



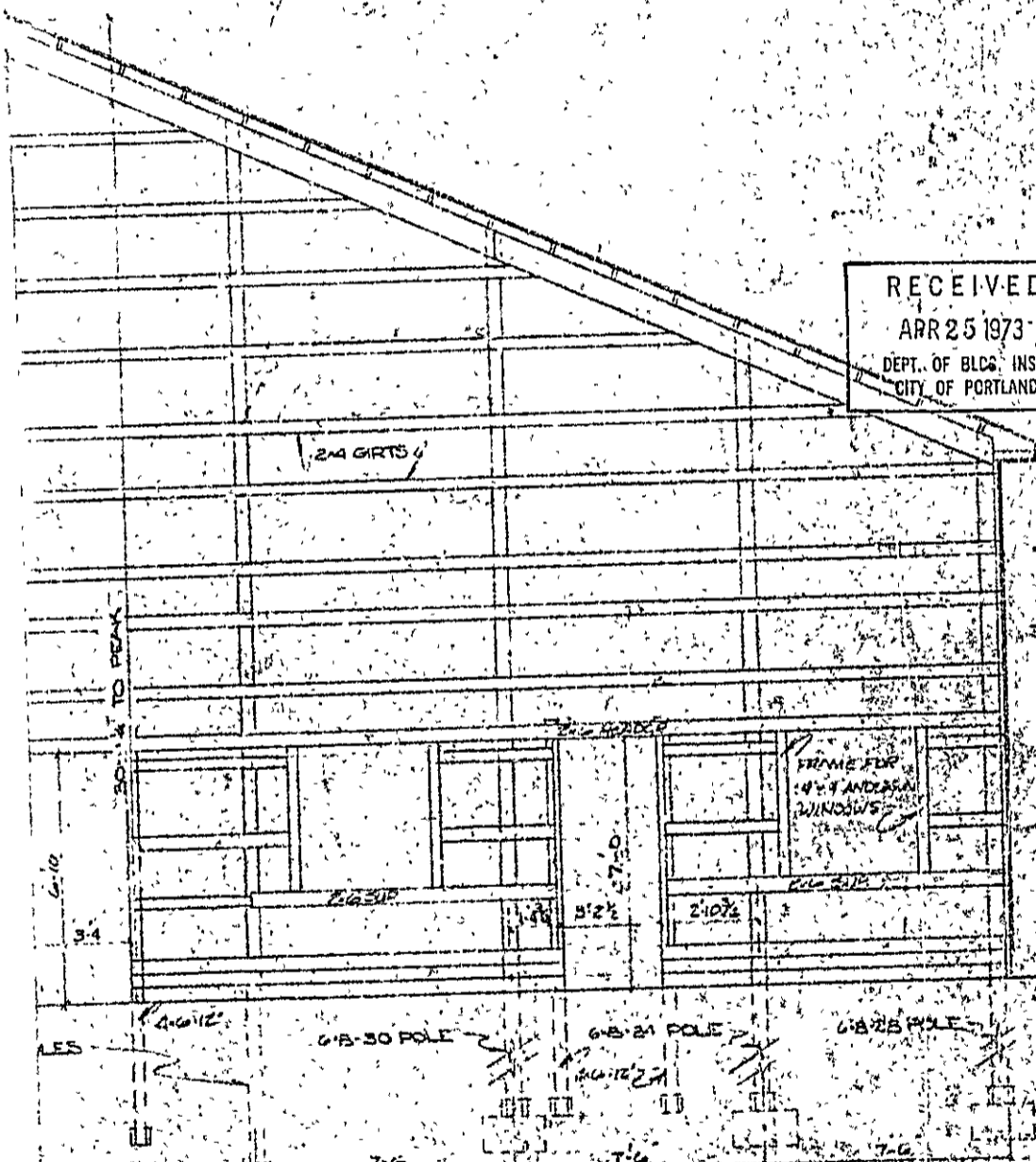
COLORFUL STYLING

2x4 GIRTS  
BETWEEN STUDS

EAVE DETAIL 1/4" = 1'-0"

PERMIT ISSUED  
WITH [unclear]

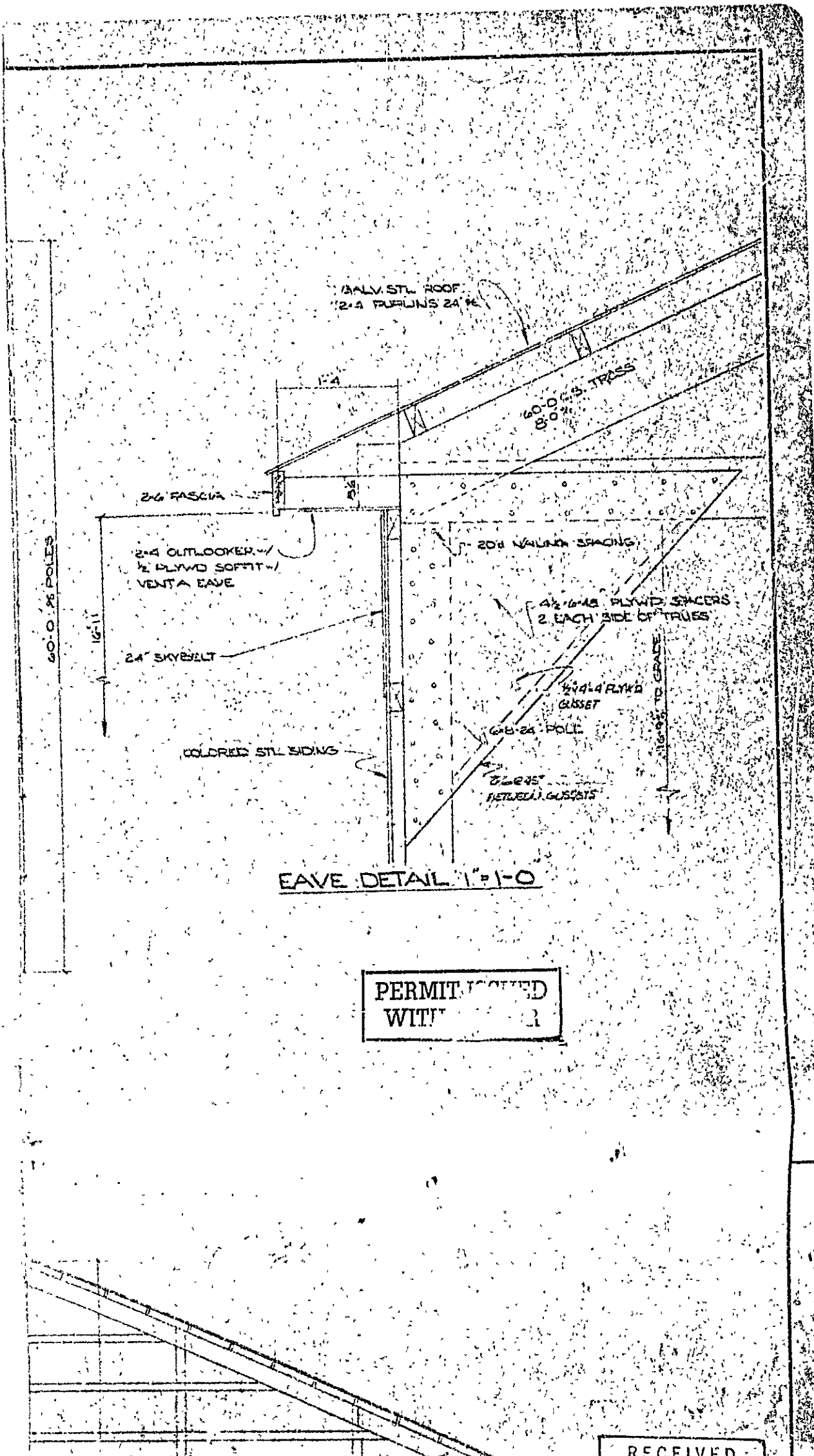
RECEIVED  
APR 25 1973  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND



**Umbaugh Pole Building Co., Inc.**

PROPOSED BY: GROSSMAN, LUMER	DATE: 6-73	DRAWN BY: SOMOSKO
SCALE: AS NOTED	APPROVED BY:	
REVISIONS: 1	DRAWING NO.:	C-72-217

**RESTRICTIONS**  
 ALL DIMENSIONS AND SPECIFICATIONS SHALL BE AS DESIGNATED BY UMBAUGH POLE BUILDING CO., INC. AND PUBLICATION THEREOF. ANY REPRODUCTION OR USE OF ANY METHOD, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF UMBAUGH POLE BUILDING CO., INC. IS PROHIBITED. THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF UMBAUGH POLE BUILDING CO., INC. AND SHALL BE KEPT IN THE OFFICE OF UMBAUGH POLE BUILDING CO., INC. AT ALL TIMES.



PERMITTED  
 WITH

RECEIVED

178.75

CENTRAL MAINE POWER CO. EASEMENT

EXISTING  
DAVING

EXISTING GAS PUMP

EXISTING  
SHED  
30' x 28'

26'

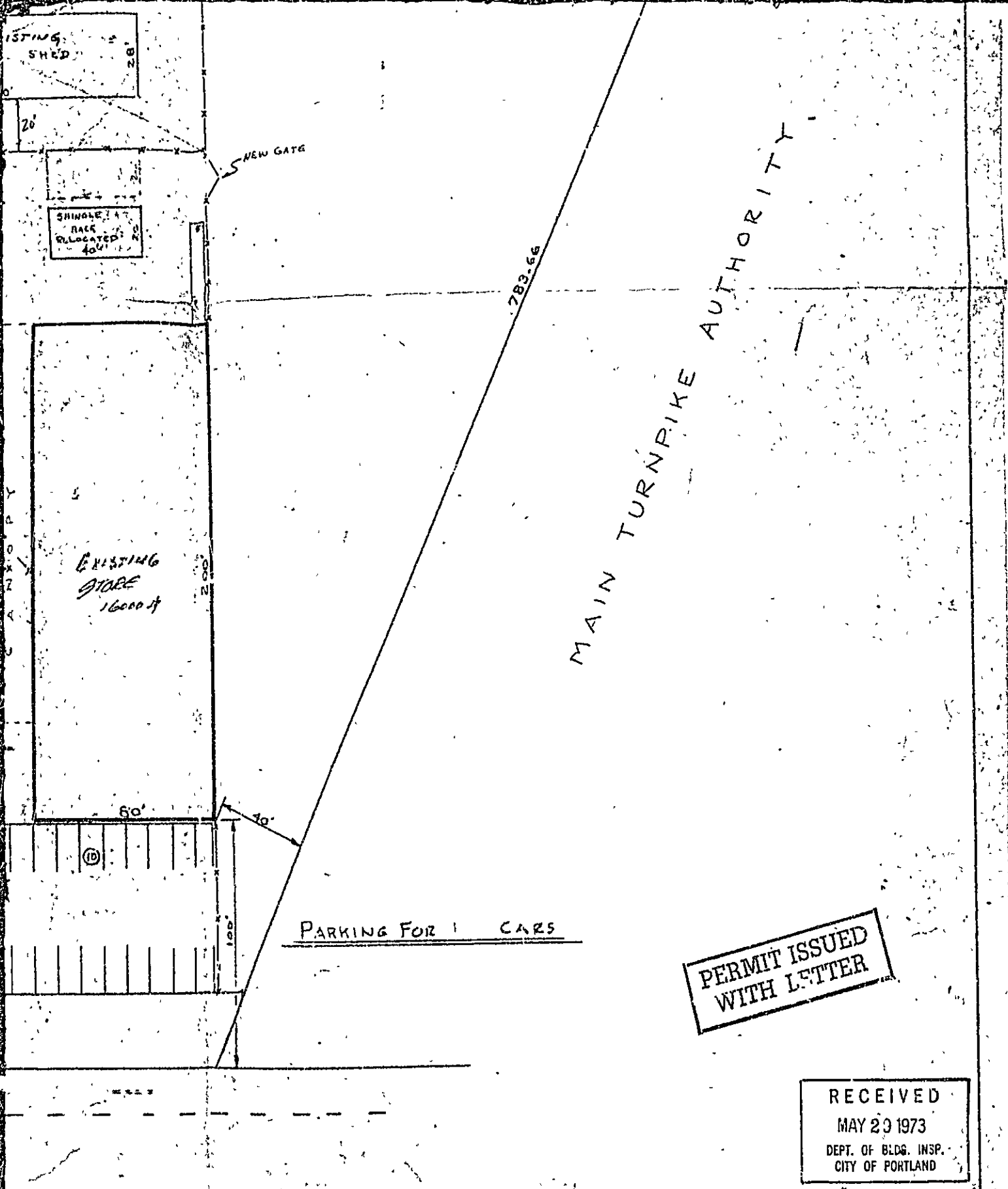
SHINGLES  
RACK  
RELAYED  
40'

NEW GATE

1783.67

MAIN TURNPIKE AUTHORITY

EXISTING  
STORE  
16000 sq ft



PERMIT ISSUED  
WITH LETTER

RECEIVED  
MAY 29 1973  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND

PROPOSED CONTRACTOR: SALES DEPOT

		ADVISOR OF EVERETT PRODUCTS COMPANY EXECUTIVE OFFICES BRAINTREE, MASS. 02184 AREA CODE 617 848-0100		DATE 5/16/73
EVERYTHING TO BUILD WITH		RETAIL AND CONTRACTOR YARD PORTLAND, MAINE		REVISED 5/2/73 4/13/73
SCALE	DRAWN BY	CHECKED	JOB NO.	SHEET NO.
1"=40'-0"	LDUPONT			

1311.84

BLD B } csh  
122' X 130'

BLD B (22' X 130')

PROPOSED  
ROADWAY  
ROUGH GRADING  
ONLY (NO PAVING)

PROPOSED SHED  
22' X 130'

PROPOSED  
6' C.L.  
FENCE

EXISTING  
PAVING

EXISTING GAS PUMP

PROPOSED  
6' C.L.  
FENCE

REMOVE EXISTING  
FENCE

EXISTING  
POLE SHED

BLD A  
60' X 76'  
csh

NEW  
2-1000W  
MIL  
STAIRS  
MTD BY  
BLDG  
PROPOSED  
YARD

NEW FENCE

SAMPLE  
MARK  
RELACTED  
40'

PROPOSED  
BLDG  
10' X 170'

NO  
PAVING  
THIS  
AREA  
50' X 170'

NEW 1-1000W  
MIL  
STAIRS  
MTD BY  
BLDG.

PROPOSED  
OFFICES  
22' X 48'

PROPOSED  
20' GATE

COVERED OPEN SHED 20' X 122'6"

NEW FENCE

EXISTING  
STAIRS  
160'

30'

30'

NEW  
1-1000W  
MIL  
STAIRS

30'



PORTLAND TERMINAL CO

131

150'

75'

BLD B } CSN  
22 X 130

PROPOSED 5' 70'  
22' X 130'

PROPOSED  
6'-0" C.C.  
FENCE

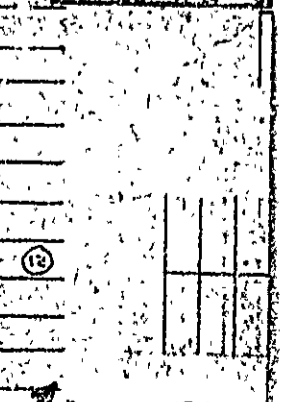
BLDG A  
60' X 170'  
CSN

NO PAVING  
THIS  
PART  
20' X 180'

PROPOSED  
BLDG  
10,800 sq ft

20'  
547'  
2800'

CORP.





PROPOSED  
6" DIA.  
PENCIL

BLDG A  
60' X 76'  
CSN

PROPOSED  
BLDG  
10,300 SF

NO PAVING  
THIS  
AREA  
20' X 180'

20'  
SST  
BACK

515.17

2063.0

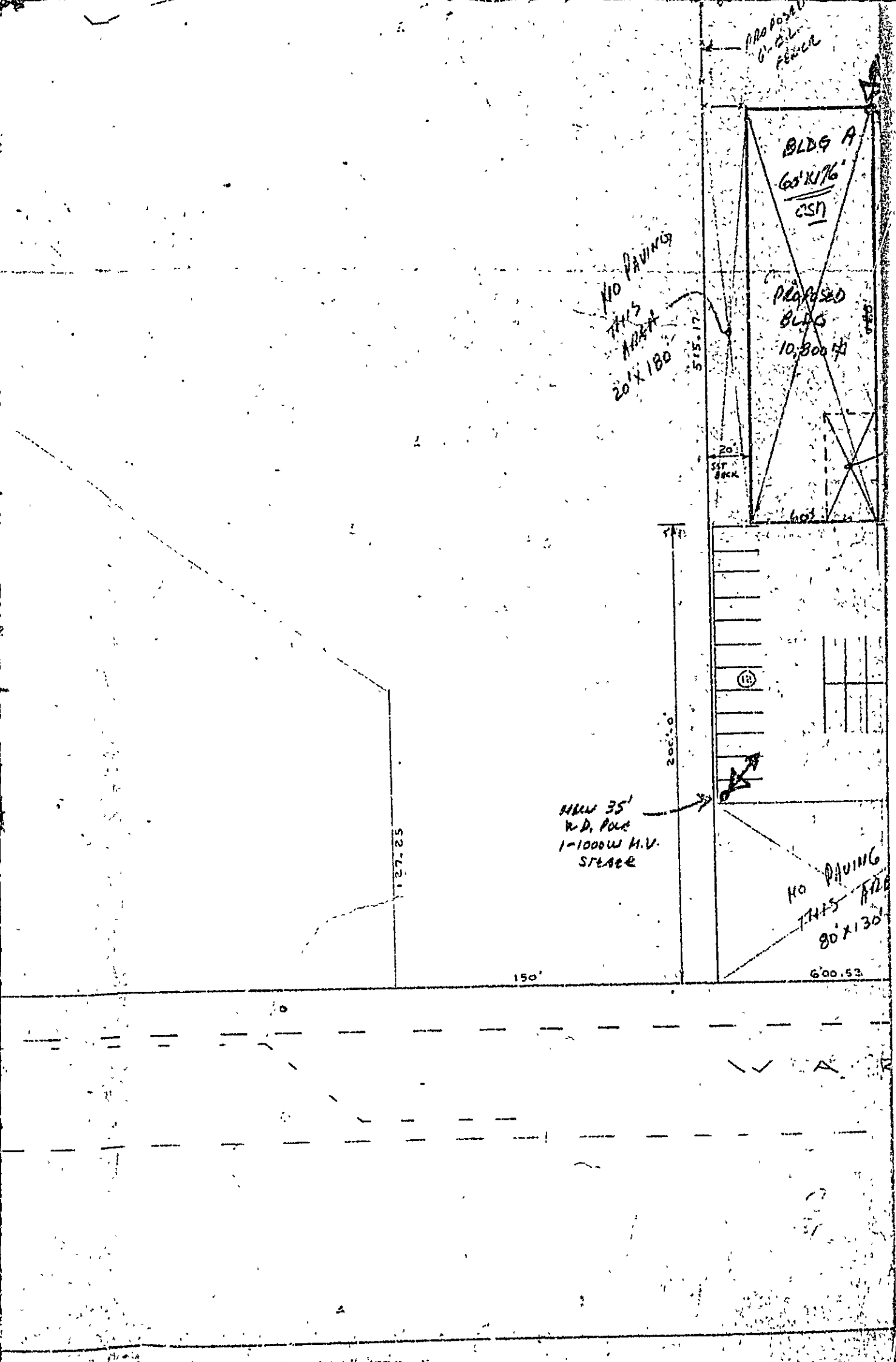
MIN 35'  
W.D. POLE  
1-1000W H.V.  
STEEL

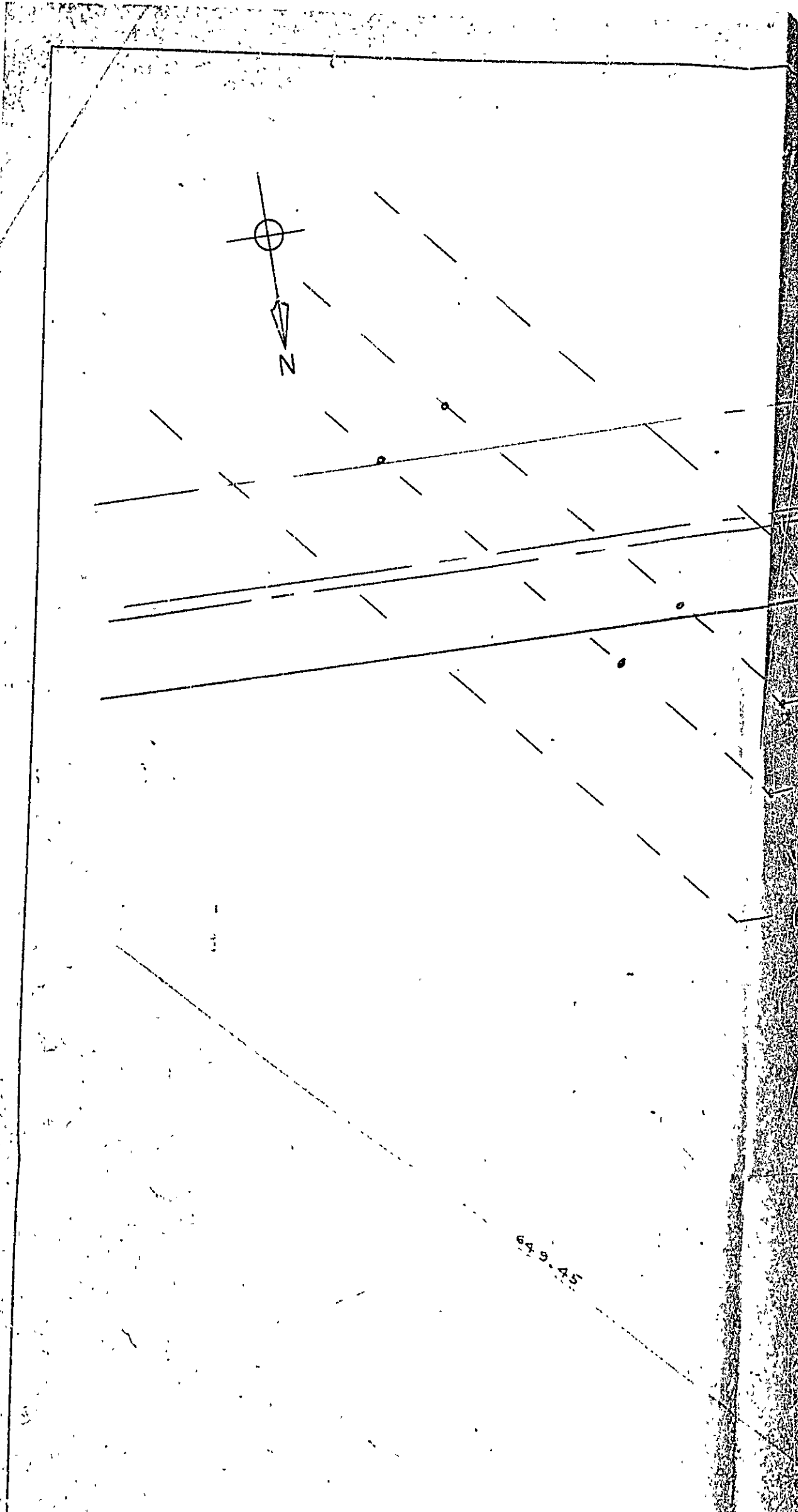
NO PAVING  
THIS  
AREA  
80' X 130'

600.52

52.61

150'





MARBETH REALITY CORP

649-45

MARBETH REALTY CORP



1-1 INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, July 14, 1964

PERMIT ISSUED  
SEP 23 1964  
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512-558 Warren Avenue Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address Grossman Industrial Properties, Inc., Braintree 8, Mass. Telephone \_\_\_\_\_  
Licensee's name and address \_\_\_\_\_ Telephone 244-1120  
Contractor's name and address Poley-Abrams, 15 Bartlett Crescent, Brockton 46, Mass. Telephone 772-9164  
Architect \_\_\_\_\_ Specifications yes Plans yes No. of sheets \_\_\_\_\_  
Proposed use of building Sale of lumber and warehouse No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 80,000 Fee \$ 160.00

General Description of New Work

To construct 1-story <sup>five</sup> ~~concrete-block~~ <sup>insulated panel</sup> building 20' x 81' as per plans

Arthur M. Odehio is superintendent for job. This building has steel frame and roof, but walls consist of 8 inch concrete blocks to a height of 6 feet, wood studs covered with plywood for the next 12 feet, and plastic panels from there to roof. For this reason it is rated as Third Class Construction - C-3

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Permit issued with Letter

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to \_\_\_\_\_ to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girder \_\_\_\_\_ Size \_\_\_\_\_ Max on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters. 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are served? yes Grossman Industrial Properties, Inc. Poley-Abrams

CS 301

INSPECTION COPY

Signature of owner

By:

*Julius Abrams*



BEACON 2-7530



POLEY - ABRAMS

*Corporation*

ENGINEERS ——— CONSTRUCTORS

JULIUS ABRAMS

45 BARTLETT CRESCENT  
BROOKLINE 46, MASS.



I-1 INDUSTRIAL ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED  
03002  
AUG 14 1964  
CITY of PORTLAND

Class of Building or Type of Structure Foundation Only  
Portland, Maine, July 14, 1964

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512-558 Warren Avenue Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_

Owner's name and address Grossman Industrial Properties, Inc. Telephone \_\_\_\_\_  
Braintree 84, Mass.

Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Contractor's name and address Poly-abrams, 45 Bartlett Crescent, Telephone \_\_\_\_\_  
Brockline 1,6, Mass.

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets \_\_\_\_\_

Proposed use of building Sale of lumber and warehouse No. families \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_ Fee \$ 2.00

Estimated cost \$ \_\_\_\_\_

General Description of New Work

To excavate and construct foundation only for 1-story building 200'x81' as per plans  
*Joe Welch, Plumbing Inspector says that septic tank sewage disposal system has been approved - agj*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractors

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_

Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_

Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? yes

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_

Framing Lumber-Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_

Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street?  
Will there be in charge of the above work a person con-  
see that the State and City requirements pertaining t  
observed? yes Poly-Abrams Corp

APPROVED:

*OK - 8/14/64 - agj*

CS 201

INSPECTION COPY

Signature of owner

By:

*Julius Abrams*

NOTES

8-25-64 Compaction  
 wall along & for. & for  
 looking ready for  
 steel right & rear  
 sides. *SP*

8-27-64 half looking  
 poured O.K. *SP*

9-1-64 Rear half  
 foundation ready  
 to pour. *SP*

9-15-64 Completed *SP*

X

Permit No. 64/1002

6-25

Location

62-658 *Waver Ave*

Owner

*P. C. - Williams*

Date of permit

*8/14/64*

Notif. closing in

Inspn. closing in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice



I-2 INDUSTRIAL ZONE

PERMIT ISSUED

01655  
DEC 24 1964

CITY of PORTLAND



### APPLICATION FOR PERMIT

Class of Building or Type of Structure \_\_\_\_\_  
Portland, Maine, October 26, 1964

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512-558 Warren Ave. Within Fire Limits? \_\_\_\_\_ Dist. No. 2748210  
Owner's name and address Grossman Industrial Properties Inc. Braintree 84 Telephone \_\_\_\_\_  
Mass. \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address L. Grossman & Sons Inc. 200 Union St. Braintree Mass Telephone \_\_\_\_\_  
Architect? \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Material 3 No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_ Fee \$ 2.00  
Estimated cost \$ \_\_\_\_\_ fee pd. 10-26-64

#### General Description of New Work

To erect <sup>24'</sup> 28' x 8' detached sign as per plan. (illuminating lighting)

APPROVED 12/3/64

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Poley-Abrams-45 Bartlett Crescent Brookline-46, Mass.

#### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber--Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

#### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

*G. E. M. w/letter*

#### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner

by:

Grossman Industrial Properties Inc.

*Arthur Palumbo*

*jm*

NOTES

3-B-65 Completed  
*[Signature]*

*[Large handwritten X mark across the notes section]*

Permit No. 6411655  
Location 12-558 New Dec  
Owner W. A. ...  
Date of permit 1/19/44  
Notice closing-in  
Inspn. closing-in  
Final Notif.  
Final Inspn.  
Cert. of Occupancy issued  
Staking Out Notice  
Form Check Notice

*[Empty lined section for additional notes or signatures]*

CITY OF PORTLAND, MAINE  
FIRE DEPARTMENT



JOSEPH R. CREMO  
CHIEF

512 Warren Ave

FIRE PREVENTION BUREAU  
380 CONGRESS STREET  
PORTLAND, MAINE

November 14, 1973

One of these tanks must be removed as regulations state that only two 100 gallon tanks may be installed at any one site. Biddeford-Saco Gas Company has been notified of this and said they would comply.

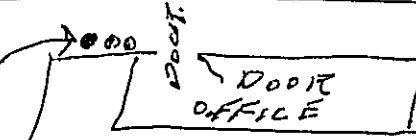
Also a barrier must be erected around the tanks since they are situated in a parking area.

TURNPIKE

WARREN AVE

TO PORTLAND

3-100 GAL.  
PROPANE  
TANKS.



LUMBER  
STORAGE  
NEW BLDG.

RECEIVED  
NOV 8 1973  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND



# APPLICATION FOR PERMIT

Class of Building or Type of Structure \_\_\_\_\_  
Portland, Maine, November 8, 1973

**PERMIT ISSUED**  
01310 NOV 14 1973  
CITY OF PORTLAND

To // INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 372 Warren Ave., Portland Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_

Owner's name and address Grossman's, care Telephone \_\_\_\_\_

Lessee's name and address \_\_\_\_\_ Telephone 252-1713

Contractor's name and address Birdsford-Saco Gas Co., 95 Main St, Saco Telephone \_\_\_\_\_

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets \_\_\_\_\_

Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Other Buildings on same lot \_\_\_\_\_

Estimated cost \$ \_\_\_\_\_ Fee \$ 7.00

### General Description of New Work

To install three (3) 100 gallon propane gas tanks per plan.

Sent to Fire Dept 11/8/73  
Rec'd from Fire Dept 11/14/73

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO**

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_

Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_

Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_

Framing Lumber--Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_

Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? \_\_\_\_\_

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:  
J. E. Mc Donough, Capt. F.P.B.  
W.H. O'H 11-15-73 W.H.C.

CS 301

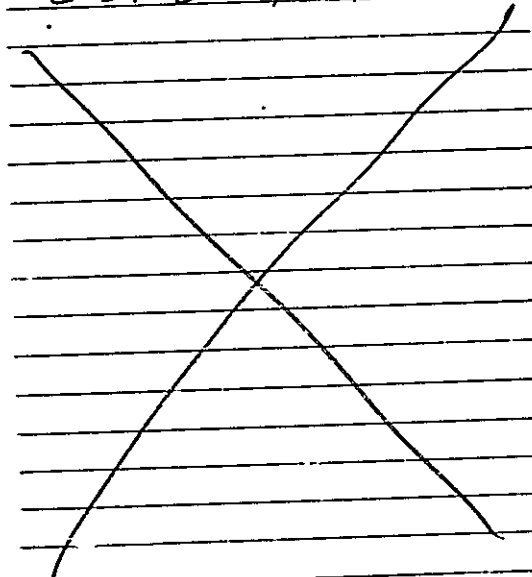
INSPECTION COPY

Signature of owner

C. J. [Signature]

NOTES

11-20-73 NOTHING  
 AS YET PER  
 11-30-73 HAVE NOT  
 CHANGED TANKS YET PER  
 12-27-73 SAME PER  
 1-30-74 TANKS HAVE  
 BEEN CHANG. There  
 are 2 TANKS INSTEAD OF  
 3 AND THEY HAVE INSTALLED  
 2 LALLY COLUMN ON OUT  
 SIDE OF TANKS FOR  
 BARRIER OK TO ISSUE  
 C OF O PER



Form Check Notice

Staking Out Notice

Cert. of Occupancy issued

Final Insprn.

Final Notif.

Insprn. closing-in

Notif. closing-in

Date of permit 11/15/73

Owner *Spadon*

Location *512 Avenue Avenue*

Permit No. *73 / 1310*

*Per*



# APPLICATION FOR PERMIT

Class of Building or Type of Structure \_\_\_\_\_

Portland, Maine, November 8, 1973

**PERMIT ISSUED**

NOV 8 1973

01285

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location GROSSMANS, 95 MAINE ST, SACO Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_

Owner's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Contractor's name and address Jas Co, 95 Maine St, Saco Telephone 282-0823

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets \_\_\_\_\_

Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_

Estimated cost \$ 50.00 Fee \$ 3.00

### General Description of New Work

To install a metalbestos chimney according to manufacturer's specifications.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO**

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_

Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewerage? \_\_\_\_\_

Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_

Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_

Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

OK 11-8-73 NRC

### Miscellaneous

Will work require disturbing of any tree on a public street? \_\_\_\_\_

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner [Signature]

NOTES

~~Nov 12-1973 2 GAS  
TANKS TO CLOSE  
TO BUILDING MUST  
BE MOVED MUST  
BE 10' FROM BUILDING  
RER~~

1-30-74  
Chimney OK RER

Permit No. 73/1985  
Location 512 Wenden Avenue  
Owner Proppens  
Date of permit 11/8/73  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_

*Rer*







FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED 01286 NOV 8 1973 CITY OF PORTLAND

Portland, Maine, Oct. 12, 1973

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 512 Warren Ave Use of Building warehouse No Stories 1 Need Building Existing
Name and address of owner of appliance Grossmans Lumber, same
Installer's name and address Biddeford Saco Gas Co., 95 Main St, Saco, Telephone 2820813

General Description of Work

To install one suspended heating unit as per plan (Propane gas) for office use only

IF HEATER, OR POWER BOILER

Location of appliance first floor Any burnable material in floor surface or beneath? Kind of fuel?
If so, how protected?
Minimum distance to burnable material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? through chimney Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Resonner Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner Size of vent pipe
Location of oil storage Number and capacity of tanks 3 each, 420 gal outside
Low water shut off Make
Will all tanks be more than five feet from any flame? yes No
How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 20.00 belated fee

APPROVED:

OK 11-8-73 MFC

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Biddeford Saco Gas Co.

Signature of Installer By Biddeford Saco Gas Co. Ed. Housfield

CS 300

INSPECTION COPY

38511

NOTES

11-20-73 HEAT UNIT IN MUST  
CHANGE GAS TANKS PER  
1-30-74 HAVE CHANGED TANKS PER

Approved

Date of permit

Owner

Location

Permit No.

11/8/73  
Messinger  
512 Waverly Ave  
73/1286

Reed



# APPLICATION FOR PERMIT

I-2 INDUSTRIAL ZONE

PERMIT ISSUED

Class of Building or Type of Structure storage

00846 AUG 6 1973

Portland, Maine, July 23, 1973

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512 Warren Ave., Bldg A Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Grossmans Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Grossmans, same Telephone 797-6816  
 Architect \_\_\_\_\_ Specifications 1 Plans 1 No. of sheets 4  
 Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 18,000.00 Fee \$ 30.00 24.00

## General Description of New Work

Construct mezzanine in building as per plans.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO mail to: S. Kaufman, 200 Union St., Braintree, Mass. 02184

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
 Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

RLB. 8/6/73.

## Miscellaneous

Will work require disturbing of any tree on a public street? \_\_\_\_\_  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner by: S. Kaufman

GROSSMANS

S. KAUFMAN

NOTES

8-21-73 Checked Nothing  
STARTED INSIDE VET PER

8-28-73 " " PER

9-5-73 Good NOT  
GIVE OK TO CLOSE  
IN HEADER OVER  
WINDOWS AND DOORS

NOT UP TO CODE PER

9-6-73 GAVE OK FOR  
CLOSING IN PER

9-10-73 Checked OK

9-25-73 NOT COMPLETE  
VET PER

10-10-73 PUTTING GAS  
HEAT IN WITHOUT  
PERMIT PER

Called Biddeford Saco

GAS ASKED THEM TO SEND  
SOME ONE INTO CITY HALL  
FOR HEATING PERMIT PER

WORK STILL NOT FINISHED  
TEL 2820813

10-25-73 - " " PER

10-29-73 OK TILL OTHER  
UNIT COMES IN PER

10-30-73 MADE CALL TO  
Biddeford Saco Gas Co

Told them to TAKE PLYWOOD  
DOWN FROM AROUND HEATING UNIT

AND INSTALL SHEET ROCK

940 MADE CALL

1-30-74 OK TO ISSUE COFO PER  
MEZZANINE

Moved in Before BUILDING WAS READY

Permit No. 73 / 846

Location 512 WILKINSON AVE

Owner PROSSER'S

Date of permit 8/6/73

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

512 Warren Avenue  
Bldg. A

July 26, 1973

Grossmans  
512 Warren Avenue

Gentlemen:

Permit to construct a mezzanine in Building A as per plans  
will be ready to issue when the enclosed certificate of design  
has been filled out and forwarded to this office.

Very truly yours,

Earle S. Smith  
Plan Examiner

ESS:m

enc.

These plans ( sheets) and the specifications accompanying the same, covering construction work on

Mezzanine  
have been designed and drawn up by the undersigned according to the latest rules of engineering practice and to comply with the allowable working stresses, floor loads, etc. required by the Building Code of the City of Portland.

(Signature)

Erwin

By:

S. J. Kaufman

This statement is to be signed by the individual responsible for the design, and he should indicate in the blank provided the particular work to which the statement applies.

DAVID M. BERG, INC.  
CONSULTING ENGINEER  
NEEDHAM, MASS. 02164

PROJECT \_\_\_\_\_  
Sheet No. \_\_\_\_\_ of \_\_\_\_\_  
Date \_\_\_\_\_  
Computed \_\_\_\_\_

GROSSMAN'S MEZZAIORE

TYPICAL CONDITION 2x6@16' OC SPAN-5'0"

$$S_{1.5} = \frac{1.5}{16} \times 5.5^2 = 7.56 \text{ in}^2$$

$$f = 1500 \text{ psi}$$

$$M_{cap} = 7.56 \times 1.5 \times \frac{1}{12} = 0.945 \text{ k/ft}$$

$$w = \frac{8 \times 0.945}{5^2 \times 1.33} = 0.227 \text{ k/ft}$$

5" [ STRINGER S = 3.03

$$M_{cap} = 3 \times 22/12 = 5.5 \text{ k}$$

$$w/ft = \frac{5.5 \times 8}{9} = 0.543 \text{ k/ft}$$

$$\text{MAX TRUB WIDTH} = \frac{3.62 \times 5}{2} = 4.31$$

$$w/ft = \frac{0.543}{4.31} = 0.125 \text{ k/ft}$$

3" [ STRINGER S = 1.10

$$M_{cap} = 1.1 \times 22/12 = 2.01 \text{ k}$$

$$w/ft = \frac{2.01 \times 8}{9} = 0.199 \text{ k/ft}$$

$$\text{MAX TRUB WIDTH} = \frac{3.62}{2} = 1.81$$

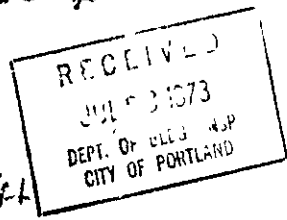
$$w/ft = \frac{0.199}{1.81} = 0.11 \text{ k/ft}$$

MAX CAPACITY 3" [ LEG

$$L/ft = \frac{4.31 \times 12}{117.46}, \text{ OR } \frac{2.12}{401} = 89$$

$$F_{all} = 14.32$$

$$P_{AD} = 14.32 \times 1.21 = 17.32 \text{ k}$$





DAVID M. BERG, INC  
 CONSULTING ENGINEER  
 NEEDHAM, MASS. 02194

PROJECT \_\_\_\_\_  
 Sheet No. 2 of \_\_\_\_\_  
 Date \_\_\_\_\_  
 Computed \_\_\_\_\_

CIRC AREA Max.  $4.31 \times 9 = 38.79^k$   
 Max CAP:  $\frac{17.32}{38.79} = 0.446^k/ft$

TWO TIGERS @ 0.1 = 0.2  
 1 @ 0.125 = 0.125  
 $\Sigma = 0.325 < 0.446^k$

check connection of 5" L

3/8" Bolt 3/8" 3/16" web on 5" L

single shear 3/8" Bolt  $0.1 \times 10^k/15.11$

bearing:  $375 \times 17.486 = 3.09^k$  on 3" F

End connection of 5" L =  $2^k$

w/f.  $\frac{2}{4.3} = 0.465^k/ft$

w/tp =  $\frac{1.44}{4.31} \approx .1^k/ft$

EACH LEVEL GOOD FOR 100#/ft

RECEIVED  
 3  
 ASP.  
 1970



LAN

50 - 2x12" - 24'  
@ 12" C.C.  
w/ 5/8" PLYSORE

42" HIGH OSHA  
RAIL SIDE  
DETAILS

24'

48'-0"

25'-0"

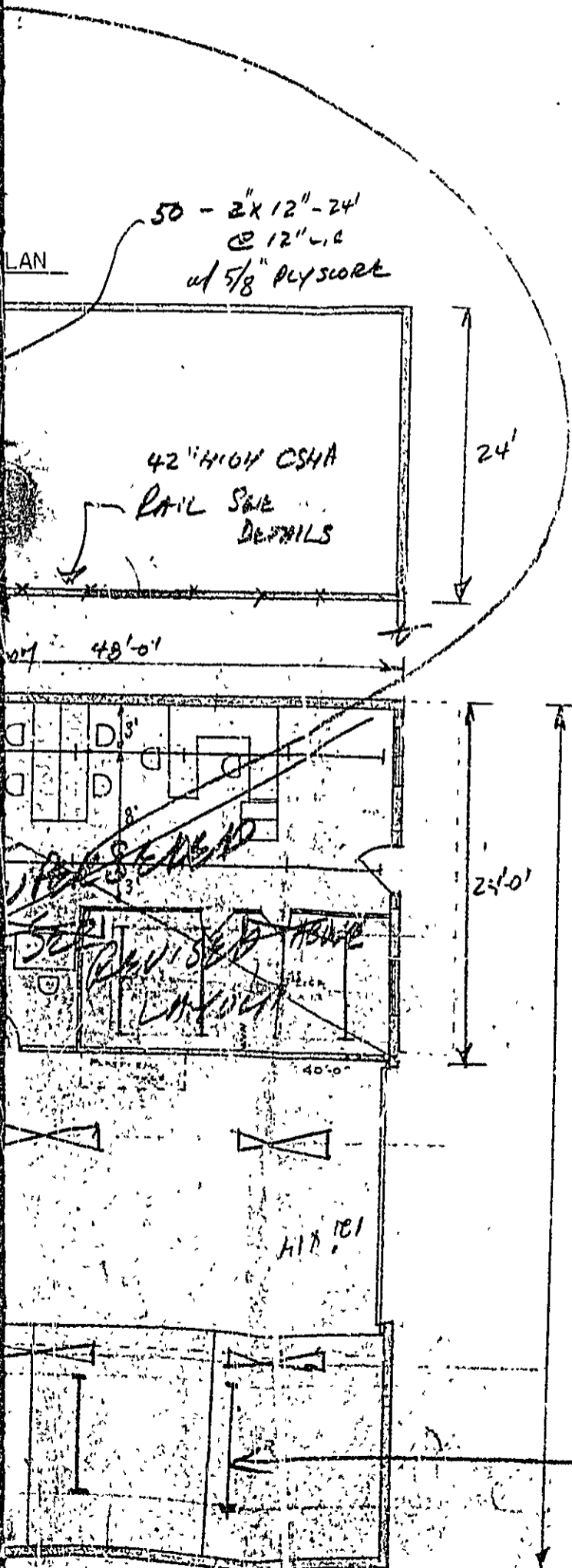
60'-0"

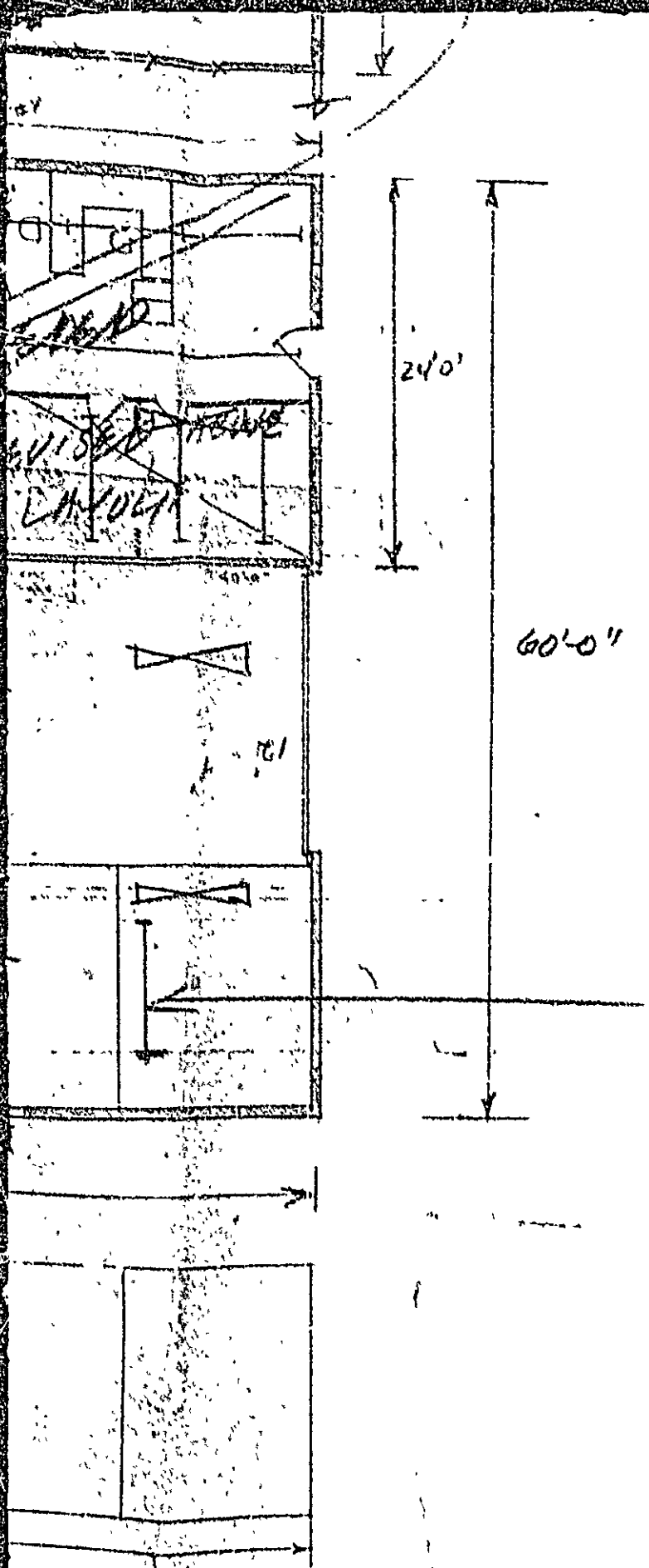
H10 101

Wagner  
Site

APPROX 10 - 2 TUBES

8'-0" LONG TUBES  
H10 082 151





24'-0"

60'-0"

NO. 111

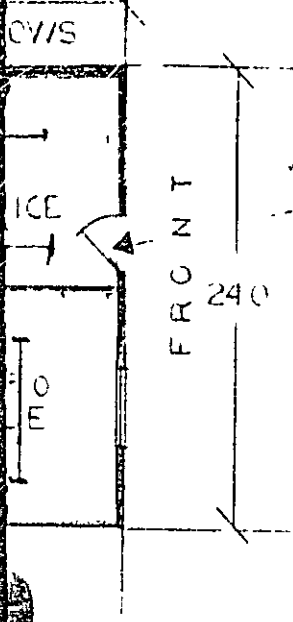
APPROX 10 - 2 TUBS  
 8" x 20" LOW BAY  
 H.I.R. GALLIST  
 FLUORESCENT  
 FIXTURES  
 MTD UNDER  
 MESSAGING

RECEIVED  
 JUL 20 1973  
 DEPT. OF BLDG. Insp.  
 CITY OF PORTLAND

RECEIVED  
 DEPT. OF BLDG. Insp.  
 CITY OF PORTLAND

<b>GROSSMANS</b> EXECUTIVE OFFICES BRAINTREE, MASS. 02184 EVERYTHING TO BUILD WITH AREA 6078 617 648-0100				DATE 4/16/73 REVISED 4/13/73
RETAIL AND CONTRACTOR YARD PORTLAND, MAINE				
SCALE	DRAWN BY	CHECKED	JOB NO.	SHEET NO.
1/8" = 1'-0"	A. J. QUANT			

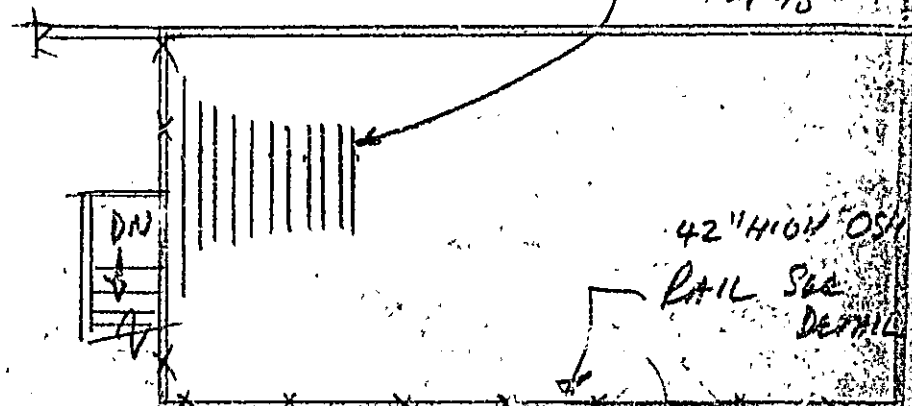
SIDE  
ELEV 4/13/73



30x6-6  
PLASE  
FRONT  
DOOR

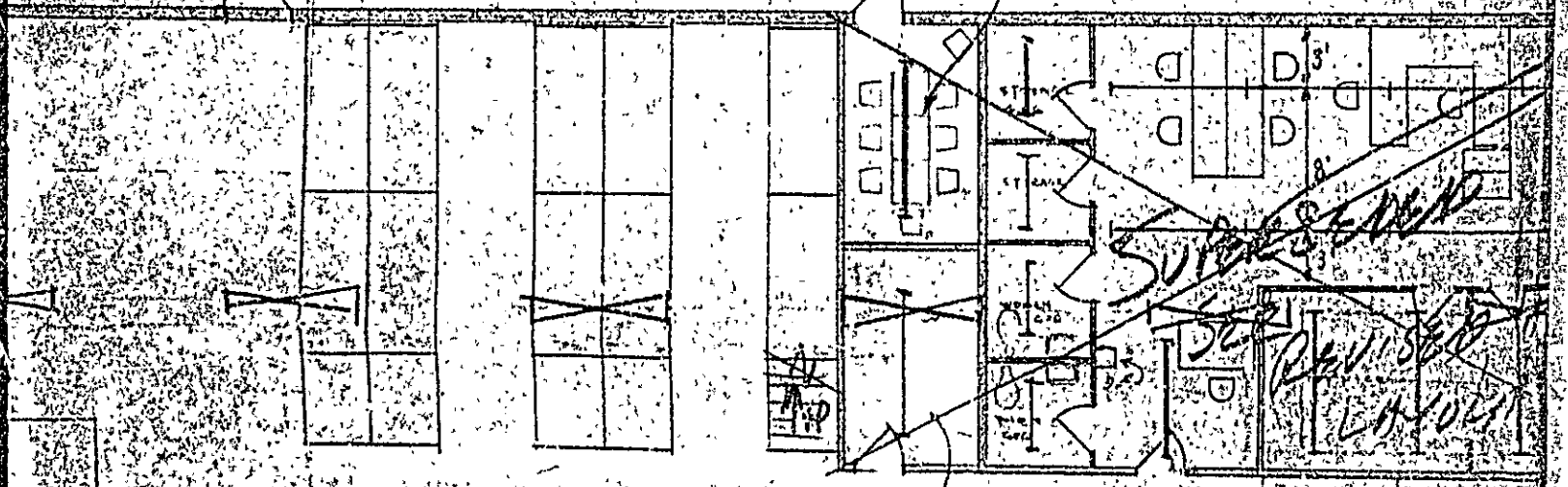
EXECUTIVE OFFICES 20 UNION ST. BRAintree, MASS. 02184 AREA CODE 617 848-0100			DATE 3-2-73
WAREHOUSE OFFICE AND MAIN E			REVISED 4-3-73
			4-6-73
NO.	JOE NO.	SHEET NO.	4/13/73

MEZZANINE PLAN

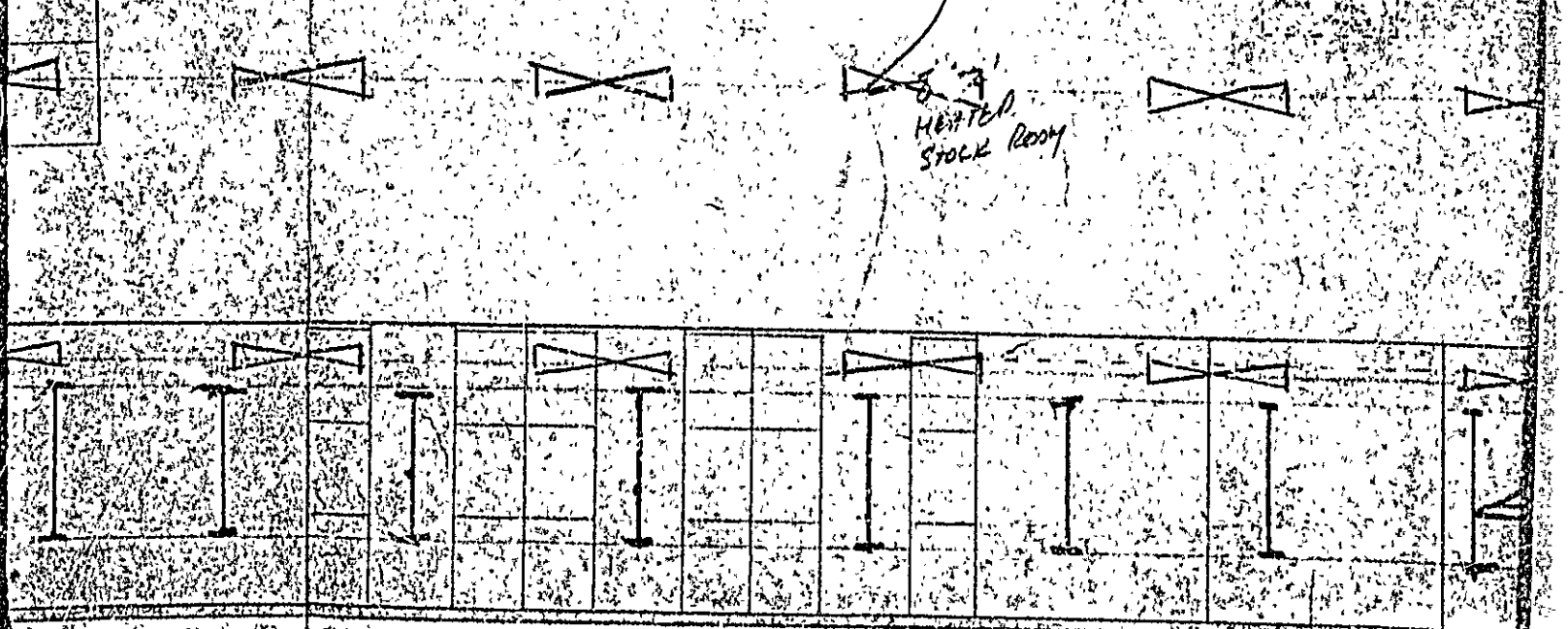


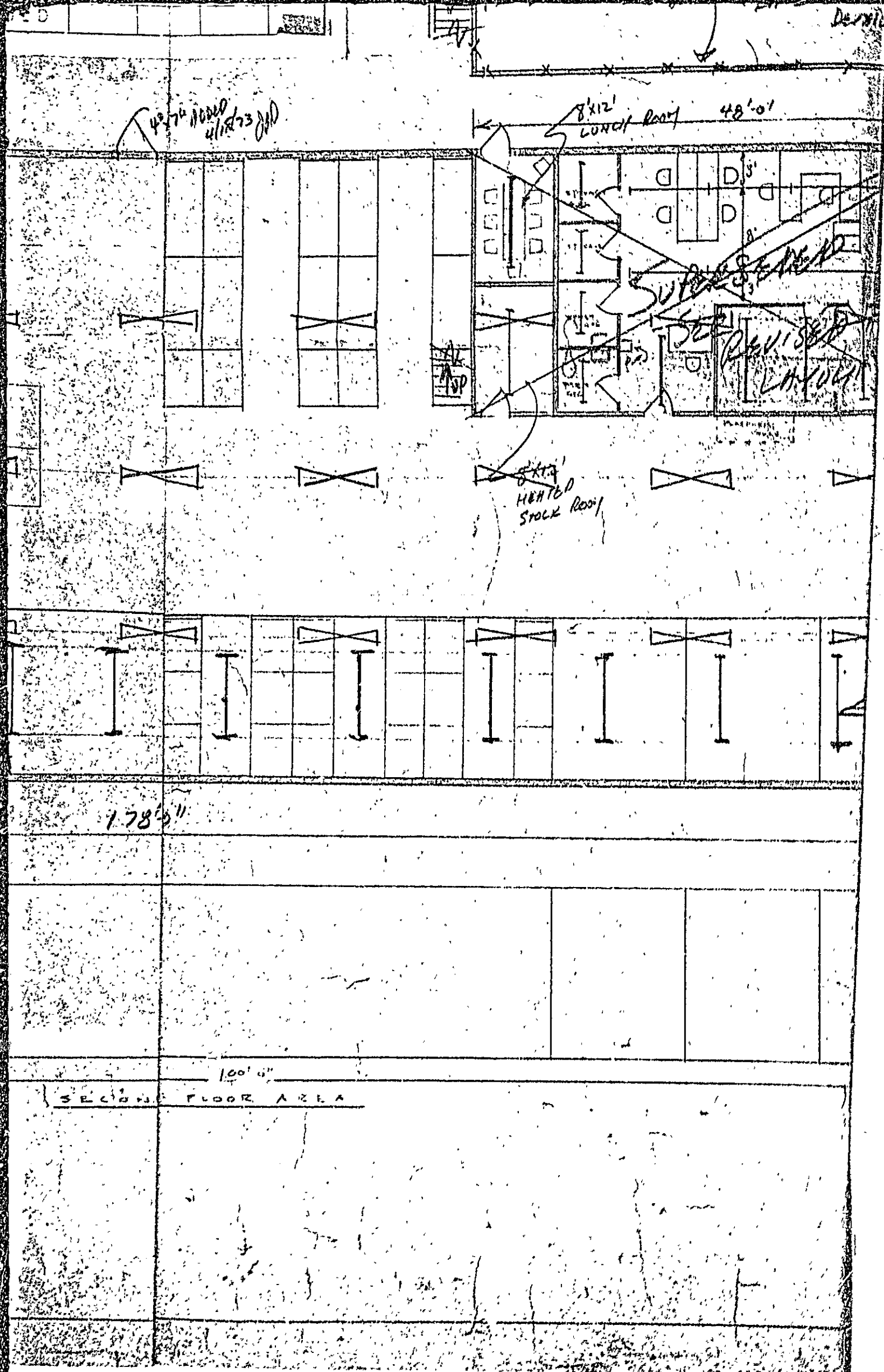
42" HIGH OSB RAIL  
4/13/73 JAD

8'x12' LUNCH ROOM 48'-0"



HEATED  
STOCK ROOM



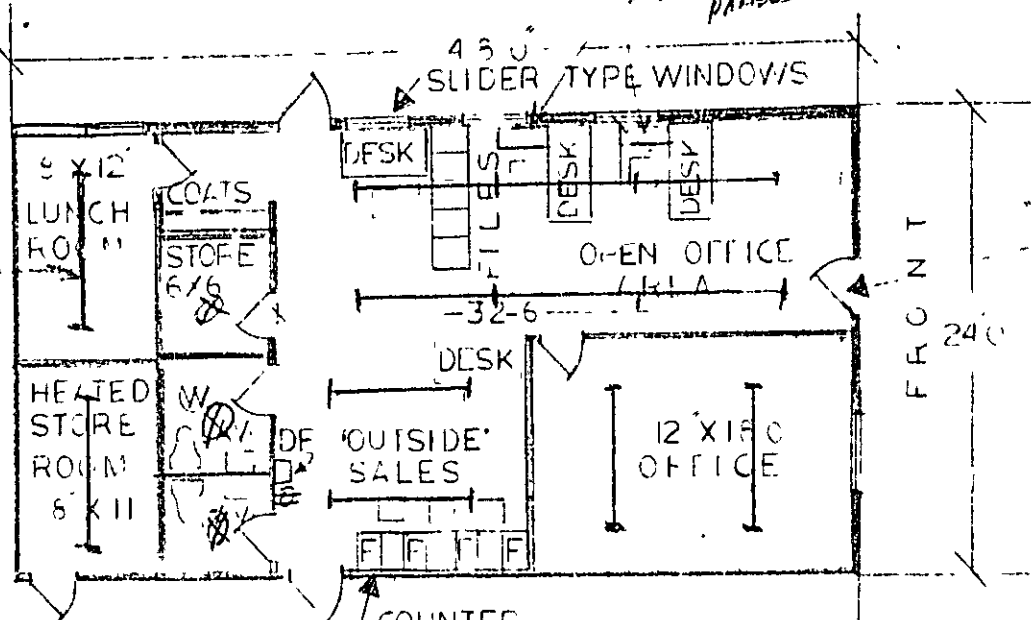


SECTION FLOOR AREA

2 TUBE 8'0" FLUORESCENT  
 CEILING FIXTURES TYPE  
 BALUSTS

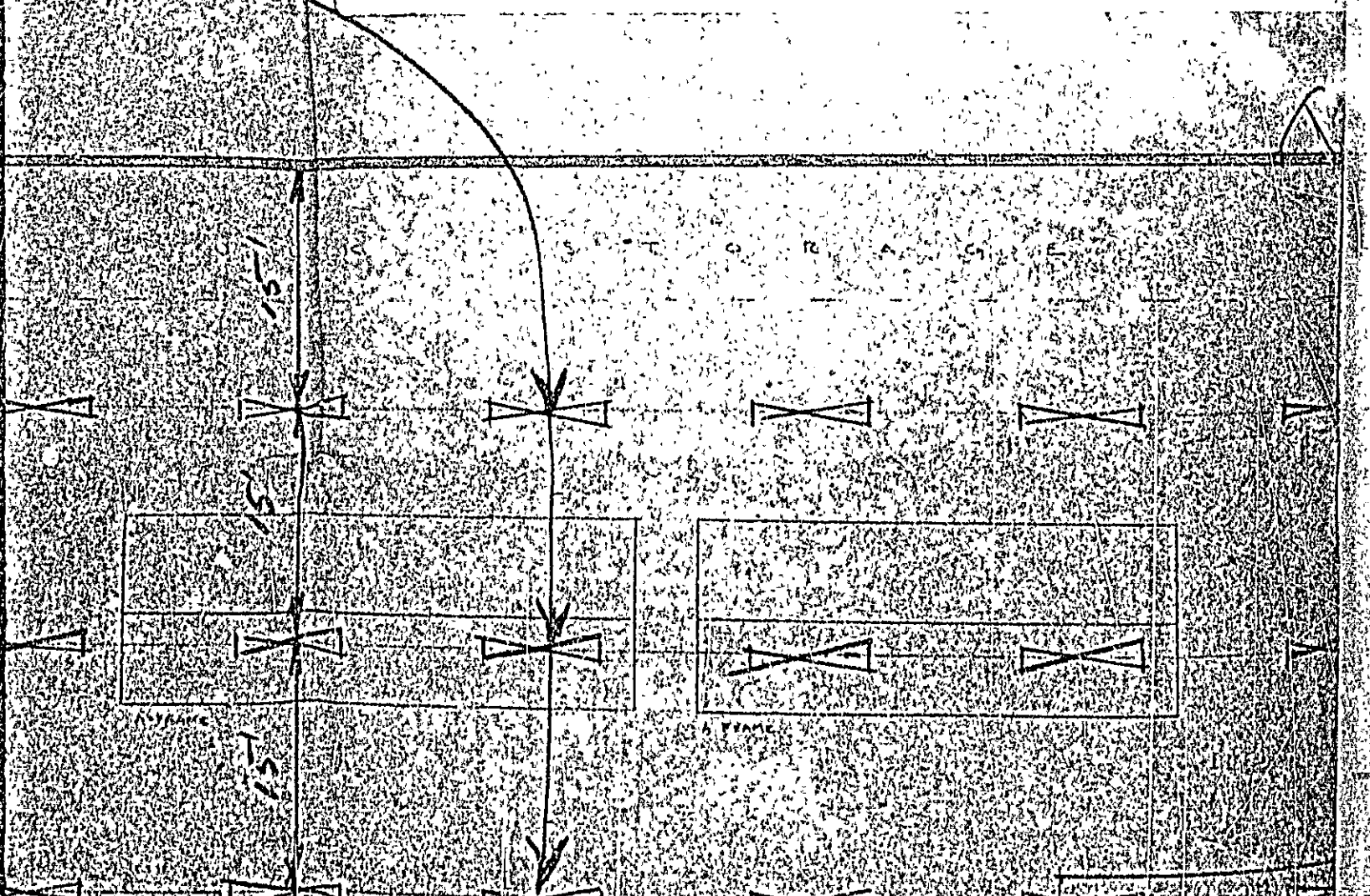
8'0" 2-TUBE  
 CEILING FLUORESCENT  
 LTG. FIXTURE  
 BALUSTS LOW TRAY  
 H.O.

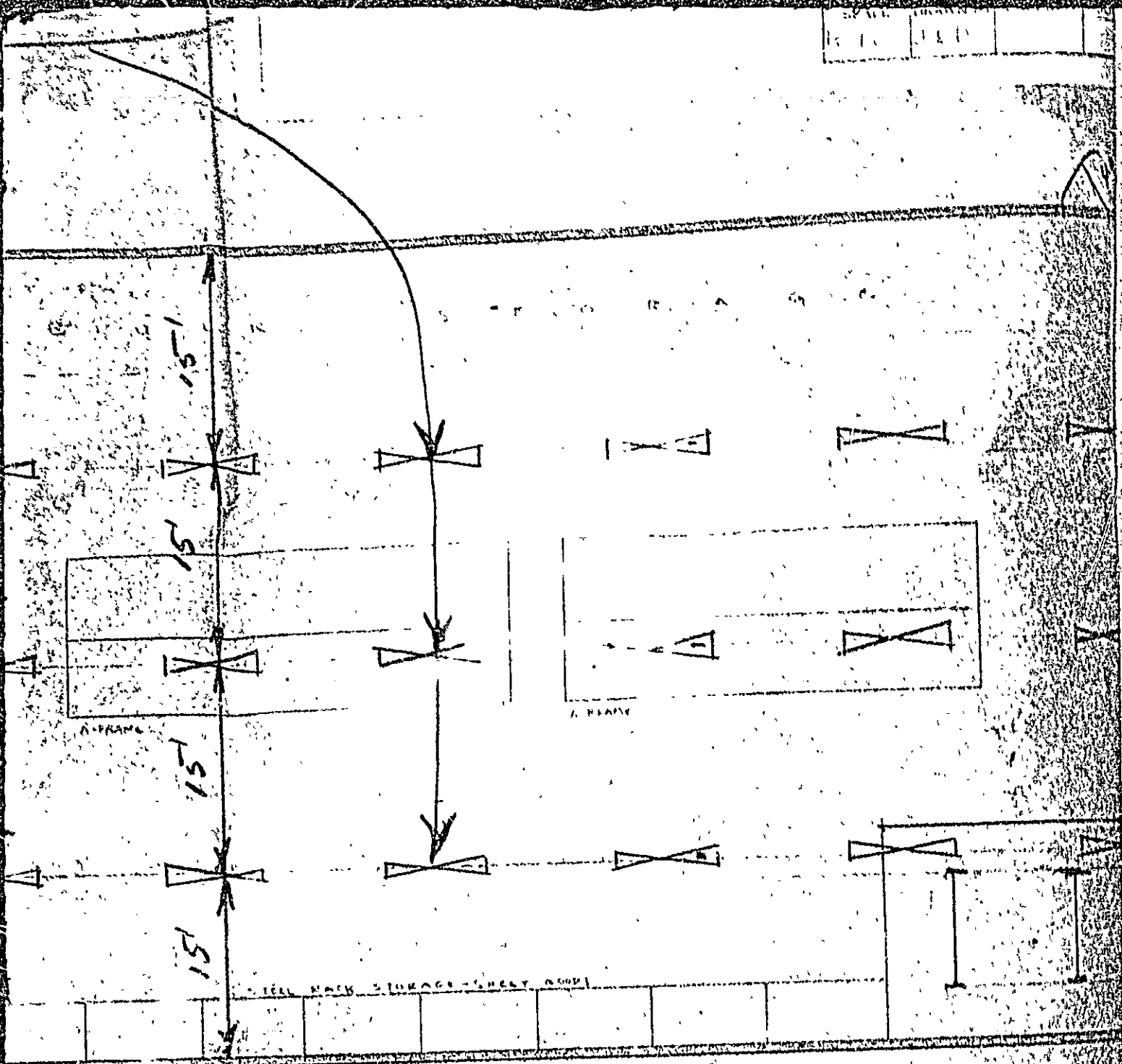
- DESK SIDE  
 PANELS 4/15/73



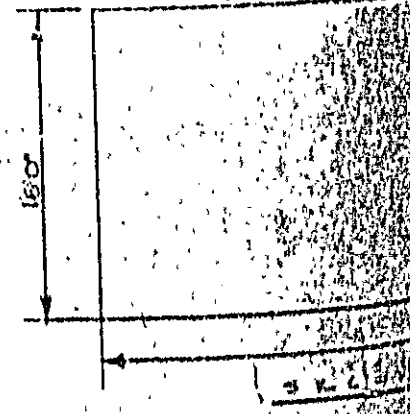
- MEZZAINE ABOVE CEILING
- TERNES KEDI-FRAMES FOR ALL INTERIOR DOORS EXCEPT OFFICE DOOR

PROJECT		FILE AREA	
		EXEC	
CONSTRUCTION AND PROJECTS INC. MA.		BRAIN AREA	
SCALE	DRAWN BY	CHECKED	JO
1/4" = 1'	JLD		





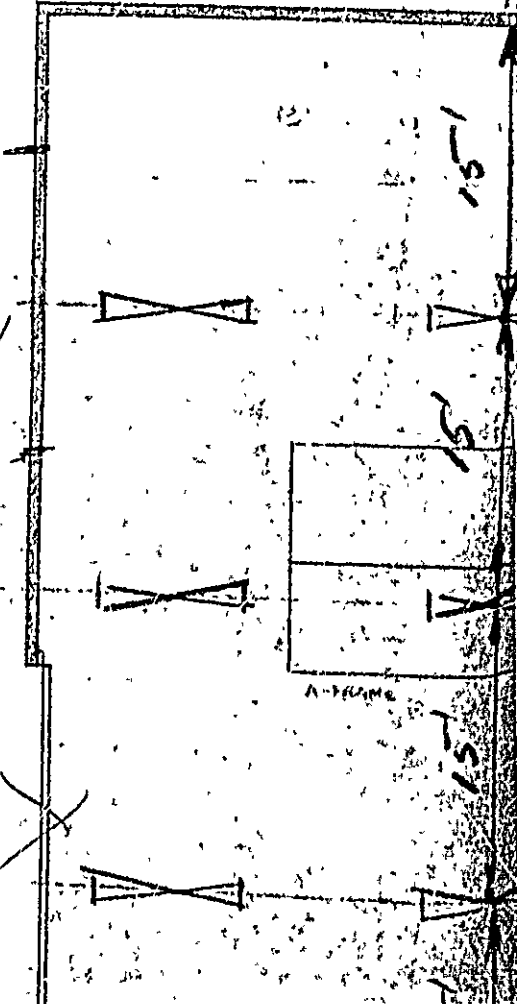
CONTRACTOR SALES  
DEACT  
SIGNING  
EVANS  
SIGN



178

12- 2TUBE 8'0" CEILING FLUORESCENT FIXTURES TYPE RPP BALLASTS

3 Rows @ 10 = 30 8'0" 2-TUBE CEILING FLUORESCENT LT6 FIXTURE BALLASTS LOW T M.I.D





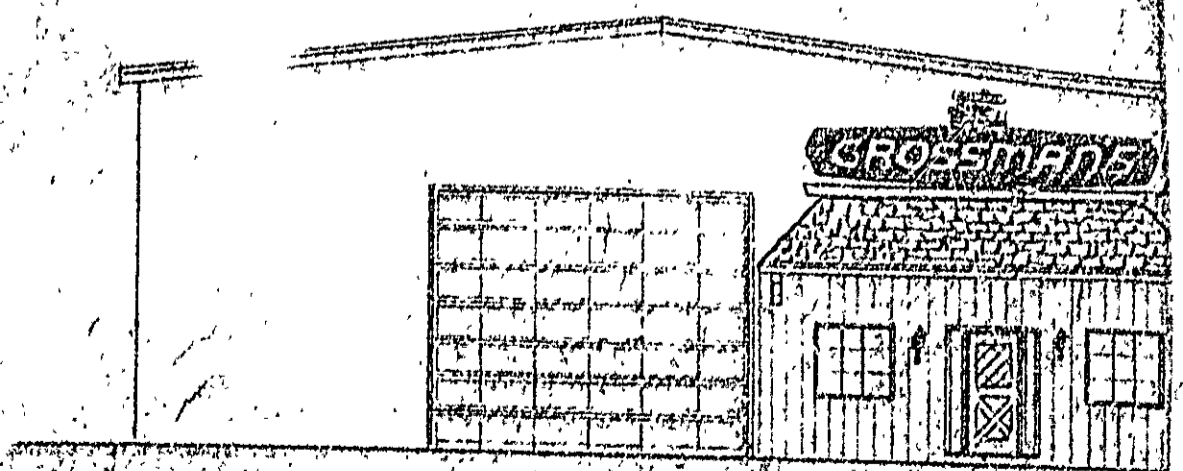
H.10

114.91

15'-1"

15'

15'



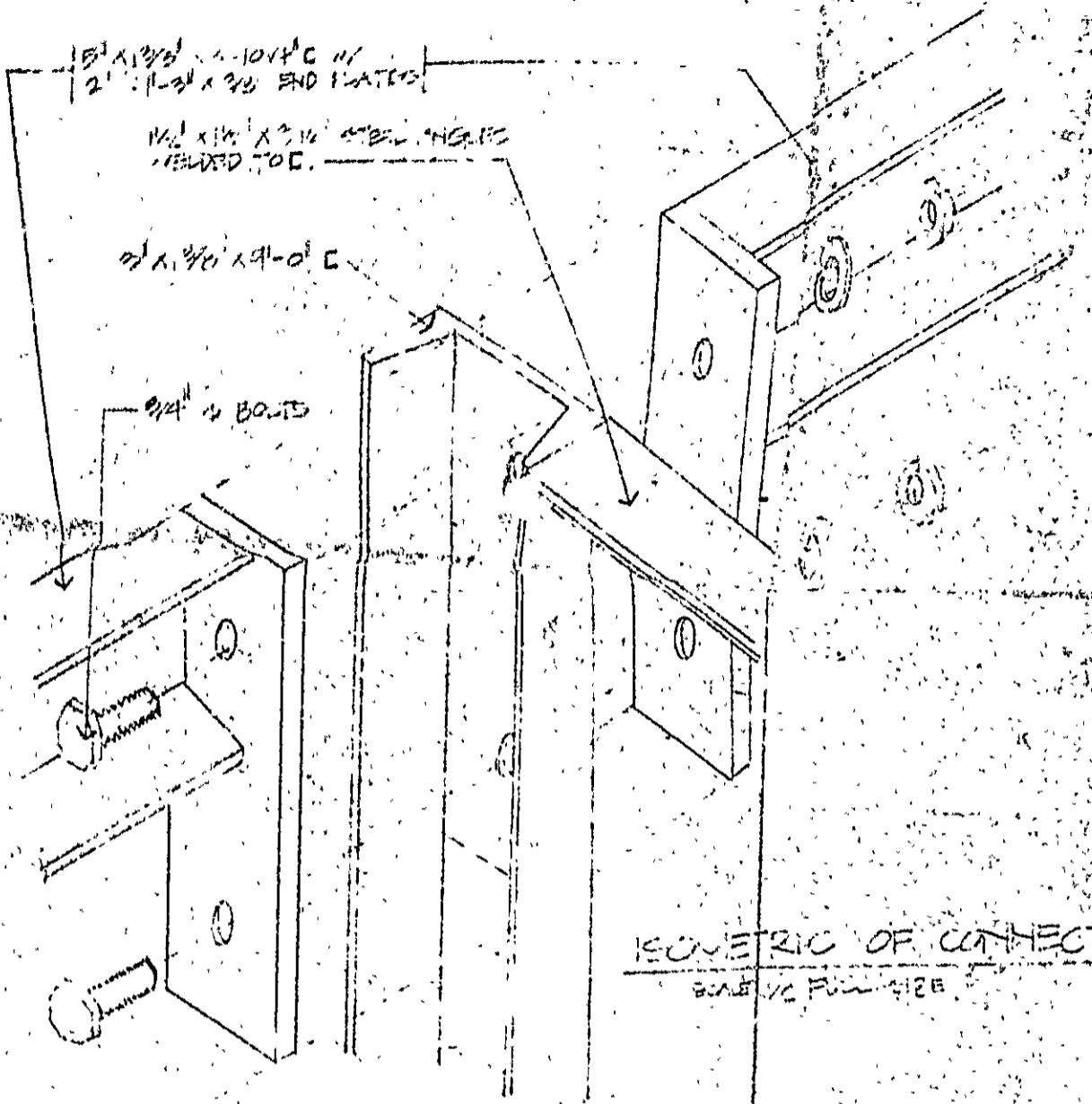
FRONT ELEVATION

5' x 12 1/2" x 1/2" 1014 C W/ 2' x 1'-2 1/2" x 2 1/2" END PLATES

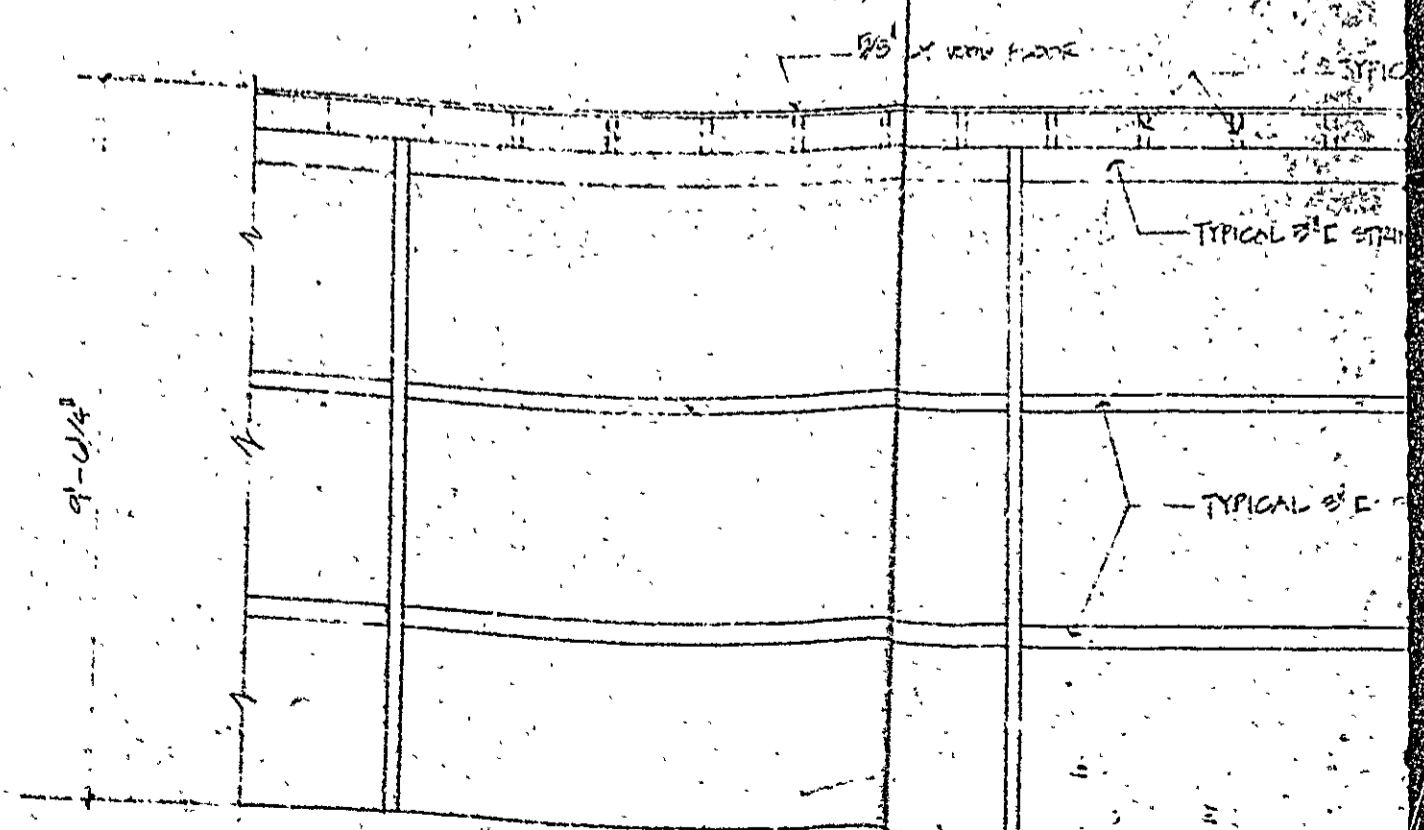
1/2" x 1 1/2" x 3 1/2" STEEL ANGLES WELDED TO C.

2' x 1 1/2" x 1 1/2" C

3/4" BOLTS



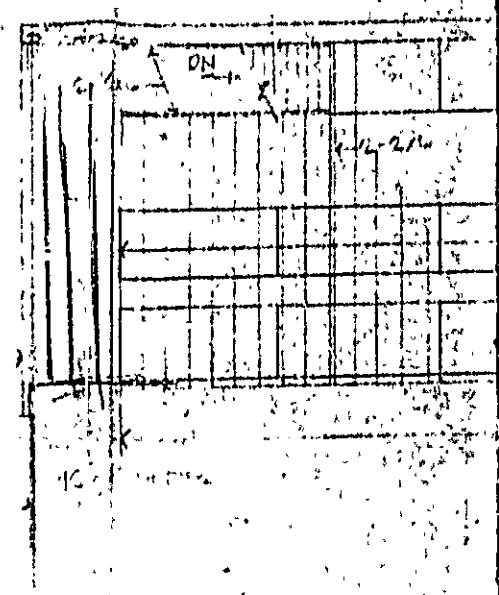
ISOMETRIC OF CONNECTION  
SCALE 1/2" = 1'-0"



TYPICAL MEZZANINE ELEVATION  
SCALE 1/2" = 1'-0"

173

40-0



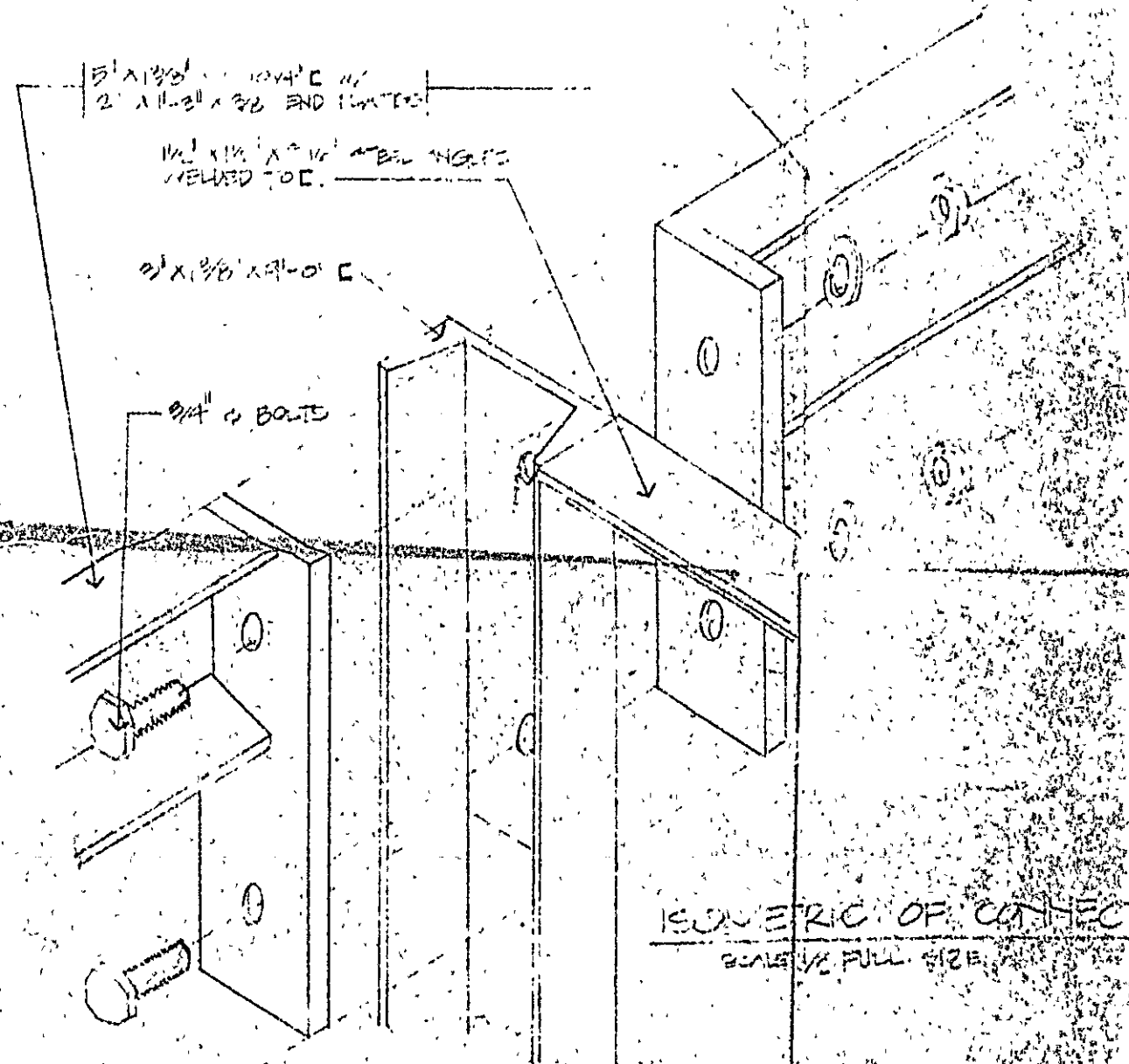
STUD & END PLATE  
K.A.L.

5' x 1 1/2" x 3/8" ANGLE W/  
2' x 1 1/2" x 3/8" END PLATE

1/4" x 1 1/2" x 1/2" ANGLE BOLTS  
WELDED TO C.

2' x 1 1/2" x 3/8" ANGLE

3/4" Ø BOLTS



ISOMETRIC OF CONNECT  
SCALE 1/2" FULL SIZE

EZZANINE ELEVATION

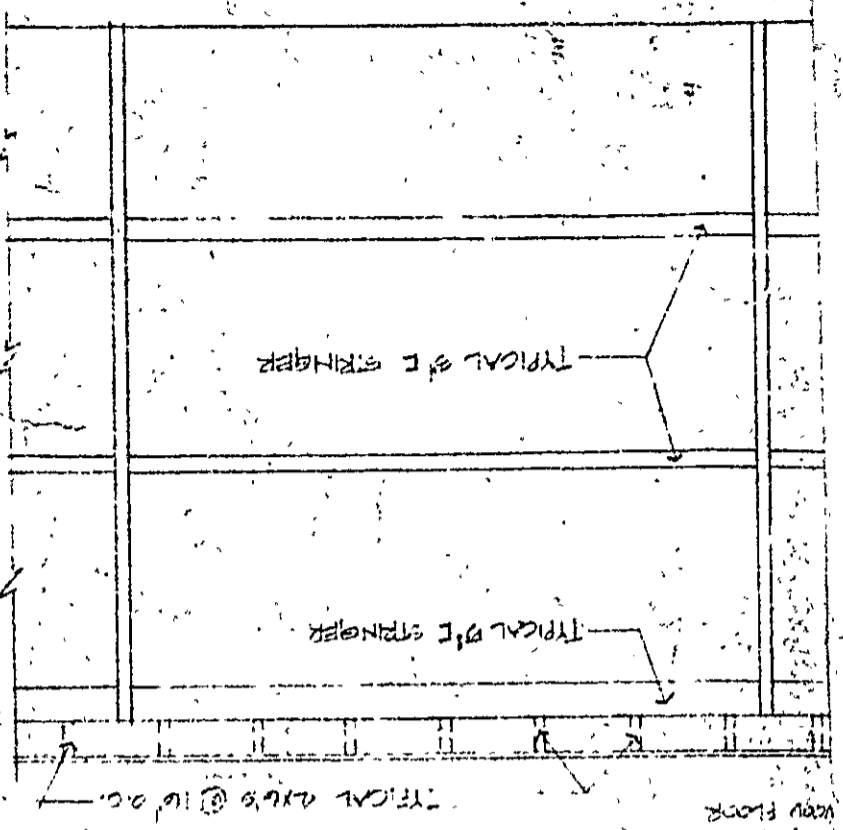
FULL H-  
SCALE 3/4" = 1'-0"

2-71

3/4" x 1 3/8"

4'-5 1/4"

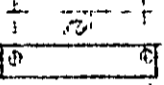
2-1/2"



NEW FLOOR

TYPICAL DIMS @ 16\"/>

TYPICAL REINFORCING BAR



TYPICAL ALTHOUGH PUNCHED 4\"/>

2\"/>

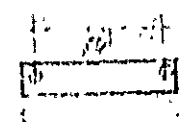
5\"/>

5\"/>

5\"/>

5\"/>

1/2" x 1/2" x 1/2"



1/2"

SECTION OF CONNECTION

SCALE SIZE

TYPICAL ALUMINUM  
MILL FINISH

1/2" x 1/2"

STINGER

1/2" x 1/2"

STINGER

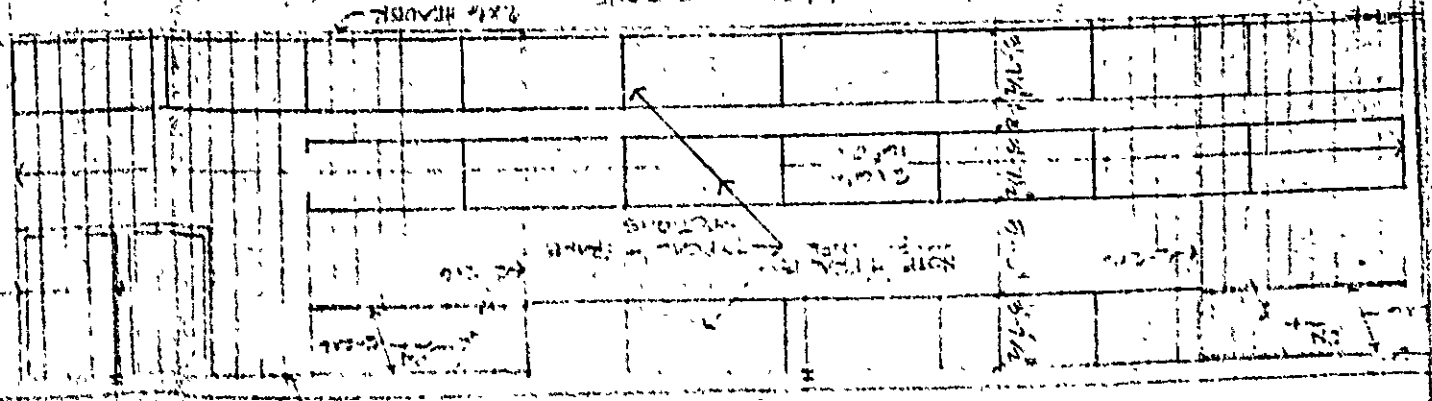
1/2" x 1/2" x 1/2"

SECTION OF CONNECTION

MESZIMINE FRAMING PLAN

SECTION OF CONNECTION

2x12 HEADR



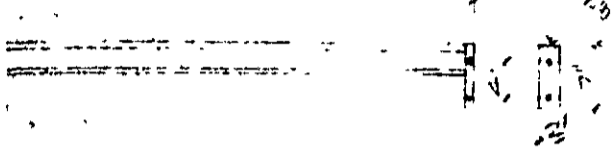
1/2" x 1/2"

10'-0"

10'-0"



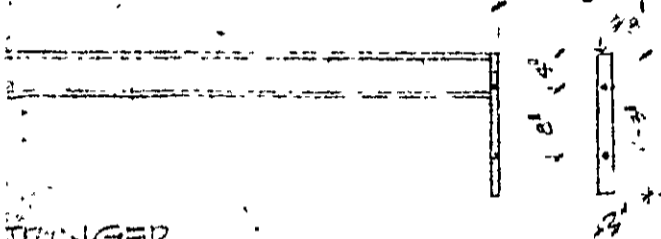
1 CHANNEL



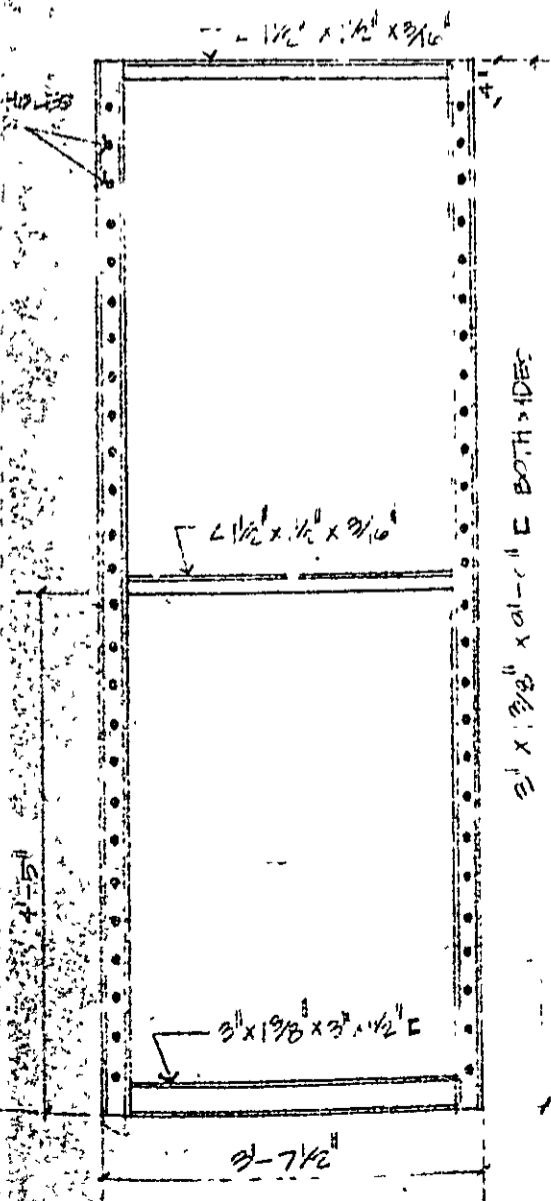
1/2" E

5" x 3/8" x 1/4" E  
2" x 1/2" x 3/8" E

1 1/4" E



TRINGER



FULL 'H'-FRAME

1/2" x 1/2" x 3/16" STEEL ANGLE  
WELDED TO E

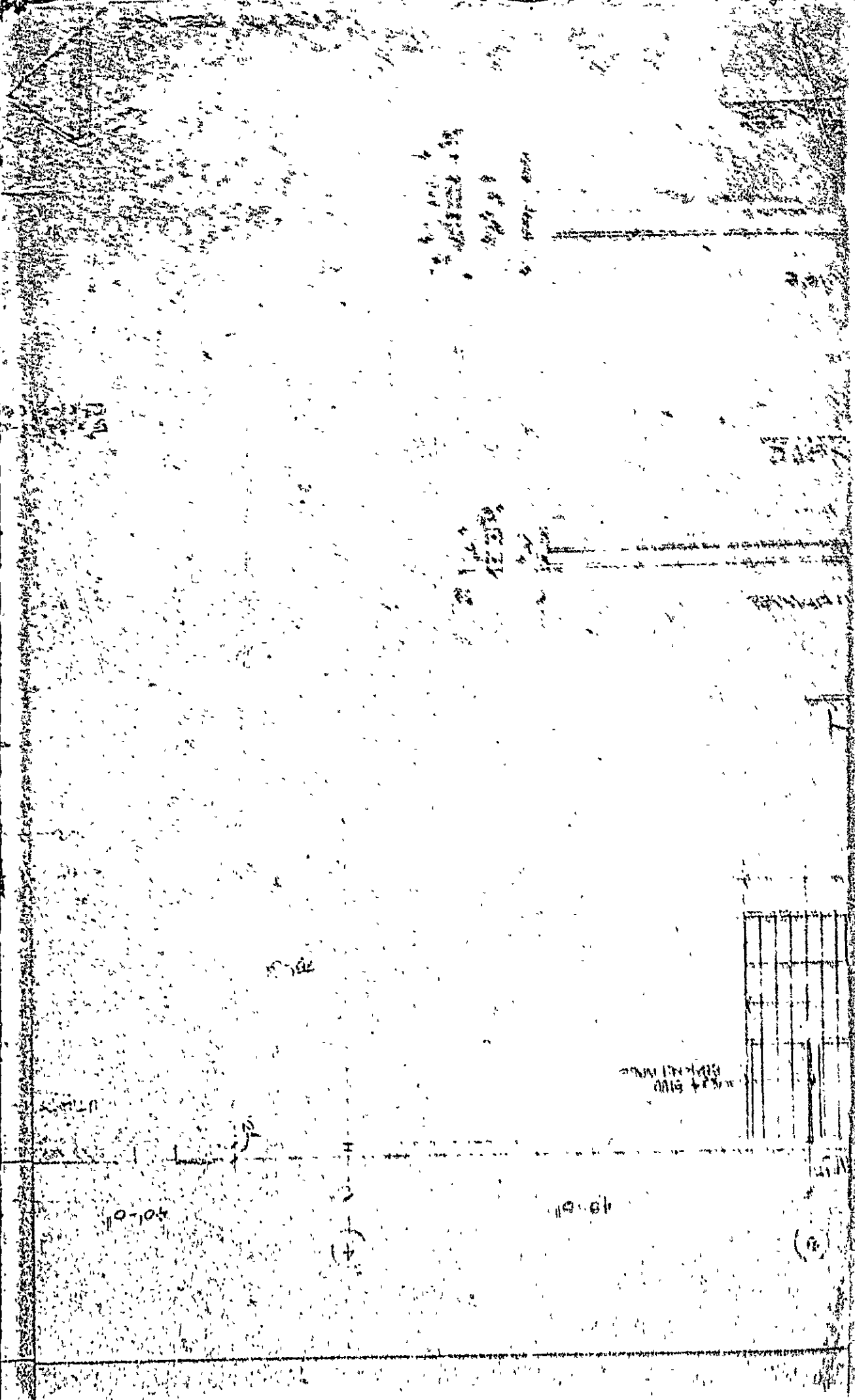
2" x 1 1/2" x 3/8" E

2" x 1 1/2" x 3/8" x 1/2" E  
WELDED TO VERTICAL E

COMPLETE STEEL 'H'-FRAME

ISOMETRIC OF TYP

SCALE: 1/2"



1971

1971

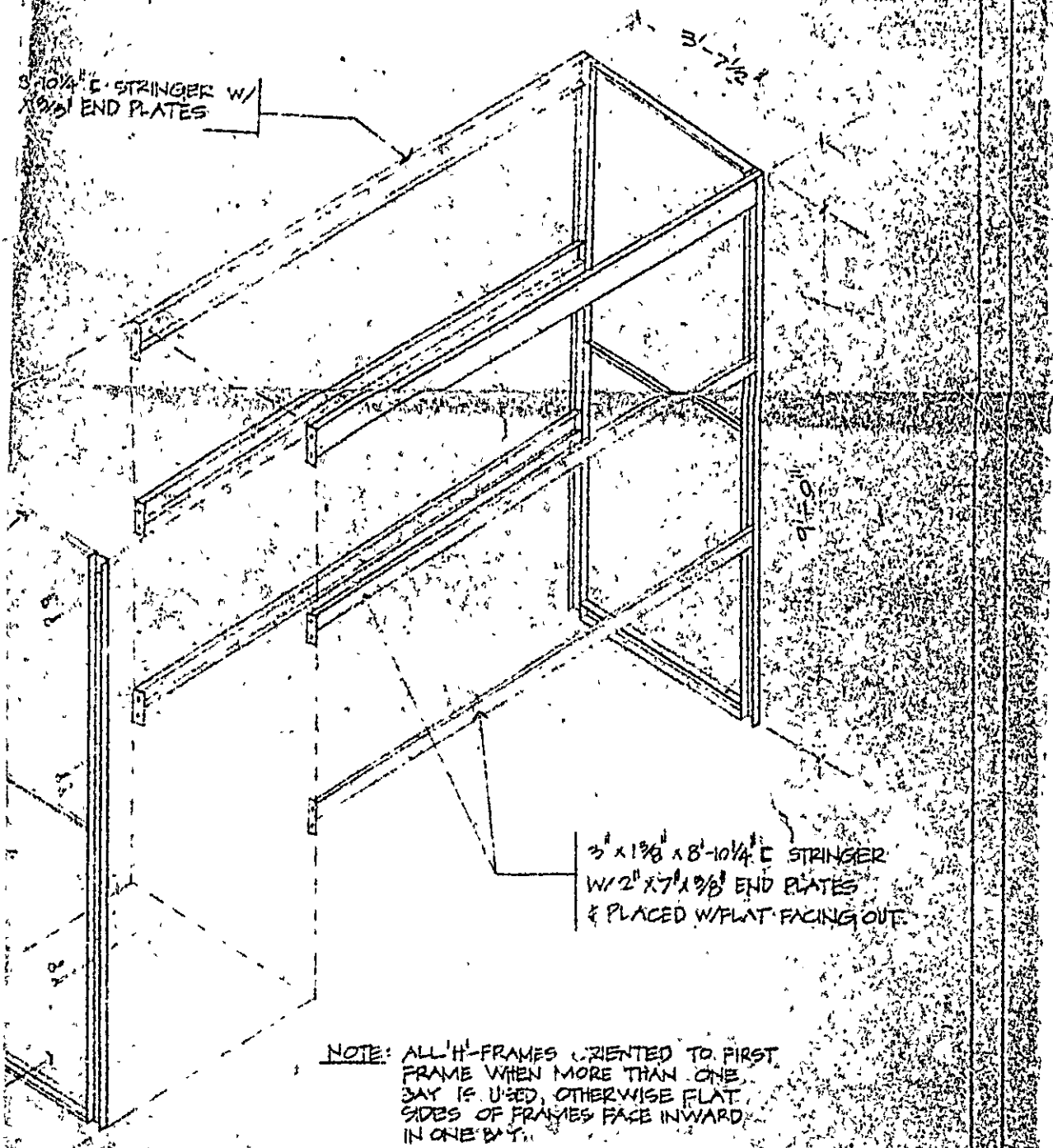
1971

(1)

1971

1971

(4)



NOTE: ALL H-FRAMES ORIENTED TO FIRST FRAME WHEN MORE THAN ONE BAY IS USED, OTHERWISE FLAT SIDES OF FRAMES FACE INWARD IN ONE BAY.

TYPICAL STEEL H-FRAME

SCALE: 1/2" = 1'-0"

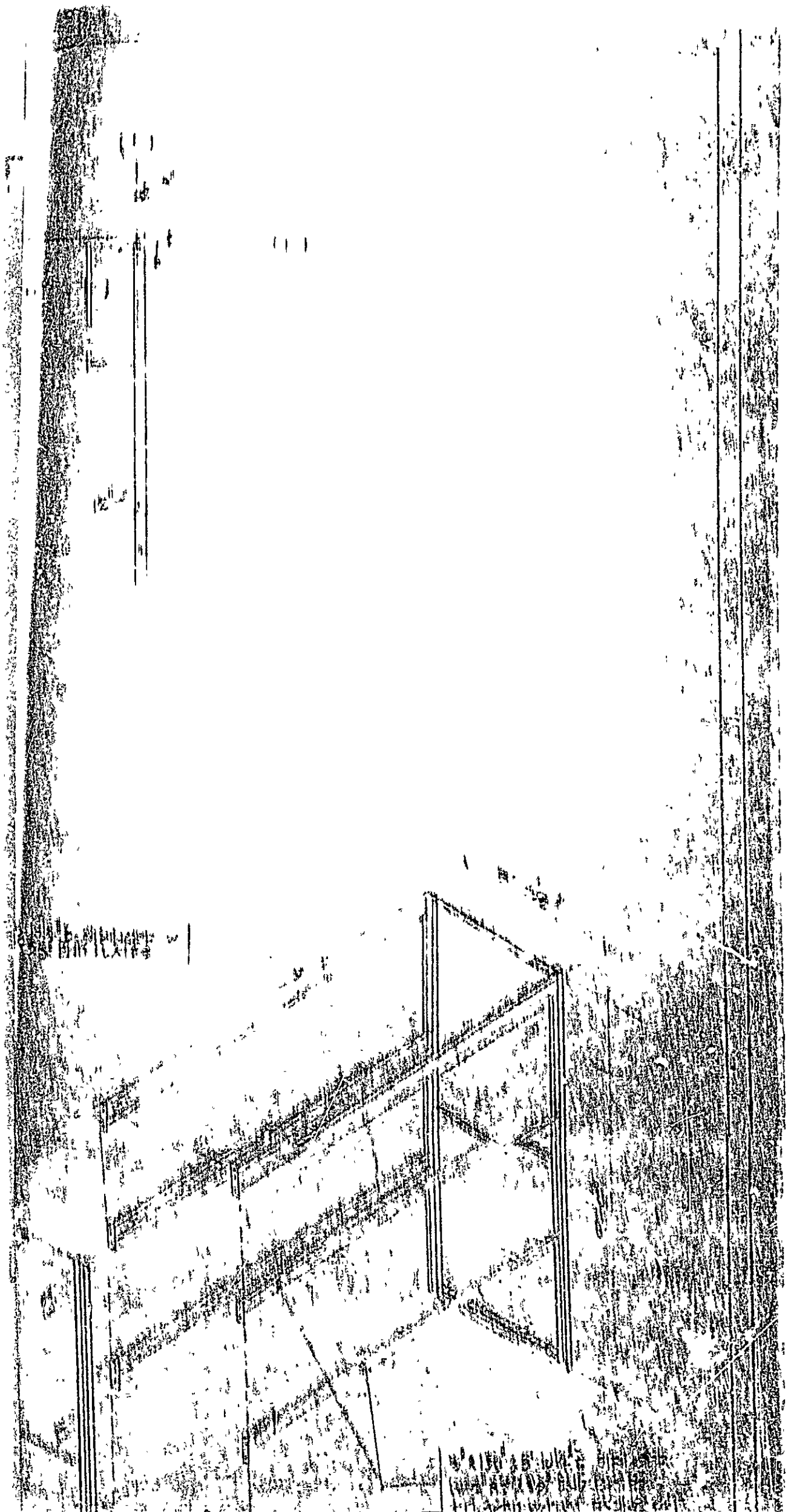
RECEIVED  
 JUL 23 1973  
 DEPT. OF BUILDINGS  
 CITY OF PORTLAND

PROPOSED BUILDING FOR  
 RETAIL LUMBER STORE  
 [REDACTED]  
 MAINE  
 PORTLAND



FRED LENOX, INC. & ASSOCIATES		Job No.
495 UNION STREET NEWTON, MASS.		1457
DATE	SCALE	DRN BY
		CHK BY
		DWG No.
		1-5





512 Warren Avenue

Bldg. A  
Bldg. B

April 18, 1973

Grossman's  
Att: Sam Kaufman  
200 Union Street  
Braintree, Mass. 02184

cc to: Umbaugh Pole Building Co. Inc.  
P.O. Box 300  
Millbury, Mass. 01527

Dear Mr. Kaufman:

In checking your application to construct two pole buildings at the above named location we find that we are unable to continue processing your permit until further information is provided.

We will need to know the location of these buildings called Building A and Building B on the lot and what sizes are proposed. Plans for Building B show the building to be 22' x 112' and the application says 22' x 170'. Plans for Building A shows a building to be 60' x 176' and the application is the same, however on the plot plan two buildings are shown that are apparently the ones that you want to build at 60' x 180' and another building at 22' x 130'. We are confused with the different sizes and the location of these buildings. We will need to know which building is A and which building is B and which building is to have a mezzanine. I assume the mezzanine is to go on Building A.

We will need additional information <sup>trusses</sup> as to the size, species of lumber and design load adequate to meet Building Code requirements. We will need computations so that we can be sure that these trusses will meet the required loads for this area. We will also need information on the clips or other means that you may use to join the members of these trusses together. This design information will need to be certified by a qualified engineer or a structural designer.

Very truly yours,

A. Allan Soule  
Assistant Director

S:M

512 Warren Avenue

June 4, 1973

Grossman's  
Att: Sam Kaufman  
200 Union Street  
Braintree, Mass. 02184

cc to: Unbaugh Pole Bldg. Co. Inc.  
P. O. Box 300  
Millbury, Mass. 01527

Dear Mr. Kaufman:

I have received two new prints showing the plot plan the same as you have submitted before. I will quote to you the second paragraph in my letter of April 18, 1973.

We will need to know the location of these buildings called Building A and Building B on the lot and what sizes are proposed. Plans for Building B on the lot and what sizes are proposed. Plans for Building B show the building to be 22' x 112' and the application says 22' x 170'. Plans for Building A shows a building to be 60' x 176' and the application is the same, however, on the plot plan two buildings are shown that are apparently the ones that you want to build at 60' x 180' and another building at 22' x 130'. We are confused with the different sizes and the location of these buildings. We will need to know which building is A and which building is B and which building is to have a mezzanine. I assume the mezzanine is to go on Building A.

I not only need a plot plan showing the location of these buildings as stated above, but I will also need to know the size of Building A.

I hope that this can be straightened out so that we can issue your permits in the very near future.

Very truly yours,

A. Allan Soule  
Assistant Director

AAS:m

2 - Pole bldgs

ADDRESS 512 W. Main Ave

6/12/73

ROUTING SLIP  
FROM

DEPARTMENT OF BUILDING AND INSPECTION SERVICES

FIRE DEPARTMENT  
PLANNING BOARD  
RENEWAL  
MAINE WAY  
OTHERS

*Paul Rollins at Planning  
Dept says he does not need  
to look at these 2 bldgs*

*Allen*

APPROVED

DISAPPROVED BY REASON OF

(quote section of pertinent ordinance or other governing factors)

SPECIAL COMMENTS

KEEP SECOND COPY AND RETURN ORIGINAL TO BUILDING AND INSPECTION SERVICES

Re: 512 Warren Ave.

August 3, 1971

Grossman Industrial Properties, Inc.  
200 Union Street  
Braintree, Mass.

Att: S. J. Kaufman

Gentlemen:

Permit to erect detached pole sign 28'x7' and 14'x6' as per plan is being issued herewith subject to the following Building Code requirements.

Please bear in mind that an internal examination must be made of the sign before it is erected. When sign is delivered simply notify this office and we will see that the inspector is made available to you.

Very truly yours,

Earle S. Smith  
Plan Examiner

ES/c

1-2 INDUSTRIAL ZONE



APPLICATION FOR PERMIT

PERMIT ISSUED

AUG 2 1971

913

CITY OF PORTLAND

Class of Building or Type of Structure \_\_\_\_\_

Portland, Maine, August 2, 1971

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512 Warren Avenue Within Fire Limit? \_\_\_\_\_ Dist. No. \_\_\_\_\_
Owner's name and address Grossman's, 512 Warren Avenue Telephone \_\_\_\_\_
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_
Contractor's name and address not let Telephone \_\_\_\_\_
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 2
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_
Last use \_\_\_\_\_ No. families \_\_\_\_\_
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_
Other buildings on same lot \_\_\_\_\_
Estimated cost \$ \_\_\_\_\_ Fee \$ 12.80

General Description of New Work

To erect detached pole sign 20' x 7' and 14' x 6' as per plan 280 square feet

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Grossman's

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_
Framing Lumber-Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor \_\_\_\_\_ 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof \_\_\_\_\_
On centers: 1st floor \_\_\_\_\_ 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof \_\_\_\_\_
Maximum span: 1st floor \_\_\_\_\_ 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof \_\_\_\_\_
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

Signature lines for approval

Miscellaneous

Will work require disturbing of any tree on a public street? \_\_\_\_\_
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Grossman's

CS 201

INSPECTION COPY

Signature of owner By: J. Kaufman

NOTES

8/19/71  
Nothing yet  
76

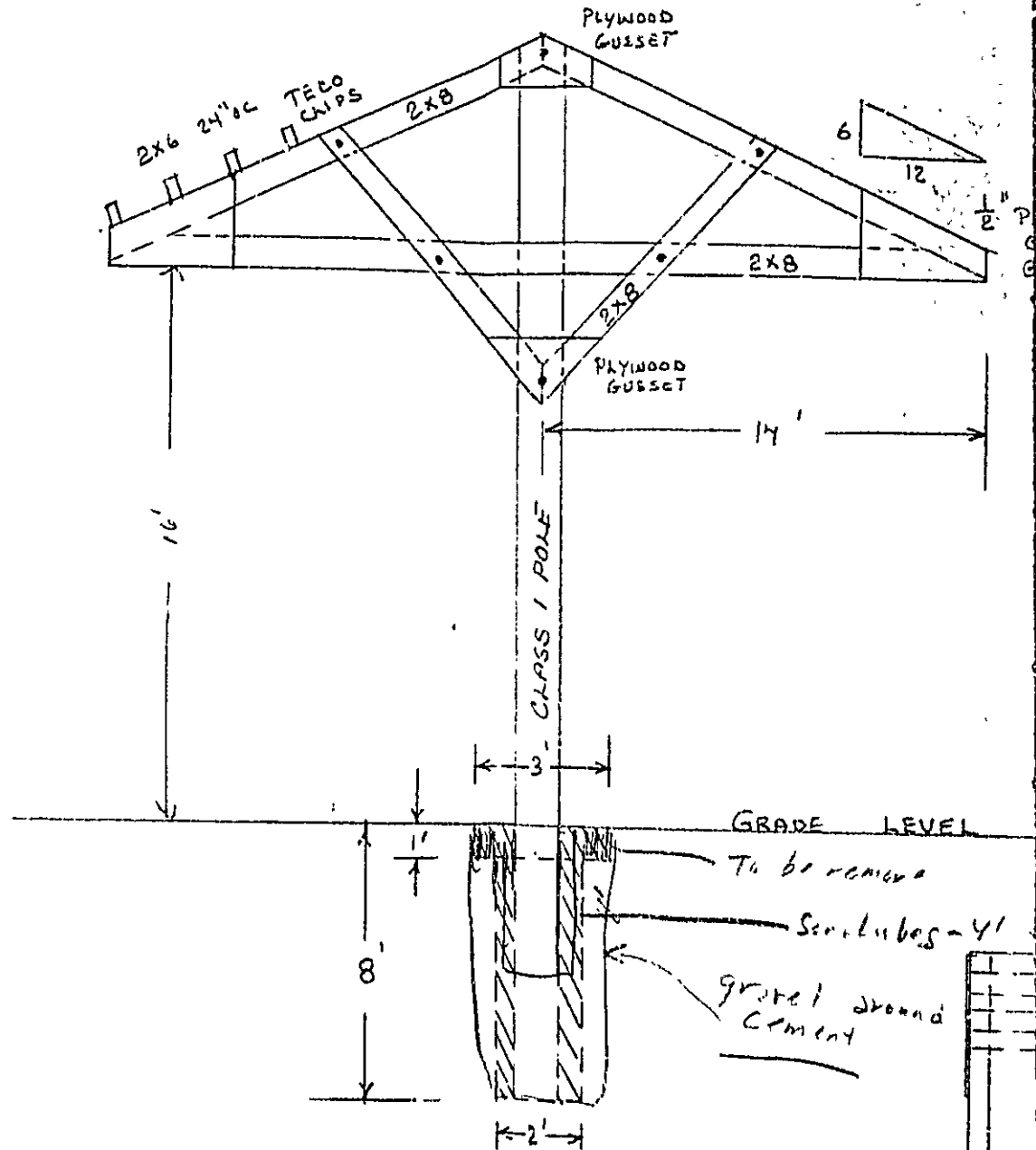
8/24/71  
Land  
76

10/20/71

Signs installed &  
interiors inspected.  
Good signs & signage  
but signs small and  
reflected.  
Some of the signs  
increased to 30ft  
instead of the 24.  
See notes on  
plans  
76

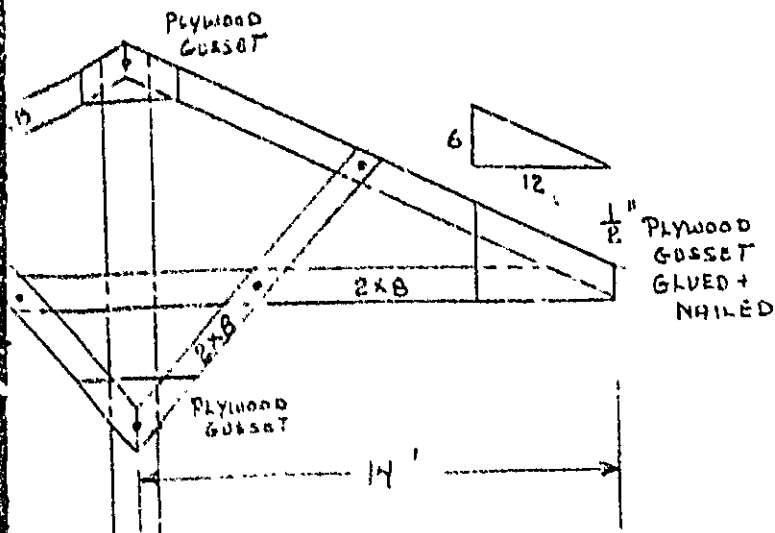
Permit No. 71/913  
Location 572 Vermont Ave  
Owner Providence  
Date of permit 8/3/71  
Notif. closing-in  
Inspn. closing-in  
Final Notif.  
Final Inspn.  
Curt. of Occupancy issued  
Selling Out NOTICE IRU  
Form Check Notice

2.25 f

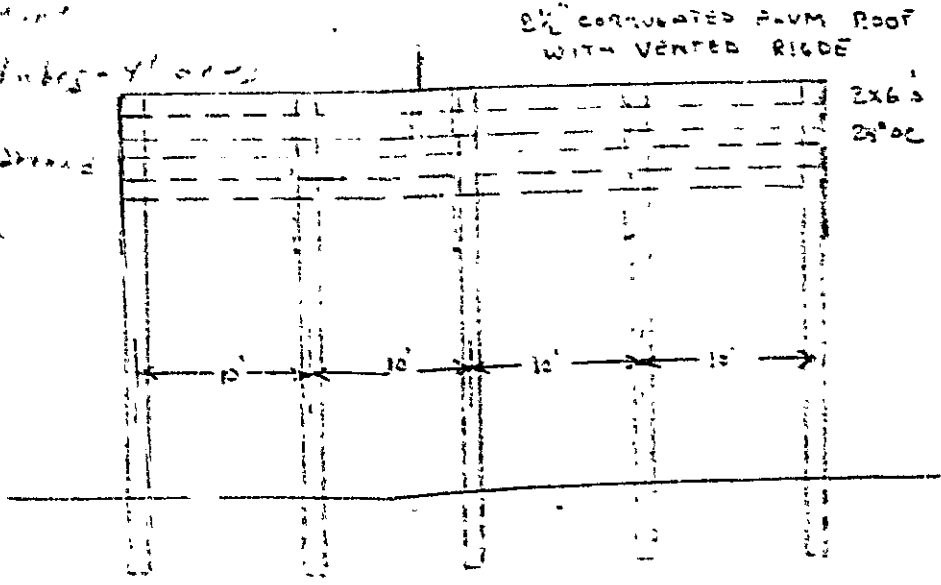
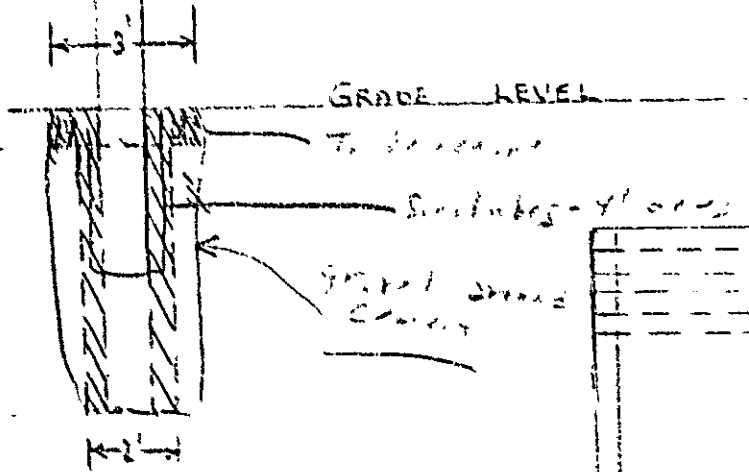


GROSSMAN POLE SHED





RECEIVED  
 JUN - 9 1971  
 DEPT. OF BLDG. INSP.  
 CITY OF PORTLAND



512 Warren Avenue

May 11, 1971

Grossman Distribution Center  
Att: Sam Kaufman  
200 Union St., Braintree, Mass.

cc to: Grossman Dist.  
Center, 512  
cc to: Kenneth Devesa  
278 Lincoln

Dear Mr. Kaufman:

In checking your application to construct 28'x100' open storage shed for lumber at the above named location we find that we are unable to continue processing your permit until further information is provided as follows:

1. What is your top chord that supports the 2x6 for the roof?
2. The 2x6 on 10' span on a 4" pitch do not figure out. You can increase this pitch over 4" or give us larger members.
3. We will need more information on the foundation for this building. I understood you the other day to say that they would be of concrete. If this is the case, will they be formed or will they be precast to put in the ground? Do you propose to put gravel around the concrete posts? I would also call your attention that the Portland Building Code requires that wood posts be at least 6" above the grade of the ground. If these posts are encased in concrete then the concrete would have to come 6" above the grade.

Very truly yours,

A. Allan Soule  
Assistant Director

*Foundation  
Cement  
below th:  
not need*

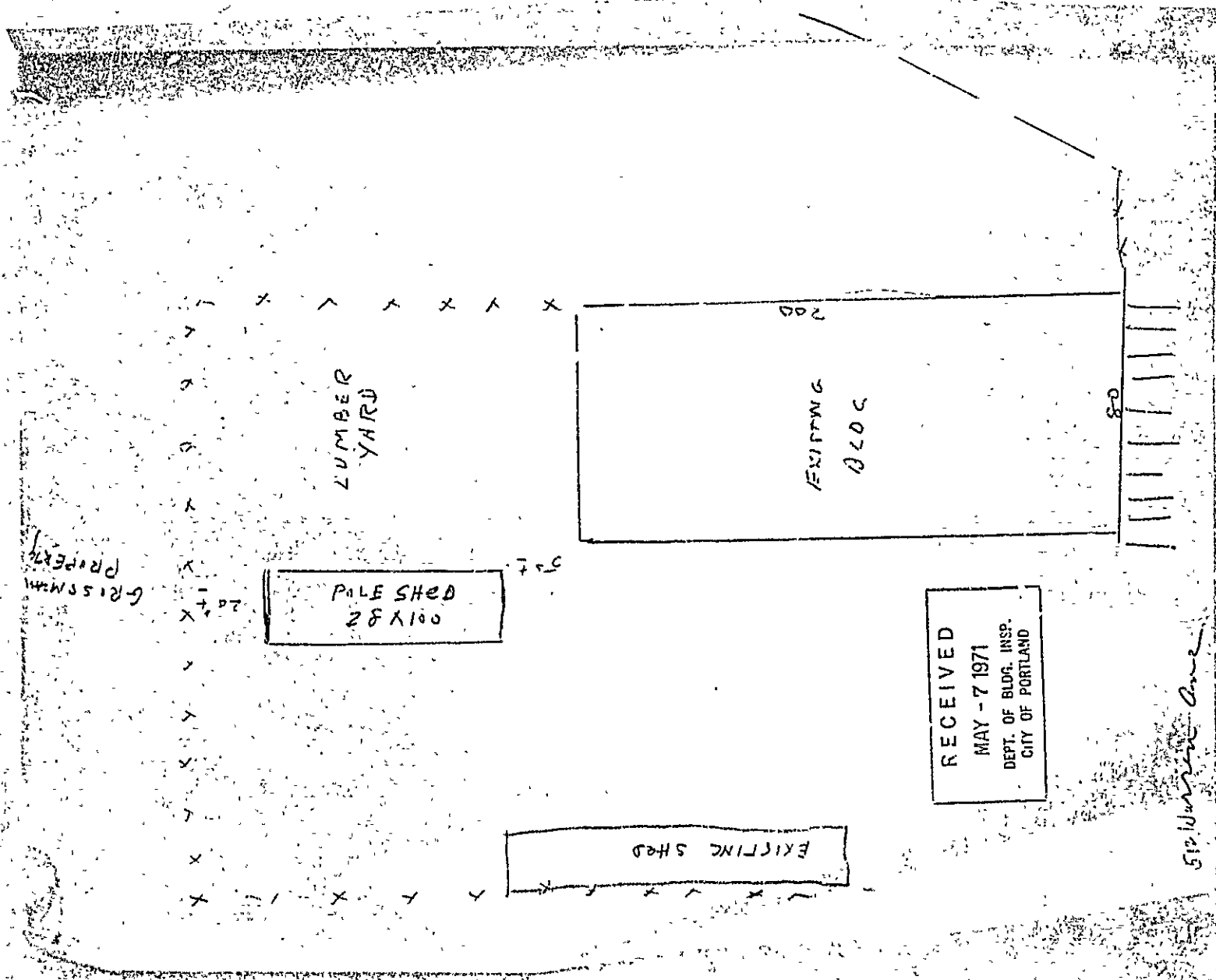
AAS:im

848-0100



**SAM KAUFMAN**  
CONSTRUCTION DEPARTMENT

100 UNION STREET  
BRAINTREE, MASS 02184



RECEIVED  
MAY - 7 1971  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND