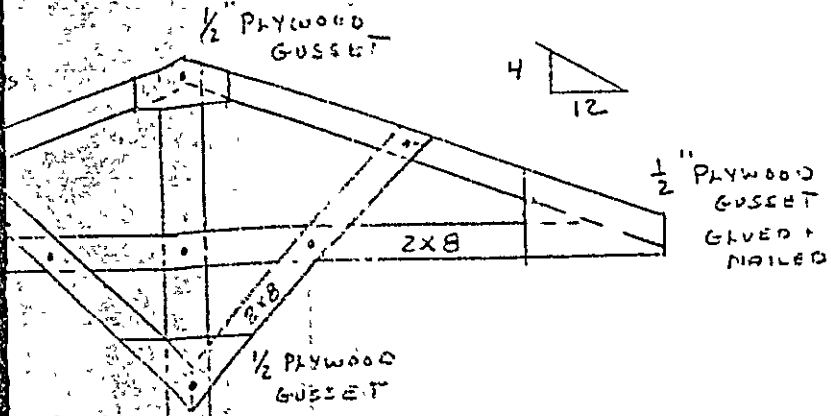


Superseded

RECEIVED
 MAY - 7 1971
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

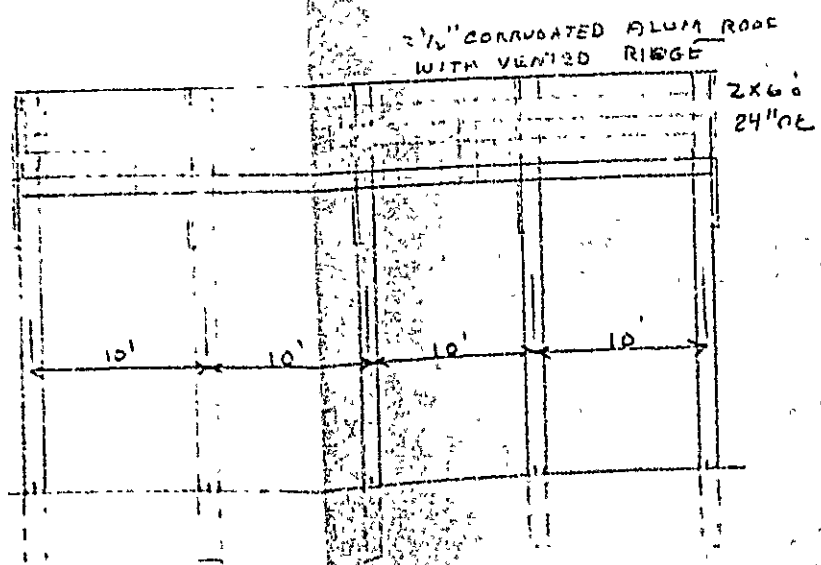
GROSSMAN
 POLE SHED

512 Warren Ave



14'

GROUND



RECEIVED
 MAY - 7 1971
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

712 Warren Ave

562 WILSON AVE,
LUMBER STORAGE SHED
I-2

5/10/71 MACW.

CHECK LIST AGAINST ZONING ORDINANCE

- Date - NEW
- Zone Location - I-2
- Interior or corner lot -
- 40 ft. setback area (Section 21) - YES
- Use - LUMBER STORAGE
- ~~Sewage Disposal -~~
- ~~Rear Yards -~~
- ~~Side Yards -~~
- ~~Front Yards -~~
- ~~Projections -~~
- ~~Height -~~
- Lot Area - 40,661 sq ft
- ~~Building Area -~~
- ~~Area per Family -~~
- ~~Width of lot -~~
- ~~Lot Frontage -~~
- ~~Off-street Parking -~~
- ~~Loading bays -~~

1-2 INDUSTRIAL ZONE

PERMIT ISSUED
663
JUN 10 1971



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____
Portland, Maine, May 7, 1971

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512 Warren Avenue Within Fire Limits? _____ Dist. No. _____
Owner's name and address Grossman Distribution Center, 512 Warren Ave. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Kenneth Devcau, 276 Lincoln St., So. Portland Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 2
Proposed use of building Storage shed for lumber No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot Storage Fee \$ 12.00
Estimated cost \$ 3500.

General Description of New Work

To construct 28' x 100' open storage shed for lumber

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Grossman Distribution Center ^{Att: San Kaufman} 200 Union St., Braintree, Mass.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Grossman's

APPROVED:

P.K. - 6/9/71 - Allen 4/1/71

CS 301

INSPECTION COPY

Signature of owner San Kaufman

Permit No. 711 663

Location 512 Warren Ave

Owner Shannon

Date of permit 6/10/71

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Seize Out Notice IRV.

Form Check Notice

NOTES

6/24/71
Not started yet
H

7-28-71 Framed out
O.K. DR

H



I-2 INDUSTRIAL ZONE

APPLICATION FOR PERMIT

PERMIT NO. 0148
FEB 4 1972
CITY of PORTLAND

Class of Building, or Type of Structure _____
Portland, Maine, Feb. 2, 1972

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512 Warren Ave. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Grossman's Distribution Center, 512 Warren Ave. Telephone _____
 Lessee's name and address 200 Union St., Braintree, Mass 02184 Telephone _____
 Contractor's name and address owners Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets _____
 Proposed use of building Office and storage No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 3000. Fee \$ 9.00

General Description of New Work

To construct 1-story frame building 24'x40' as per plans

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owners Att: Sam Kaufman

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Mate. of foundation exc. and sills Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Grossman's Distribution Center

APPROVED:

CS 301

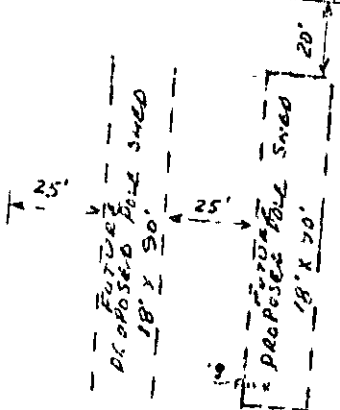
FILE COPY

Signature of owner By: S. J. Kaufman

TERMINAL CO.

MAINE POWER CO EASEMENT

Handwritten signature



FUTURE
ELECTRICAL
SERVICE Poles

EXISTING FENCE LINE

EXISTING PAVEMENT LINE

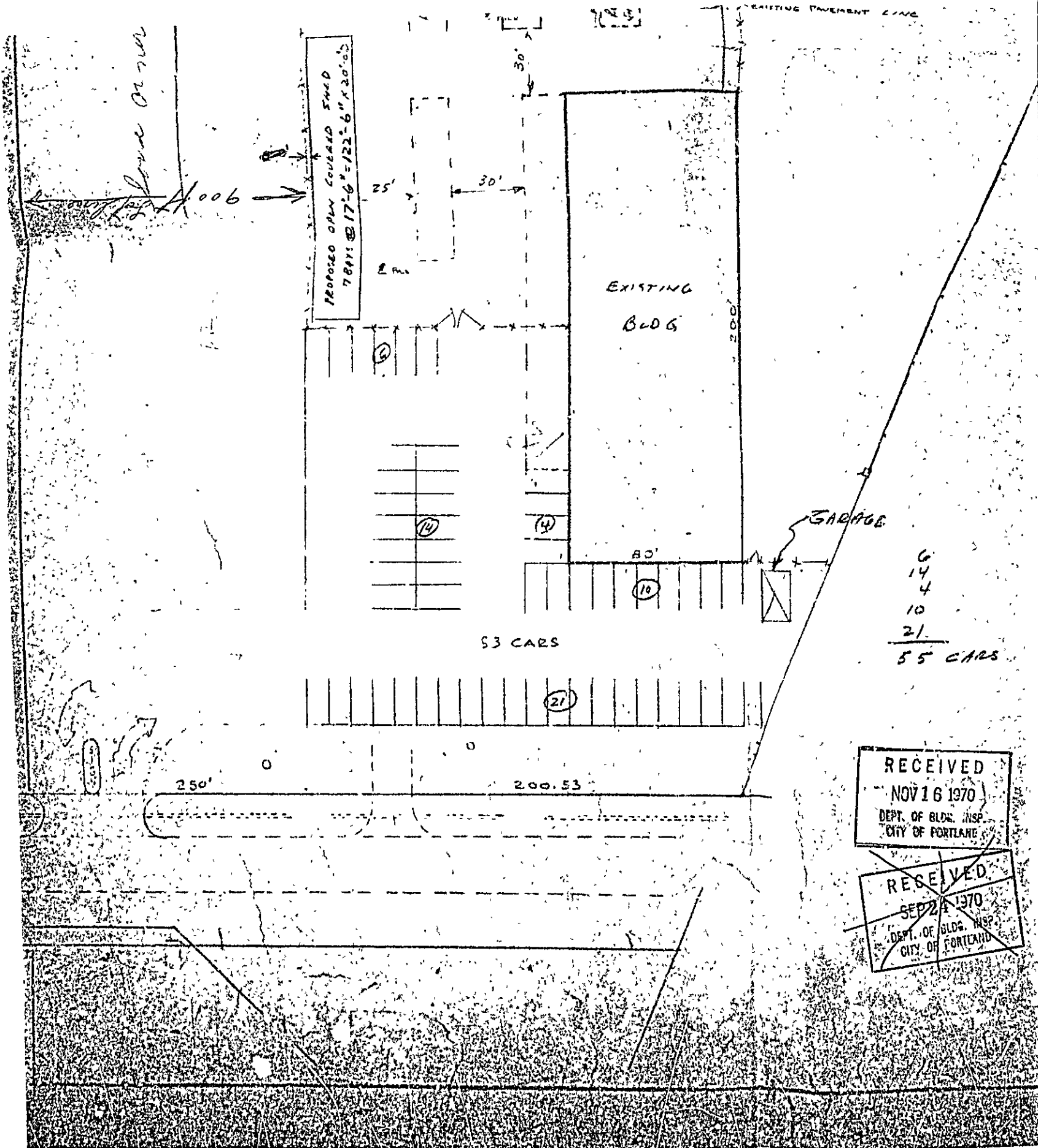
178.75

181.60

EXISTING FENCE LINE

EXISTING POWER LINE

Survey
Planned
Private



6
14
4
10
21
55 CARS

RECEIVED
NOV 16 1970
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

~~RECEIVED
SEP 24 1970
DEPT. OF BLDG. INSP.
CITY OF PORTLAND~~

EXISTING PAVEMENT LINE

70

200'

GARAGE

6
 14
 10
 21

 55 CARS

①

MAINTENANCE AUTHORITY

Cost \$6,500.00

KENNETH - DEVEAU
 CONTRACTOR
 1159 BROADWAY
 SOUTH - PORTLAND - MAINE
 TEL = 775 1459

RECEIVED
 NOV 16 1970
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

~~RECEIVED
 SEP 24 1970
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND~~

PROPOSED COVERED T. POLE SHED 20' X 10'



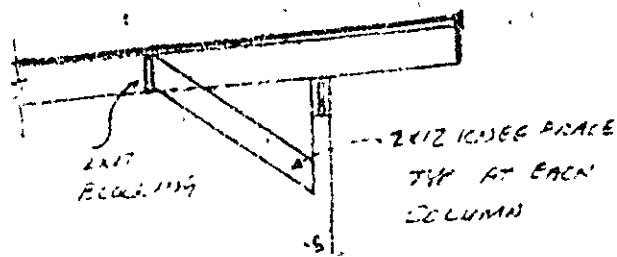
GROSSMAN INDUSTRIAL PROPERTIES INC.
 BRAINTREE 84, MASS.

DATE
 10/20/70
 BY
 [Signature]

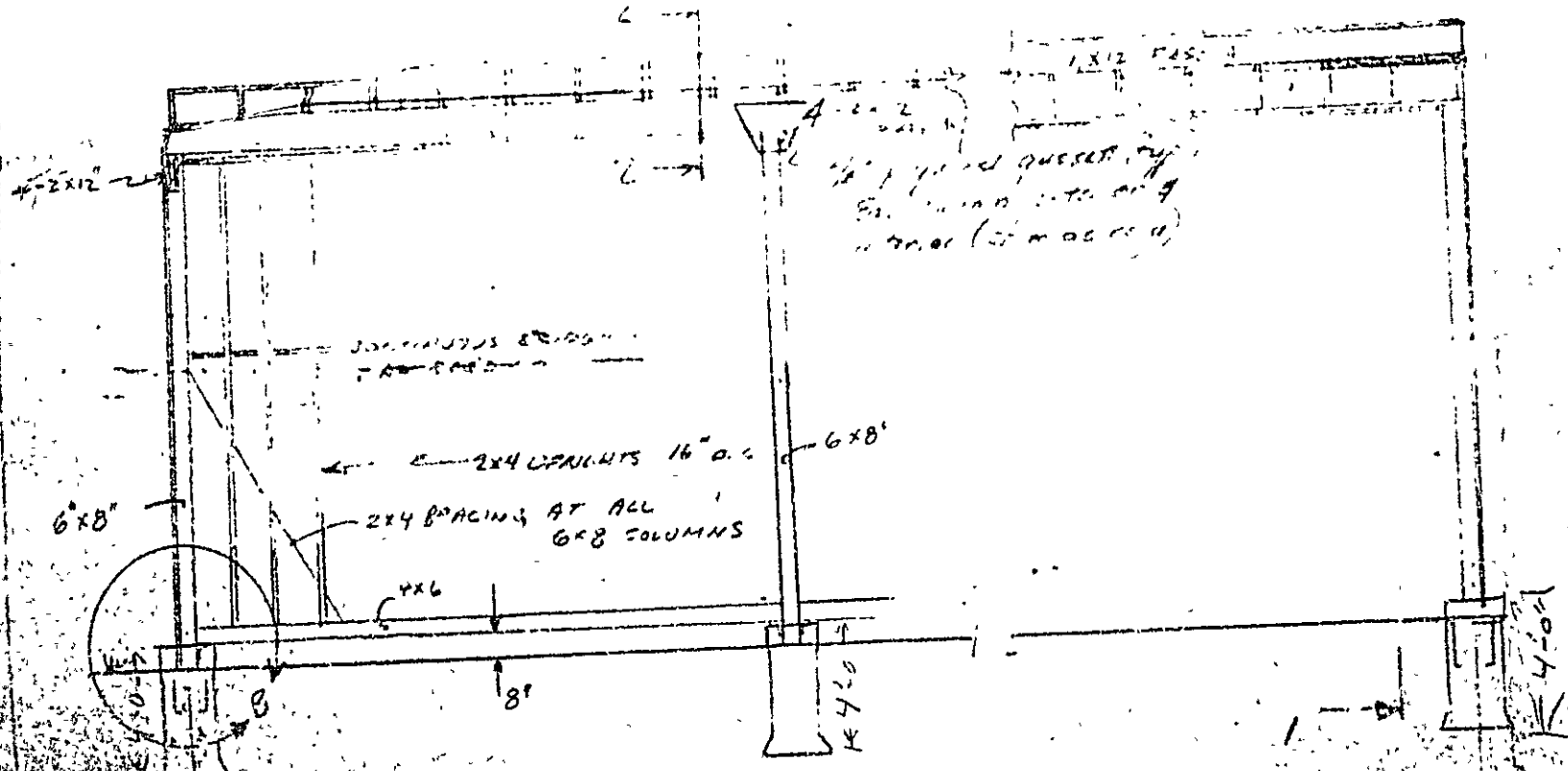
PORTLAND, MAINE

SCALE: DRAWN BY: CHECKED: DATE:

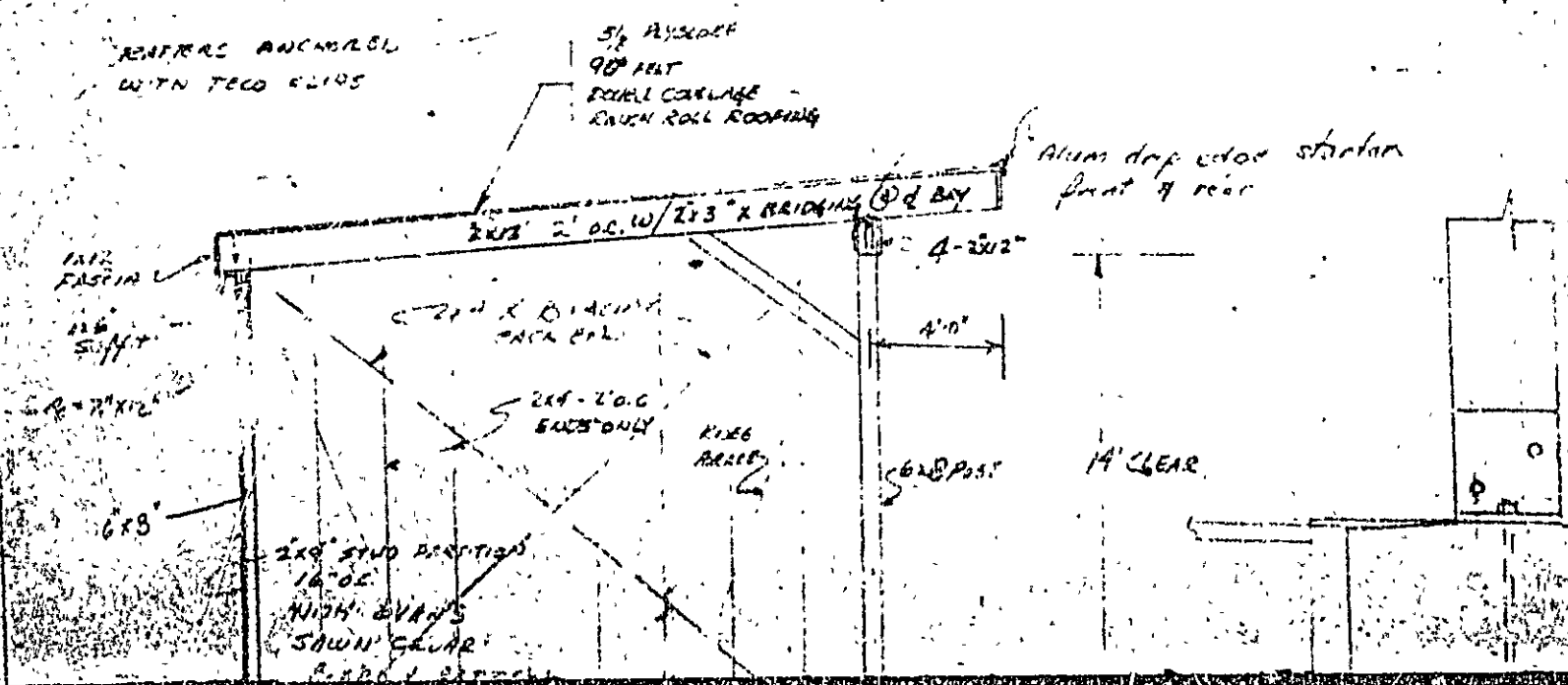
1-5-70



SECTION 2-2
SCALE 1/4" = 1'-0" →



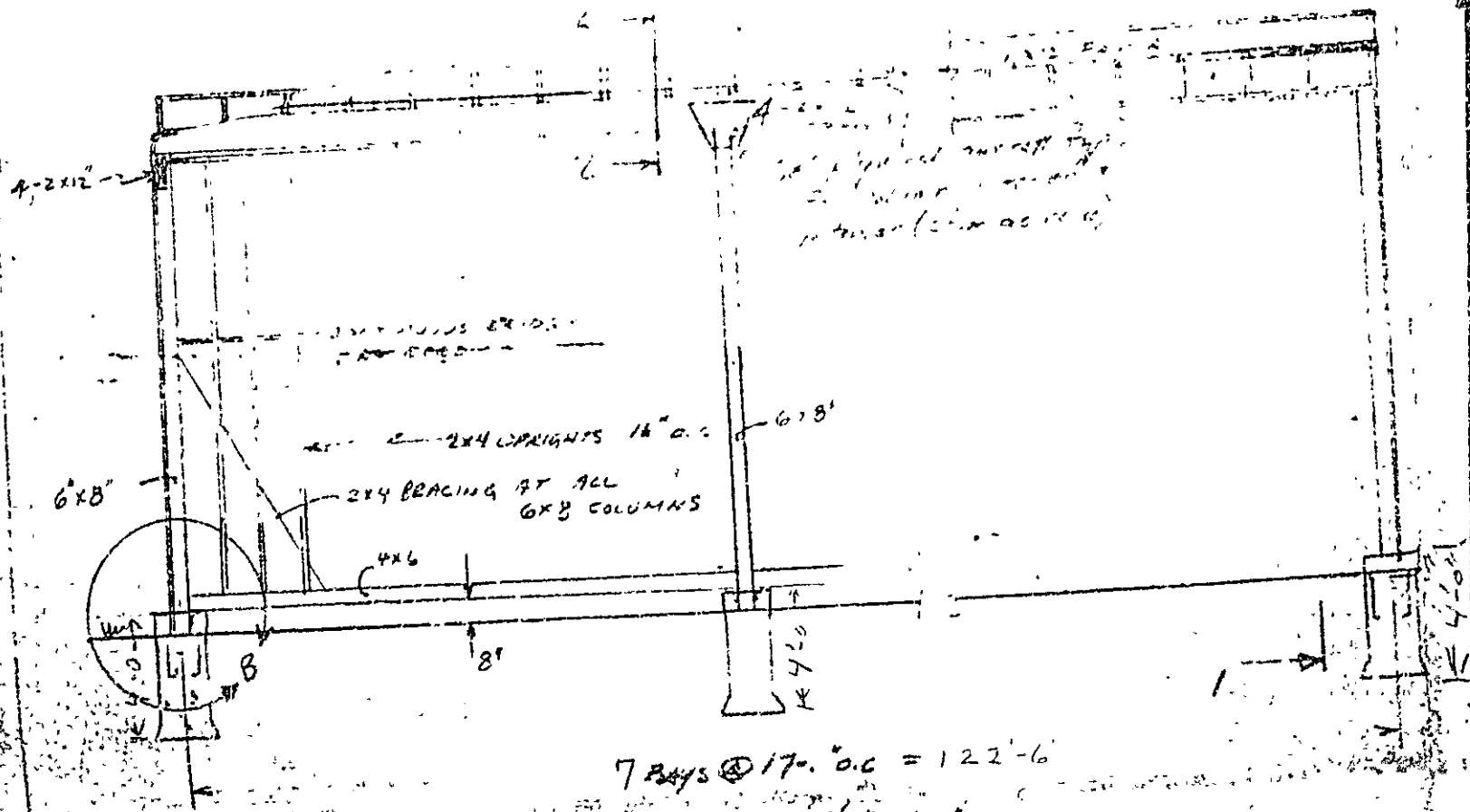
7 BAYS @ 17'-6" o.c. = 122'-6"
SCALE 1/4" = 1'-0"
ELEVATION



ENTERS ANCHORED WITH TEO CLIPS
5/8" ANCHOR 90° FEET DOUBLE CORNER EACH ROLL ROOFING
ALUM DEP EDGE STARTER front & rear
1x12 FASTEN 1/2" ANCHOR
2x4 - 2' o.c. BRACES ONLY
Knee BRACE
6x8 POST 14' CLEAR
2x4 STUD POSITION 16" o.c. HIGH EVAS SAWN CLEAR

SECT 015 2/8

SCALE 1/4" = 1'-0"

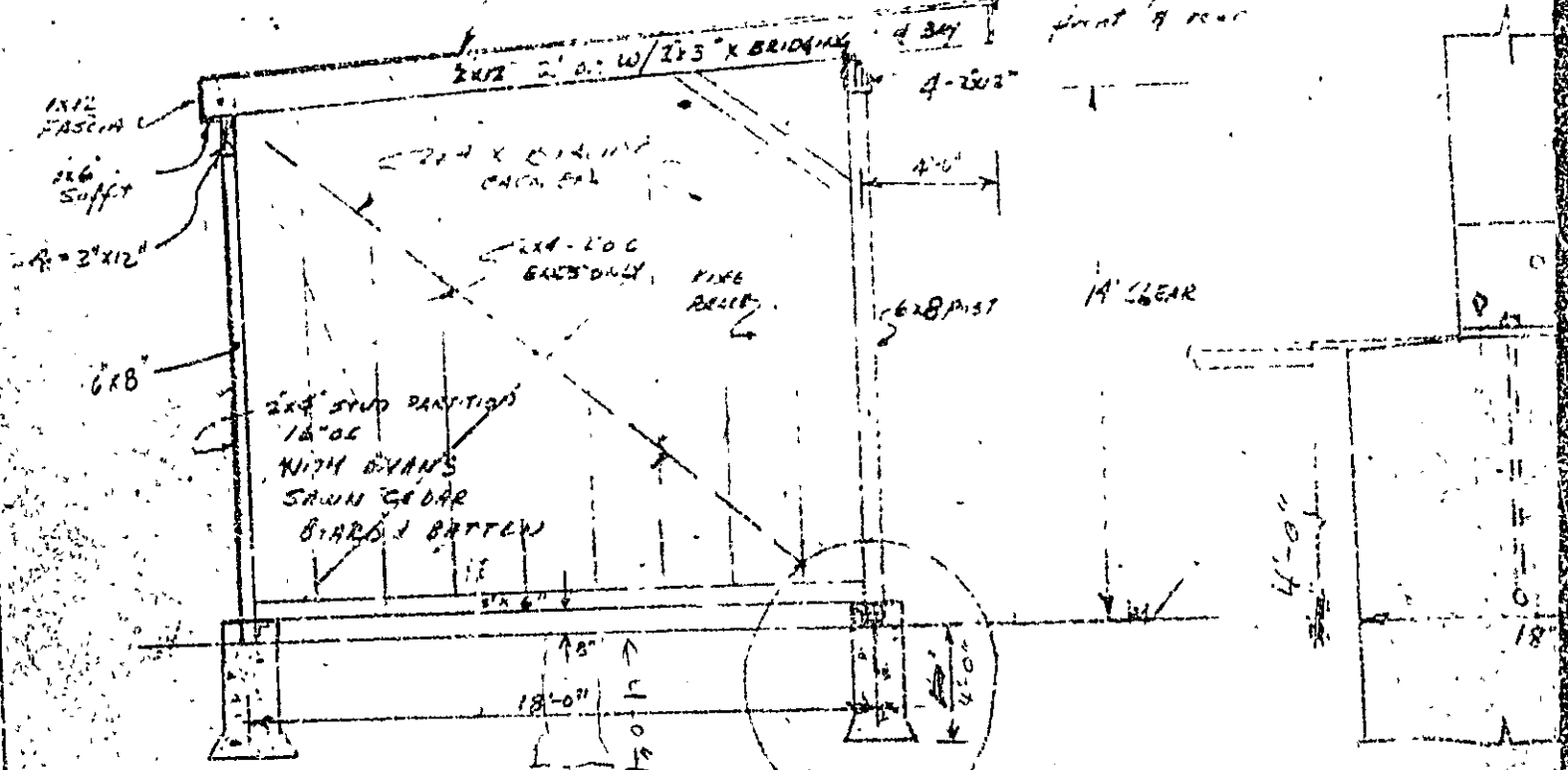


7 BAYS @ 17' o.c. = 122'-6"
 SCALE 1/4" = 1'-0"
 ELEVATION

RAMPAGE BRACKET WITH TACO CLIPS

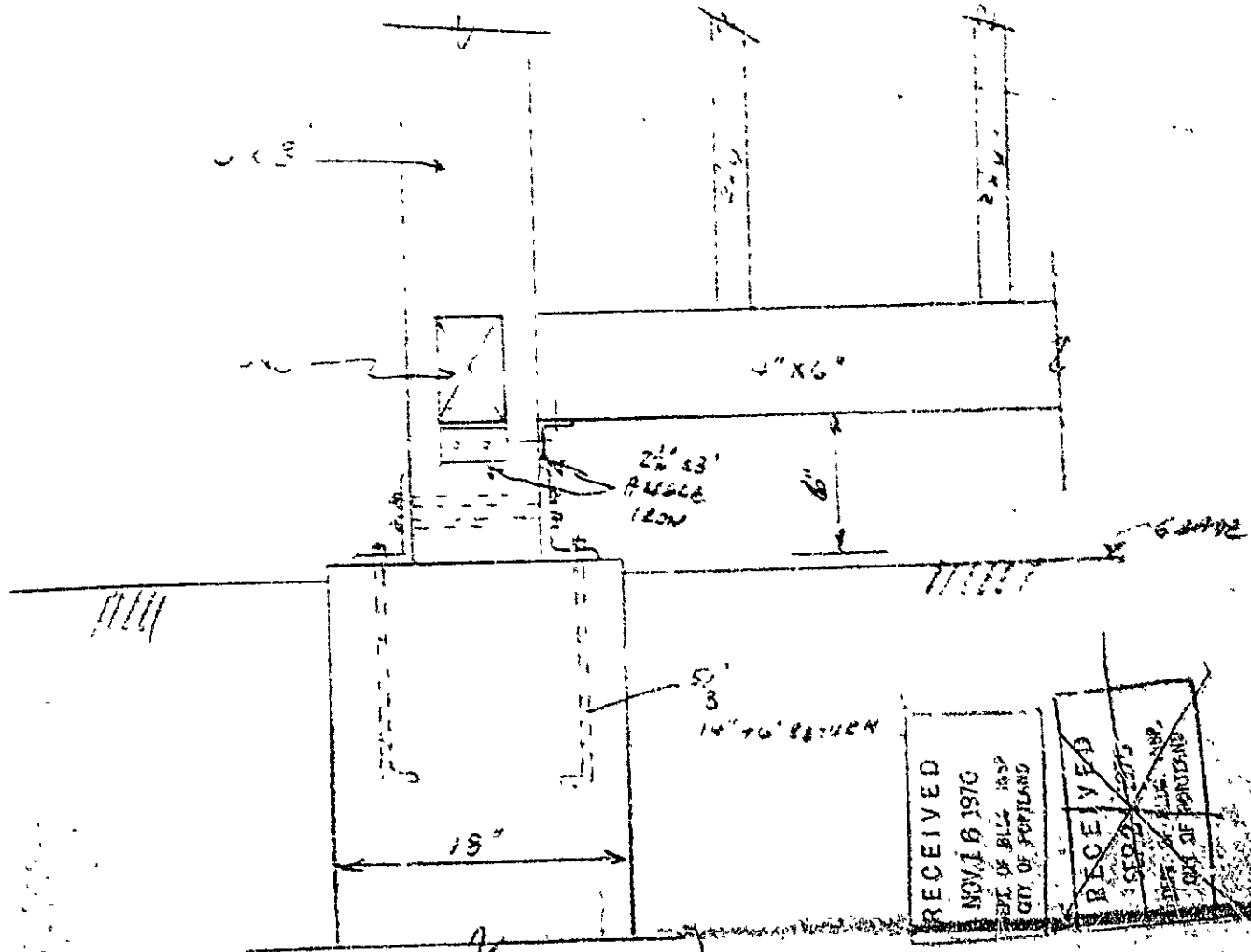
5/8" ANGLE
 3/8" FELT
 SOLUBLE CARLITE
 RAINY ROLL ROOFING

Alum drip edge starter front & rear



SECTION 1-1
 SCALE 1/4" = 1'-0"

COST = \$6,500.00



DETAIL "B"

Scale 1/2" = 1'-0"

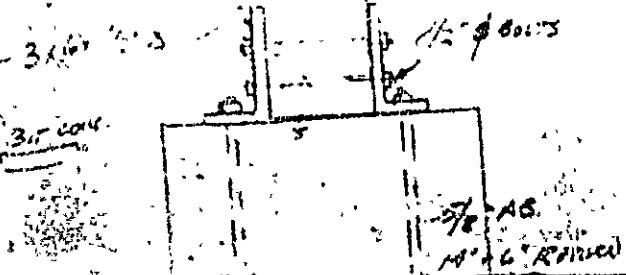
RECEIVED
 NOV 16 1976
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

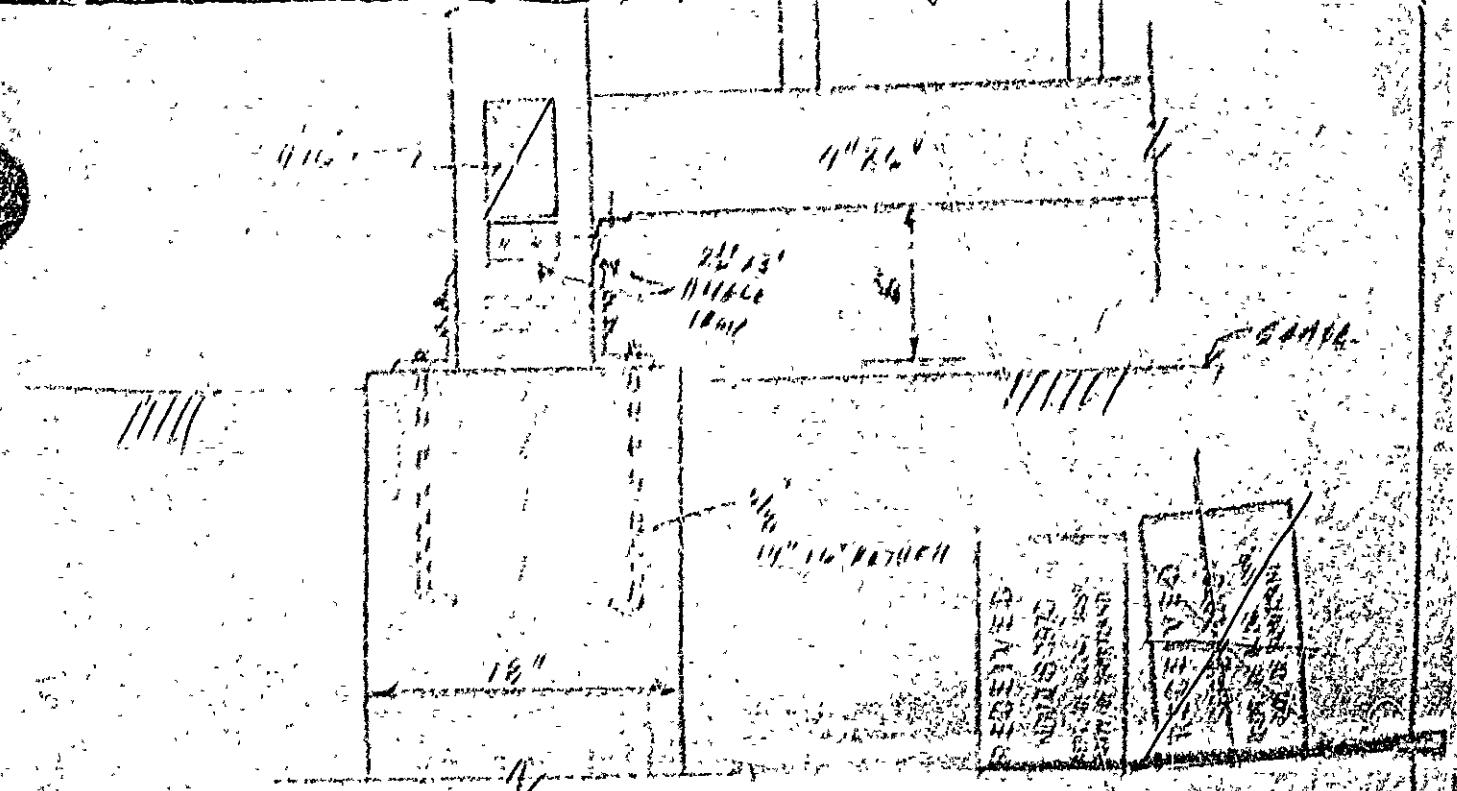
RECEIVED
 SEP 22 1975
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

DESIGN LIVE LOAD = 50 PSF

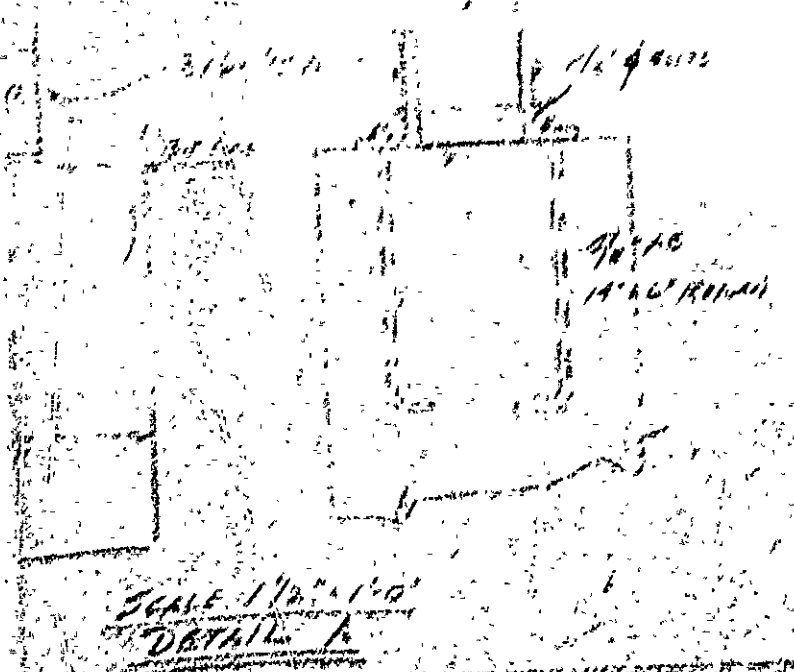
(2)

KENNETH DEVEAU
 CONTRACTOR
 1159 BROADWAY
 SOUTH - PORTLAND - MAINE
 TEL. - 77-51459
 PROJECT #





Detail "B"
 Scale 1 1/2" = 1'-0"



SCALE 1 1/2" = 1'-0"
 DETAIL "A"

REVISIONS

(2)

KENNETH H. DEVERO
 CONTRACTOR
 119 BROWN WY.
 SOUTH PORTLAND - MAINE
 Phone - 945-1457

PROCESSED BY
 CONTRACTOR
 WASHINGTON, D.C.

MADE IN U.S.A.



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Third Class

Portland, Maine,

November 16 1970

PERMIT ISSUED

383

NOV 18 1970

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512 Warren Ave. Within Fire Limits? _____ Dist. No. _____

Owner's name and address Grossemans, Distribution Center Telephone _____
512 Warren Ave.

Lessee's name and address Kenneth C Deveau, 1159 Broadway So. Portland Me Telephone 775-1459

Contractor's name and address _____ Specifications _____ Plans yes No. of sheets 2

Architect _____ Proposed use of building Storage Building No. families _____

Last use _____ Material frame No. stories 1 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____ Estimated cost \$ 6500.00 Fee \$ 21.00

General Description of New Work

To construct 1-story frame storage building 17'6" x 122'6" with 1' overhang on back
4' overhang on front
as per plans.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO contractors**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? yes
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of heat _____ fuel _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Corner posts _____ Sills _____
Framing Lumber—Kind _____ Dressed or full size? _____ Size _____ Max. on centers _____
Size Girder _____ Columns under girders _____ Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, height? _____
If one story building with masonry walls, thickness of walls? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? _____ no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED: NOV 18 1970
R.L.B.

Grossemans
Kenneth C. Deveau

Signature of owner by: Kenneth C Deveau

CS 301

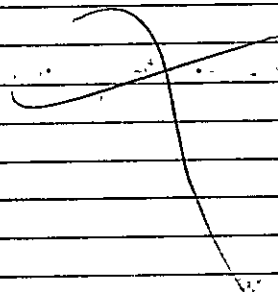
INSPECTION COPY

7m

NOTES

11-20-70 20" sonatulus
beared. *AD*

11-24-70 Framoo
out OK *AD*



Permit No. 70/1383
 Location 512 Henry Ave.
 Owner Armenians
 Date of permit 11/18/70
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. _____
 Cert. of Occupancy Issued _____
 Staking Out Notice _____
 Form Check Notice _____

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Thomas F. Griffin, Jr., Director of Public Works

DATE: November 17, 1965

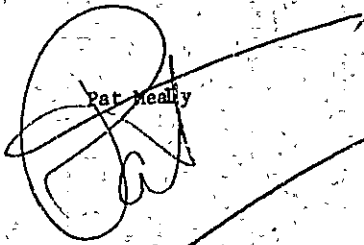
FROM: Legal Secretary

SUBJECT: Sign at Grossman Lumber Company

From my observation of the Zoning Map and without checking the location precisely, I would think that Grossman Lumber is located in an I-2 Industrial Zone. In that case, the zoning ordinance permits "all types of signs", and a flashing sign would be permitted.

If it should be located in an I-1 Industrial Zone which is in this same neighborhood, the ordinance permits only illuminated signs and prohibits flashing or intermittent signs.

Your letter of inquiry from Action Engineering Co. is returned herewith.


Pat Nealey

Wm. Bruce Dalton

11/17/65

Anything that attracts a motorist's attention while he's driving (particularly at high speed) is distracting and therefore dangerous. This location is within view of I-95 a 70 mph road. Strongly recommend sign committee shoot it down.

ACTION

ACTION ENGINEERING CO.

266 WHITTIER RD.

373-3463

HAVERHILL, MASS.

November 16, 1965

Dept. of Sign Ordinances
City Hall
Portland, Maine

To whom it may concern:

The Grossman Lumber Company is interested in adding an Animated or Flashing Arrow to their present sign. This is a tracer type unit that becomes part of the present sign. It measures 6 inches in depth, and the length varies to the size of the already existing sign.

Please advise me concerning your ordinances regarding this type of installation.

Very truly yours

Raymond E. Seaver
Raymond E. Seaver

*Pat
What is Law No
Q*

PERMIT TO INSTALL PLUMBING

14764
PERMIT NUMBER

Date Issued: 12/24/64
 Address: 512 Warren Avenue
 Installation For: Crosman's
 Owner of Bldg.: Crosman's
 Owner's Address: Braintree, Mass. Date: 12/21/64
 Plumber: Sam Burakoff

By: J. P. Welch
 APPROVED FIRST INSPECTION
 Date: Dec 24 1964
 By: Welch
 APPROVED FINAL INSPECTION

Date: 12/21/64
 By: **JOSEPH P. WELCH**
CHIEF PLUMBING INSPECTOR

- TYPE OF BUILDING
- COMMERCIAL
 - RESIDENTIAL
 - SINGLE
 - MULTI FAMILY
 - NEW CONSTRUCTION
 - REMODELING

NEW	REPL.	PROPOSED INSTALLATIONS	NUMBER	FILE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (Conn. to house drain)	1	2.00
		Drink Fountain		
1				

TOTAL ► \$6.00

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

PERMIT TO INSTALL PLUMBING

14534
PERMIT NUMBER

Date Issued: **10-1-64**
By: **S.J. P. Welch**
PORTLAND PLUMBING INSPECTOR

Address: **512 Warren Avenue**
Installation For: **Grossman**
Owner of Bldg.: **Grossman**
Owner's Address: **Braintree, Massachusetts**
Date: **10-1-64**
Number: **Samuel Burakoff**

APPROVED FIRST INSPECTION

Date: **10-1-64**
By: **[Signature]**
APPROVED FINAL INSPECTION
Date: **12-16-64**
By: **JOSEPH P. WELCH**
PORTLAND PLUMBING INSPECTOR


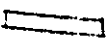
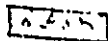
- TYPE OF BUILDING:
- COMMERCIAL
 - RESIDENTIAL
 - SINGLE
 - MULTI FAMILY
 - NEW CONSTRUCTION
 - REMODELING

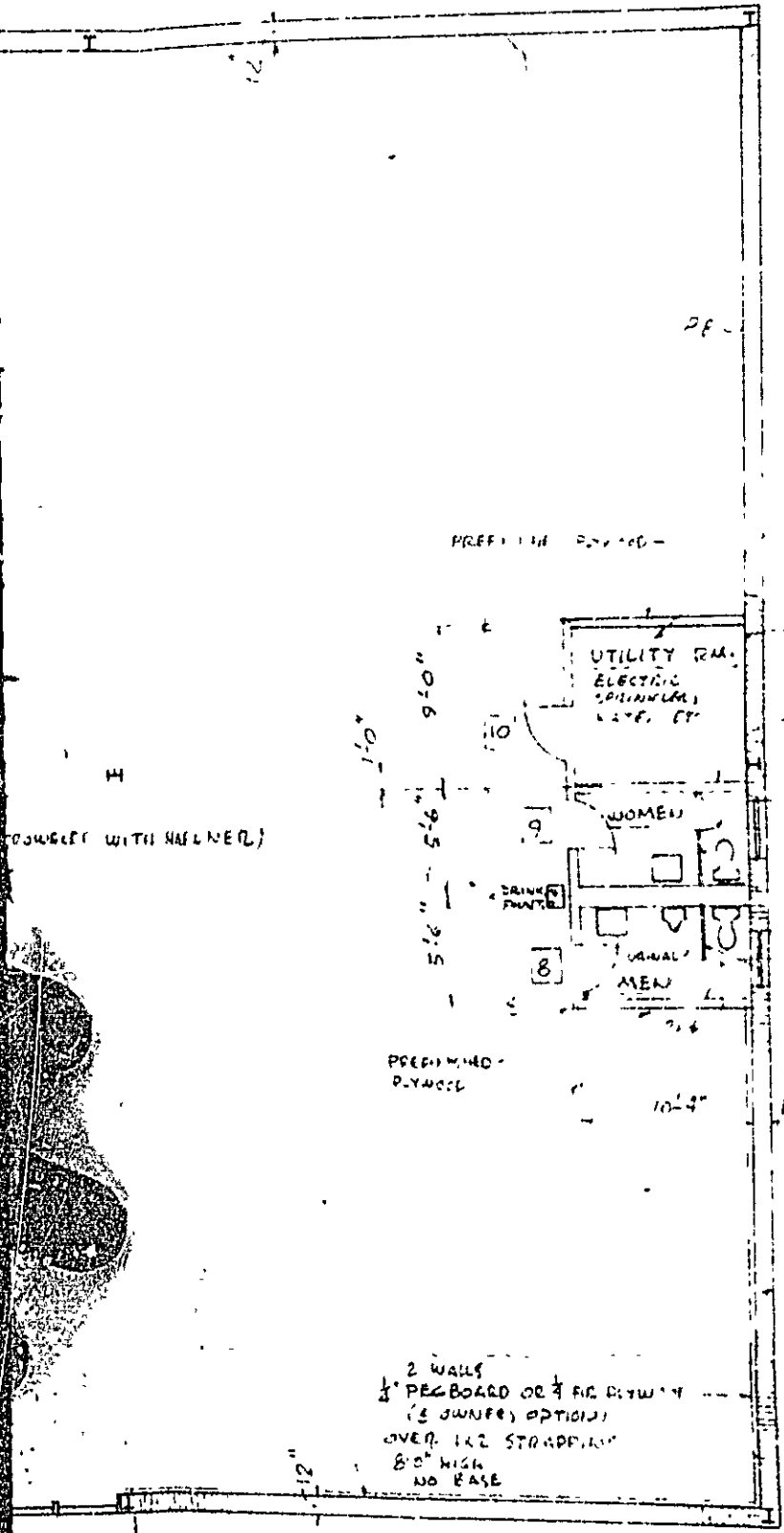
NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE
		SINKS		
		LAVATORIES		
2	✓	TOILETS	2	\$ 4.00
2	✓	BATH TUBS	2	4.00
		SHOWERS		
		DRAINS		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (Conn. to house drain)	1	2.00
1	✓	Urinal		
			TOTAL	\$10.00

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

10-0 8"

LEGEND

-  MASONRY UNITS (CONC. BLOCK)
-  WOOD STUD PARTITION
-  CONCRETE



OPEN AREA
CEIL. CONTROLS OVER
MEN'S & WOMEN'S
RESTROOMS

PREFINISHED PLYWOOD

UTILITY RM.
ELECTRIC
PLUMBING
SINK, ET

EXPOSED MASONRY
2x4 W/ 3 PLYWOOD
KICK 4"
TRIMMED 3 WALLS

WOMEN'S

MEN'S

PREFINISHED PLYWOOD

PLYWOOD PARTITION
4" TO 6" WOOD

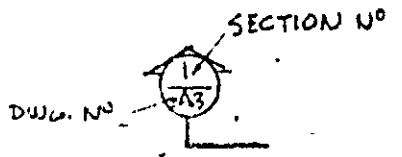
2 WALLS
1/2" PEG BOARD OR 1/4" FIBER BOARD
(SOUND, OPTION)
OVER 1x2 STRAPPING
8" HIGH
NO BASE

UTILITY RM.

FLOOR - CONCRETE W/ HARDNER
WALLS - PLYWOOD & MASONRY
CEILING - 8'-0" HIGH - 12x12" CEILING TILE
ON 1x3 STRAPPING

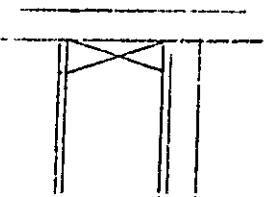
MEN'S & WOMEN'S

FLOOR - CERAMIC TILE
BASE - CERAMIC TILE
DADO - 4'-0" HIGH CERAMIC TILE
WALL - 5' SHEETROCK T.J. ABOVE
DADO
CEILING - 8'-0" HIGH - 12x12" CLNG TILE
ON 1x3 STRAPPING



2

1



PREPARED BY
P. T. WOOD

8

USUAL
MEN'S

PLYWOOD PARTITION
WITH DOOR

MEN'S (WOMEN'S)

FLOOR - CERAMIC TILE

BASE - CERAMIC TILE

DADO - 4'0" HIGH CERAMIC TILE

WALL - 3" SHEETROCK I.F.S. ABOVE
DADO

CEILING - 8'0" HILTI 12x12x1/2" CONG. TILE
ON 1x3 STRAPPING

2 WALLS
1/2" PEG BOARD OR 1/4" PLYWOOD
(3 JOINTS) OPTIMAL
OVER 1x2 STRAPPING
8" HIGH
NO BASE

1/2" CONG. BLOCK

SECTIONAL NO

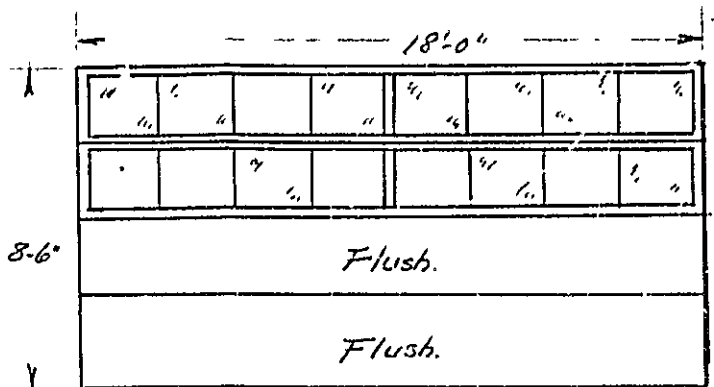
DWG. NO



2

1

3/8" AC.
Ext. Plywood



Typical Interior Door (1)
Scale 1/4" = 1'-0"

FLOOR PLAN

GROSSMAN INDUSTRIAL PROPERTIES INC.
BRAintree 84, MASS. V18-0100

PORTLAND MAINE
BRANCH STORE

DATE	17 DEC 1964
REVISION	11 JAN 1965
	21 MAY 1965

SCALE	DRAWN BY	CHECKED	JOB NO.	SHEET NO.
1/8" = 1'-0"	W. P. W.			200-A1

STANDARD ARCHITECTURE, INC.

201'-4

40'-0

40'-0

STEEL C FRAME

WALLS - EXPOSED CONCRETE BLOCK WALL - FLUSH JOINTS
EXCEPT WHERE SHOWN OTHERWISE

CEILING - EXPOSED ROOF FRAMING (NO BRACING)
PAINT UNDERSIDE OF ROOF DECK STRUCTURAL
AFTER ERECTION

BITUMINOUS CONCRETE IN 2-1" LAYERS OVER 8" GRAVEL BASE

4" CONCRETE OVER 6" GRAVEL FILL / STEEL TOWERLET WITH REINF. W/ 6X6 WELDED RIBS 18" ON

DIVIDING LINE BETWEEN BULKHEAD & CASE

(W/OUT) ELECTRIC

MAGIC CARPET

36" x 75" ALUM. DOOR

24'-7

11'-10

3'-7

TYPICAL STEEL 3 FRAME ANCHORED TO MASSIVE 14'-0" HIGH OVERHEAD DR. MAX. HIGH LIFT

4
A3

5
A3

FACE OF CAUPT ABOVE

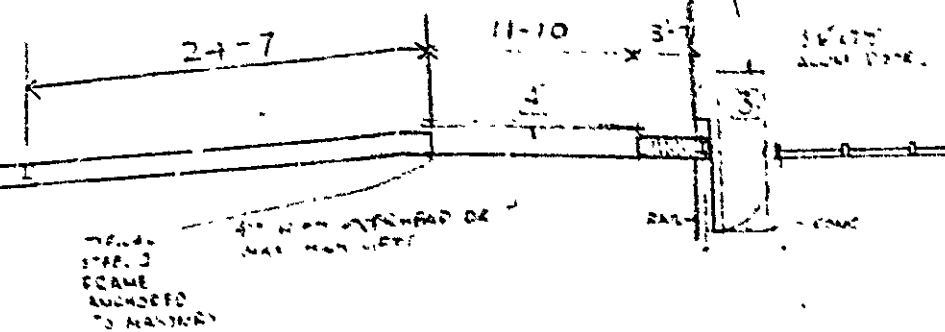
4

3

STANDARD CONCRETE
LAYERED OVER 5" GRAVEL FILL

CONCRETE
REINFORCED WITH WIRE MESH

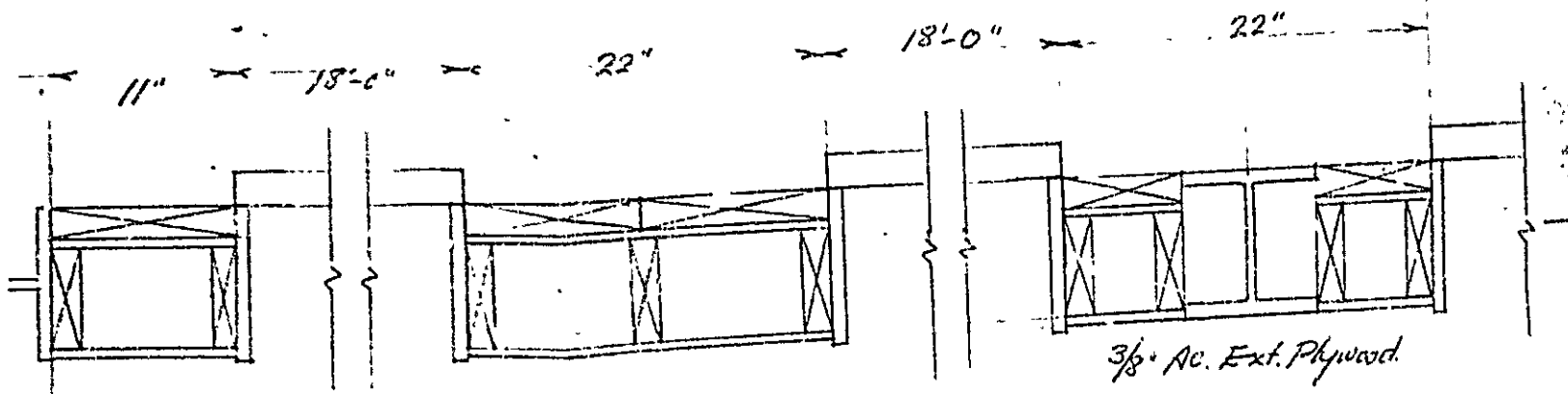
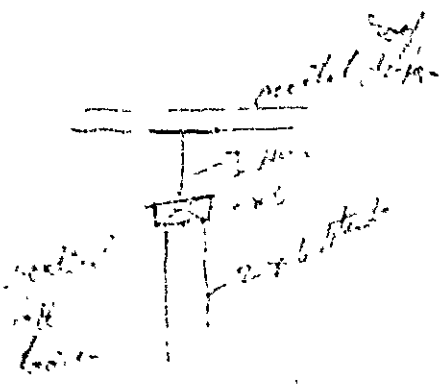
DRIVING NAIL
BEFORE SETTING
T.C. D.C.



4

3

2



SECTIONS
INTERIOR PARTITION - LINE 3
SCALE 1/2" = 1'-0"

40'-0

40'-0

X

P.B.

WALLS

CEILING

H

H

11-10

10-7

18-7

P.B. = PAINTED BLOCK

24-7

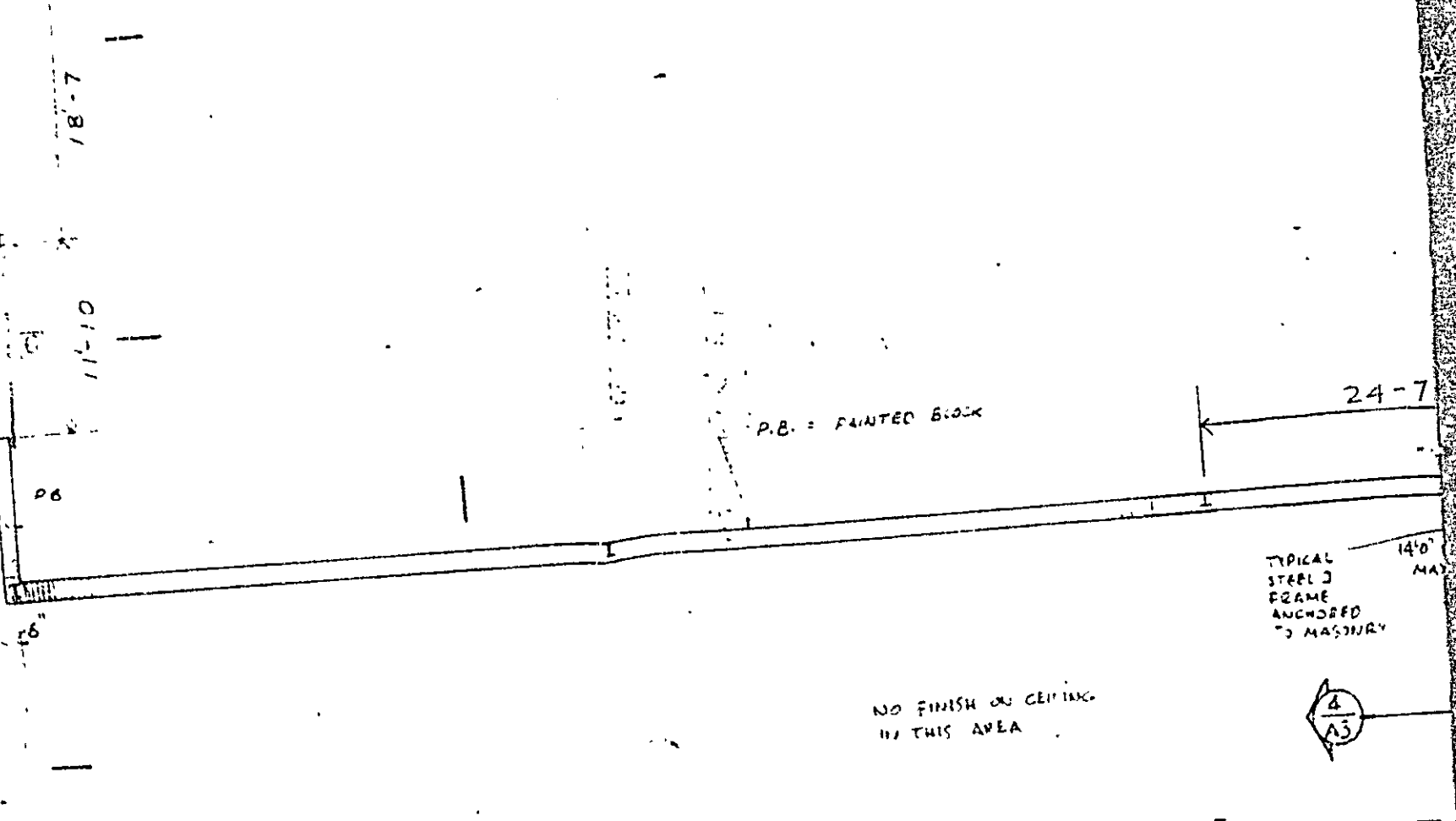
TYPICAL 14'-0"
STEEL J MA
FRAME
ANCHORED
TO MASONRY

NO FINISH ON CEILING
IN THIS AREA



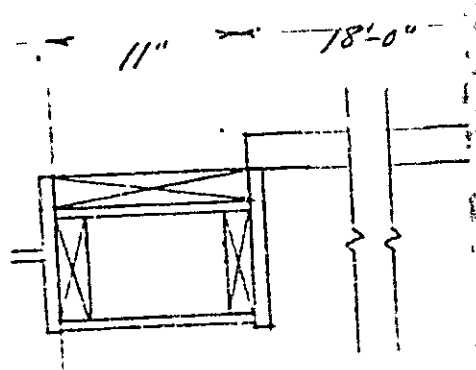
5

4



2 SCHEDULES

TYPE	DOOR	SIZE OF OPENING	THICKNESS	FRAME			REMARKS
				MATERIAL	HEAD	JAMB/SILL	
INT.	WOOD	3'-6" x 7'-0"	1 1/2"	STEEL CHAN.			
INT.	WOOD	3'-6" x 7'-0"		ALUM.			
INT.	WOOD	3'-6" x 7'-0"		ALUM.			
INT.	WOOD	12'-0" x 14'-0"	1 1/2"	STEEL CHAN.			
INT.	WOOD	12'-0" x 14'-0"	1 1/2"	STEEL CHAN.			
INT.	WOOD	2'-6" x 6'-8"	1 1/2"	WOOD			
INT.	WOOD	3'-6" x 6'-8"	1 1/2"	WOOD			
INT.	WOOD	3'-0" x 6'-8"	1 1/2"	WOOD			
INT.	WOOD	18'-0" x 8'-6"	1 3/4"	WOOD			



40'-0

(A)

8

40'-0

(B)

81'-4



11'-10

10'-7

18'-7

40'-0



11'-10

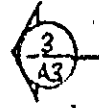
(C)

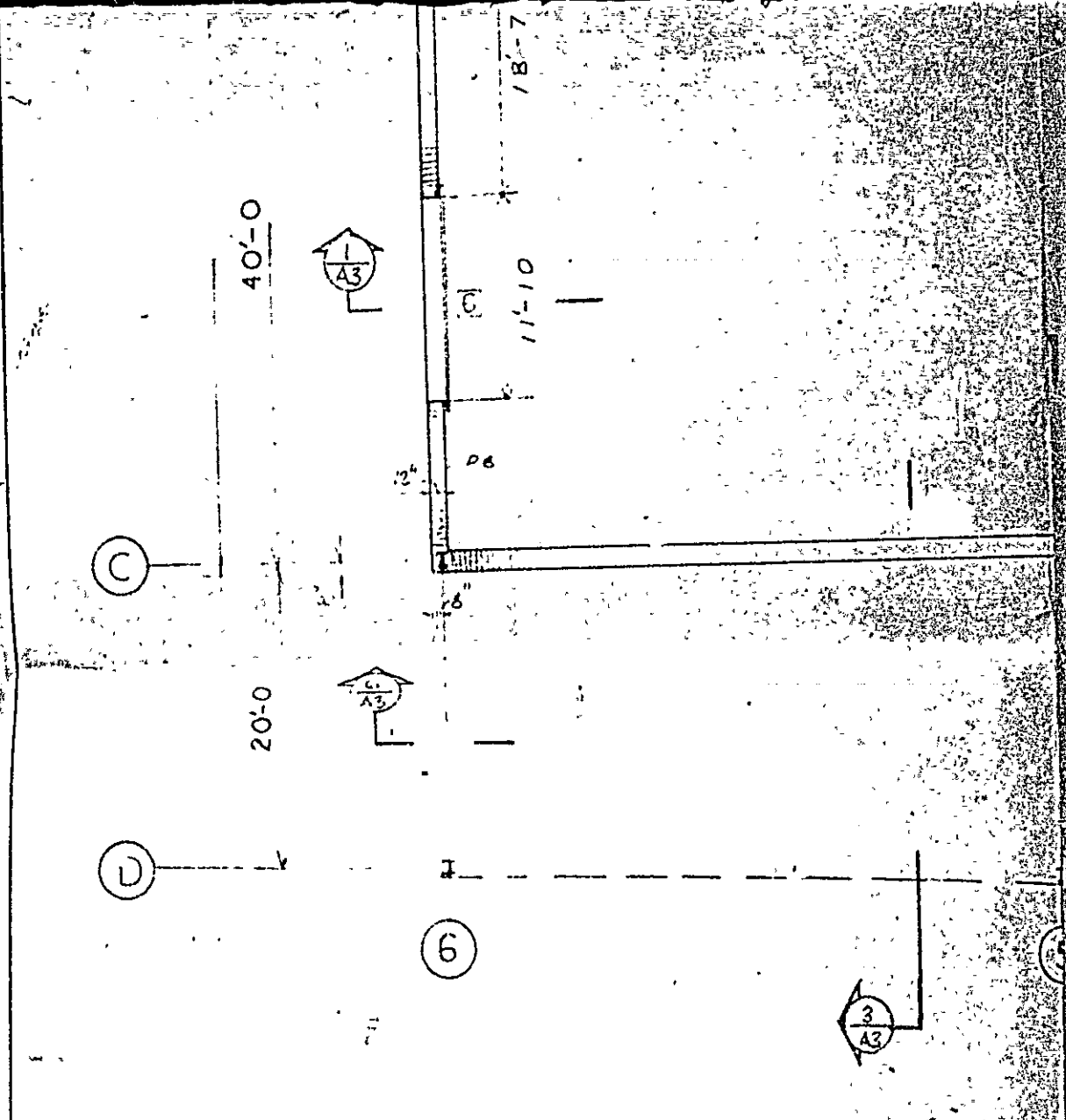
20'-0



(D)

(6)





DOOR SCHEDULE

MARK	LOCATION	DOOR			FRAME			
		MAT'L TYPE	SIZE OF OPNG	TH.	MAT'L	HEAD	JAMB	SILL
1	EXTERIOR TO SALES	Steel Core Wood Finish	3'-6" x 7'-0"	1 1/4"	STEEL SILL.			
2	FRONT ENTRANCE	EXTRU. ALUM.	3'-6" x 7'-0"		ALUM.			
3	FRONT EXIT	EXTRU. ALUM.	3'-6" x 7'-0"		ALUM.			
4	EXTERIOR TO SALES (FRONT)	WOOD OVERGLD	12'-0" x 14'-0"	1 1/4"	STEEL CHAN.			
5								
6	EXTERIOR TO SALES (LEFT SIDE)	WOOD OVERGLD	12'-0" x 14'-0"	1 1/4"	STEEL CHAN.			
7	EXTERIOR TO SALES (RIGHT SIDE)	WOOD OVERGLD	12'-0" x 14'-0"	1 1/4"	STEEL CHAN.			
8	SALES TO MEN	FLUSH WOOD	2'-6" x 6'-8"	1 3/8"	WOOD			
9	SALES TO WOMEN	FLUSH WOOD	2'-6" x 6'-8"	1 3/8"	WOOD			
10	SALES TO UTILITY RM.	FLUSH WOOD	3'-0" x 6'-8"	1 3/8"	WOOD			
11	SALES TO STORAGE	WOOD VERT. LIFT	18'-0" x 8'-6"	1 3/4"	WOOD			



I-2 INDUSTRIAL ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
SEP 22 1965
CITY OF PORTLAND

Class of Building or Type of Structure
Portland, Maine

September 16, 1965

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512 Warren Avenue Within Fire Limits? Dist. No. 512 Warren Ave.
 Owner's name and address Grossman's Industrial Properties, Inc. Telephone 775-1939
 Lessee's name and address _____ Telephone _____
 Contractor's name and address not let Specifications _____ Plans yes No. of sheets 1
 Architect _____ Lumber company _____ No. families _____
 Proposed use of building _____ " _____ No. families _____
 Last use Steel Material masonry No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____ Fee \$ 6.00
 Estimated cost \$ 2000.

General Description of New Work

To construct non-bearing partition (series of overhead doors) to divide two rooms.
2x6 studs, plywood - as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Grossman's Industrial Properties

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber - Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Kind and thickness of outside sheathing of exterior walls? _____
 Studs (outside walls and carrying partitions) 2x4-16' O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Grossman's Industrial Properties, Inc.

APPROVED:

J. E. M.

Signature of owner

BY: *J. E. M.*

INSPECTION COPY

NOTES

9-30-65 Wall abraded

1/2" cp

10-12-65 Completed

Permit No.	9-30-65
Location	Wall abraded
Order	10-12-65 Completed
Date of permit	9/30/65
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspr.	
Cert. of Occupancy issued	
Staging Out Notice	
Form Check Notice	

Permit No.	65/99/E
Location	12th Street
Order	Provisional Electrical
Date of permit	9/30/65
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspr.	
Cert. of Occupancy issued	
Staging Out Notice	
Form Check Notice	

Specializer's ok.

10-12-65

Work shall be done in accordance with the approved plans and specifications. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The contractor shall maintain safe access to all adjacent properties and shall be responsible for any damage to adjacent properties. The contractor shall be responsible for the removal and disposal of all debris and waste. The contractor shall be responsible for the protection of all existing utilities and structures. The contractor shall be responsible for the completion of the work within the specified time frame. The contractor shall be responsible for the payment of all taxes and fees. The contractor shall be responsible for the maintenance of the work area and for the safety of all workers and the public. The contractor shall be responsible for the cleanup of the work area and for the restoration of the site to its original condition. The contractor shall be responsible for the provision of all necessary materials and labor. The contractor shall be responsible for the completion of the work and for the satisfaction of the owner. The contractor shall be responsible for the maintenance of the work area and for the safety of all workers and the public. The contractor shall be responsible for the cleanup of the work area and for the restoration of the site to its original condition. The contractor shall be responsible for the provision of all necessary materials and labor. The contractor shall be responsible for the completion of the work and for the satisfaction of the owner.

Work shall be done in accordance with the approved plans and specifications. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The contractor shall maintain safe access to all adjacent properties and shall be responsible for any damage to adjacent properties. The contractor shall be responsible for the removal and disposal of all debris and waste. The contractor shall be responsible for the protection of all existing utilities and structures. The contractor shall be responsible for the completion of the work within the specified time frame. The contractor shall be responsible for the payment of all taxes and fees. The contractor shall be responsible for the maintenance of the work area and for the safety of all workers and the public. The contractor shall be responsible for the cleanup of the work area and for the restoration of the site to its original condition. The contractor shall be responsible for the provision of all necessary materials and labor. The contractor shall be responsible for the completion of the work and for the satisfaction of the owner. The contractor shall be responsible for the maintenance of the work area and for the safety of all workers and the public. The contractor shall be responsible for the cleanup of the work area and for the restoration of the site to its original condition. The contractor shall be responsible for the provision of all necessary materials and labor. The contractor shall be responsible for the completion of the work and for the satisfaction of the owner.

A.P.-512-518 Warren Ave.

Feb. 25, 1965

Grossman Industrial Properties, Inc.
512-518 Warren Avenue
Att: Mr. Ross, Mgr.

cc to: Grossman Industrial Properties, Inc.
Braintree 64
Mass.

Dear Mr. Ross:

Amendment to the permit for the construction of an 18' x 80' mezzanine at the above location is being issued subject to plans and computations received.

As before stated the mezzanine will need be properly posted indicating the safe live load for which the floor is constructed.

Notification to this office of compliance with the Building Code will allow the final inspection necessary before the issuance of a Certificate of Occupancy.

Very truly yours,

Archie L. Seekins
Deputy Building Inspection Director

ALS:m



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1
Portland, Maine Feb. 24, 1965

PERMIT ISSUED

FEB 25 1965

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 64/124 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted hereunto, and the following specifications:

Location 512-558 Warren Ave. Within Fire Limits? Dist. No. Telephone

Owner's name and address Grossman Industrial Properties Inc. Braintree, Mass. Telephone

Lessee's name and address Telephone

Contractor's name and address Poley-Abrams, 45 Bartlett Crescent Brookline 46, Mass. Telephone

Architect Plans filed No. of sheets

Proposed use of building Sale of Lumber and Warehouse No. families

Last use No. families

Increased cost of work 1200.00 Additional fee 4.00

Description of Proposed Work

18' x 80'
To construct mezzanine floor as per plan

Details of New Work Permit to owner

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth cellar?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering of lining

No. of chimneys Material of chimneys of lining

Framing lumber—Kind Sills Girt or ledger board Size Max. on centers

Corner posts Columns under girders Size Max. on centers

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

Approved: *Albert J. Sears*

Signature of Owner by: *Neil P. Ross*
Manager
Approved: *Albert J. Sears*
Inspector of Buildings

A.P.- 512-518 Warren Ave.

Dec. 30, 1964

Grossman Industrial Properties, Inc.
Att: Mr. Irving Bobrick
Braintree St., Mass.

Dear Mr. Bobrick:

We are in receipt of sketches and computations for the storage mezzanine for the Grossman Store at the above address.

It will be necessary to fill out an application for an amendment to the original application to cover the construction of the storage mezzanine. We will need a signed statement of design covering this phase of construction (blank form enclosed).

We call your attention to Section 306-a-10 of the Building Code. Before such floors or part thereof are occupied, and before a certificate of occupancy for a building or part thereof containing such floors is issued, permanent signs shall be posted, clearly legible from all parts of the floor areas involved, indicating the safe live load per square foot for which the floor is constructed.

Very truly yours,

Archie L. Seckins
Deputy Building Inspection Director

ALS:m

enc.

ALS:LTE

A.P.- 512-558 Warren Ave.

Jan. 6, 1965

Grosman Industrial Properties, Inc.
Braintree 84
Mass.

Gentlemen:

We are in receipt of your signed design certificate for the mezzanine. If your local representative would make this application, at the same time give an estimated cost for same, and pay the fee based on this cost we would be in a position to process your amendment, without which we will not be able to issue a certificate of occupancy for the building.

Very truly yours,

Archie L. Seckins
Deputy Building Inspection Director

ALS:m

These plans (sheets) and the specifications
accompanying the same, covering construction work on

have been designed and drawn up by the undersigned
according to the latest rules of engineering practice
and to comply with the allowable working stresses,
floor loads, etc. required by the Building Code of
the City of Portland.

(Signature)

David M. Berg
by: DAVID M. BERG

This statement is to be signed by the individual
responsible for the design, and he should indicate in
the blank provided the particular work to which the
statement applies)

Grossman Industrial Properties, Inc.

BRAINTREE 84, MASS.

TELEPHONE VICTOR 3-0100

AREA CODE 617

January 5, 1965

Mr. Archie L. Seekins, Dep. Bldg. Insp.
City of Portland
Maine.

Dear Sir:

Enclosed is the signed certificate by David Be g, Engineer that should have been with the sketches and computations for the storage mezzanine.

If possible we would appreciate it if you could send us the necessary application form to cover the construction of this mezzanine.

Thank you for your cooperation.

Yours truly,

GROSSMAN IND. PROP., INC.

E. P. Grossman

E. P. Grossman,
V. Pres.

EPG:tm
enc.

Grossman Industrial Properties, Inc.

BRAINTREE 84, MASS.

TELEPHONE VICTOR 5-0100

AREA CODE 617

December 23, 1964

Mr. Albert J. Sears, Dir.
Building Inspector
City Hall
Portland, Me.

Dear Mr. Sears:

Enclosed are computations and sketches of the proposed storage mezzanine for the Grossman Store on Warren Avenue.

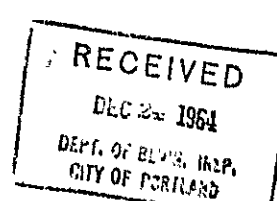
Very truly yours,

GROSSMAN IND. PROP. INC.

Irving Bobrick 7/11

Irving Bobrick

IB:tm
enc.



STORAGE MEZZANINE

LL = 150 #/ft

DL = 5 #/ft

E = 155 #/ft

MAX SPAN FOR JOISTS 5'-6"

$M = \frac{1}{8} \times .155 \times 1.33 \times 5.5^2 = 7.8 \text{ K-ft}$ 1/16" w/dth

$f = \frac{7.8 \times 12}{8.57} = 1090 \text{ psi} < 1600 \text{ OK}$

$v = \frac{3}{2} \times \frac{.155 \times 1.33 \times 2}{9.14} = 6.8 \text{ psi} < 10.5 \text{ OK}$

Beam

2x8 spanning 5'-6" continuous @ supports
TR.B. W/DTH 2'-9"

$M = \frac{1}{10} \times .155 \times 2.75 \times 5.5^2 = 12.9 \text{ K-ft}$

$f = \frac{12.9 \times 12}{15.3} = 1010 \text{ psi} < 1600 \text{ OK}$

$v = \frac{3}{2} \times \frac{.155 \times 2.75 \times 2}{12.2} = 1.4 \text{ psi} < 10.5 \text{ OK}$

Col

Tr.B. Area 42 #

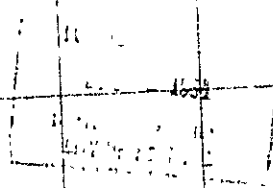
Load = 42 x .155 = 6.5 #

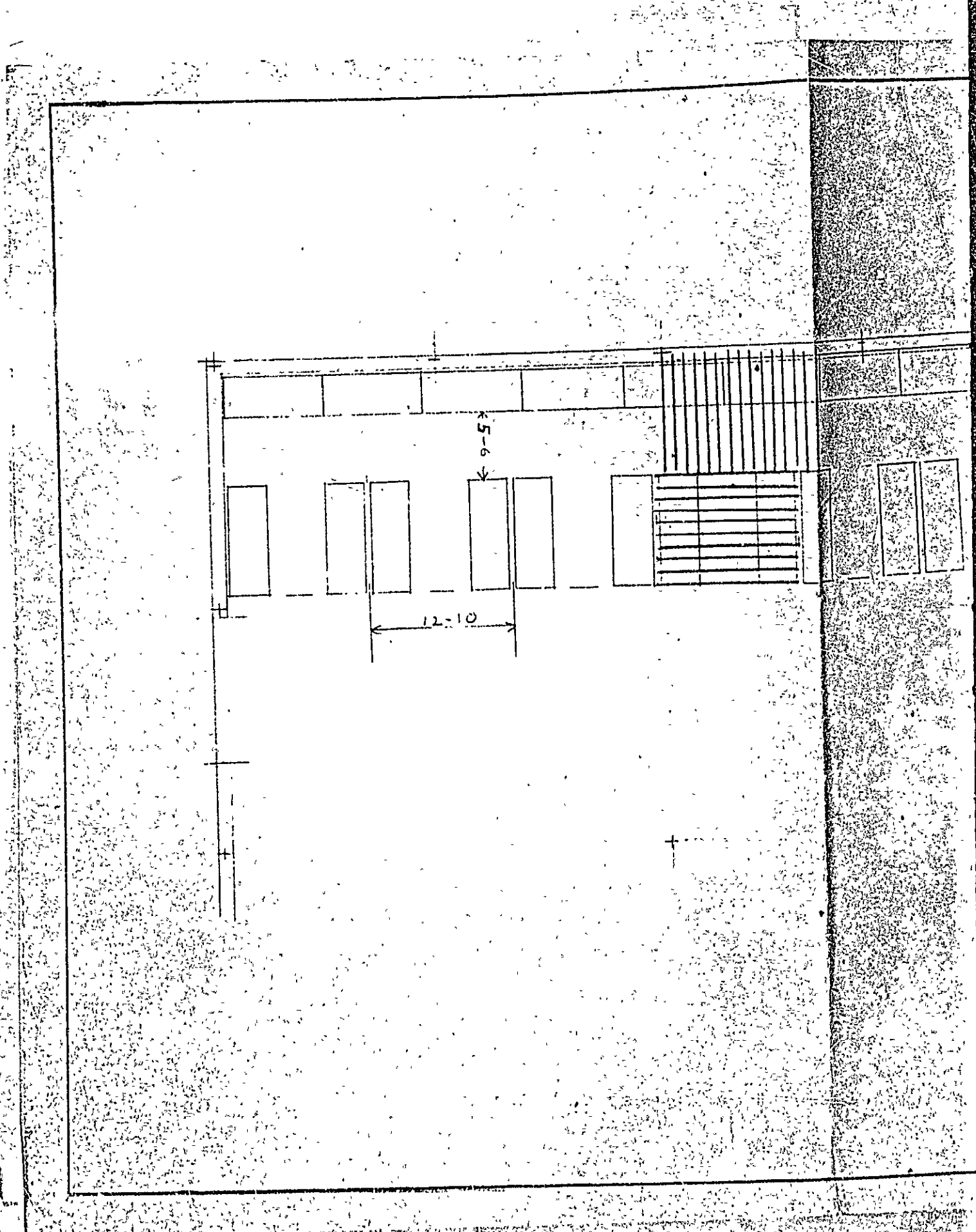
3" x 4.1 d = 1.19" $r_{yy} = .41$ $r_{zz} = 1.17$

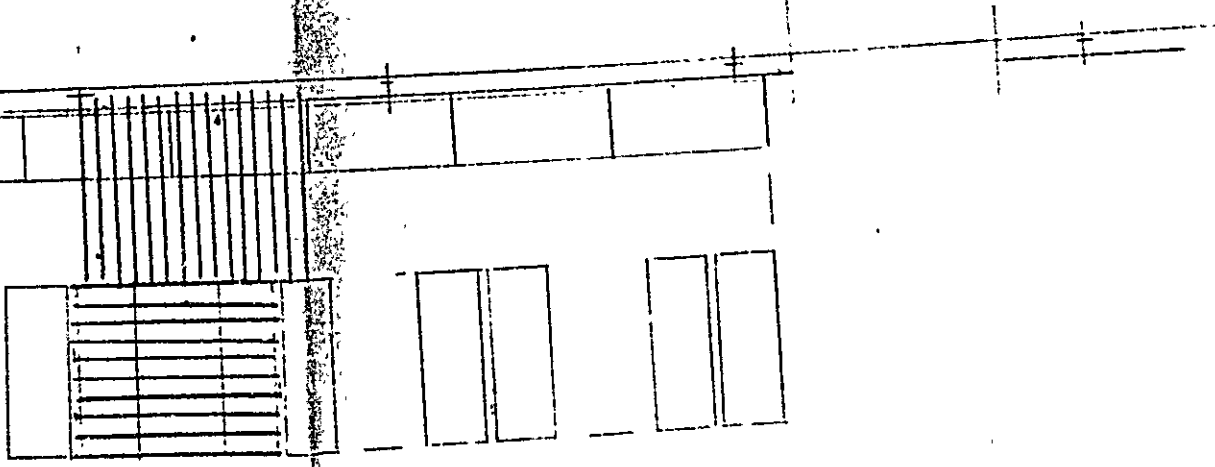
unbraced length = 48"


$L/r = 48 / .41 < 120$

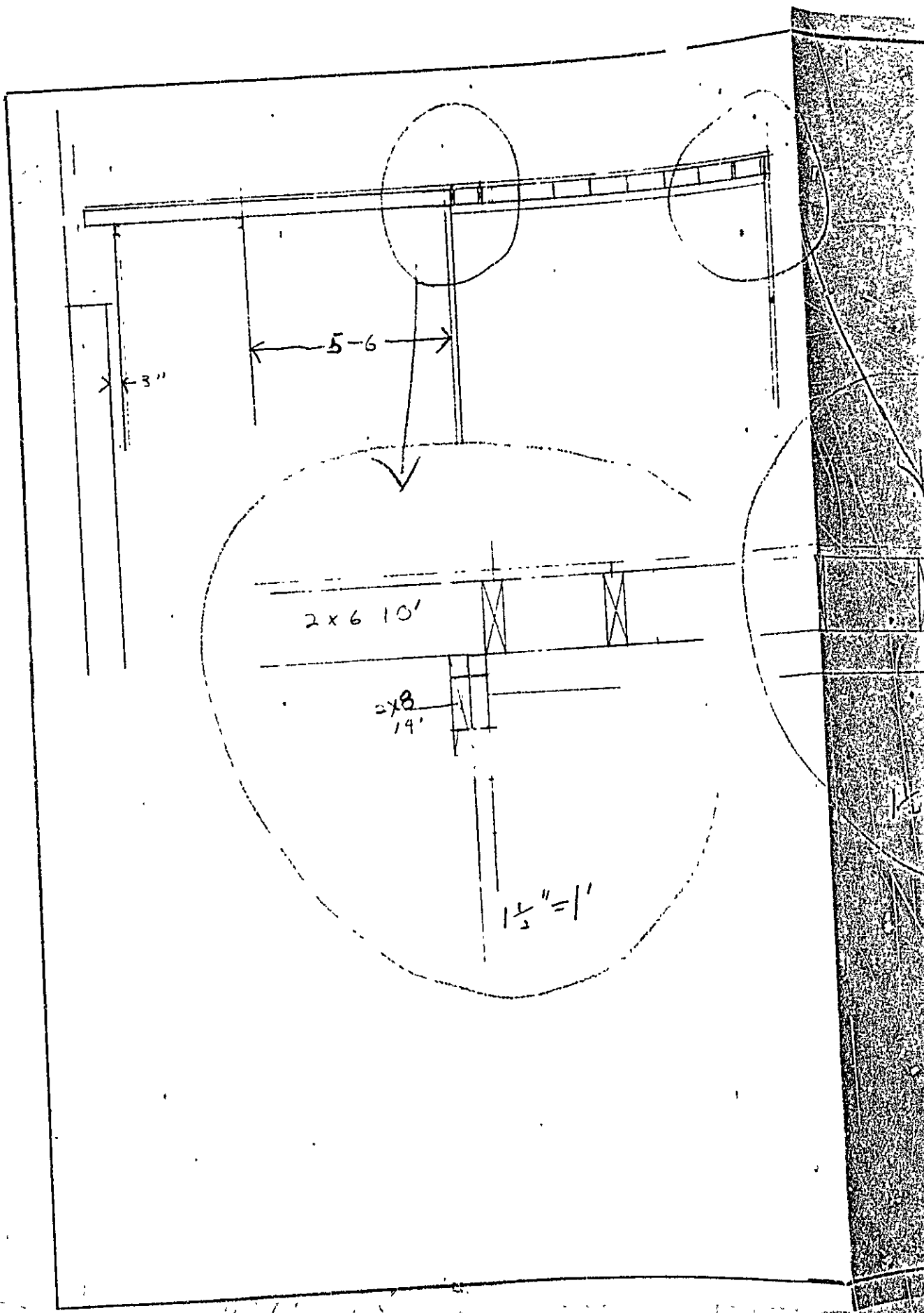
$f = \frac{6.5}{1.19} < 10 \text{ ksi OK} \text{ --- OK}$

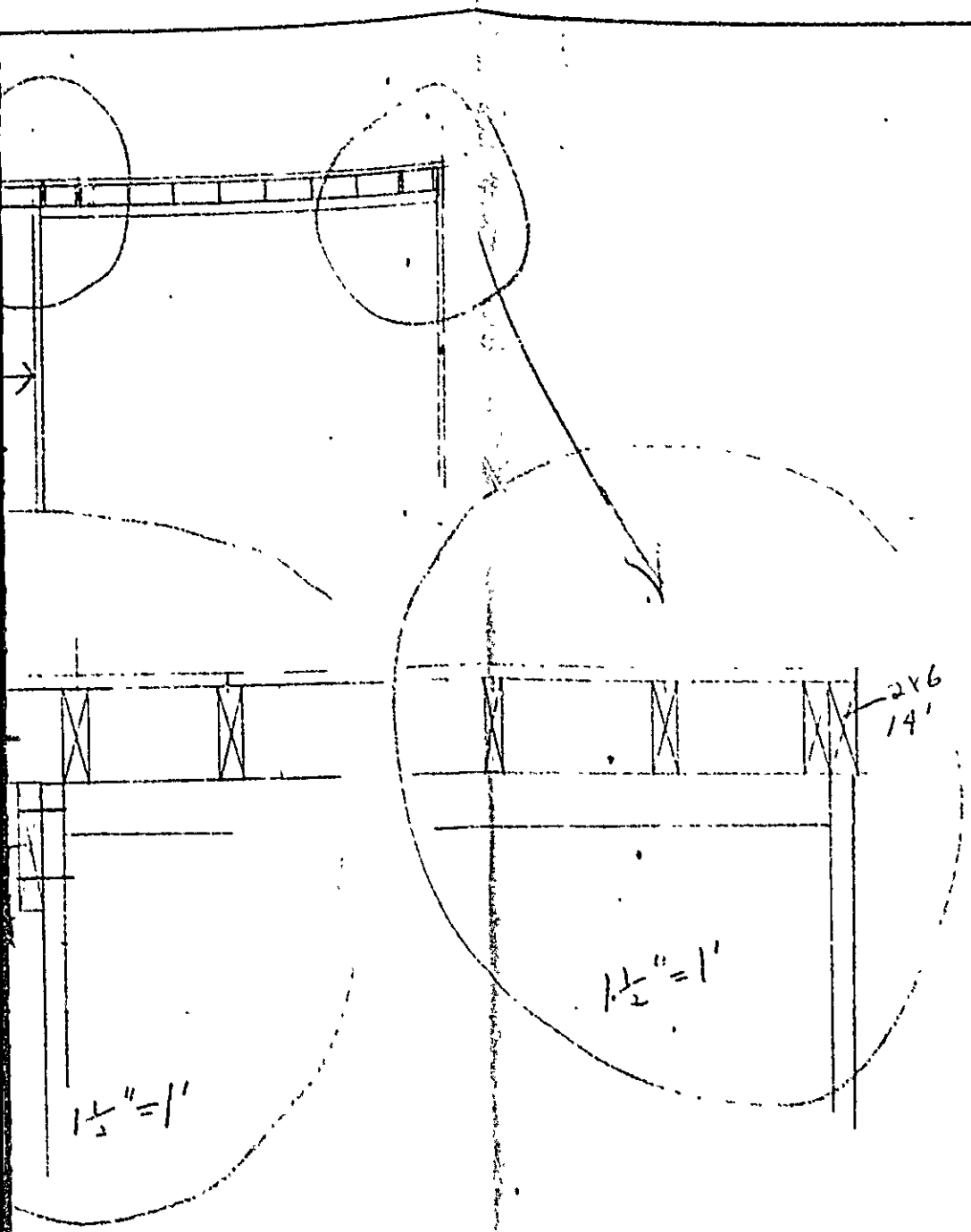







 GROSSMAN INDUSTRIAL PROPERTIES INC. BRAINTREE 84, MASS.	DATE 12-23-61
	REVISED
PORTLAND, MAINE	
PROPOSED STORAGE MEZZANINE	
SCALE 1/8" = 1'0"	DRAWN BY JB
CHECKED D.B.	JOB NO.
SHEET NO. 1 OF 2	





RECEIVED
 DEC 15 1964
 DEPT. OF PUBLIC WORKS
 CITY OF PORTLAND, MAINE

	GROSSMAN INDUSTRIAL PROPERTIES INC.			DATE
	BRAINTREE 84, MASS. VI8-0100			12-13-64
PORTLAND, MAINE				REVISED
PROPOSED STORAGE MEZZANINE				
SCALE	DRAWN BY	CHECKED	JOB NO.	SHEET NO.
3/8" = 1'-0"	JB	D.B.		2 of 2

*Please
put with
file copy OSI*

XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX

Acting XXXX

November 9, 1964

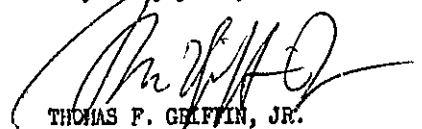
Grossman Industrial Properties, Inc.
Braintree 84, Massachusetts

Gentlemen:

On November 2nd, 1964, by Order #516, the City Council of the City of Portland, Maine, waived the requirements for construction of curb and sidewalk adjacent to your property on Warren Avenue in the City of Portland. This formal action will confirm the information I previously had passed on to you.

The Council did, however, reserve to itself, the right to require you to install curb and sidewalks at some date in the future when and if it should determine these improvements are necessary.

Very truly yours,


THOMAS F. GRIFFIN, JR.
Acting Director of Public Works

TFG:hb

cc: Mr. Sears, Building Inspection Director ✓

RECEIVED
NOV 17 1964
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Keep with file copy

512-558
AP - 512-512 Warren Avenue

September 17, 1964

Foley-Abrams
45 Bartlett Crescent
Brookline 45, Mass.

Grossman Industrial Properties, Inc.
Braintree 24, Mass.

Gentlemen:

cc to: Sumner Echlin
271 Huntington Ave.
Boston, Mass.
cc to: ~~Mr. Arthur D. O'Brien~~
c/o Kaitos Tourist Home
Main Street
Westbrook, Maine

Check of plans for superstructure of office and warehouse at above named location in this City has been delayed because of changes in construction from that shown on plans filed and because of uncertainty as to construction of outside walls. As of this writing we understand that structural steel frame in walls and roof is to be used as indicated but that wall construction between steel columns is to consist of 8 inch concrete blocks to a height of 6 feet above the floor surmounted by wood frame walls with a band of plastic at the top. This type of construction is acceptable if building is to be equipped with an automatic sprinkler system, as we understand is to be the case, but use of any part of the building for storage of motor vehicles overnight or driving of motor vehicles into the building except for loading and unloading operations will not be allowable.

While preliminary sketches for this type of construction have been furnished, there are a number of questions as to its adequacy which arise. Assurance is needed that the reinforced concrete bond beam to be provided at the top of the concrete block wall is to be of such design as to act as a beam between columns adequate to support required wind loading for the wall. Question also arises as to how adequate construction of such a nature is to be provided where door and other openings extend above the top of the concrete wall. What is length of and height of plastic panels at top of wall to be?

A spot check of steel roof framing indicates according to our figures that it is not adequate to meet the required live load design of 40 pounds per square foot. If it has been designed on this basis, detailed computations supporting such a design need to be submitted. Information is also needed as to the make and gauge of metal roof deck to be used. The use of the H-section steel joists in roof construction can be approved only if evidence is furnished in the form of witnessed or certified test reports that steel actually used in fabrication of the joists meets or exceeds the design yield point.

While a door has been shown on plans in end wall toward street to act as a required second means of egress from the proposed sales area, the extent of the area to be so used is not known at this time so that the adequacy of its location cannot be determined. Because of the problems involved in cutting in a door in the six-foot high masonry wall after it is erected, more definite information as to extent of sales area is needed.

Because of all these uncertainties, no permit authorizing work on the build-

Steel
Frame
1/2-22
Jungle

- 2 -

ing above the foundation can be issued until there is on file in this office information adequate to show all details of the proposed construction in compliance with Building Code requirements.

Very truly yours,

Albert J. Sears
Director of Building Inspection

AJS/t

THE THOMPSON & LIGHTNER CO., INC.
Engineers

8 ALTON PLACE, BROOKLINE 46, MASS.



Telephone 232 2105
Area Code 617

July 27, 1964

City of Portland
Building Department
Portland, Maine

Re: Grossman Industrial Properties, Inc.
Warren Avenue
Portland, Maine

Gentlemen:

Reference is made to the attached report made by Carr-Dee Test Boring and Construction Corp. dated June 16, 1964.

We have carefully reviewed the boring logs and examined the soils samples submitted with the above-mentioned report and have made the following recommendations to the owner:

- a. That all loamy sand and gravel be removed and replaced with compacted gravel over the medium yellow clay;
- b. That the floor level be kept as high as possible - elevation 70 to 71 - with the exterior footings at elevation 65 to 66;
- c. That the allowable bearing value for this material with the underlying soft blue clay must not exceed one ton per square foot;
- d. That if the area is to be heated, the interior footings can be placed on compacted gravel of a minimum 12-inch thickness with the allowable bearing value on this gravel equal to one ton per square foot;
- e. That due to the water table, the footings should not be placed directly on the medium yellow clay but should be placed on a minimum 12-inch thickness of compacted gravel; and
- f. That water must be directed to sumps and the area kept free of water during placement of the gravel.

Very truly yours,
THE THOMPSON & LIGHTNER CO., INC.


R.F. Battles

RFB/s
Attachment
3CP
18
1G

SUMNER SCHEIN, B.S., C.E.
Architect and Engineer

271 HUNTINGTON AVENUE
BOSTON, MASSACHUSETTS 02115

COMMONWEALTH 6-4960

August 3, 1964

City of Portland, Maine
Department of Building Inspection
110 City Hall
Portland, Maine 04111

RE: GROSSMAN'S
PORTLAND, MAINE

Attention: Mr. Albert J. Sears

Gentlemen:

This is to advise as follows in regard to your letter of July 15, 1964 pertaining to the proposed Grossman Building on Warren Ave. at the Maine Turnpike:

- (1) Septic tank system will be used for sewage disposal. Plans have been drawn up and will be filed with City Health Department.
- (2) The building will be sprinklered.
- (3) Soil and foundation investigation has been made. Enclosed are borings by Carr-Dee Boring and Construction Corp. for The Thompson & Lichtner Co., Inc. Thompson & Lichtner Co., Inc. has in turn made recommendations on the bearing pressure and generally as pertains to the foundations. All of this information is enclosed, herewith.
- (4) Plans will call for proper compaction of sand and gravel base under foundation footings. It will be up to the Owners to see that the contractor meets all of the requirements set forth.
- (5) The Owners will comply with use requirements of an I-2 Industrial Zone.
- (6) The Owners will advise what materials they desire to store outside of the building.

SUMNER SCHEIN, B.S., C.E.

-2-

August 3, 1964

City of Portland, Maine
Department of Building Inspection
Att'n: Mr. Albert J. Sears

RE: GROSSMAN'S
PORTLAND, MAINE

- (7) Statement of design for the building structure has been signed and is enclosed.
- (8) Plans will be given to City Traffic Engineer showing driveways, curb cuts, etc. for their approval.
- (9) No motor vehicles will be parked or stored in the building except for loading and unloading purposes.
- (10) An additional means of egress from the Sales Area has been added to the plans.
- (11) Under the rating of Unprotected Noncombustible Construction, it is our understanding that combustible materials are limited in accordance with provisions 302-d of the Building Code.
- (12) Wherever plastic wall panels or size of such panels are in conflict with the B.O.C.A. Basic Building Code, the plastic will be reduced in area or eliminated and replaced with the metal wall system being used on the balance of the wall area.
- (13) Owners will file a plot plan to indicate all items as noted in your letter of July 15, 1964.

Very truly yours,


ARTHUR H. SCHEIN

AHS:ggm
Enclosures

cc: Mr. Everett Grossman
Poly-Abrams

A.P.- 512-558 Warren Ave.

July 15, 1964

Foley-Abrams
45 Brettlett Crescent
Brookline 46, Mass.
Summer Schwin
271 Huntington Avenue, Boston, 15, Mass.

cc to: Grosman's Industrial Properties, Inc.
Framtree St., Mass.
cc to: City Traffic Engineer

Gentlemen:

Cursory check of plans filed with application for permit for construction of a one story metal building 80 feet by 200 feet for lumber sales and storage at the above named location in this City discloses that additional information concerning the project is needed before even an advance permit for excavation and construction of foundation can be issued. Details in question are as follows:

1. Are sewage disposal facilities to be connected to the public sewer or is a septic tank system to be used? If the latter type of system is to be used, approval will need to be secured from the City Health Department before any permit can be issued. In such a case you should consult that department as to what requirements may be and whether approval can be given. *Septic Tank*
2. Since the area of the building is in excess of that permitted for an unsprinklered building of Unprotected Noncombustible Construction, it will need to be equipped with an automatic sprinkler system. Is the installation of such a system planned? *To be sprinklered*
3. It is noted that foundation footings have been designed for a load of 2000 pounds per square foot. Has any investigation of the soil been made to indicate that its bearing qualities are such as to support such a load safely? In view of general information as to soil conditions in this area, there appears to be considerable question as to whether conditions are such as to justify the use of such a large design figure. While it is realized that the superstructure is to be of metal rather than masonry, even with this type of construction excessive or uneven settlement can only result in undesirable conditions. *Changed
see allow
ation filed*
4. What provision is to be made for obtaining adequate compaction of the sand and gravel base indicated for support of foundation footings? *After
Plan
action
required*
5. We have no specific knowledge as to all of the operations to be carried on in connection with the proposed business. The property is located in an I-2 Industrial Zone where it appears that the proposed use, as far as information furnished is concerned, will be allowable. However, any operations conducted on the premises will need to meet requirements of the performance standards set up by the Zoning Ordinance for this type of zone. *will comply*

July 15, 1964

- 6. Is there to be storage on the premises outside of the building? Because of yard space requirements in this zone, such storage may not be located closer than 25 feet to the front lot (street) line nor closer than 20 feet (height of building) to rear and side lot lines. If there is to be outside storage, what type of materials is to be stored?
- 7. A statement of design (blank copy enclosed to architect) is needed for affixing to the plans. OK

While not pertinent to information needed before issuance of an advance permit for excavation and construction of foundation only, the following requirements and details are called to your attention:

- 1. Approval will need to be secured from the City Traffic Engineer, whose office is in the quarters of the Public Works Department in City Hall, of the location, width and arrangement of any and all driveways to the property from Warren Avenue. He should also be consulted as to the application of requirements of the City Sidewalk Ordinance to the situation. Plan at Public Works

- 2. Are any motor vehicles to be parked or stored in the building except for loading and unloading purposes? If so, fire separations may be required between such areas and the rest of the building. No auto storage

- 3. If retail sales space is to be large enough to accommodate more than 20 people at any one time, two well separated means of egress therefrom will be required. A and means added

- 4. Since the building must be rated as Unprotected Noncombustible Construction, the use of combustible materials for partitions, ceilings, wall coverings, etc. is strictly limited in accordance with the provisions of Section 702-d of the Building Code. No wood

Will be excused by metal panels

- 5. It is noted that a band of plastic panels is proposed at the top of the walls around the entire building. The use of such material is limited in accordance with the provisions of Sec. 2004 of the F.O.C.A. Basic Building Code. It is therefore likely that a continuous band around the building will not be permissible and that segregation of the plastic areas as provided in this section will be necessary. No plastic

Very truly yours,

Albert J. Sears
Building Inspection Director

ASJ:in

1. Lot plan filled with permit application does not indicate distances from building to street and lot lines in figures. By scaling distances we find that setback from street line is about 100 feet, and from front corner to side lot line is about 40 feet. Is this correct? Before issuance of the general construction permit, we shall need to have a more detailed plot plan showing clearly paved and storage areas, including location and size of proposed off-street parking space, drainage of lot, etc.

A.P. - 512-518 Warren Ave.

Sept. 23, 1964

Foley-Abrams
45 Bartlett Crescent, Brookline 45, Mass.
Grossman Industrial Properties, Inc.
Braintree 64, Mass.

cc to: Sumner Schain, 271 Huntington Ave.
Boston, Mass.
cc to: Arthur D'Alelio, & Heateo Tourist Home
Westbrock, Mass

Gentlemen:

Building permit for construction of a one story office and warehouse building at the above named location in this City is issued herewith based on plans filed with application for permit but subject to the following conditions:

1. The entire building is to be equipped with an automatic sprinkler system. OK
2. Storage of materials in the open air outside the building is not to be located closer than 25 feet to the street line nor closer than the height of the building to side and rear lot lines.
3. Motor vehicles are not to be stored in the building and, if driven into it, are to remain only for such periods as are necessary for loading and unloading purposes.
4. The location of emergency exit door in and wall toward the street is not satisfactory to meet Building Code requirements. A satisfactory location would be in the rear wall of that part of the building to be used for sales area. Approval is to be secured from this office of location before door is installed.
5. Entrance doors to sales area and the rear exit door therefrom are required to be equipped with vestibule latch sets so installed that the doors may always be opened from the inside without the use of a key (even though locked against entrance from the outside) merely by turning a knob or pressure on a thumb lever.
6. Exit signs adequate in number and location to show route to follow to reach the rear exit door are to be provided.
7. Toilet rooms are required to be vented by windows in the outside wall or by gravity or mechanical ventilation of a type approved by the City Plumbing Inspector.
8. Design of steel roof framing, particularly the steel joints, is such as to just barely meet Building Code requirements. This means that reinforcement may be needed if any additional loads such as caused by the erection of roof signs, heating or ventilating equipment, crane beams, etc. are ever to be placed upon it.

A.P. - 512-518 Warren Ave.

Sept. 23, 1964

Foley-Abrams
45 Bartlett Crescent, Brookline 45, Mass.
Grossman Industrial Properties, Inc.
Braintree 84, Mass.

cc to: Sumner Schein, 271 Huntington Ave.
Boston, Mass.

cc to: Arthur D'Alleio, 3 Heaton Tourist Home
Westbrook, Maine

Gentlemen:

Building permit for construction of a one story office and warehouse building at the above named location in this City is issued herewith based on plans filed with application for permit but subject to the following conditions:

1. The entire building is to be equipped with an automatic sprinkler system. OK
2. Storage of materials in the open air outside the building is not to be located closer than 25 feet to the street line nor closer than the height of the building to side and rear lot lines.
3. Motor vehicles are not to be stored in the building and, if driven into it, are to remain only for such periods as are necessary for loading and unloading purposes.
4. The location of emergency exit door in end wall toward the street is not satisfactory to meet Building Code requirements. A satisfactory location would be in the rear wall of that part of the building to be used for sales area. Approval is to be secured from this office of location before door is installed.
5. Entrance doors to sales area and the rear exit door therefrom are required to be equipped with vestibule latch sets so installed that the doors may always be opened from the inside without the use of a key (even though locked against entrance from the outside) merely by turning a knob or pressure on a thumb lever.
6. Exit signs adequate in number and location to show route to follow to reach the rear exit door are to be provided.
7. Toilet rooms are required to be vented by windows in the outside wall or by gravity or mechanical ventilation of a type approved by the City Plumbing Inspector.
8. Design of steel roof framing, particularly the steel joints, is such as to just barely meet Building Code requirements. This means that reinforcement may be needed if any additional loads such as caused by the erection of roof signs, heating or ventilating equipment, crane beams, etc. are ever to be placed upon it.

Corrulus

8 oz's per sq ft.

2 oz reinforcement

U.S. label

less than 25

.06 in thick

O.K. to use

~~definitely less than 25~~ distance

Sept. 23, 1964

- 9. Before steel joists are erected, it is necessary that there be on file at this office blanket certification by the manufacturer in writing that all welding has been designed and all shop welding has been performed according to the procedure and by properly qualified welders as set forth in the code and qualification procedure established by the American Welding Society; and in addition that there be furnished evidence in the form of witnessed or certified test reports that the steel actually used in fabrication of the joists tests or exceeds the design yield point.
- 10. If wood studs in outside walls are to exceed ten feet in height, adequate cross bracing is to be provided.
- 11. Separate permits issuable only to the actual installer are required for installation of the automatic sprinkler system and any heating equipment or systems of mechanical ventilation.
- 12. Plastic used for wall panels is required to be of approved *Corrugated 8 3/4" g.l. label or thick "OK"* reinforced thermosetting material of such thickness and so supported as to provide construction capable of meeting wind load requirements of the Building Code. *ATS*
- 13. A certificate of occupancy is required from this department before the building may be lawfully put into use.

*Received
10-6-64
MJC*

Very truly yours,

Albert J. Sears
Building Inspection Director

JJS:m

Grossman Industrial Properties, Inc.

BRAINTREE 84, MASS.

TELEPHONE VICTOR 8-0100

AREA CODE 617

September 10, 1964

Mr. Thomas W. Griffin, Jr.
Acting Director of Public Works
City of Portland
Department of Public Works
404 City Hall
Portland, Maine 04111

Dear Mr. Griffin:

Enclosed is a print showing our proposed entrance to our lot on Warren Avenue as discussed on the site earlier this week with Mr. Everett Grossman.

We find the approximate center of the driveway to be 265' east of the building line.

Thank you very much for your cooperation in this matter.

Very truly yours,

GROSSMAN INDUSTRIAL PROPERTIES, INC.

Irving Bobrick
Irving Bobrick

Enc.
IB:sh

9/17/64

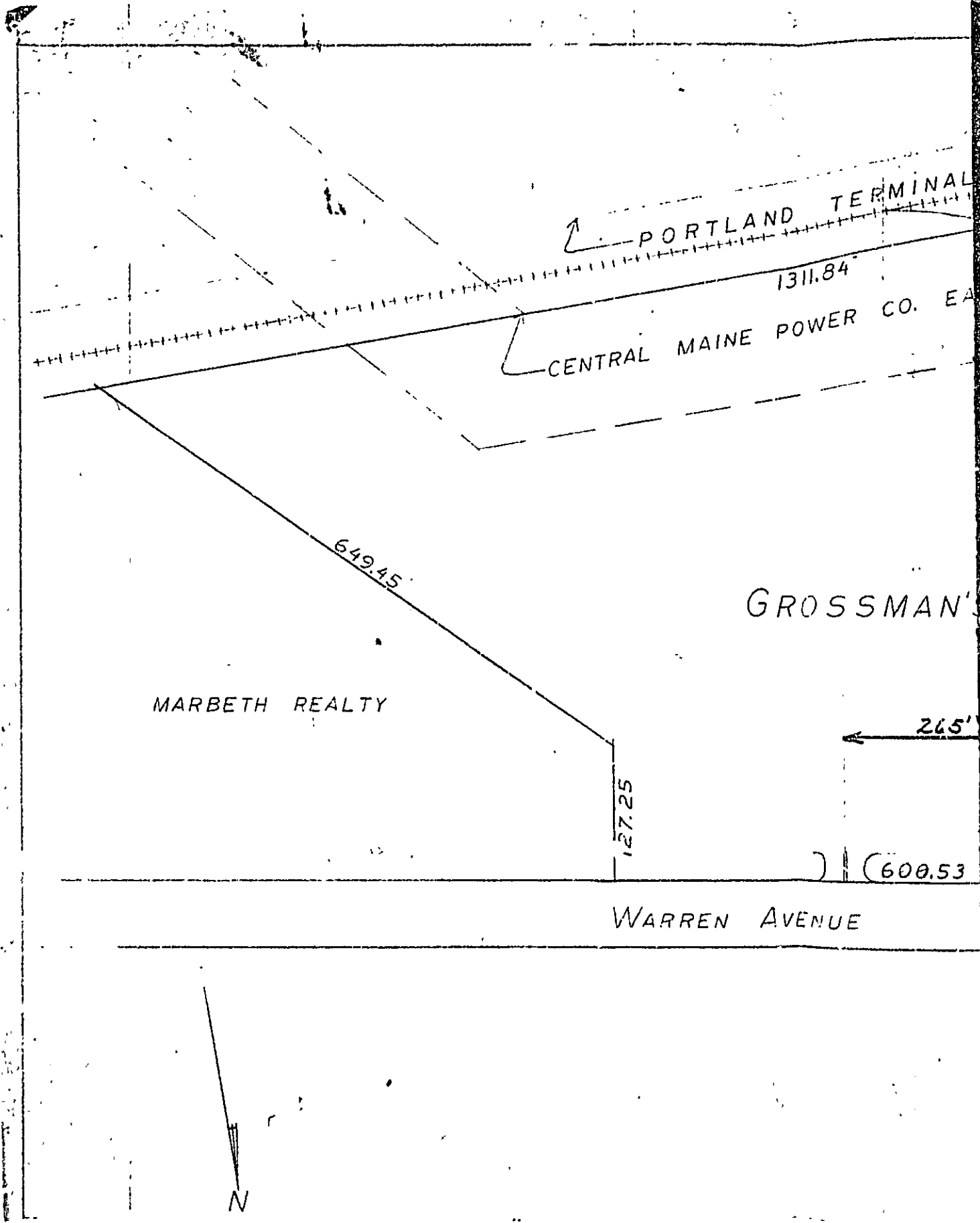
At Sears:-

This is OK (from Public Works point of view, only, of course!)

(from Public Works point of view,

Jeff

Acty Dir Pub. Wks.



PORTLAND TERMINAL

CENTRAL MAINE POWER CO. EA
1311.84

MARBETH REALTY

GROSSMAN

WARREN AVENUE

N

265'

600.53

127.25

649.45

PORTLAND TERMINAL CO.

1311.84'

CENTRAL MAINE POWER CO. EASEMENT

178.75'

GROSSMAN'S

80 x 200

265' ±

783.65'

MAINE TURNPIKE

127.25'

600.53'

WARREN AVENUE



GROSSMAN INDUSTRIAL PROPERTIES INC.
BRAintree 84, MASS. V18-0100

DATE
18 MAY
1964
REVISED
12 MAY
1969

PORTLAND, MAINE

SCALE	DRAWN BY	CHECKED	JOB NO.	SHEET NO.
1"=100'	EPG			

512-558 Warren Ave.

Dec. 24, 1964

Mr. Everett Grossman
200 Union Street
Braintree, Mass.

cc to: Mr. Sam Kaufman
L. Grossman & Sons
200 Union St., Braintree, Mass.

Dear Mr. Grossman:

Following further study of Building Code and Zoning requirements for the erection of a detached sign about 8 feet high and 24 feet long with the top about 30 feet above the ground and four detached signs about 4 feet high and 8 feet long with tops about 6 feet above the ground, permit is being issued in accordance with your recent appeal and the following:

1. We understand that the detached sign is to be built as per your plans with the exception that the 2x4 inch horizontal stiffeners are to be added halfway between the two sets of stiffeners shown and that the sign faces are to be of metal. This sign is to be externally illuminated by gooseneck fixtures with wire being placed in conduit.

2. No part of the four 4x8-foot detached signs are to be located within the Warren Avenue right-of-way.

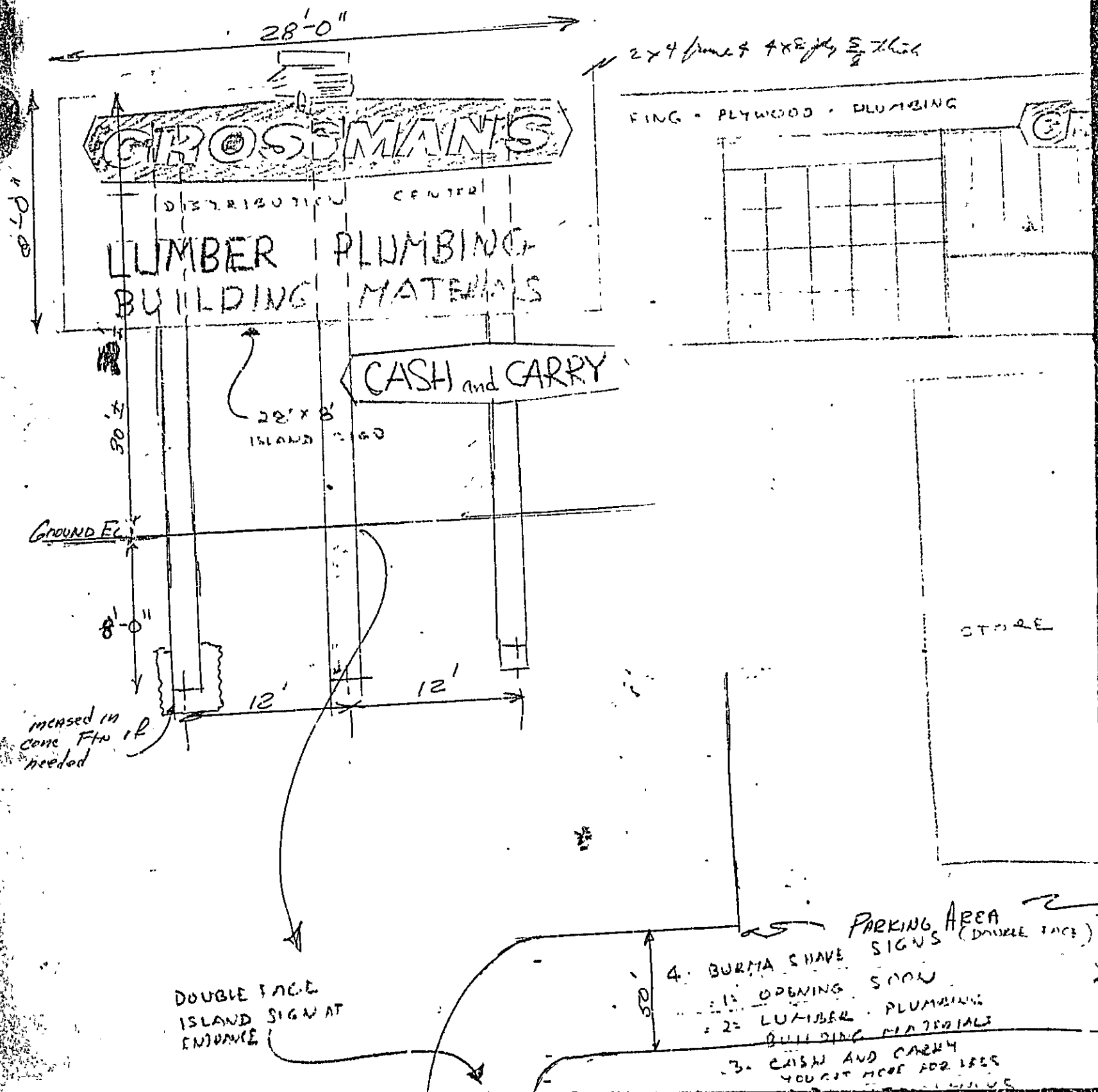
Very truly yours,

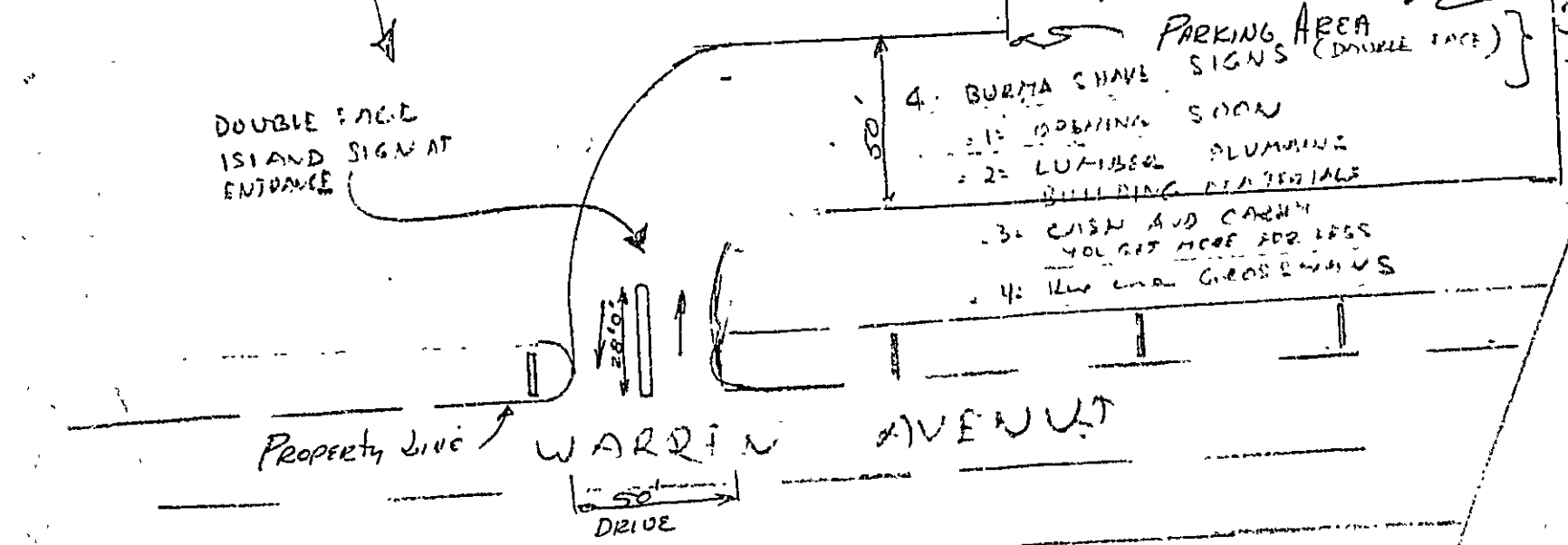
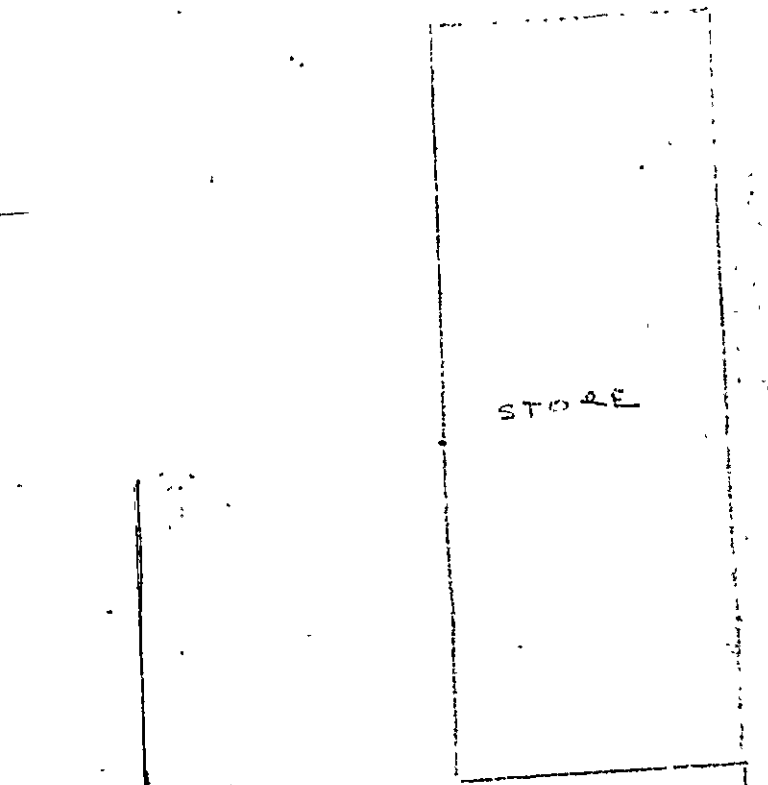
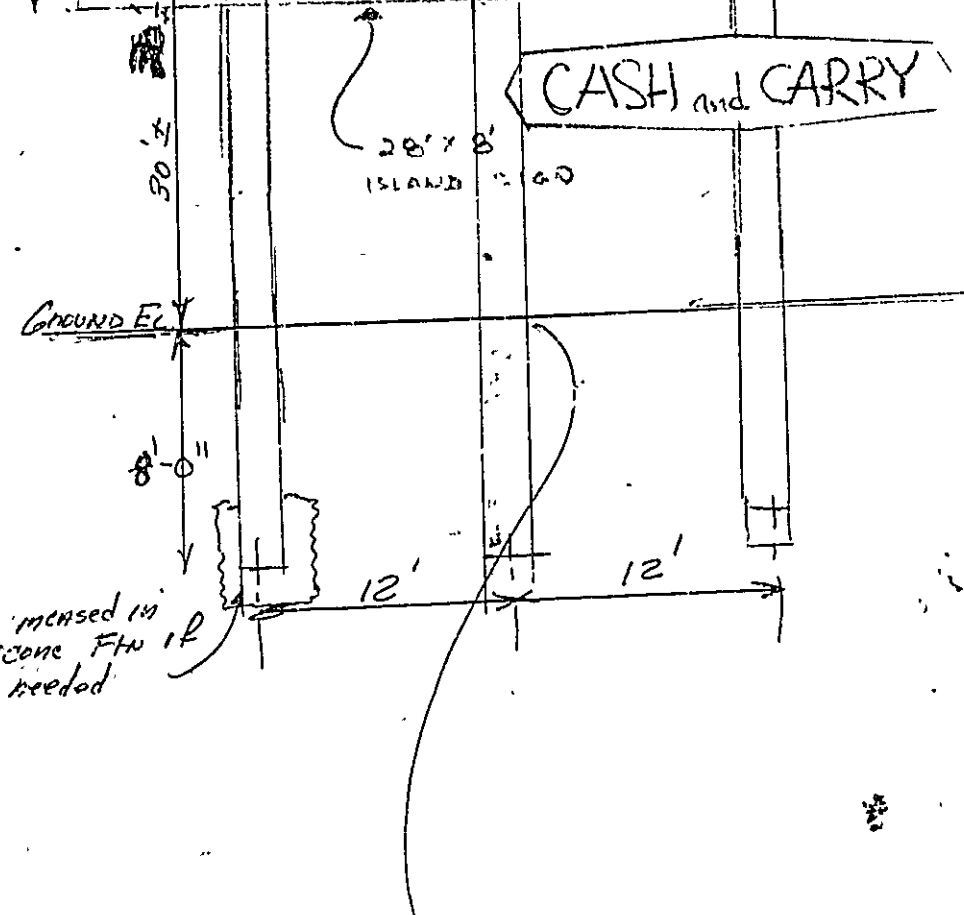
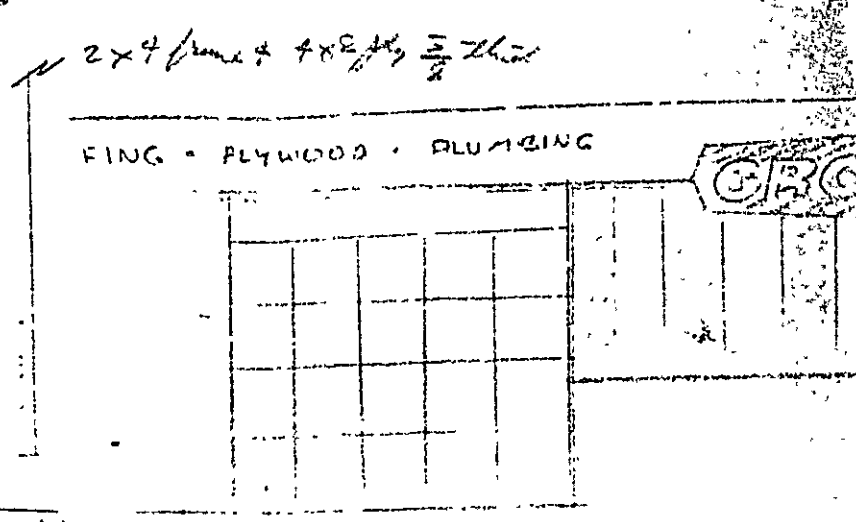
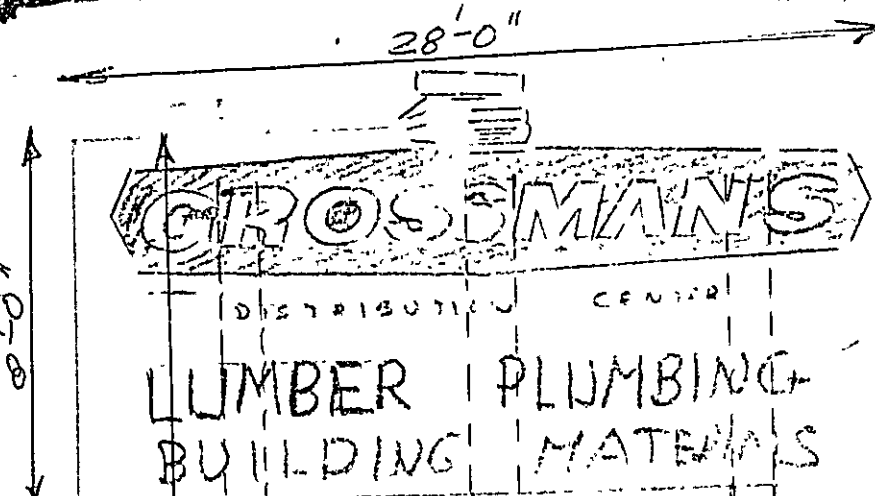
Gerald E. Mapberry
Deputy Building Inspection Director

GEM:m

GROSSMAN'S

LUMBER · BUILDING MATERIALS · PLUMBING





measured in cone ftw if needed

DOUBLE FACE ISLAND SIGN AT ENTRANCE

PARKING AREA SIGNS (DOUBLE FACE)

- 4. BURMA SHAVE SIGNS (DOUBLE FACE)
- 1. OPENING SOON
- 2. LUMBER PLUMBING BUILDING MATERIALS
- 3. CASH AND CARRY YOU GET MORE FOR LESS
- 4. THE NEW GROSSMANS

Property Line

WARDEN AVENUE

50' DRIVE