. 5/22/74

Fire Dept.: .....

Health Dept.: .....

Others: .....

MISCELLANEOUS

Will work require disturbing of any tree on a public street? .....

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant Samuel J. Kaufman Phone # 617-848-0100

Type Name of above SAM KAUFMAN 1  2  3  4

FIELD INSPECTOR'S COPY

Other and Address .....

NOTES

6-6-74	NOT STARTED	RR
6-18-74	"	B.R.
7-16-74	"	RAY R
Sept 16-1974	"	RAY R
Oct 16-1974	"	RAY R
11-21-74	"	Ray Ridge
Dec 6-1974	"	OK
Dec 18-1974	"	P. Reitzel
Jan 17-1974	"	
Feb 3-1975	FINISHED	OK

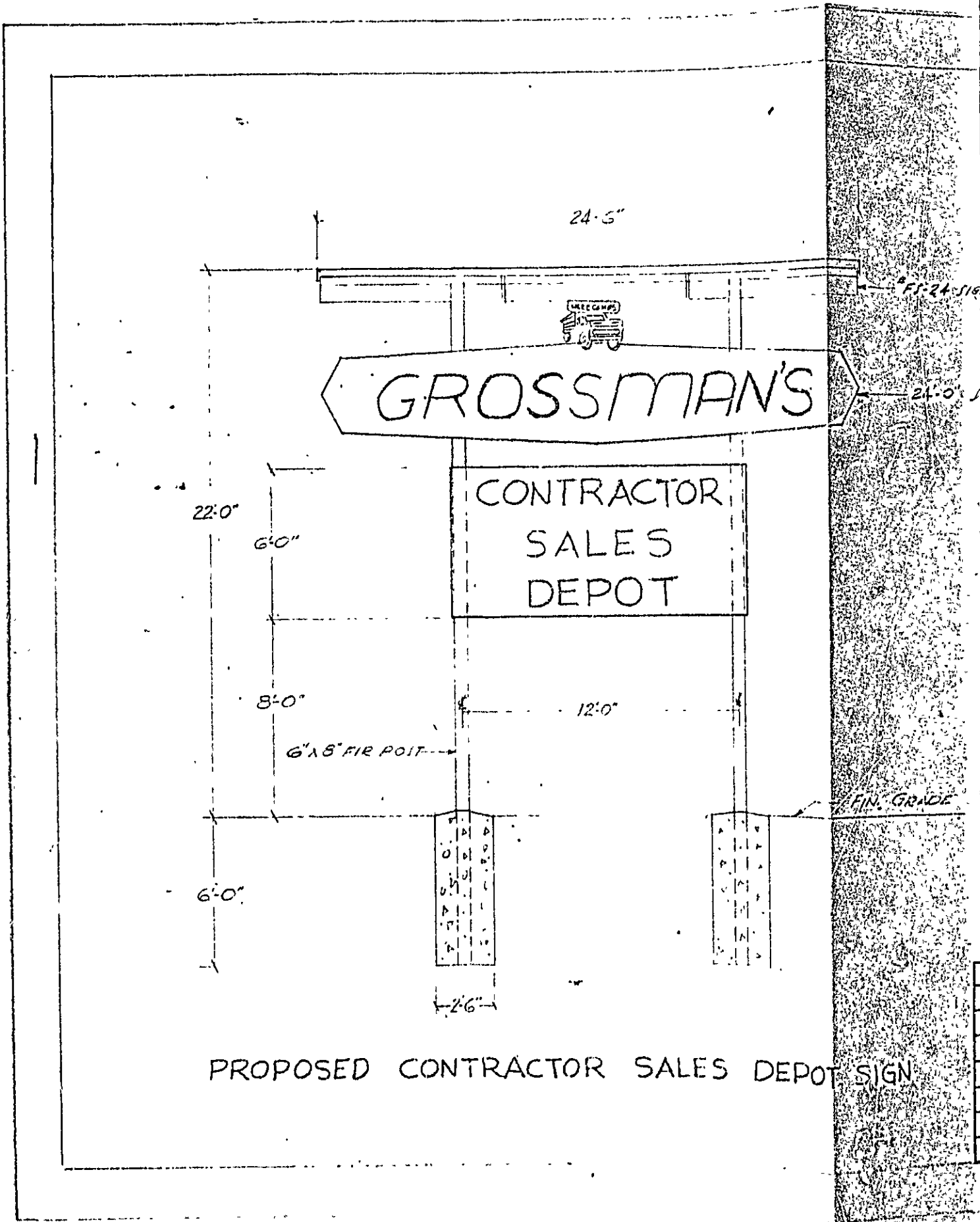
Approved

Date of permit 5-30-74

Owner Massman

Location 522-558 Warner Ave

Permit No. 74/477



PROPOSED CONTRACTOR SALES DEPOT SIGN

RECEIVED  
 APR 30 1974  
 DEPT. OF BLDG. INSP.  
 CITY OF PORTLAND

1'-24" SIGNLITER - SIGNER MOD.


GROSSMAN'S

24'-0" SIGN

SALES  
 DEPOT

NOTE:  
 TOTAL SIGN AREA  
 (2 SIDES) EQUALS  
 327.27 sq

SALES DEPOT SIGN

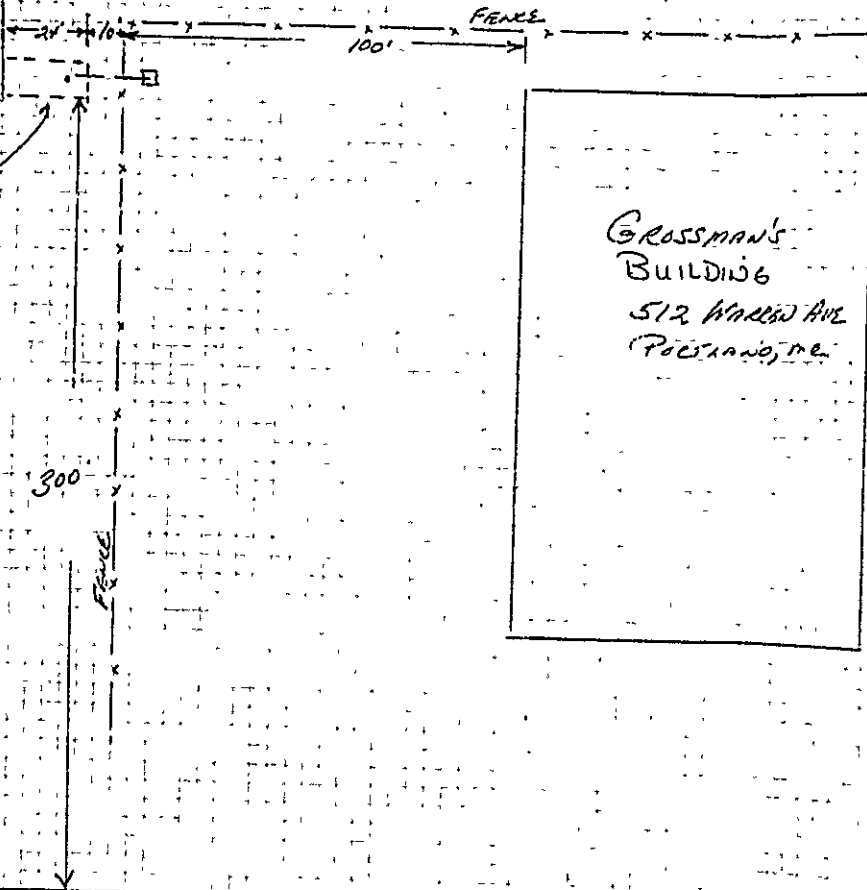
REVISED	EXECUTIVE OFFICES 200 UNION ST. BRAINTREE, MASS 02184 AREA CODE 617 841-0100				
	WARREN AVE.				
	PORTLAND ME				
	SCALE	DRAWN BY	DATE	JOB NO	SHEET NO
	1/4" = 1'-0"		4-27-74		

GROSSMANS  
512 WARREN AVE  
PORTLAND, ME

PERMIT TO INSTALL 1-4000 GALLON  
UNDERGROUND GASOLINE TANK

RECEIVED  
AUG 25 1971  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND

4000 GALLON  
TANK



GROSSMAN'S  
BUILDING  
512 WARREN AVE  
PORTLAND, ME

CONTRACTOR

Portland Pump Co  
321 Lincoln St  
So. Portland, ME

WARREN AVE.



# APPLICATION FOR PERMIT

Class of Building or Type of Structure \_\_\_\_\_  
Portland, Maine, August 25, 1971

**PERMIT ISSUED**

AUG 27 1971

**CITY OF PORTLAND**

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512 Warren Ave. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Grosemans Telephone \_\_\_\_\_  
 Contractor's name and address Portland Pump Co. 321 Lincoln St., S. Portland Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets \_\_\_\_\_  
 Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ \_\_\_\_\_ Fee \$ 5.00

### General Description of New Work

To install one 4000 gal. underground gasoline tank as per plan

Sent to Fire Dept. 8/25/71  
Return from Fire Dept. 8/27/71

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO Contractor**

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
 Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On center: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? \_\_\_\_\_  
 Will there be in charge of the above work a person competent to see that the State and City requirements, pertaining thereto are observed? \_\_\_\_\_

APPROVED:

Wm. O. Merrill 8-27-71  
O.K. E.L.H. 8/27/71

Portland Pump Co.

By: \_\_\_\_\_

INSPECTION COPY

Signature of owner

Permit No. 711

Location 512 Warren Ave

Owner Broomana

Date of permit 8/1/71

Notif. closing-in \_\_\_\_\_

Inspn. closing-in \_\_\_\_\_

Final Notif. \_\_\_\_\_

Final Inspn. \_\_\_\_\_

Cert. of Occupancy Issued \_\_\_\_\_

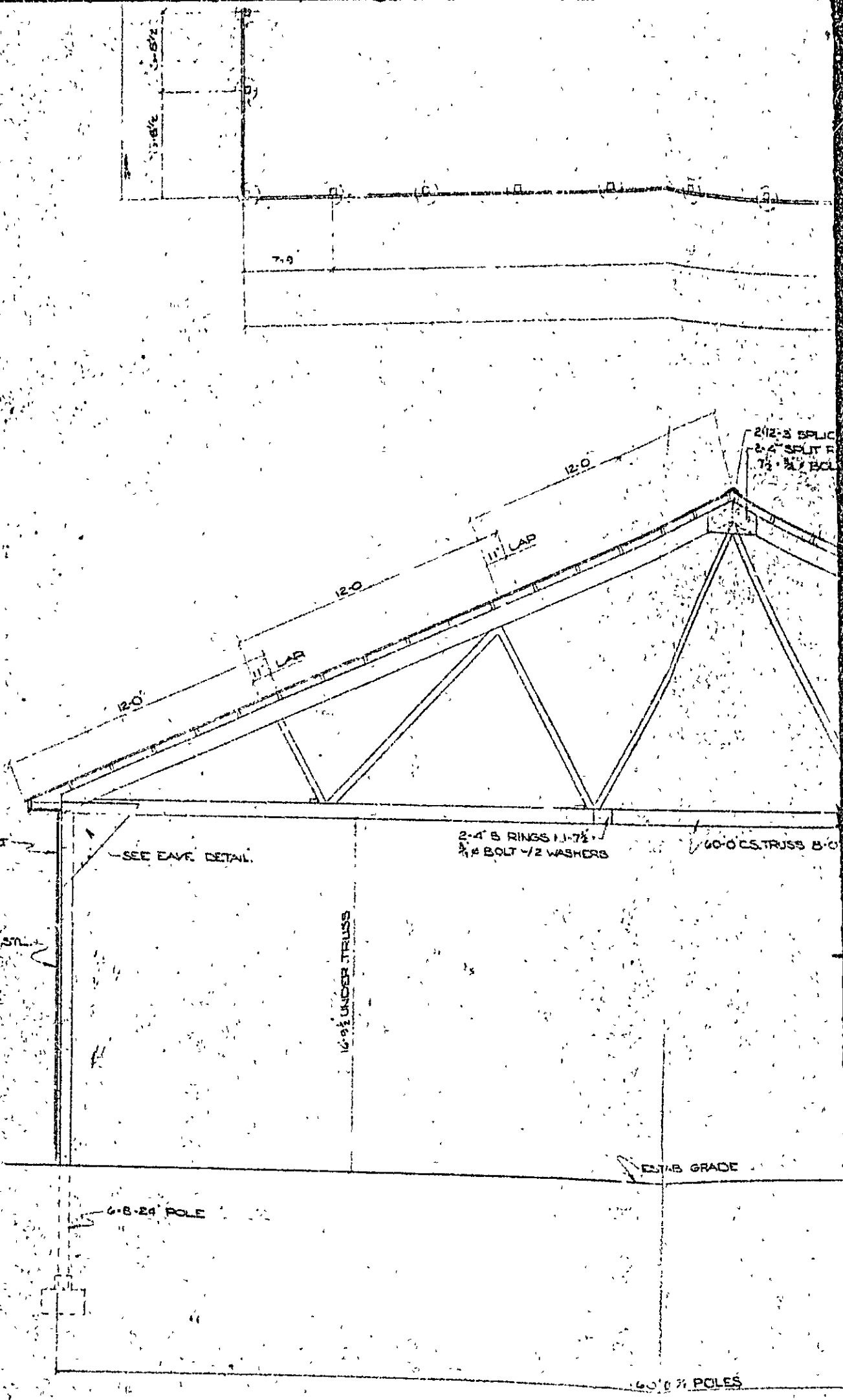
Staking Out Notice P.L. 217

Form Check Notice \_\_\_\_\_

NOTES

Notes section with horizontal lines and a large 'X' mark drawn across the bottom portion.

Additional notes section with horizontal lines.



TYPICAL SECTION 4 = 1-0



20' x 20' PANEL

1/2"

1/2"

1/2"

1/2"

1/2"

1/2"

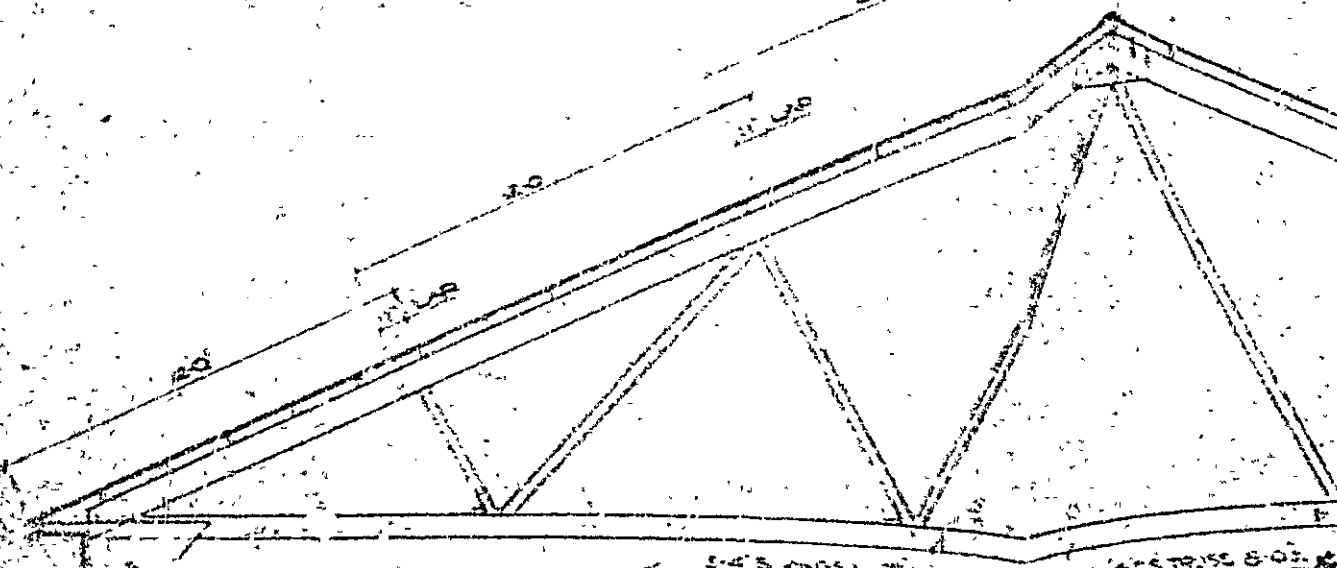
1/2"

1/2"

WALTS WITH CORNER  
(PROMISE QUALITY)

3/4" ST. WALL DOOR

2" x 4" SPICE BR  
1/2" SPLIT PINS  
1/2" x 1/2" BOLT 72 W



(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)

20 SPACERS @ 5'-0" 160'-0"

175'-0" POLES

### FLOOR PLAN 3'-1-0"

2-12" x 3" SPLICE BLK.  
2-4" SPLIT RINGS  
7/8" x 1/2" BOLT / 2 WASHERS

GALV. STL. ROOF  
2-4" PURLINS 24" x 3/4"

GENERAL NOTES	
ALL POLES	TO BE 6" x 6"
5'-0"	BELW/GRAD E
3'-2 1/2"	ANCHOR PADS
SIDE WALL POLES	TO HAVE
12" OP. 24"	CONC. FTG.
END WALL POLES	TO HAVE
18" OP. 18"	CONC. FTG.

VENT. & EAVE  
EOTS SIDES

60'-0" C.S. TRUSS 8'-0" x 8"

2-4" LAT. BRACING

24 SKYBELT

2-4" GRTS

AS. GRADE

3'-2 1/2" FT. SPL. BDS.

6" x 6" 24" POLE

10' x 10' POLES

### SECTION 4'-1-0"

100/53 DING MEAS.

10 BRACKETS 100/53

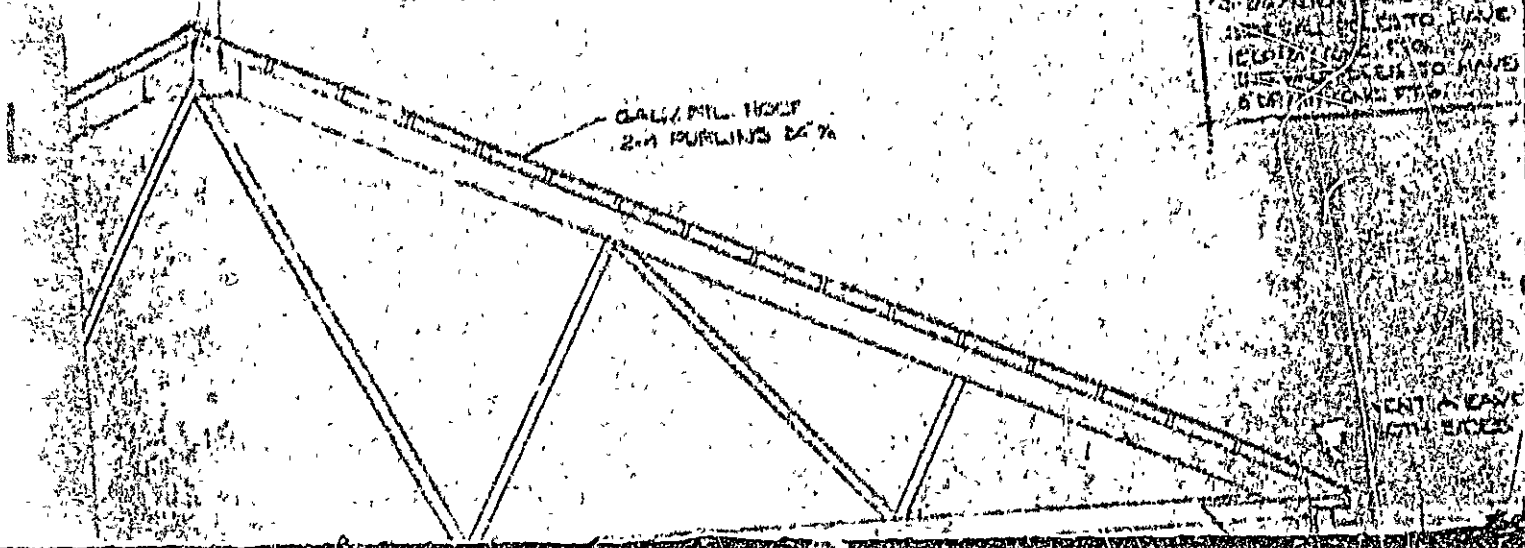
FLOOR PLAN 100/53

2x12-8 BRIDGE PLANK  
E-60 BRACKET HINGE  
7/8" x 1/2" BOLT 1/8" WASHERS

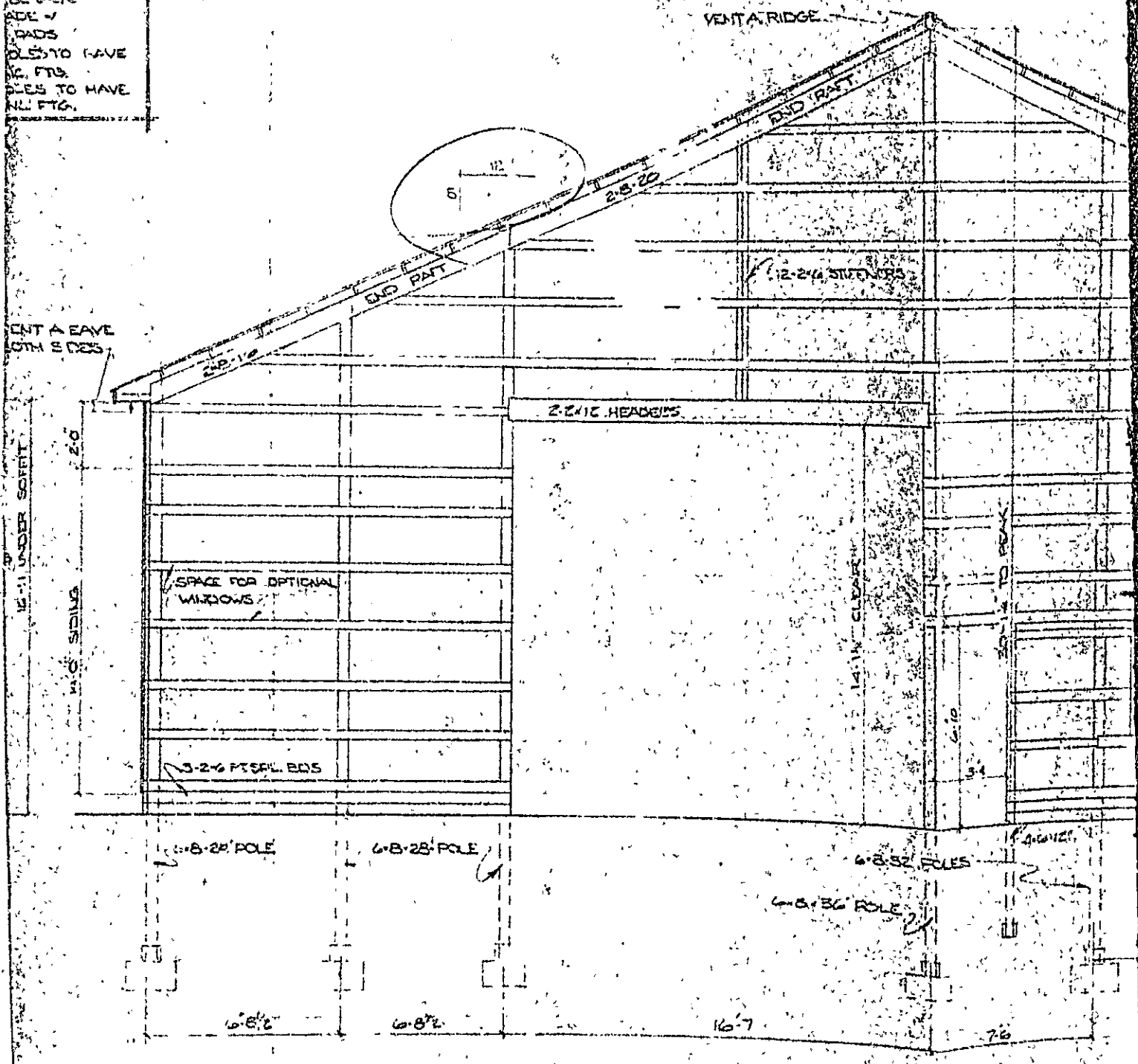
2x4 PURLINS 2x4

GENERAL NOTES  
ALL DIMENSIONS IN FEET  
3/8" DIA. BOLTS  
ALL WALLS TO HAVE  
1/2" DIA. BRACKETS  
ALL WALLS TO HAVE  
6" DIA. BRACKETS

VENTILATION  
100/53



NOTES  
 BE 6-8e  
 MADE 7  
 PADS  
 OLES TO HAVE  
 FTG.  
 OLES TO HAVE  
 FTG.



WALL FRAMING 1/2" = 1'-0"

USAGE RESTRICTIONS  
 THE USE OF THESE PLANS AND SPECIFICATIONS SHALL  
 BE RESTRICTED TO SITES DESIGNATED BY UMBROUGH  
 POLE BUILDING CO., INC. AND PUBLICATION THEREOF  
 IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION,  
 OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN  
 PART, IS PROHIBITED, TITLE TO THE PLANS REMAIN IN THE  
 NAME OF THE UMBROUGH POLE BUILDING CO., WITH-  
 OUT PREJUDICE.  
 VISUAL CONTACT WITH THESE PLANS AND SPECIFI-  
 CATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE  
 ACCEPTANCE OF THESE RESTRICTIONS.