

508 WARREN AVENUE
GEORGIA PACIFIC



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 508 Warren Avenue

Date of Issue April 9, 1980

Issued to

Georgia Pacific

This is to certify that the building, premises, or part thereof, at the above location; built—altered—changed as to use under Building Permit No. 79/803, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

**Pre-Engineered Steel
Warehouse**

Entire

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

4-9-80
(Date)

Mary Schmitt
Inspector

W. W. White
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

STEEL-SPAN INC

Avon Industrial Park
Avon, Massachusetts 02322

Telephone
(617) 581-6600
(617) 848-1770

October 22, 1979

Dahlgren Construction Inc.
20 U. S. Route # 1
Yarmouth, ME 04095

Dear Sir:

This is to certify that your building, Georgia Pacific, has been designed to sustain a snow load of 50 pounds per square foot and a design wind load of 20 pounds per square foot plus 3 psf additional dead load applied in accordance with the following provisions, to meet all applicable loading combination of:

1. American Institute of Steel Construction, Specifications for the Design, Fabrication & Erection of Structural Steel for Buildings, February, 1969 as amended through 1978.
2. Metal Building Manufacturers Association, Recommended Design Practices Manual, 1974 Edition (with modified provisions for snow pile)
3. American Iron and Steel Institute, Specification for the Design of Cold-Formed Steel Structural Members, 1968 Edition.

Sincerely yours,

K. Dennison

K. Dennison, P.E.
Consulting Engineer



APPROVED

Walter W. Hilton



Dahlgren Construction, Inc.

20 U.S. ROUTE 1 - YARMOUTH, MAINE 04096 (207) 846-3505 - (207) 846-4181

November 5, 1979

City of Portland
Building Inspector
Portland, Maine

Re: Georgia-Pacific Building
508 Warren Avenue, Portland

Dear Sir:

Enclosed please find a copy of the Certificate of Design for the above mentioned project.

Per the Owner's request, we would appreciate your sending us a letter of verification that this building meets all local code requirements.

Thank you for your cooperation in this matter.

Very truly yours,

L. R. Dahlgren
L. R. Dahlgren

LRD/edg

Enclosure

*Cannot send
A letter stating this
meets BOCA Codes until
The job is complete.
W*

Applicant: *GEORGIA PACIFIC* Date: *8/23/79*
Address: *476 - 508 WARREN AVE.*
Assessors No.: *278-B-2*

CHECK LIST AGAINST ZONING ORDINANCE

- Date - *EXISTING*
- Zone Location - *I-2*
- Interior or-corner lot -
- 40-ft. setback area (Section-21). -
- Use - *100' X 200' STORAGE YARD.*
- Sewage Disposal
- Rear Yards -
- Side Yards -
- Front Yards - *25' - 25' MIN*
- Projections -
- Height -
- Lot Area - *203,255 sq ft*
- Building Area - *12,000 sq ft*
- Area per Family -
- Width of Lot -
- Lot Frontage
- Off-street Parking -
- Loading Bays -

- Site Plan -
- Shoreland Zoning -
- Flood Plains -



APPLICATION FOR PERMIT

PERMIT ISSUED
SEP 13 1979
CITY OF PORTLAND

B.O.C.A. USE GROUP 000803
B.O.C.A. TYPE OF CONSTRUCTION
ZONING LOCATION 2-2 PORTLAND, MAINE, Aug. 23, 1979

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 508 Warren Avenue Fire District #1 , #2
1. Owner's name and address Georgia Pacific - same Telephone 727-6564
2. Lessee's name and address Telephone
3. Contractor's name and address Dahlgren Constr. - 20 US Rts. #1 Telephone 04096
4. Architect Specifications Yarmouth Plans No. of sheets
Proposed use of building warehouse No. families
Roofing
Material No. stories Heat Style of roof
Other buildings on same lot Fee \$.. 111.00
Estimated contractual cost \$ 180,000

FIELD INSPECTOR—Mr.
This application is for:
Dwelling @ 775-5451
Garage Ext. 234
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

GENERAL DESCRIPTION
To construct pre engineered steel building to be used for warehouse, 100 x 120 as per plans, 6 sheets of plans.
Building A Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4
Owner:

DETAILS OF NEW WORK
Is any plumbing involved in this work? no Is any electrical work involved in this work? yes
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? 24 Form notice sent?
Height average grade to top of plate 12 ft. Height average grade to highest point of roof 28 ft.
Size, front 120 depth 100 No. stories 1 solid or filled land? piling earth or rock?
Material of foundation concrete Thickness, top 10 in bottom 10 in Sills
Kind of roof pitch Rise per foot 1 in Roof covering steel Kind of heat fuel
No. of chimneys Material of chimneys of lining Corner posts
Framing Lumber—Kind Dressed or full size? Size Max. on centers
Size Girder Columns under girders
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof height?

IF A GARAGE
No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant [Signature] Phone # same
Type Name of above Dahlgren Construction 1 2 3 4
Other
and Address

FIELD INSPECTOR'S COPY

Nelson Foundation

NOTES

10-5-79 Started measuring sheet - No
calls yet - No layout fixed up

10-18-79 Just had excavation dug - no bus
not ready to pour -

11-2-79 Power Anistori pads - Re-labeled
will be pouring wall location this
will check front lot line at that time

11-6-79 pour front pads - measured
front line 25' x 25' -

11-19-79 Started to pour wall 11-15-79

Question about retaining
wall that is up to the
front lot line (should be
no problem but will check
with office)

12-11-79 HAS ALL FOUNDATION
poured and back-filled

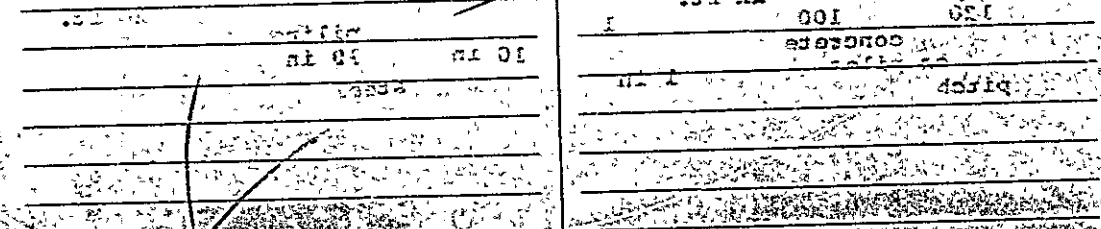
12-20-79 Staked nearby
steel

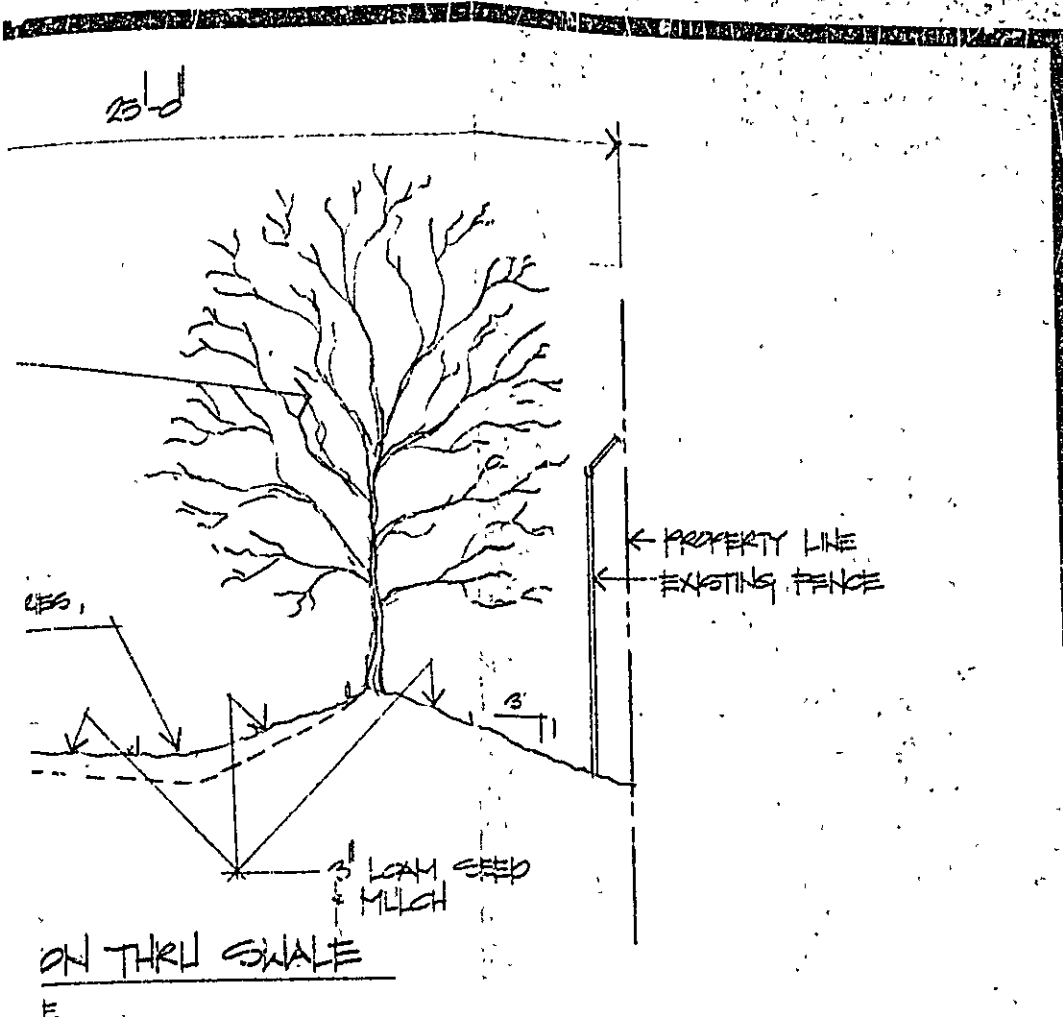
1-21-80 Roof is on E
are weak on S side

2-11-80 Completed

4-9-80 Contractor wants
C.O. on this to show completion
on his contract

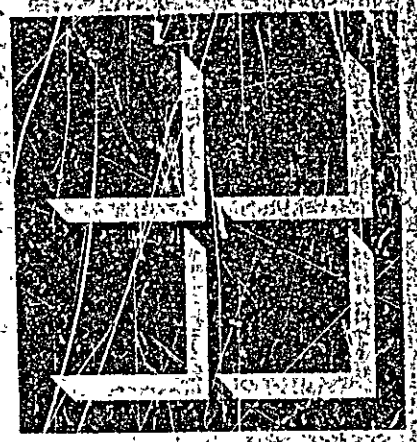
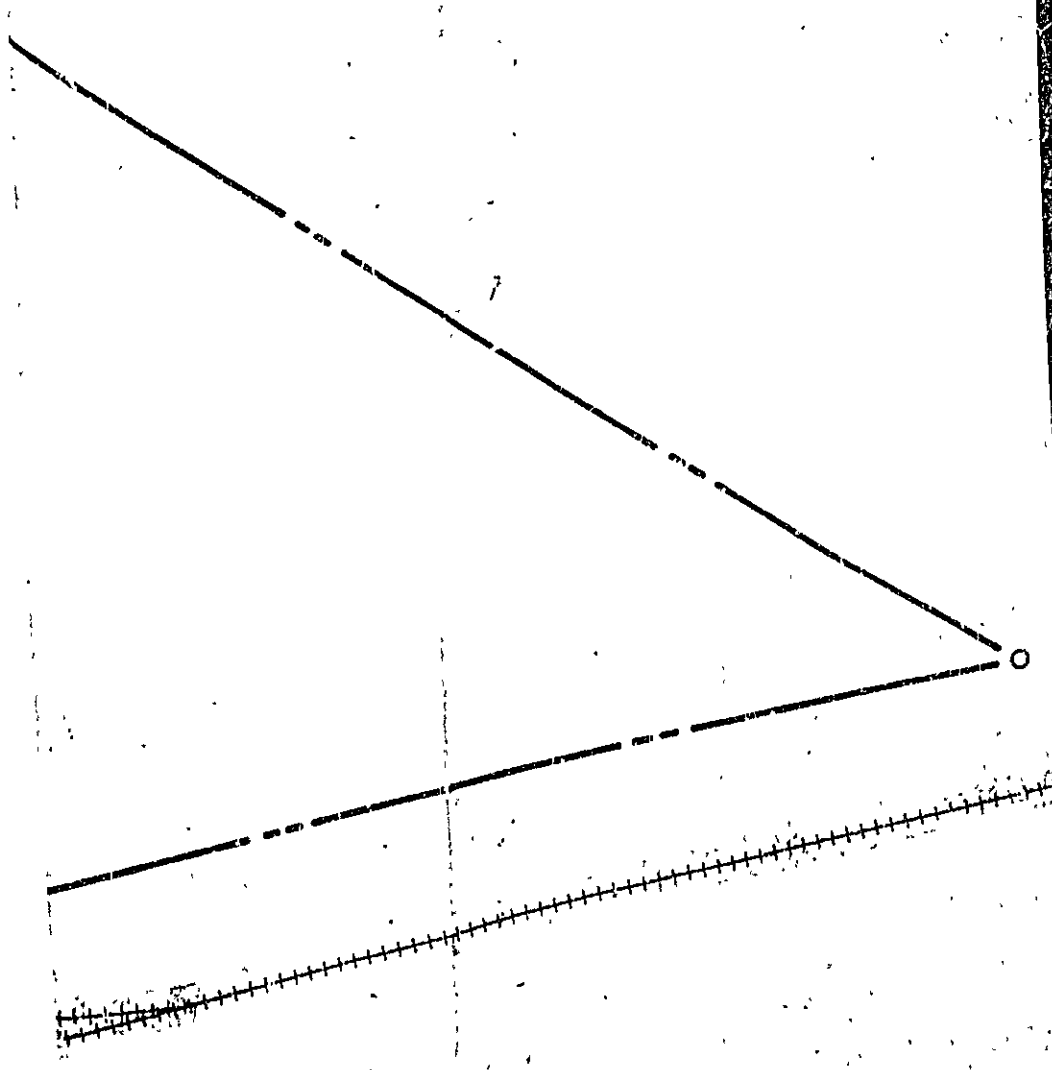
Permit No. 99/803
Location 508 N. Ambury Lane
Owner Margaret Pasquas
Date of permit 8-23-79
Approved 9-13-79
9100 x 120
Professional Engineer





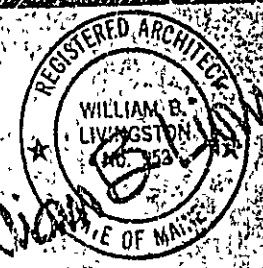
ON THRU SWALE

TO CONCRETE PAVING PER $\frac{2}{3}$ EXISTING BASE. REMOVE ANY YIELDING AREAS TAKING PAVING COURSES

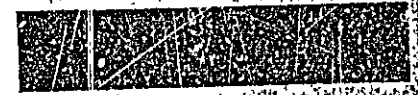


GOSSEN LIVINGSTON ASSOCIATES, P.A.

420 S. EMPORIA, WICHITA, KANSAS 67202 ARCHITECTS - PLANNERS - ENGINEERS (316) 265-9367



William Livingston



GEN. NOTE:

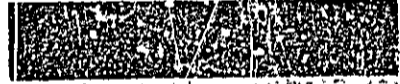
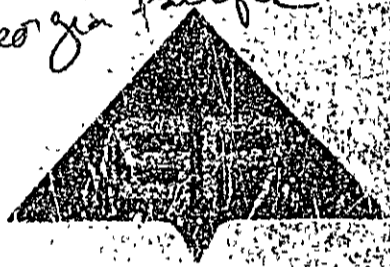
1. PATCH EXISTING ASPHALT AS REQUIRED

RECEIVED
AUG 23 1979
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

79/803
508 Western Ave
George Pacific

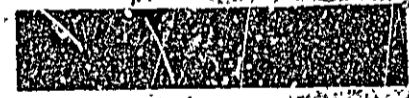
RECEIVED
 AUG 28 1979
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

79/803
 508 Western Ave.
 Georgia Pacific



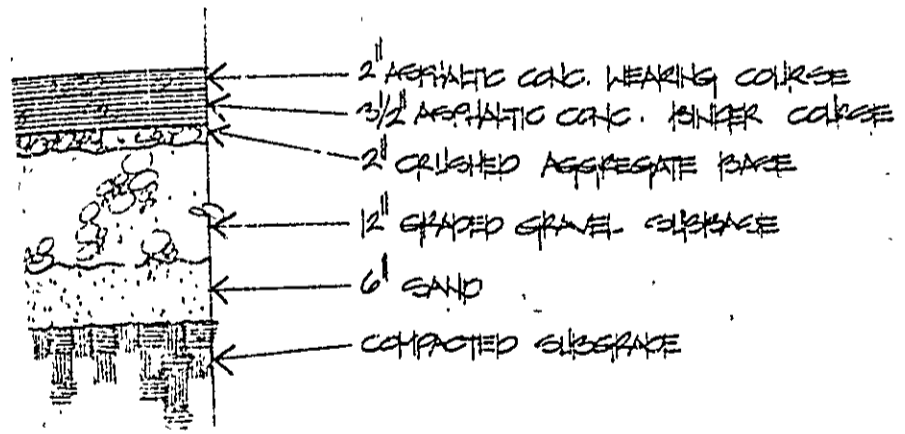
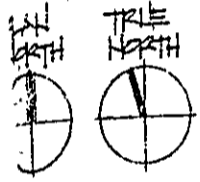
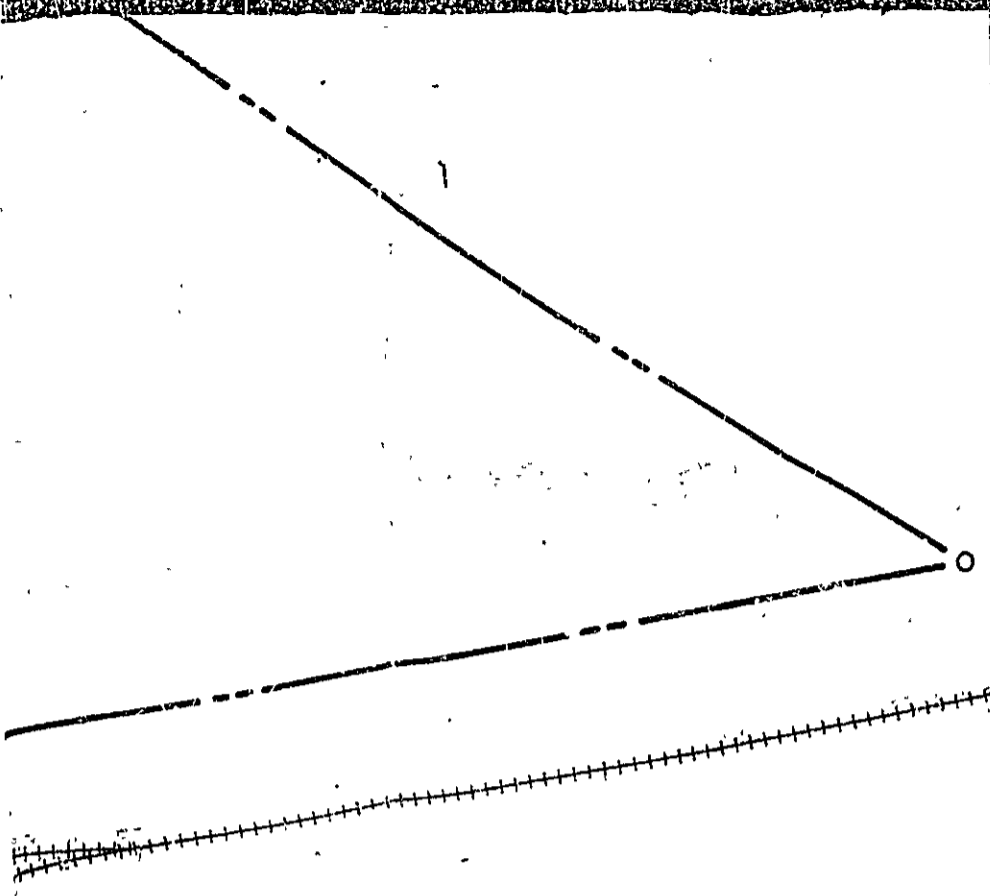
ADDITIONS TO
 DISTRIBUTION CENTER IN
 PORTLAND, MAINE

SITE PLAN &
 SITE GRADING PLAN

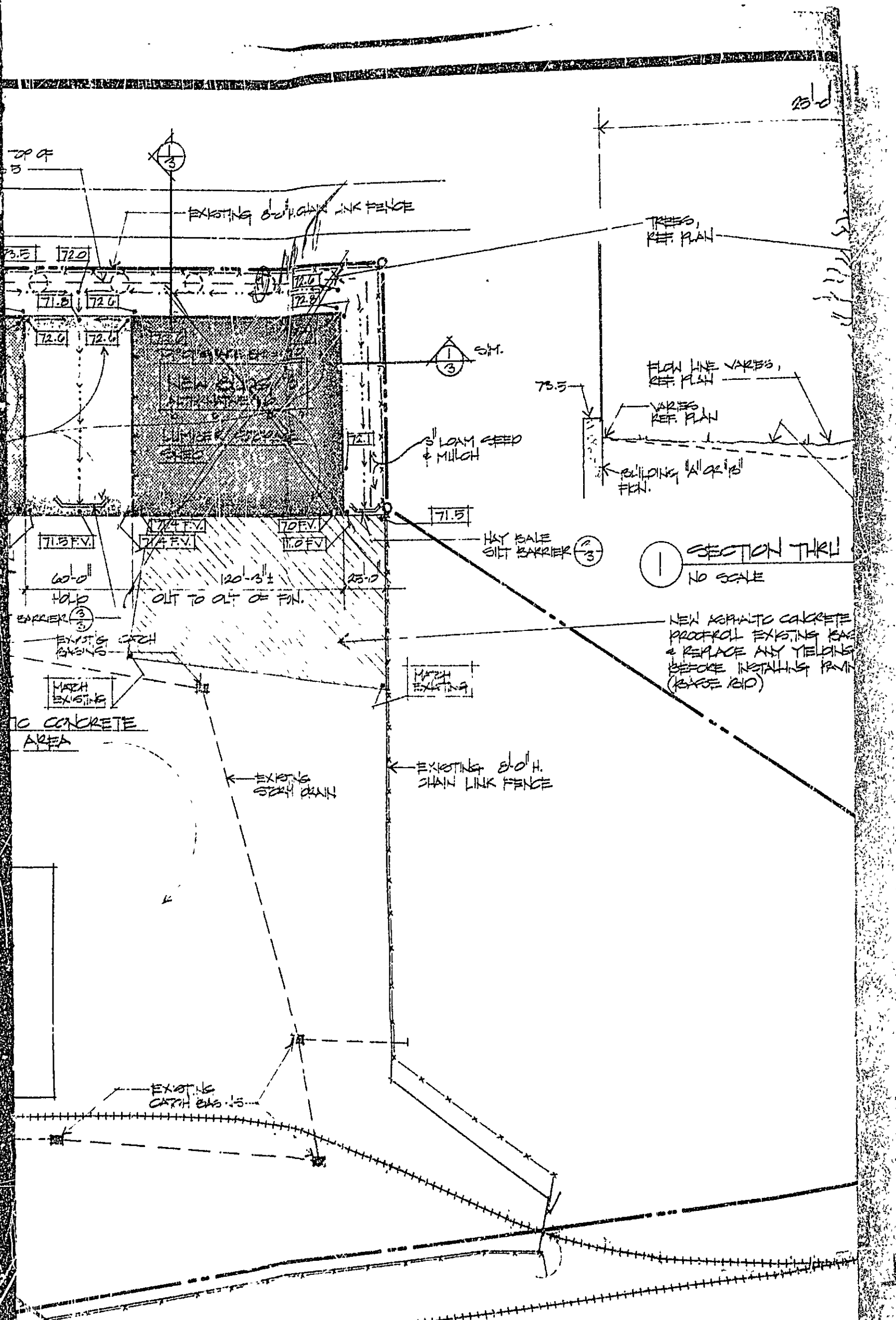


JOB NO. 307
 DATE 7-3-79
 DRAWN CLK
 CHECKED JTV

13
 OF
 6



ASPHALTIC CONCRETE PAVING



TOP OF
B

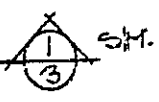
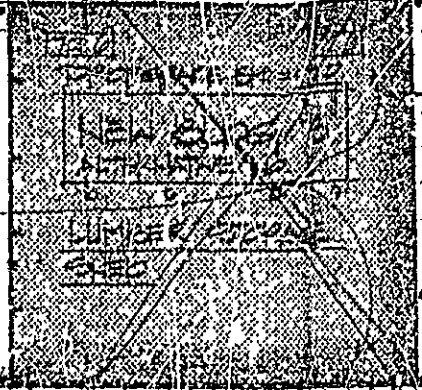


EXISTING 8'0" H. CHAIN LINK FENCE

73.5 72.0

72.0 72.0

72.0 72.0



S.M.

3" LOAM FEEED & MULCH

TREES, REF. PLAN

FLOW LINE VARIES, REF. PLAN

VARIES REF. PLAN

BUILDING "A" OR "B" FEN.

71.5

HAY BALE SILT BARRIER (2-3)

SECTION THRU
NO SCALE

71.5 F.V.

71.4 F.V.

71.0 F.V.

60'-0" HOLD

120'-3" ± OUT TO OUT OF FEN.

25'-0"

BARRIER (3)

EXIST'G CATCH BASINS

MATCH EXISTING

TO CONCRETE AREA

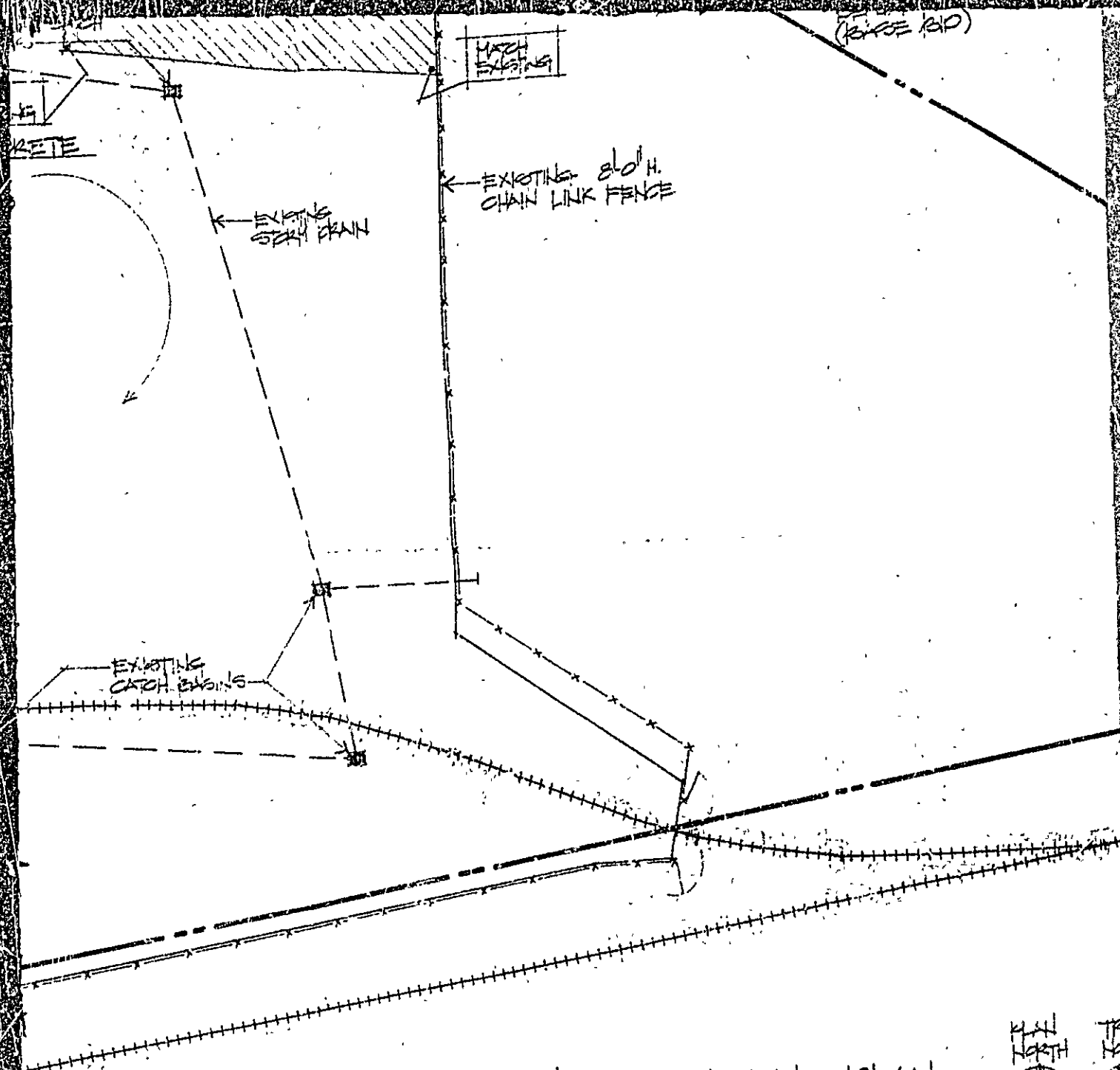
MATCH EXISTING

NEW ASPHALTIC CONCRETE PROTECT EXISTING BASE & REPLACE ANY YIELDING BEFORE INSTALLING FEN. (BASE 1010)

EXISTING 8'0" H. CHAIN LINK FENCE

EXISTING 8'0" H. CHAIN LINK FENCE

EXISTING CATCH BASIN

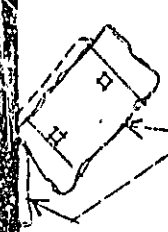


(A) SITE PLAN & SITE GRADING PLAN

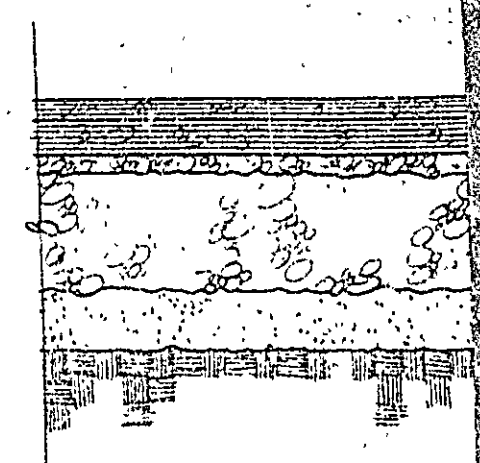
SCALE: 1" = 40'-0"

F.V. = FIELD VERIFY (IN ORDER TO MATCH TOP OF NEW ASPHALT W/ TOP OF EXISTING ASPHALT.)

0.00 = NEW SPOT ELEVATION



TIED HAY ... 36: REPLACE WITH
7' DIA. OF ... CONTAINMENT TO
RESTORE F... CAPABILITY.
ORIENT AS ... H ON PLAN.
NOTE: HAY IS TO REMAIN IN PLACE
UNTIL EITHER PAVING IS INSTALLED
OR CURB IS ESTABLISHED,
WHICHEVER IS APPLICABLE.



(2) SECTION - ASP

NO SCALE

APPROXIMATE LOCATION OF NEW FIRE HYDRANT TO BE INSTALLED BY CITY OF PORTLAND. CONTRACTOR TO NOTIFY FIRE PREVENTION BUREAU WHEN CONSTRUCTION BEGINS AND PAY ALL APPLICABLE FEES ASSOCIATED WITH THE INSTALLATION.

INDICATES TOP OF CURB @ 73.5

WARREN AVE

EXISTING CATCH BASIN

EXISTING

TOP OF RETAINING WALL = 73.5

72.0

71.5 EXISTING

72.0

72.6

71.5

72.0

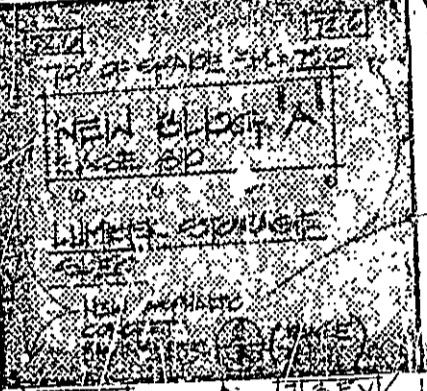
LOCATE WEST FACE OF FOUNDATION AS CLOSE AS PRACTICABLE TO EAST EDGE OF EXIST. CURB

CUT TO OUT OF FDN.

71.5 EXISTING

71.5 EXISTING

71.5 EXISTING



EXIST. CONC. MARKER HERE #1 CONDUITS ARE STRIPPED TO INDICATES TWO EXISTING UNDERGROUND CONDUITS VERIFY LOCATION AS REQ'D. RE: SET 6

71.7 F.V.

71.3 F.V.

71.5 F.V.

71.4 F.V.

71.7 F.V.

71.3 F.V.

71.5 F.V.

71.4 F.V.

OUT TO OUT OF FDN. TEMPORARY HYDRAULIC BARRIER

HOLD

OUT TO OUT

EXISTING CATCH BASIN

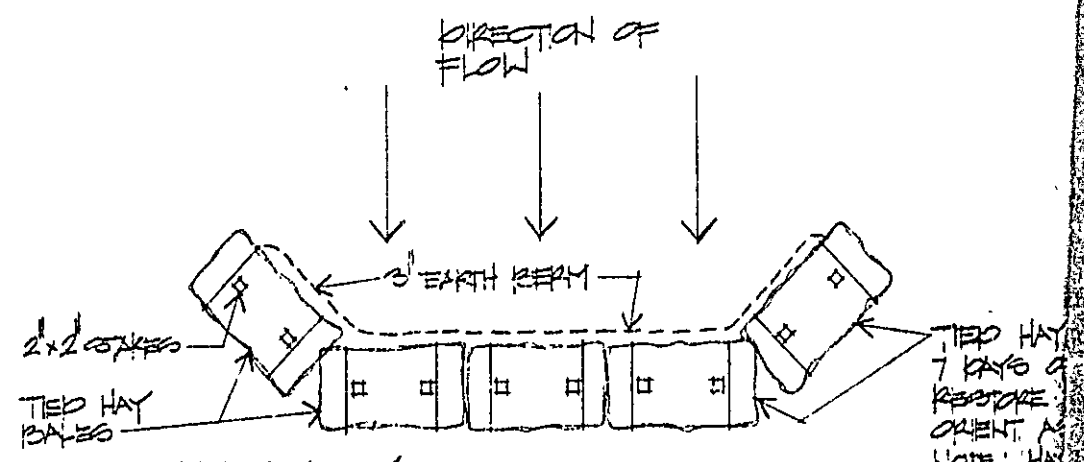
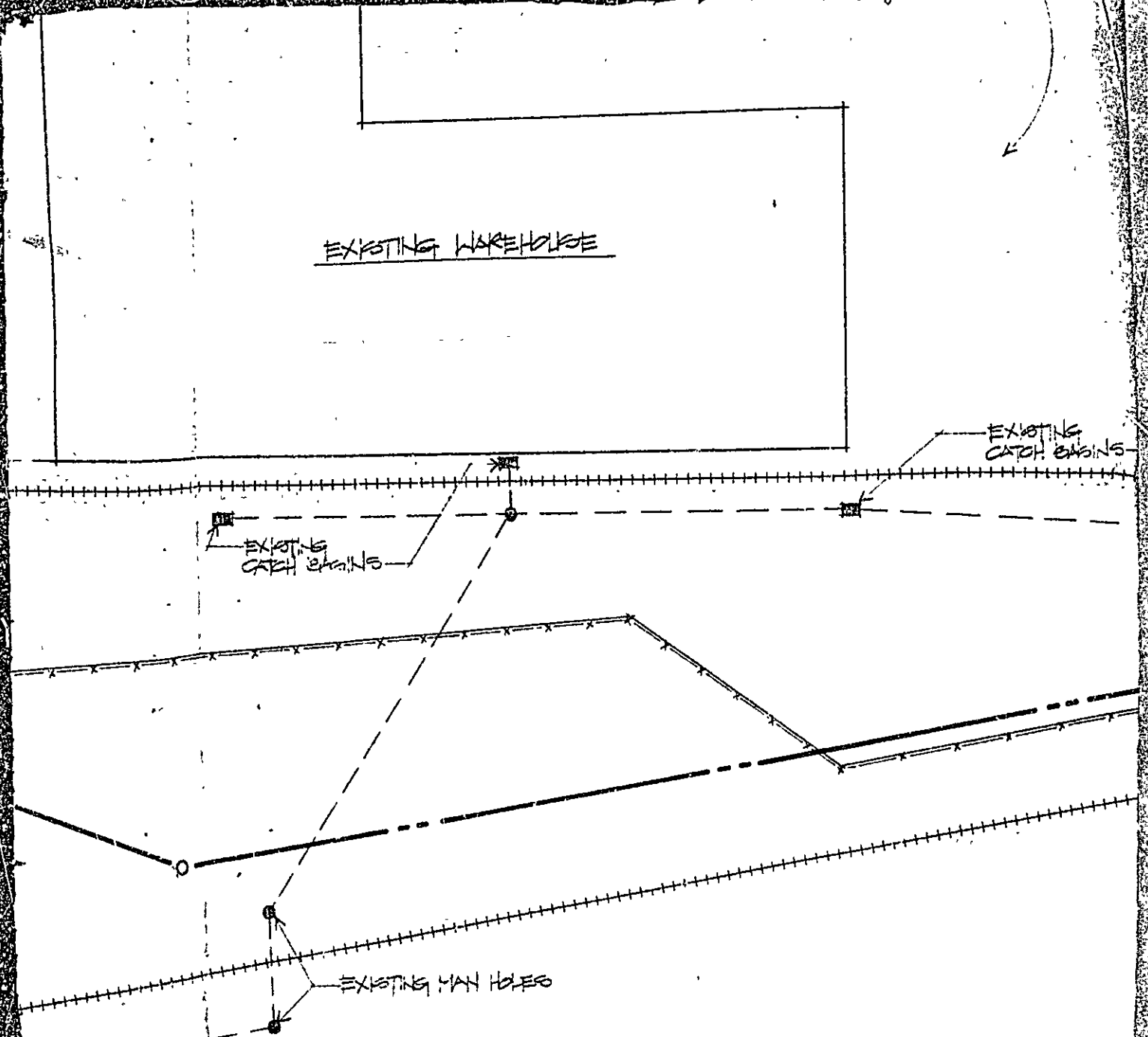
MARK EXISTING

EXISTING ASPHALTIC CONCRETE LUMBER STORAGE AREA

EXISTING WAREHOUSE

EXISTING CATCH BASIN

EXISTING CATCH BASIN



3 TEMPORARY HAY BALE SILT BARRIER
NO SCALE

APPROXIMATE LOCATION OF
TO BE INSTALLED BY CITY
CONTRACTOR TO NOTIFY FIRE
WHEN CONSTRUCTION BEGINS
APPLICABLE FEES ASSOC
INSTALLATION

WARREN

70'0"

15'0"

15'0"

WITH EXISTING UTILITY DRIVE
ALL CONSTRUCTION BEYOND TO
TO MEET CITY OF PORTLAND
SPECIFICATIONS

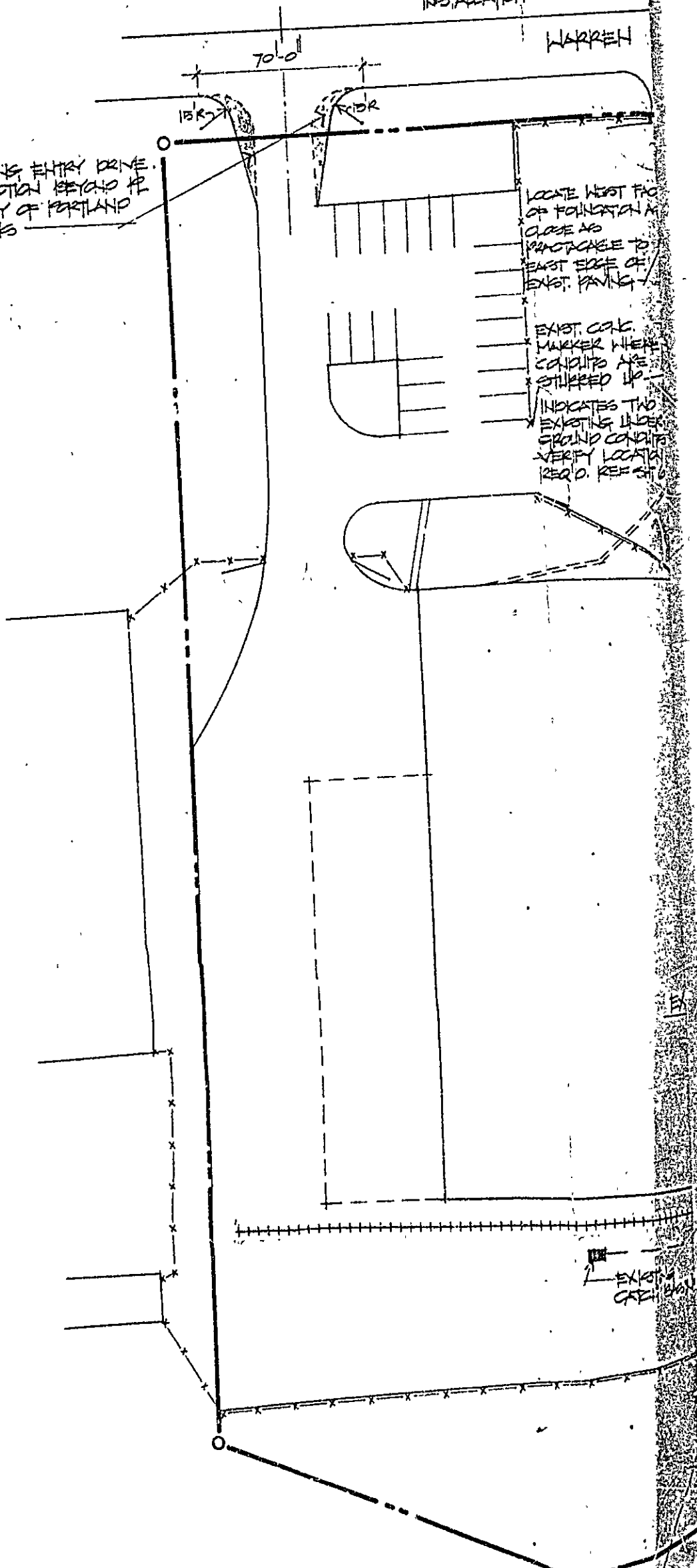
LOCATE WEST END
OF FOUNDATION AS
CLOSE AS
PRACTICABLE TO
EAST EDGE OF
EXIST. PAVING

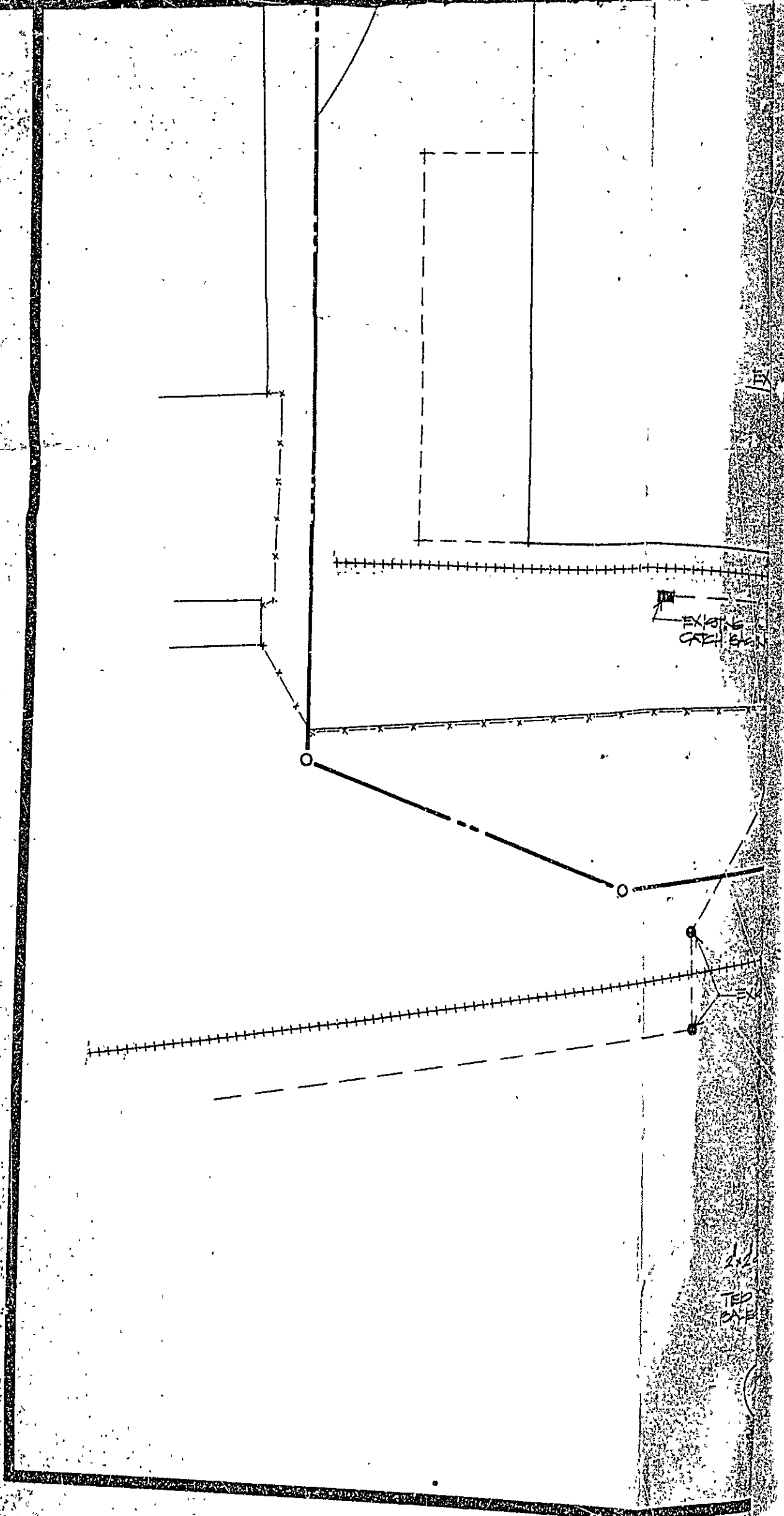
EXIST. CONC.
MARKER WHERE
CONDUITS ARE
STURPED UP

INDICATES TWO
EXISTING UNDER
GROUND CONDUITS
VERIFY LOCATION
REQ'D. REF. STG

EX

EXISTING
CONCRETE







CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 508 Warren Avenue

Date of Issue April 9, 1980

Issued to

Georgia Pacific

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 79/816, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Limiting Conditions:
Office Area
& Existing Building

Professional Bldg.

This certificate supersedes
certificate issued

Approved:

4-7-80

(Date)

Inspector

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Inspector of Buildings

CITY OF PORTLAND, MAINE
Department of Building Inspection



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Office Area
Existing Building
Limiting Cor. **None**

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Dahlgren Construction, Inc.

20 U S ROUTE 1 - YARMOUTH, MAINE 04096 - (207) 846-3505 - (207) 846-4181

SPECIFICATIONS

FOR

GEORGIA-PACIFIC CORPORATION

508 WARREN AVENUE

PORTLAND, MAINE

SPECIFICATIONS

- I. General Conditions
- II. Earthwork
- III. Concrete
- IV. Carpentry
- V. Roofing
- VI. Ceilings
- VII. Finish Floors
- VIII. Building Specialties
- IX. Plumbing
- X. Sprinkler

DRAWINGS

1. Plot Plan
2. Foundation Plan
3. Floor Plan
4. Electrical
5. Heating/Plumbing
6. Elevations
7. Cabinet Details
8. Finish Schedule

RECEIVED

SEP 13 1979

DEPT. OF BLDG. INSP.
CITY OF PORTLAND

General Conditions

I.

A. Scope of Work

The Contractor will furnish all labor and materials to construct building as shown on the Plans and as hereafter specified, and will coordinate all subcontract work in the General Contract.

B. Supervision

The General Contractor will provide a competent supervisor on the job to coordinate all phases of the work and to represent the Contractor.

C. Owner's Representative

The Owner shall submit the name of the person who will represent him. All communications and correspondence will be directed through that party. All changes and adjustments in the work will be requested in writing and agreed upon by the Owner and the General Contractor before commencing the work.

D. Insurance

The General Contractor maintains the following insurance portfolio:

Comprehensive General Liability (including Independent Contractors and Completed Operations):

Bodily Injury	300,000 each person
	300,000 each occurrence
Property Damage	300,000 aggregate
	100,000 each occurrence
	100,000 aggregate

Contractual Liability Insurance (Blanket)

Bodily Injury	300,000 each person
	300,000 each occurrence
Property Damage	100,000 each occurrence
	100,000 aggregate

Comprehensive Automobile Liability Insurance

Bodily Injury	100,000 each person
	300,000 each occurrence
Property Damage	100,000 each occurrence
Medical Payments	500 each person
Uninsured Motorist	100,000 each person
	300,000 each accident

Workmen's Compensation and Employers Liability - 100,000

Comprehensive Excess Indemnity Insurance

Retained Limit	10,000
Occurrence Limit	1,000,000
Aggregate Limit	1,000,000

The Owner will provide and maintain fire and extended coverage, or any other insurances as he deems necessary for the duration of the job.

E. Permits

Permits will be procured by the General Contractor. Each Subcontractor shall procure permits pertinent to his work.

F. Sales Tax

Maine State Sales Tax is included.

G. Utilities

The Owner shall provide necessary electrical services, toilet facilities, water service, ample area for construction and storage materials for the duration of the project.

The Owner shall allow access to telephone service to the General Contractor. The General Contractor shall pay all long distance telephone calls made by his company.

H. Plans

The General Contractor shall provide necessary Plans and working drawings.

I. Separate Contracts

Contractors performing work under separate contract by the Owner will perform and coordinate their work as though they were under contract by the General Contractor.

The General Contractor will not be responsible for negligence of Subcontractors and/or other Contractors who do not comply with the Occupational Safety and Health Act.

J. State and Local Codes

The General Contractor and all Subcontractors shall perform their work as specified on the Plans and in the Specifications in accordance with State and Local governing codes. This does not include items not specified, which may be required by governing bodies after reviewing the Plans and Specifications.

K. Arbitration

Should disputes or discrepancies arise between the Owner, General Contractor, Subcontractor, or Material Suppliers, in regard to the Plans and Specifications, or work performed, a third party arbitrator agreeable to the parties involved, shall be selected. This third party arbitrator shall be a professional or an authority regarding the item involved. The expense incurred by the third party arbitrator shall be borne by the party in default or error. Although this clause does not override the AIA Arbitration Clause Article 14 of the Contract, it may take priority for minor disagreements.

II. Earthwork

Earthwork shall consist of:

1. Clearing and grubbing of vegetation from building site.
2. Excavation for foundations, sewer, and underground electrical services.
3. Providing necessary gravel backfill around foundations and under floor slab.
Excavated material unsuitable for backfill shall be removed from the site.
4. Paving consists only of patching of the disturbed paved areas in front of the existing office.

III. Concrete

A. Foundations

Concrete foundations shall be accurately installed to elevations and grades as shown on the Plan, complete with reinforcing and anchor bolts. Before pouring any concrete walls, they shall be checked and approved by the Supervisor for accuracy. A tolerance of no greater than $\frac{1}{4}$ " in alignment or level shall be allowed.

Foundation forms shall be installed evenly and neatly so they are on exactly the same plane and will not leave uneven joint lines and protrusions. Extreme caution shall be taken in installing control joints at locations as shown on the drawings. Foundation forms shall not be removed for a minimum of thirty-six (36) hours after the pouring, and if the temperature is above 70°, concrete shall be periodically dampened to prevent excessively fast drying. Foundations forms may be removed sooner with favorable curing conditions.

Concrete shall be poured in the wall in no greater heights than 2' at any one location. All foundation walls shall be mechanically vibrated adequately to bond the lifts together without showing pour lines.

Immediately upon removal of the foundation forms, all burrs and protrusions shall be removed and all holes and imperfections shall be patched with a cement sand grout of a proper mixture to match the color and consistency of the concrete.

Foundations concrete shall be a minimum of 5½ bag mix, using 1-1/2 maximum coarse aggregate designed for a compressive strength of 3000 p.s.i. in thirty (30) days. Concrete slump for foundations walls, as recommended by A.S.T.M., shall not exceed 5".

B. Floor Slab

Concrete slab shall be poured with a maximum slump of 3" to a true and level plane, of the thickness as shown on the drawings. While pouring the slab, all the wire mesh shall be lifted in the concrete to a minimum of 1" from the bottom. Sectional pours shall be terminated at control joint lines as shown on the drawings. All concrete floors shall be machine troweled to a hard, smooth, dense surface and no trowel marks or roughness shall be permitted to remain.

Concrete for slabs shall be a 6 bag mix, using ¾" maximum stone designed for a minimum compressive strength of 3000 p.s.i. in thirty (30) days.

IV. Carpentry

A. Rough Carpentry shall consist of:

1. Wood framing as per Plan, using standard construction grade native lumber.
2. Sheathing as per Plan using redwood tongue and groove siding.
3. All necessary blocking, headers, and rough hardware.
4. Insulation shall be installed in areas and of thicknesses as shown in the drawings.

B. Interior Carpentry includes:

1. Demolition of existing walls as shown on the drawings.
2. Installation of new interior walls as shown on Plan.
3. Interior finishes shall be as specified on the Plans and as per Room Finish Schedule.
Existing walls shall be patched and repaired to match.
Material for interior wall finish shall be at the unit price as stated in the Contract.

C. Doors shall be solid core birch veneer as per Plans and Door Schedule. Finish Hardware shall match or be equal to existing.
Existing doors to be removed shall be relocated as per Plans.

D. Windows shall be Pella or an approved equal of sizes as shown on the drawings. Glass shall be double insulating with internal blinds.

E. Casework shall include all counters, shelving, base cabinets, counter tops, and hardware as per Plan.
Casework shall be constructed of 3/4" birch veneer cabinet plywood.
Existing counter and gate shall be relocated and modified to area as shown on the drawings.

V. Roofing

Roofing material over the office area addition shall be pre-engineered steel C - purlins and 26 gauge metal roofing as per the drawings.

VI. Ceilings

New ceilings shall be installed in areas as shown on the Room Finish Schedule using a 2' x 4' white suspended grid system with mineral board acoustical panels, fissured pattern.

VII. Finish Floors

Finish Floors shall be of materials in areas as specified on the Room Finish Schedule.

Carpet shall be at the unit price as stated in the Contract and as selected by the Owner.

Vinyl asbestos tile shall be 1/8" thick commercial grade tile.
Ceramic and quarry tiles shall be thin set mastic installation.

VIII. Building Specialties

1. Tackboards as shown on the drawing.
2. Factory finished enamel toilet partitions.
3. Toilet room accessories consisting of tissue holder, towel dispenser, and mirror.

IX. Plumbing

Plumbing shall consist of:

1. Fixtures as shown on the drawings, using commercial grade, American Standard or equal.
2. Twenty (20) gallon electric hot water heater.
3. All underground waste piping connected to existing sewer.
4. All hot and cold water piping; all cold water piping installed overhead shall be insulated.
5. Provide all plumbing and hook-up for kitchenette unit, to be provided by the Contractor. Kitchenette unit shall be a used unit, Dyer, model 400.

It shall be the responsibility of the Plumbing Contractor to acquire all necessary permits and to comply with State and Local Codes.

X. Sprinkler System

Sprinkler system shall include the extension of the existing dry system to cover all new areas and the relocation of existing heads as required for renovations.

Sprinkler Contractor shall provide Plans and procure approval from I.B.O. or the Owner's approved rating association, verified with the Owner.



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

SEP 19 1979

B.O.C.A. TYPE OF CONSTRUCTION 000816

ZONING LOCATION PORTLAND, MAINE, Sept. 13, 1979

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 508 Warren Avenue Fire District #1 #2

1. Owner's name and address .. Georgia-Pacific - same Telephone .. 798-6564

2. Lessee's name and address Telephone ..

3. Contractor's name and address .. Dahlgren Constr. - 20 US Rte # 1 Telephone .. 846-3505

4. Architect Specifications Yarmouth # 10496 No. of sheets

Proposed use of building .. office area addition & renovations No. families

Last use No families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ Fee \$ ~~25.00~~ 154.00

FIELD INSPECTOR—Mr. 34,000

GENERAL DESCRIPTION

- This application is for: @ 775-5451
- Dwelling Ext. 234
- Garage
- Masonry Bldg.
- Metal Bldg.
- Alterations
- Demolitions
- Change of Use
- Other

To construct addition to already existing office area, 1,200 square feet with alterations to existing bldg. as per plans 8 sheets of plans. Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? **yes** Is any electrical work involved in this work? **yes**

Is connection to be made to public sewer? **yes** If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate .. **10 ft.** Height average grade to highest point of roof .. **17 ft.**

Size, front .. **42** .. depth No. stories .. **1** .. solid or filled land? .. **solid** .. earth or rock? .. **earth** ..

Material of foundation **concrete** Thickness, top **10** .. bottom **10** .. cellar

Kind of roof .. **pitch** Rise per foot **8/12** Roof covering .. **metal**

No. of chimneys .. **none** .. Material of chimneys of lining Kind of heat .. **electric** ..

Framing Lumber—Kind .. **spruce** Dressed or full size? Corner posts .. **4 x 6** .. **4 x 6** ..

Size Girder .. **none** Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof .. **purlin=steel** ..

On centers: 1st floor, 2nd, 3rd, roof .. **2 ft.** ..

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street? .. **no** ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .. **yes** ..

Signature of Applicant .. *Dahlgren* Phone # same

Type Name of above .. Dahlgren Construction 1 2 3 4

Other and Address

FIELD INSPECTOR'S COPY

**CERTIFICATE OF APPROVAL
FOR INTERNAL PLUMBING**

THE TOWN/CITY OF Portland

No. **32766 IC**

TOWN/CITY CODE

061710

LPI NUMBER

1123

DATE ISSUED

1 0 2 5 7 9
Month Day Year

Installer's Name

REUBEN
Last Name

F. M. I.

Installer Code 2

- Certificate of App. Number
1. Owner
 2. Licensed Master Plumber
 3. Licensed Oil Burnerman
 4. Employees of Public Utilities
 5. Manufactured Housing Dealer
 6. Manufactured Housing Mechanic

Owner

George R. ...

Subdivision

Address

504 ...
St./Lot Number Street, Road Name

(Location where plumbing was done and inspected)

THE INTERNAL PLUMBING INSTALLED PURSUANT TO THE ABOVE CERTIFICATE OF APPROVAL NUMBER HAS BEEN TESTED IN MY PRESENCE, FOUND TO BE FREE FROM LEAKS, AND WAS INSTALLED IN COMPLIANCE WITH THE MUNICIPAL AND STATE PLUMBING REGULATIONS.

George R. ...

Signature of LPI

JAN 8 1980

Date Inspected

ORIGINAL—To be sent to: Department of Human Services,
Division of Health
Engineering, Augusta, Maine 04333

TOWN'S COPY

INTERNAL PLUMBING PERMIT FOR THE TOWN/CITY OF Portland

Town/City Code

061710

LPI Number

1123

Date Issued

1 0 2 5 7 9
Month Day Year

INSTALLER'S

1123
License No

No. **32766 IP**

PERMIT NUMBER

Address of Where Plumbing is Done

508 MARBLE DRIVE
St./Lot Number Street/Road Name

Subdivision

RECEIVED
OCT 25 1979
DEPT. OF HUMAN SERVICES
CITY OF PORTLAND

Name of Owner

GEORGE R. ...
Last Name F. M. I. Mailing Address

Hook-up of Modular Home
8 Other (Specify) 1

Type of Construction

- | | | |
|--------------|-------------------------|-----------------------------------|
| 1 New | 3 Addition | 5 Replacement of Hot Water Heater |
| 2 Remodeling | 4 Remodeling & Addition | 6 Hook-up of Mobile Home |
| | | 7 Other (Specify) <u>3</u> |

Plumbing To Serve

- | | | |
|-------------------|----------------|--------------|
| 1 Single (Res) | 3 Mobile Home | 5 Commercial |
| 2 Multi-Fam (Res) | 4 Modular Home | 6 School |

Number of Fixtures or Hook Ups

- | | | | | | |
|----------------------------|-------------------------|------------------------------|-------------------------|---------------------|--------------------|
| Sink(s) <u>2</u> | Toilet(s) <u>1</u> | Bath(s) <u>1</u> | Lavator(s) <u>1</u> | Shower(s) <u>1</u> | Urinal(s) <u>1</u> |
| Clothes Washer(s) <u>1</u> | Dish-Washer(s) <u>1</u> | Hot Water Heater(s) <u>1</u> | Floor Drain(s) <u>1</u> | Hook Up(s) <u>1</u> | |

This "Internal Plumbing Permit" is invalid if work is not commenced within six(6) months from date of issuance. Upon completion of work a "Certificate of Approval" must be obtained from the LPI.

SCHEDULE OF "FEES"

1-10 Fixtures	\$2.00 each
11-20 Fixtures	\$1.00 each
21-30 Fixtures	\$0.50 each
Hook Ups	\$2.00 each

Fix Fee	<u>110.00</u>
Hook Up Fee	<u>00.00</u>
Administrative Fee	<u>3.00</u>
Total Fee	<u>113.00</u>

NOTE: Hotwater Heater (Tank or Tankless) is a Fixture!

TOWN'S COPY

Signature of LPI

CERTIFICATE OF APPROVAL
FOR INTERNAL PLUMBING

THE TOWN/CITY OF Portland

TOWN/CITY CODE
015170

LPI NUMBER
1123

DATE ISSUED
10 25 79
Month Day Year

No. 32766 IC

Certificate of App. Number

Installer's Name

REUBEN
Last Name

F. I. M. I.

Installer Code
2

1. Owner
2. Licensed Master Plumber
3. Licensed Oil Burnerman
4. Employees of Public Utilities
5. Manufactured Housing Dealer
6. Manufactured Housing Mechanic

Owner

Margie Pouchie

Address

5081 Woodland Center
St./Lot Number Street, Road Name

Subdivision

THE INTERNAL PLUMBING INSTALLED PURSUANT TO THE ABOVE CERTIFICATE OF APPROVAL NUMBER HAS BEEN TESTED IN MY PRESENCE, FOUND TO BE FREE FROM LEAKS, AND WAS INSTALLED IN COMPLIANCE WITH THE MUNICIPAL AND STATE PLUMBING REGULATIONS.

Signature of LPI

Errol B. Gosden

Date Inspected

ORIGINAL—To be sent to: Department of Human Services,
Division of Health
Engineering, Augusta, Maine 04333

OWNER'S COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Georgia Pacific
 Applicant _____
 Mailing Address _____
Storage Building
 Proposed Use of Site _____
 Acreage of Site / Ground Floor Coverage _____

8-21-79
 Date _____
 Address of Proposed Site _____
27B-P-2
 Site Identifier(s) from Assessors Maps _____
 Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors 1
 Total Floor Area _____

Other Comments: _____
 Date Dept. Review Due: 8-28-79

FIRE DEPARTMENT REVIEW

8-31-79
 (Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMESE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER
APPROVED	✓	✓	✓		✓		✓	
APPROVED CONDITIONALLY								
DISAPPROVED								

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet If Necessary)

[Signature]
 SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

191

Georgia Pacific
 Applicant
508 Warren Ave.
 Mailing Address
storage building
 Proposed Use of Site
203,255 sq. ft. 12,000 sq. ft.
 Acreage of Site / Ground Floor Coverage

8-23-79
 Date
476 to 508 Warren Ave.
 Address of Proposed Site
278-B-2
 Site Identifier(s) from Assessors Maps
T-2
 Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors 1
 Total Floor Area _____

Other Comments: _____
 Date Dept. Review Due: 8-28-79

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply w th Zoning Ordinance
- Requires Board of Appeals Action
- Requires Planning Board/City Council Action

Explanation _____
 Use complies with Zoning Ordinance — Staff Review Below

Zoning:
 SPACE & BULK,
 as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	30 FT. SETBACK AREA (SEC 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS		
COMPLIES																				CONDITIONS SPECIFIED BELOW
COMPLIES CONDITIONALLY																				REASONS SPECIFIED BELOW
DOES NOT COMPLY																				

REASONS: _____

Michael J. Ward 8/23/79
 SIGNATURE OF REVIEWING STAFF/DATE

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

191

Applicant _____
 Mailing Address _____
 Proposed Use of Site _____
 Acreage of Site / Ground Floor Coverage _____
 Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No
 Other Comments: _____
 Date Dept. Review Due: 8-23-79

Date 8-23-79
 Address of Proposed Site _____
 Site Identifier(s) from Assessors Maps _____
 Zoning of Proposed Site _____
 Proposed Number of Floors 1
 Total Floor Area _____

PUBLIC WORKS DEPARTMENT REVIEW

8-23-79
(Date Received)

APPROVED
 APPROVED
 CONDITIONALLY
 DISAPPROVED

TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS:

(Attach Separate Sheet if Necessary)


 SIGNATURE OF REVIEWING STAFF/DATE
 PUBLIC WORKS DEPARTMENT COPY

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant _____ Date _____
 Mailing Address _____ Address of Proposed Site _____
 Proposed Use of Site _____ Site Identifier(s) from Assessors Maps _____
 Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____
 Board of Appeals Action Required: () Yes () No Total Floor Area _____
 Planning Board Action Required: () Yes () No

Other Comments: _____
 Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

8/27/19
 (Date Received)

- Major Development — Requires Planning Board Approval: Review Initiated *Approved in public hearing 5-22-19*
 Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	/	/	/	/	/	/	/	/	/	/	/	/
APPROVED CONDITIONALLY												
DISAPPROVED												

REASONS: _____

(Attach Separate Sheet if Necessary)

Joseph L. Proctor 8/27/19

 SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 12-17, 1979
 Receipt and Permit number A39806

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 508 Warren Ave.
 OWNER'S NAME: Georgia-Pacific Corp. ADDRESS: same

	FEEES
OUTLETS:	
Receptacles <u>42</u> Switches <u>25</u> Plugmold _____ ft. TOTAL <u>67</u>	<u>6.70</u>
FIXTURES: (number of)	
Incandescent _____ Flourescent <u>x</u> (not strip) TOTAL <u>56</u>	<u>9.60</u>
Strip Flourescent _____ ft.	
SERVICES:	
Overhead <u>x</u> Underground _____ Temporary _____ TOTAL amperes <u>800</u> ..	<u>6.00</u>
METERS: (number of) <u>1</u>	<u>.50</u>
MOTORS: (number of)	
Fractional <u>1</u>	<u>.50</u>
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____ ..	<u>4.00</u>
Oil or Gas (by separate units) <u>2</u>	
Electric Under 20 kws <u>18</u> Over 20 kws _____	<u>5.00</u>
APPLIANCES: (number of)	
Ranges <u>1</u>	
Cook Tops _____	
Wall Ovens _____	
Dryers _____	
Fans _____	
Water Heaters _____	
Disposals _____	
Dishwashers _____	
Compactors _____	
Others (denote) _____	
TOTAL	<u>1.50</u>
MISCELLANEOUS: (number of)	
Branch Panels <u>1</u>	<u>1.00</u>
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
INSTALLATION FEE DUE: _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____	
FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: _____	
TOTAL AMOUNT DUE: <u>34.80</u>	

INSPECTION:

Will be ready on _____, 19__; or Will Call x

CONTRACTOR'S NAME: Webb Elec.

ADDRESS: Box 303, Gray, Me. 04039

TEL: 657-2113

MASTER LICENSE NO.: 3758

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR:
Walter D. ...

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

LRD Nov 29/77

Dahlgren Construction, Inc.

20 U.S. ROUTE 1 - YARMOUTH, MAINE 04096 - (207) 846-3505 - (207) 846-4181

November 22, 1977

Director of Building & Inspection Services
City Hall
Portland, Maine

Re: Building Permit #0985

Dear Sir:

Please be advised that the Owner of Georgia-Pacific at 508 Warren Avenue has elected not to proceed with the office remodeling project at this time.

Truly yours,

L. R. Dahlgren, edg

L. R. Dahlgren

LRD/edg

RECEIVED
NOV 28 1977
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Building Inspection Department
FROM: Fire Prevention Bureau, P.F.D.
SUBJECT: 508 Warren Avenue

DATE: 10/31/77

Approval is hereby given for a building permit from this
Department subject to the following requirements/~~reasons~~:

As per attached plans.



APPLICATION FOR PERMIT

PERMIT ISSUED
OCT 31 1977
0985
CITY OF PORTLAND

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION
ZONING LOCATION PORTLAND, MAINE, 10/27/77

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION . . . 508 Warren Avenue

1. Owner's name and address .. Georgia-Pacific - Same Fire District #1 #2
2. Lessee's name and address Telephone 797-6564
3. Contractor's name and address Dahlgren Construc. - U. S. Route #1 Telephone 846-3505
4. Architect Specifications Plans No. of sheets
Proposed use of building .. Existing Warehouse No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 30,000 \$ 120.00

FIELD INSPECTOR—Mr. S. Schmeckel
This application is for: @ 775-5451
Dwelling Ext. 234

GENERAL DESCRIPTION

Office alterations & additional office space as per plans. 1 sheet of plans.

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated . . . number commercial cars to be accommodated . . .
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE: OK 838 10/31/77

Fire Dept.: Capt. H. Ryan

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?

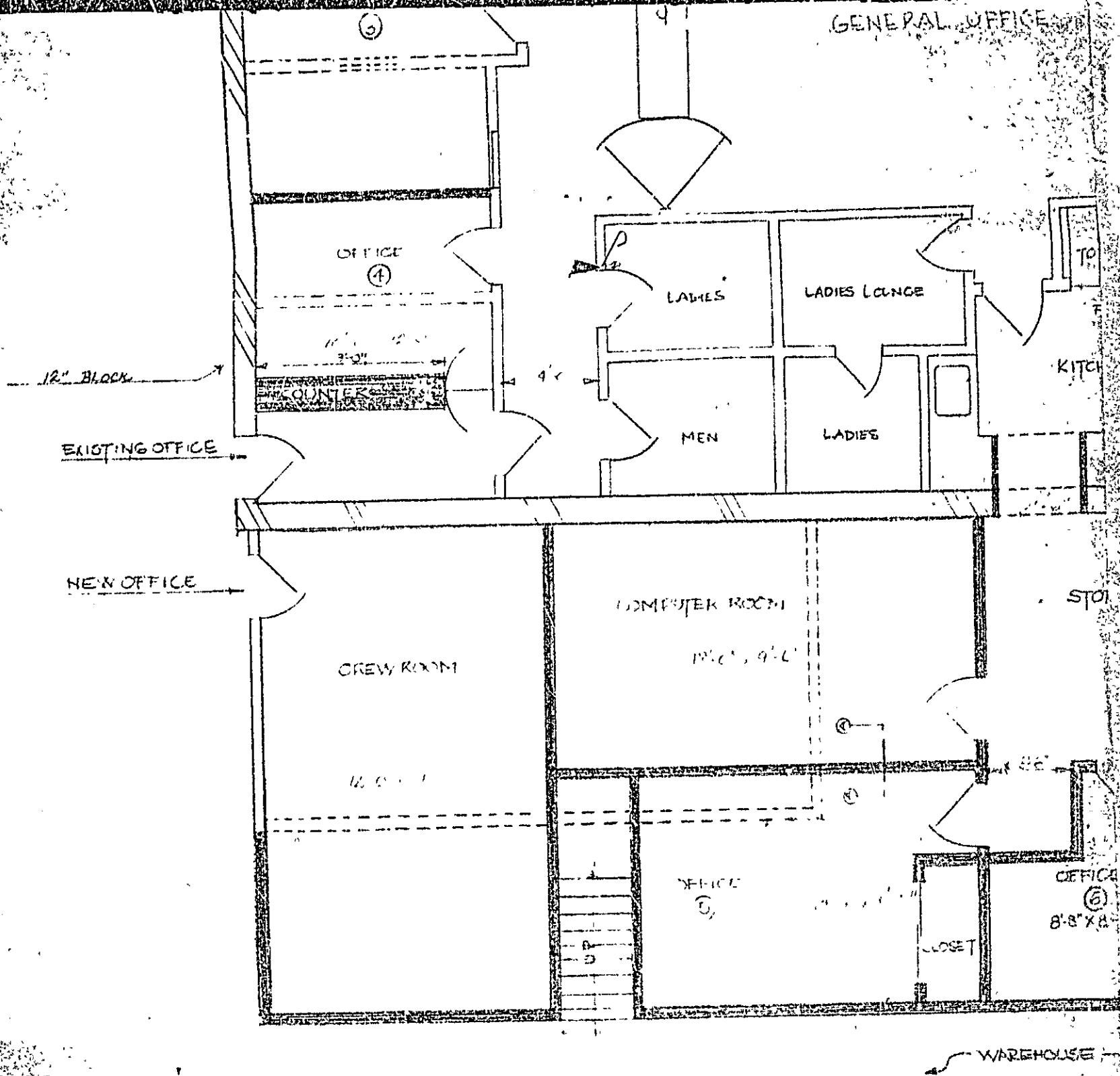
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant [Signature]
Type Name of above: Lee Dahlgren

Phone #: 846-3505

Other
and Address

FIELD INSPECTOR'S COPY

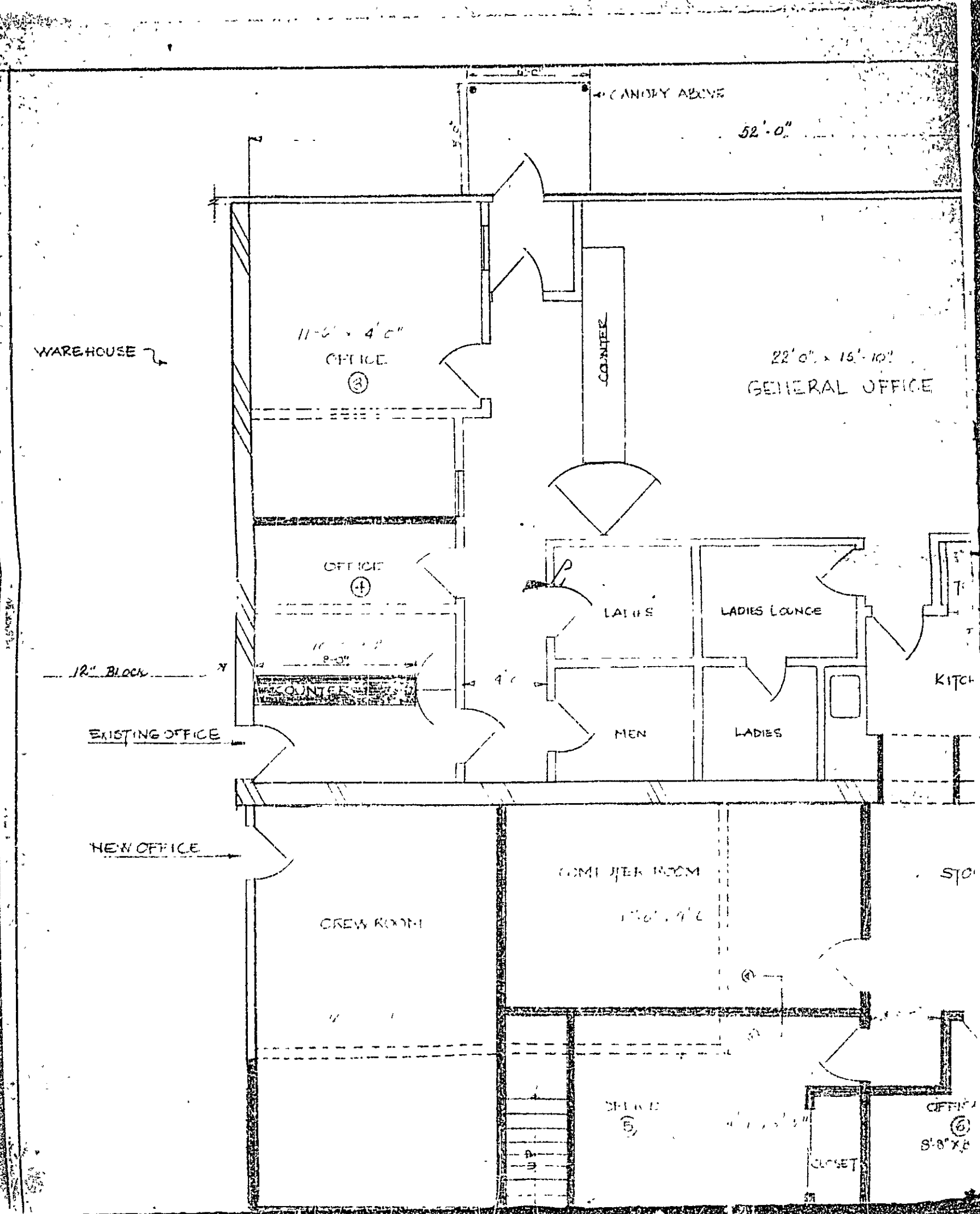


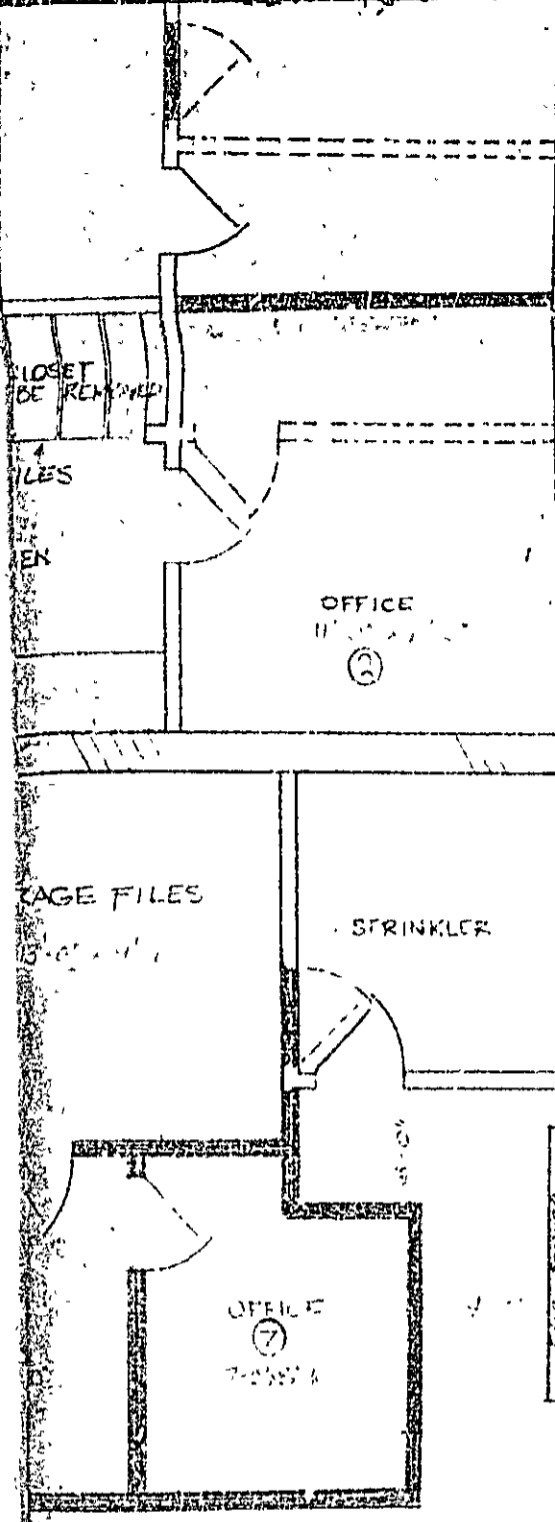
ROOM FINISH SCHEDULE

	Ceilings	Floors	Walls	REMARKS
OFFICE #1	N-G&T	N-C	N-PF	NEW WOOD CASEMENT WINDOW
" #2	N-G&T	N-C	N-PF	" " " "
" #3	N-T E&G	N-C	E-PF	NEW COUNTER
" #4	N-T E&G	N-VAT	E-PF	NEW PLY ON WINDOW WALL
GEN. OFFICE	N-T E&G	E-VAT	E-PF	NEW EXHAUST FANS
TOILETS	N-T E&G	E	E	ALTER CLOSET CAB.
KITCHEN	N-T E&G	E-VAT	E	EXISTING EXHAUST FAN
CREW ROOM	N-T G	N-VAT	N-PF	STRAP & PLY BLOCK WALL
COMPUTER	"	"	"	
OFFICE #5	"	N-C	"	
" #6	"	"	"	
" #7	"	"	"	
STORAGE FILE	"	N-VAT	"	STRAP & PLY BLOCK WALL

SYMBOLS

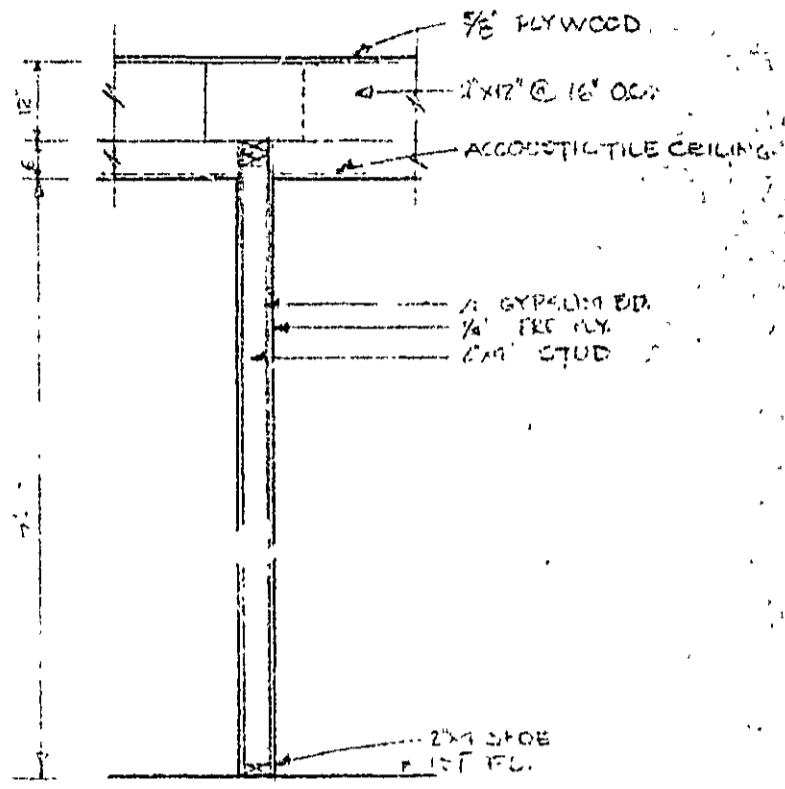
G	METAL CEILING GRID
T	ACOUSTIC CEILING TILE
PF	PRE FINISH 1/4" PLYWOOD
N	NEW
E	EXISTING
C	CARPET
VAT	VINAL ASBESTOS TILE





NEW PARTITIONS
 EXISTING PARTITIONS
 EXISTING PARTITIONS TO BE REMOVED

ENTIRE NEW ADDITION TO BE SPRINKLED



TYPICAL WALL SECTION A-A
 SCALE 1/2" = 1'-0"

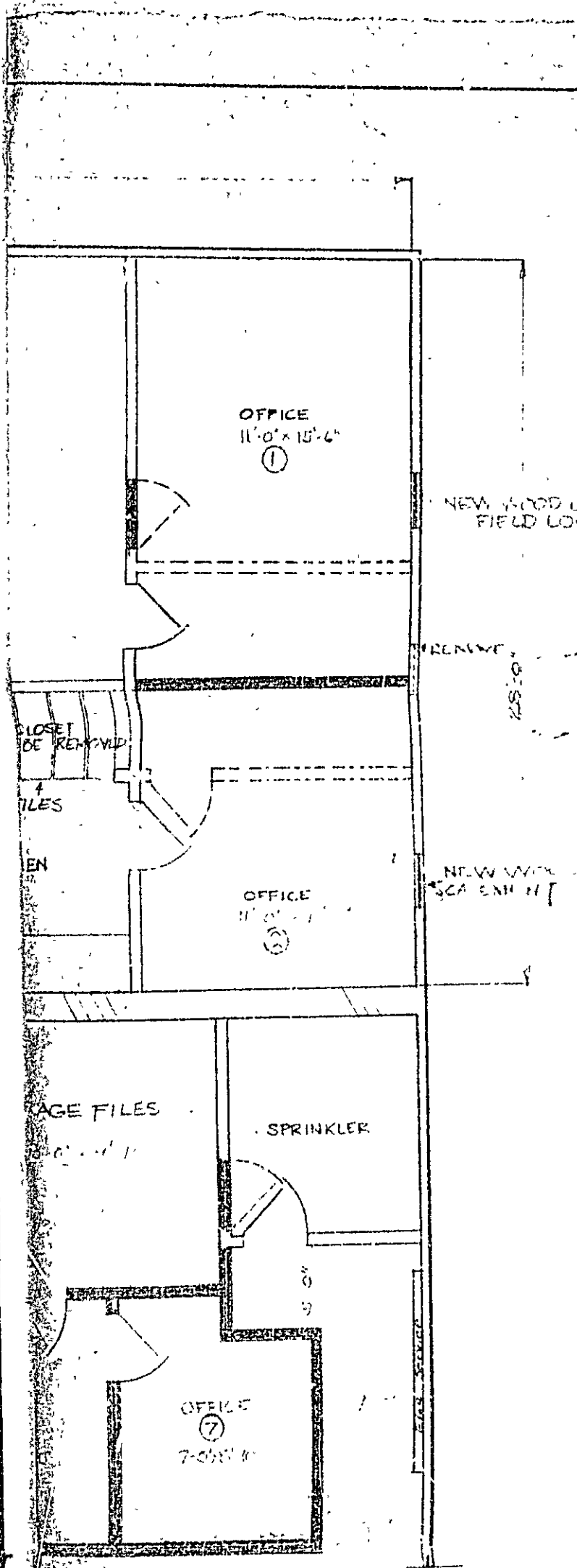
RECEIVED
 JGT 27 1977
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND




21 N 15113, 77
 15 7113, 77

CHECK OFF PACIFIC
 ATLANTIC MAINE
 508 Warren Ave
 PORTLAND, MAINE
 BLOCK 11 UNIT 1
 PERMIT SCHEDULES

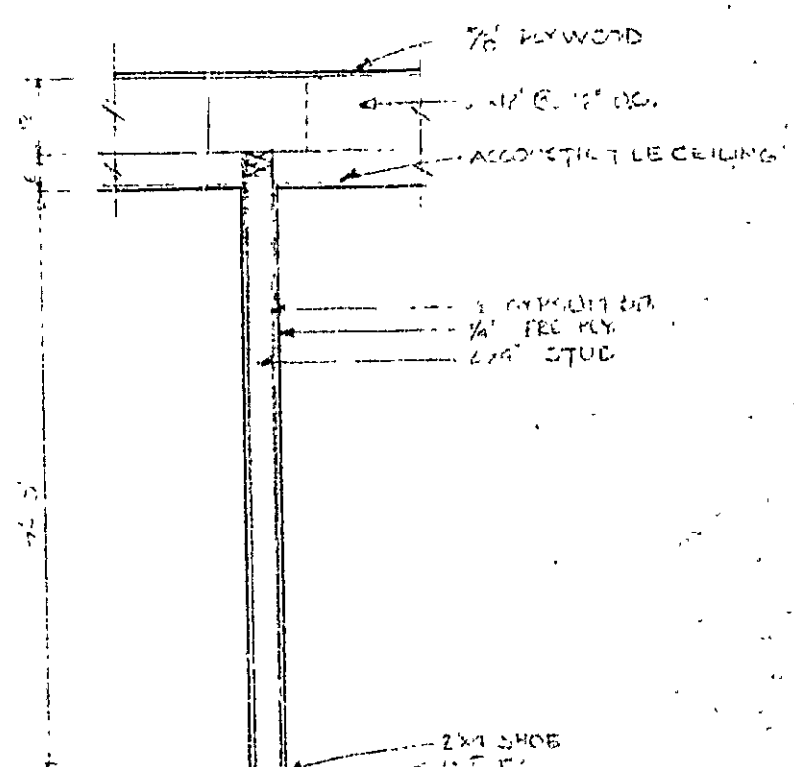
DATE 07/27/77

1



 NEW PARTITIONS
 EXISTING PARTITIONS
 EXISTING PARTITIONS TO BE REMOVED

ENTIRE NEW ADDITION
TO BE SPRINKLED.



TYPICAL WALL SECTION A-A
SCALE 1/4" = 1'-0"


CITY OF PORTLAND, MAINE
FIRE DEPARTMENT



Clement O. Dodd
Chief

Fire Prevention Bureau

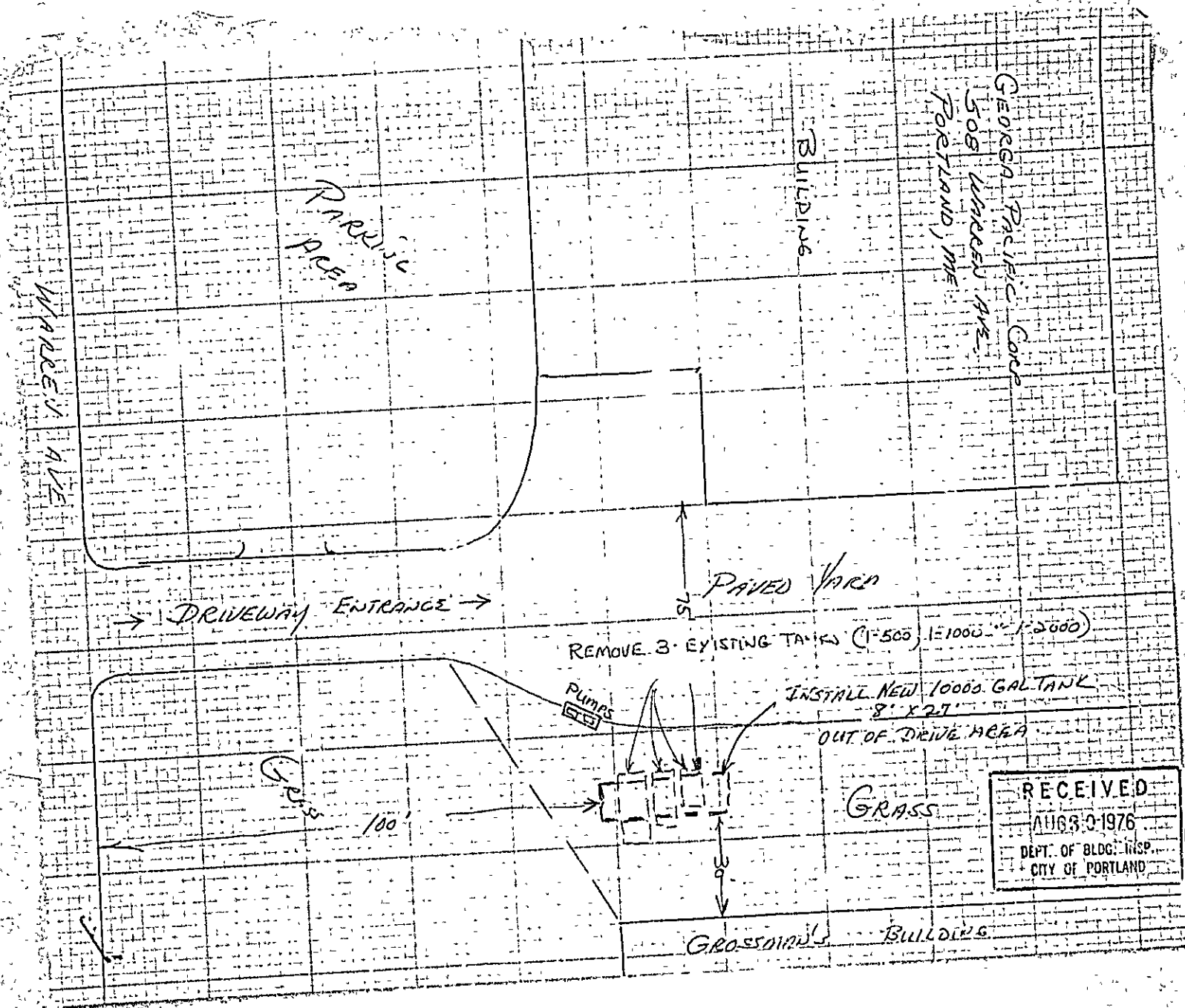
31 August 1976

To: Office of Building Inspection
Subj: Removal of 3 underground tanks and installation of 1 10-000 gal. tank.

Approved providing: Underground tanks to be removed from City, Fire Prevention Bureau to be notified when tanks removed. Tank to be installed to bear an approved label, painted with asphaltum. If a water problem, cement pad to be provided and tank to be anchored. Swivel type joints to be used on all piping. Fire Dept. to be notified for inspection of hole, cement pad and tank. Final inspection for piping.

Approved type fire extinguishers to be provided as deemed necessary by the Fire Dept.

Clement O. Dodd



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CITY OF PORTLAND



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION

SEP 3 1916

0795

ZONING LOCATION _____ PORTLAND, MAINE, August 30, 1916

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 508 Warren Ave. Fire District #1 #2
1. Owner's name and address Georgia Pacific, same Telephone
2. Lessee's name and address Telephone
3. Contractor's name and address Portland Pump Co., 321 Lincoln St. Telephone 767-2336.
4. Architect Specifications So. Portland Plans yes No. of sheets J...
Proposed use of building No. families
Last use No. families

Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ Fee \$ 30.00 removal
15.00 new tanks
45.00

FIELD INSPECTOR—Mr. Ray Reitze GENERAL DESCRIPTION
This application is for: @ 775-5451 to remove 1-500 gal 1-1000 & 1-2000 gal gas tanks
Ext. 234
to install one 10,000 gallon gas tank as per plans
Dwelling
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

Stamp of Special Conditions

sent to Fire Dept. 8-30-16
Rec'd from Fire Dept. _____

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering Kind of heat fuel
No. of chimneys Material of chimneys of lining Corner posts Sills
Framing Lumber—Kind Dressed or full size?
Size Girder Columns under girders Size Max. on centers
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
It one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars row accommodated on same lot to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars actually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street? ..
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes ...

Signature of Applicant *Harry Wilson* Phone #
Type Name of above Harry Wilson 1 2 3 4
Other
and Address

NOTES

Sept 24/76
Installed

Permit No.

91/795

Location

508 Wilwood Ave.

Owner

Georgia Pacific

Date of permit

9-3-76

Approved

Blank lined notes area on the left side of the page.

~~Blank lined notes area on the right side of the page, crossed out with a large X.~~



HIGH POINT SPRINKLER COMPANY

OF MAINE
P.O. BOX 399
LEWISTON, MAINE 04240
TRANSMITTAL SHEET

TO: CITY OF PORTLAND
Department of Building Inspection
Portland, Maine 04111

Date: 1/4/77
 Cont. No. _____
 Job No. _____

Attn: Mr. R. Lovell Brown

Project: GEORGIA PACIFIC
 Location: DEERING PLAZA
BROCKWAY-SMITH

Items listed are being sent:
 Enclosed
 Under separate cover
 Via _____

Gentlemen:

We are transmitting the following to you:

- Preliminary drawings
- Shop drawings
- Literature
- Descriptive data
- I.S.O. of Maine Approved Plans

If these items are not received, or are not as listed, please notify us at once.

QUAN.	DRAWING NO.	LATEST REV	DESCRIPTION	STATUS
1	1 of 2	8/2/72	Underground & Pump	E
1	2 of 2	8/18/72	1972 Warehouse Addition	

- Status Code:
- A. Approved
 - B. Approved as noted
 - C. Submitted for approval
 - D. Corrected & re-submitted
 - E. For your files
 - F. Refer to remarks

Please return _____ copies each indication your approval and/or comments.

Remarks: Because Georgia Pacific & Deering Pavilion are not Insurance Services Office of Maine accounts, we have had to submit to I. S. O. for their approval. We will send you these plans as soon as we receive them. These plans have been approved by Underwrite other than I.S.O. of Maine.

CC: _____

Yours very truly,

HIGH POINT SPRINKLER COMPANY

Michael J. Price
 MICHAEL J. PRICE

By: _____

REPLY MESSAGE

THIS FORM AVAILABLE FROM GRAYARC CO., INC., 882 THIRD AVE., BROOKLYN, N. Y. 11232

TO R. Lowell Brown
Department of Building Inspection
Portland, Maine

FROM

High Point Sprinkler Co. of Maine

P. O. BOX 399
LEWISTON, MAINE 04240
Dial 782-6411 - 784-1507

SUBJECT:

Sprinklers (Georgia Pacific ad)

FOLD ↑

MESSAGE

DATE: 11/3/72

Please advise us if the enclosed plan does not comply on a fire protection near the class A fire doors.

PLEASE REPLY TO →

SIGNED

REPLY

Wm. C. Kelly

DATE

SIGNED

GRAYARC CO., INC. BROOKLYN, N. Y. 11232

THIS COPY FOR PERSON ADDRESSED

ENGINEERING
COMPUTATIONS

Georgia Pacific

SS. 689



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Job GEORGIA PACIFIC

Page 1 of 10

By: JFD

5/10/72

DESIGN CRITERIA :

AISC SPECIFICATIONS
 METAL BUILDING MANUFACTURERS ASSOCIATION - RECOMMENDED DESIGN PRACTICES
 AISC SPECIFICATION FOR CARBON STEEL

DESIGN LOADS :

LIVE LOADS : MAIN FLOOR 40 PSF
 ROOF FLOOR 20 PSF
 DEAD LOADS : MAIN FLOOR 5 PSF
 ROOF FLOOR 10 PSF
 WIND LOADS : MAIN FLOOR 20 PSF
 ROOF FLOOR 30 PSF

PURLIN DESIGN :

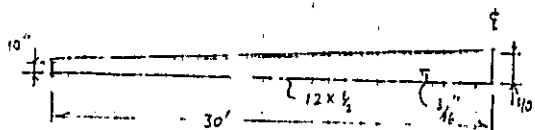
SPAN LENGTH : 24' FOR $L = 40 \text{ PSF}$ USE 8" 12.7 lb (3 SPAN BRIS)

GIRT DESIGN :

SPAN LENGTH 24' FOR $W.L. = 20 \text{ PSF}$ USE 8" 14 lb (1 SPAN BRIS)
 $5 \frac{3}{8} \times 20 \text{ PSF} = 106 \text{ plf}$ $M = \frac{106 \times 24^2}{8} = 764 \times .75 = 573 \text{ ft-lb} > 711 \text{ ft-lb}$

BEAM DESIGN :

USE 8 60/24 / 40



CRITICAL SECTION AT $\frac{1}{2}$ - POINT $d = 25"$

$$S_{rx} = \frac{t \cdot d^3}{6} + A_c \cdot d = \frac{1.375 \times 25^3}{6} + 60 \times (25 + \frac{1}{4}) = 173$$

$$W = (10 + 5) \times 24 + 1000 = 1,020 \text{ ft-lb}$$

$$M = \frac{W \cdot L}{2} = \frac{1,020 \cdot 24}{2} = 12,240 \text{ ft-lb} = \frac{12,240}{32} = 382.5 \text{ k-ft}$$

$$f_t = \frac{12,240 \text{ ft-lb}}{173} = 70.7 \text{ ksi}$$

$$f_{allow} = 0.6 \times 42 \text{ ksi} = 25.2$$

$\therefore \text{OK}$



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JOB: GEORGIA PACIFIC

by [signature]
5/10/72

BEAM SHEAR $F_v < t$ at 12' FROM COLUMN

$$V = 1.08 \times (30 - 1.67) = 30.6$$

$$A_w = .1167 \times 0.1875 = 2.18 \text{ in}^2$$

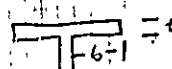
$$F_v = \frac{30.6}{2.18} = 14.0 \text{ ksi}$$

$$h_w = \frac{11.67}{111.75} = 52.2$$

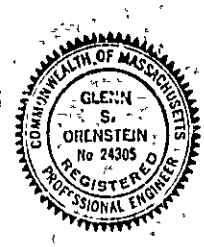
$$F_v = \frac{15.2 \sqrt{42}}{67.2} = 15.9 \text{ ksi} > 14.0 \text{ ok}$$

CHECK ON PROPORTIONS, STIFFENERS, ETC

① $\frac{h}{t} \leq \frac{17,000}{F_y (F_y + 16.5)} < 21.2$! $h = 70$ $t = .1875$
 $\frac{h}{t} = \frac{70}{.1875} = 213 \text{ ok}$

②  $\frac{b}{t} \leq \frac{95}{F_y} \leq 14.7$
 $b = \frac{1}{2} (12 - .1875) = 5.90$
 $t = .05$ $\frac{b}{t} = \frac{5.90}{.05} = 11.8 \leq 14.7 \text{ ok}$

③ check avg. shear stress $\sigma_h < 120.4$
 $V = \frac{1}{2} \times 30' \times 1.08 = 16.2 \text{ k}$
 $h = 10" + 15" = 25"$ $a_w = 25 \times .1875 = 4.69$
 $f_v = \frac{16.2}{4.69} = 3.46 \text{ ksi}$ $\sigma_h = \frac{30' \times 12}{25} = 14.4$
 $\frac{b}{t} = \frac{25}{.1875} = 133$ $F_v = 4.8 \text{ ksi} > 3.47 \text{ ksi ok}$



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GEORGIA PACIFIC

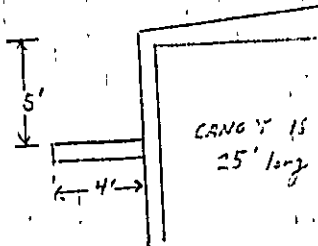
By 710
8/10/72

CANOPY LOAD

5' of SNOW EXTRA
5' SNOW = 40 psf
40 psf x 25' = 0.50 k/ft

L.L. MOMENT = $\frac{wL^2}{2} = \frac{0.5 \times 25^2}{2} = 4.0 k-ft$

D.L. = 28.5 psf x 25' = 0.065 k/ft
U.L. MOMENT = $\frac{.165 \times 4^2}{2} = 0.5 k-ft$



WIND LOAD 20 psf MBMA DISTRIBUTION

COLUMN MOMENT = 0.26 W h²

W = 20 psf x 24' = .480 k/ft

M = 0.26 x .48 x 24² = 71.88 k-ft

TEST D.L. + 1/2 L.L. + W.L.

M = 71.88 + 1/2 x 4.0 = 73.88 k-ft

P = 24' x 1/2 x 60' x (20 + 5) = 18 k

TRY W12x27 S_x = 34.1 k = 7.97

$\frac{M}{S_x} = \frac{1.8 \times 73.88}{34.1} = 96$

F_a = 15.6 x 1.33 = 20.74

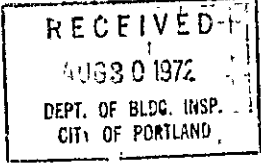
f_a = $\frac{18}{7.97} = 2.25$

$\frac{f_a}{F_a} = .108 < .150$

F_b = $\frac{M}{S} = \frac{71.88}{34.1} \times 12 = 25.27$

F_b = .6 F_y x 1.33 = 33.51

$\frac{f_b}{F_b} = \frac{2.25}{33.51} = .067 < 1.0$



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TEST D.L. + LL + 1/2 W.L.

M = 1/2 x 71.88 + 4.0 = 39.94 k-ft

P = 60 x 24 x 1/2 x 45 = 32.4 k

F_a = 32.4 / 7.97 = 4.07

F_b = 39.94 x 12 / 34.1 = 14.1 k

GEORGIA PACIFIC

4 of 10
B4 1/10
11/1/72

$$\frac{F_a}{F_a} = \frac{4.07}{20.74} = .196 > .15 \quad C_m = 0.85 \quad K = 1.32$$

$$\frac{F_a}{F_a} + \frac{C_m F_a K}{F_a} = .196 + \frac{.85 \cdot 14.1 \cdot 1.32}{31.51} = .668 < 1.00 \quad \text{ok}$$

USE W12x27

CENTER COLUMN - NO END MOMENT

$$P = 60' \times 1108 \frac{lb}{ft} = 64.8' K$$

$$L_U = 329''$$

TRY W12x45 $r_{min} = 1.94 \quad \frac{L_U}{r} = \frac{1.0 \cdot 329}{1.91} = 170$

$$F_a = 5.16 \text{ ksi} \quad A = 13.24 \text{ in}^2 \quad F_c = \frac{64}{13.24} = 4.90 \text{ ksi} \quad \text{ok}$$

TRY W8x40 $r_{min} = 2.04 \quad \frac{L_U}{r} = \frac{329}{2.04} = 162$

$$F_a = 5.68 \quad A = 11.76 \quad F_c = \frac{64 \cdot 2.04}{11.76} = 5.50 \text{ ksi} \quad \text{ok}$$

REGULAR ENDWALL DESIGN

ENDWALL BEAM $\circ DL + L.L = 12' \times 45' = .54' / ft$

CONTINUOUS BEAM ON 6 equal 20 ft spans

$$M = 0.107 W L^2 = .107 \times .54 \times 20^2 = 2.21 \text{ K-FT}$$

$$l_u = .266 L = .266 \times 20' \times 12 = 53''$$

TRY W8x15 $S_{xx} = 11.3 \quad F_b = \frac{23.1 \times 12}{11} = 23.5 \text{ ksi}$

$$F_b = 0.6 \times 42 = 25.2 \text{ ksi} \quad \text{ok} \quad V_{max} = .607 W L = .607 \times .54 \times 20 = 6.55 \text{ K}$$

$$l_{u_{max}} = 4.5' \quad \text{ok} \quad F_v = \frac{6.55}{17.5} = 3.28 \text{ ksi} \quad \text{ok}$$

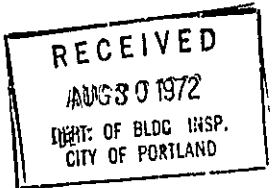
ENDWALL COLUMN:

$$P = 1.14 W L = 1.14 \times 0.54 \times 20 = 12.3 \text{ K}$$

$$h = 27' - 8'' = 332''$$

$$\text{Wind load} = 12.7 \text{ psf} \times 20' = .246 \text{ K/ft}$$

$$M = \frac{W L^2}{8} = \frac{.246 \times 27.7^2}{8} = 23.4 \text{ K-FT}$$



GEORGIA PACIFIC

PAGE 5 OF 10

BY: J/S

7/10/72

TRY W 8 x 15 $S_{xx} = 11.8$ $A = 4.43$

CASE 1 D.L. + L.L. + W.L.

$$P = 1.14 \times (12 \times (20 \times 15) - 1000) \times 20 = 6.85 \text{ ksi}$$

$$F_c = \frac{6.85}{4.43} = 1.54 \text{ ksi}$$

$$M = 23.4 \text{ ft-k}$$

$$\frac{M}{I} = \frac{1.0 \times 316}{3.29} = 99$$

$$F_u = 14.6 \text{ ksi} \times 1.33 = 19.4 \text{ ksi}$$

$$\frac{F_c}{F_u} = \frac{1.54}{19.4} = .080 < .150$$

$$F_b = 0.6 F_0 \times 1.33 = 33.5$$

$$F_0 = \frac{12 \times 23.4}{11.8} = 23.8 \text{ ksi}$$

$$\frac{F_c}{F_b} = .080 + \frac{23.8}{33.5} = .790 < 1.0 \text{ ok}$$

CASE 2 D.L. + L.L. + $\frac{1}{2}$ W.L.

$$P = 12.3 \text{ ksi}$$

$$M = \frac{1}{2} (23.4) = 12.7 \text{ ft-k}$$

$$F_c = \frac{12.3}{4.43} = 2.78 \text{ ksi}$$

$$\frac{P}{F_u} = \frac{2.78}{19.4} = .143 < .150$$

$$F_b = \frac{12 \times 12.7}{11.8} = 11.9 \text{ ksi}$$

$$\frac{F_c}{F_b} = \frac{11.9}{33.5} = .355 < 1.0 \text{ ok}$$

CORNER COLUMN

$$P = 12' \times 10' \times 45 \text{ psf} = 5.4 \text{ k}$$

$$l = 22.7'$$

TRY W 8 x 10 $A = 2.95$

$$\frac{P}{F_u} = \frac{1 \times 72 \times 1.10}{0.82} = 88$$

$$F_u = 16.6 \text{ ksi}$$

$$F_c = \frac{5.4}{2.95} = 1.83 \text{ ksi} \ll 16.6 \text{ ksi}$$

ok

LANING BEAM

SNOW LOAD 50 lb/ft^2

$$\text{WIDTH} = 25'$$

$$\text{Length} = 4'-0"$$

$$W = (25 \times 5) 27 \text{ lb/ft} = 2.13 \text{ ft-k}$$

$$M = \frac{1}{2} W l^2 = \frac{1}{2} \times 2.13 \times 16 = 17.1 \text{ ft-k}$$

TRY W 8 x 10

$$S_{xx} = 7.79$$

$$F_b = \frac{12}{7.79} = 2.15 \text{ ksi} \ll 0.6 F_y \text{ ok}$$



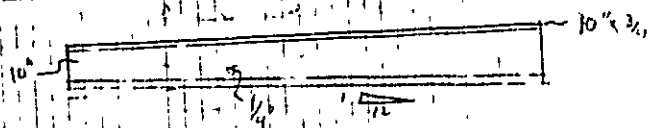
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Nov 6 of 10
 NY BCO
 8/10/52

LOAD	TYPE	VALUE
SNOW	LOAD ON CEILING	$30 \text{ psf} \times 18' \times \frac{1}{2} = .72 \text{ k/ft}$
SNOW	LOAD ON MAIN	$40 \text{ psf} \times 18' \times \frac{1}{2} = .36 \text{ k/ft}$
DEAD	LOAD	$5 \text{ psf} \times 18 = .09$
		1.17 k/ft

BEAM



CHECK CRITICAL SECTION AT 1/4 POINT $d = 25''$ BEAM END

$$S_{xx} = \frac{b d^3}{6} \times A_f d = \frac{.25 \times 25^3}{6} + 7.5 \times 25 = 213$$

$$M = \frac{w L^2}{8} = \frac{.3}{8} \times 1.17 \times 60^2 = 394 \text{ k-ft}$$

$$F_b = \frac{394 \times 12}{213} = 20.51 \text{ ksi}$$

$$F_{allow} = 0.6 \times 42 \text{ ksi} = 25.2 \text{ ksi}$$

CHECK SHEAR AT 8" FROM COLUMN

$$V = 1.17 \times (30 - 1.67) = 33.2 \text{ k}$$

$$A_w = 0.25 \times 11.67 = 2.92 \text{ in}^2$$

$$f_v = \frac{33.2}{2.92} = 11.3 \text{ ksi}$$

$$f_v = \frac{11.67}{1.25} = 46.4$$

$$F_v = 0.4 F_y = 16.8 \text{ ksi} > 11.3 \text{ ksi} \quad \text{OK}$$

WIND LOADS LESS THAN FOR MIDDLE BEAMS NO COLUMN CHECK

CHECK CENTER COLUMN

$$P = 60' \times 1.17 \text{ k/ft} = 70.2 \text{ k}$$

$$L = 26.7''$$

TR 1 W8 X 40

$$\frac{L}{r} = \frac{1.0 \times 26.7}{2.64} = 131$$

$$F_c = \frac{70.2}{11.76} = 5.97 \text{ ksi}$$

$$F_c = 8.63 > 5.97 \text{ OK}$$

EB 60'S

$$M \text{ other End wall} = 23.1$$

$$I = \frac{18}{24} \times 23.1 = 17.3 \text{ k-ft}$$

TR 1 W8 X 15

$$F_b = \frac{17.3 \times 12}{11.5} = 17.8 \text{ ksi} < F_b < 25.2 \text{ ksi}$$

$$V_{max} = \frac{.18}{24} \times 6.65 = 4.91 \text{ k}$$

$$F_v = \frac{4.91}{1.65} = 2.98 \text{ ksi} \quad \text{OK}$$



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ENDWALL STUB COLUMNS :

LENGTH = 60"
 $M = \frac{12.32 \times 10^3 \times 5^2}{8} = 0.72 \text{ K-FT}$
 $P = \frac{15}{24} \times 12.3^2 = 9.2^k$

7FT WS x 10 → FULL DL + LL + WL
 $A = 1.05$ $S_{FF} = 1.01$ $\frac{A}{F} = \frac{60}{32} = 1.875$
 $F_{c1} = \frac{9.2}{2.95} = 3.12 \text{ KSF}$ $F_c = 1.33 \times 18.5 = 24.6 \text{ KSF}$
 $\frac{F_{c1}}{F_c} = \frac{3.12}{24.6} = 0.127 < 0.15$ $F_c = \frac{0.72 \times 12}{1.01} = 8.55 \text{ KSF}$
 $F_c = 0.6 F_y \times 1.33 = 38 \text{ KSF}$
 $\frac{F_{c1}}{F_c} + \frac{F_w}{F_c} = 0.127 + \frac{8.55}{33.5} = .352 < 0.6$ OK

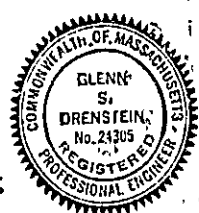
LEAN-TO FURLINS

LL = 80 PSF L = 18.0'
 7FT 4'-0" SPRING W = 4 x 85 340²/FT
 $M = \frac{80 \times 18^2}{8} = 13.8 \text{ K-FT}$ NO LOADS
 2'-0" SPIC W
 $M = \frac{1}{2} \times 13.8 \text{ K-FT} = 6.9 \text{ K-FT}$ USE 5" - 14 GA

WIND BRACING

LONGITUDINAL :
 $P = \frac{1}{2} (20 \text{ PSF} \times 17.7' \times \frac{1}{2} (24 + 29)) = 15.9^k$
 $15.9 \times 1.41 = 22.4 \text{ K}$ TRUSS JOIS = 26.8^k
 NET AREA NEEDED : $\frac{26.8}{17.6} = 1.75 \text{ IN}^2$
 $3.31 \times 1.25 = 0.31 \text{ IN}^2/\text{FOOT}$ USE $\frac{1}{8}$ ROBS

ENDWALL
 $P = 12' \times 24' \times \frac{1}{2} \times 20 = 2880^k = 2.88^k$
 $2.88 \times 1.41 = 4.06^k$ $\frac{4.06}{27.6} = .148 \text{ IN}^2$
 2 - $\frac{1}{2}$ " ROBS $\frac{0.2}{1}$



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By KJU
8/14/72

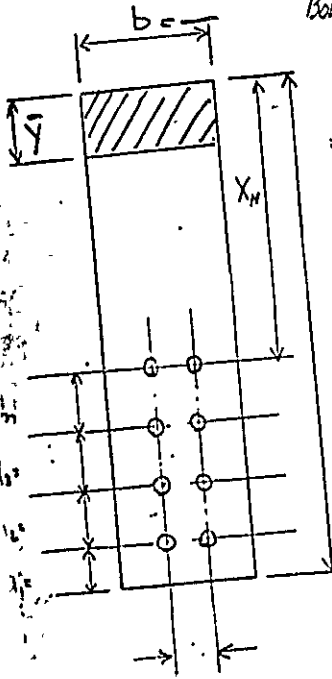
MOMENT AND SHEAR CAPACITY FOR SPLICE

A325 STEEL FOR BOLTS

MOMENT CAPACITY REQ'D = 486.0

SHEAR CAPACITY REQ'D = NIL

BOLT SIZE = 7/8 AREA = 0.6013



TRIAL $\bar{y} = h/7$

$$\bar{y} = \frac{2A \sum X_N + b \bar{y}^2}{\sum A + b \bar{y}}$$

$$I_x = 2A \sum (X_N - \bar{y})^2 + b \bar{y}^3$$

$$S_x = I_x / (h - a_1 - \bar{y})$$

\bar{y}	0.6013	S
b	12	S
h	41	S
a_1		
a_2	2.0	S
\vdots		
a_m	3.0	S
	3.0	S
	4.0	S
	3.0	S
	3.0	S
	5.0	S

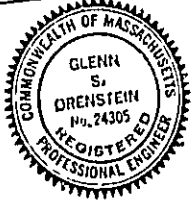
\bar{y} (in)	5.7332	A0
I_x (in ⁴)	5764.9726	A0
S_x (in ³)	173.2944	A0
MOMENT CAPACITY (K-Ft)	577.6480	A0

No. of BOLTS TAKING SHEAR	18	S
TOTAL SHEAR ON JOINT (KIPS)	10.0	S
ACTUAL MOMENT ON SPLICE (K-Ft)	486.0	S

(f_t) TENSILE STRESS (KSI)	33.6520	A0
(f_v) SHEAR STRESS (KSI)	0.9239	A0

$f_t/50$	0.6733	C0
$f_v/30$	0.0307	A0
$f_t/50 + f_v/30$ SHOULD BE ≤ 1.0	0.7037	A0

A325 BOLTS	
SEPARATION STRENGTH	50 KIP
COMBINED STRENGTH	50 KIP
f_t	40 KSI
f_v	22 KSI



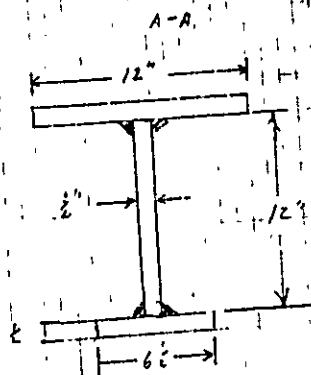
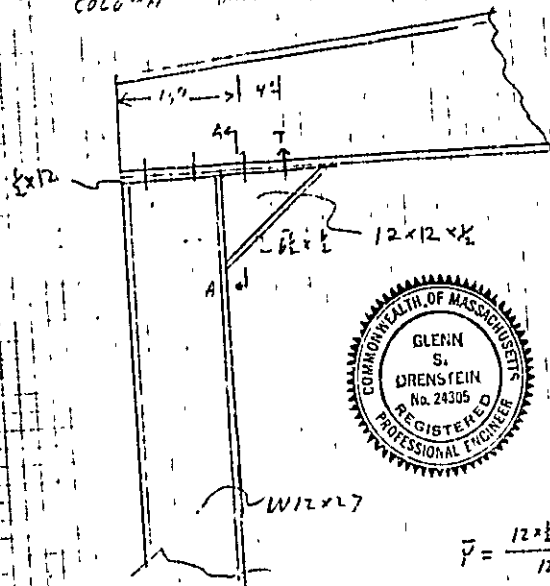
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By HCO
8/14/72

COLUMN BRUNCH

M = 71.68



$$\bar{y} = \frac{12 \times \frac{1}{2} \times \frac{1}{4} + 12 \times \frac{1}{2} \times 6.5 + 6 \times \frac{1}{2} \times 12.75}{12 \times \frac{1}{2} + 12 \times \frac{1}{2} + 6 \times \frac{1}{2}} = \frac{81.93}{15.25} = 5.37'$$

$$I = \frac{1}{12} \times 12 \times \frac{1}{2}^3 + 12 \times \frac{1}{2} \times 5.12^2 + 6 \times \frac{1}{2} \times 7.33^2 = 406$$

$$S_x = \frac{406}{11 - 5.37} = \frac{406}{5.63} = 72.1$$

Ball TENSION

USE

4 - 3/4 A325 BOLTS

A_b = 4 x .4418 = 1.77 in²

d = 18" h = 12"

$$a = \frac{-A + \sqrt{A^2 - A_1 A_2}}{2} = \frac{-1.77 + \sqrt{1.77^2 + 1.77 \times 12 \times 12}}{2} = 1.48"$$

$$M_y \text{ Tension} = \frac{M}{(d-h)} = \frac{71.68 \times 12}{12 - 1.48} = 52.21 \text{ k} \text{ or } 13.05 \text{ k/60T}$$

$$1.0 \text{ for } \dots = 13.05 \frac{20 - 162}{18 - 162} = 14.62 \text{ k} < 17.67 \text{ ok}$$

USE S_x = 72.1 A = tension y = 0.25"

$$f_c \frac{V_s}{T} = \frac{52.21 \times 6.0 \times 0.25}{406 \times 6} = 0.193 \leq F_u \leq 0.4 F_y \leq 17.67$$

$$t \geq \frac{0.193}{0.4} \geq .01 \text{ Use min. req. weld} = \frac{3}{16}$$

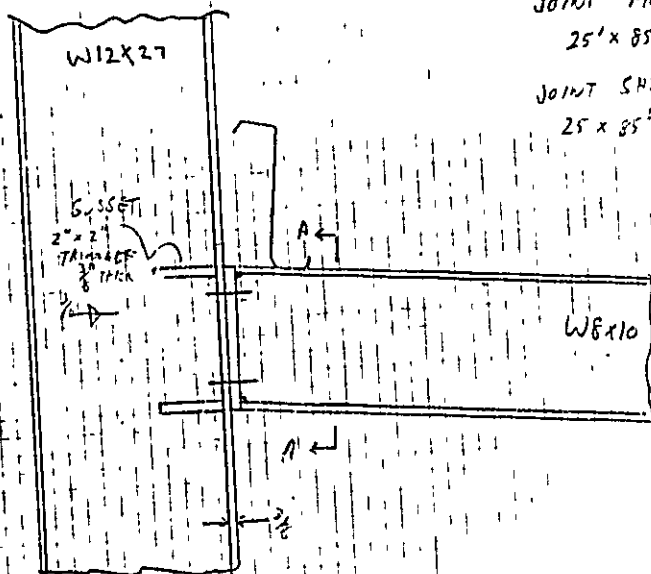
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CANOP. CONNECTION

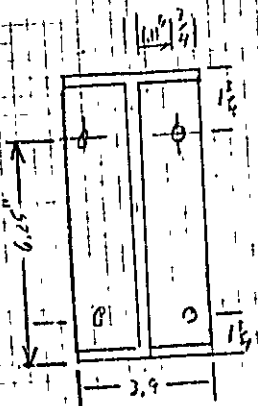


JOINT MOMENT

$$25' \times 85 \frac{3}{4} \text{ ft}^2 \times 4' \times 2' = 17 \text{ K} \cdot \text{ft}$$

JOINT SHEAR

$$25 \times 85 \frac{3}{4} \text{ ft}^2 \times 4' = 8.5 \text{ K}$$



USE 2 1/2" A 5 bolts $A_b = 2 \times 6.013 = 12.0$

$$a = \frac{FA_b + \sqrt{FA_b^2 + T^2}}{T} = \frac{-12 + \sqrt{12^2 + 12 \times 39.625}}{39.625}$$

$$a = 1.11' \quad T_{\text{bolt}} = \frac{F T}{d - a} = \frac{17 \times 12}{0.25 - 1.11} = 39.69 \text{ K}$$

$$\text{OR } \frac{3.9}{2} = 1.95 \text{ K/bolt} < 24.05 \text{ K}$$

SHEAR: $8.5 \text{ K} / 2 = 4.25 \text{ K/wlt} < 9.02 \text{ K allowed}$

Bearing on W12x27 Flange: 18.6 K allowed

End Plate DESIGN

USE 1/2" PL with all area of 1/2" PL

