

PERMIT # 610 May 28, 1997 BUILDING PERMIT APPLICATION Portland (Previous permit #)
 APPLICANT FILL OUT I - XIII AND DETAILS OF WORK ON REVERSE
 Please insert N/A (not applicable) for any item not pertaining to your request

I. GENERAL INFORMATION
 Location/address of construction 51 Candlewyck Road Tel. 775-1709
 Owner or lessee's name Mrs. Sally Foggy
 Address same Tel. 797-6199

Contractor's name Philip Botolo
 Address Ray Street

Subcontractors: _____ JUN 1 1987
 City Of Portland

II. NEW SUBDIVISION OR EXISTING LOT REFERENCE
 Name _____
 Lot _____
 Block _____
 Blk & pg Reg/deeds _____
 Date recorded _____

III. PROPOSED USE (CODE) If other, explain _____
 IV. PAST USE _____
 V. OWNERSHIP: _____ (FEDERAL/STATE/LOCAL GOVERNMENT) _____ PRIVATE (INDIVIDUAL/CORP/COOP/JOINT)

VI. DESCRIPTION OF WORK:
 to construct 10'3" X 12'2" attached porch to the back of dwelling
 to owner

VII. BUILDING DIMENSIONS: length _____ width _____ square footage _____ height _____ #stories _____

VIII. EST. CONSTRUCTION COST: 1000 IX. GRS. SQ. FT. OF LAND _____ BUILDING _____

X. RESIDENTIAL BUILDINGS ONLY: BEDROOMS _____
 NEW DWELLING UNITS WITH EXISTING DWELLING UNITS WITH _____
 XI. RESIDENTIAL UNITS: NEW DWELLINGS _____ EXISTING DWELLINGS _____ NET RESIDENTIAL UNITS _____

XII. SIGNATURE OF APPLICANT: _____ DO NOT WRITE BELOW THIS LINE
 XIII. ZONING: DISTRICT _____ STREET FRONTAGE _____
 SETBACKS: front _____ back _____ side _____ side _____
 ZONING BOARD APPROVAL: no yes (date) _____
 PLANNING BOARD APPROVAL: no yes (date) _____

XIV. OFFICE USE: TAX MAP _____ LOT _____ VALUE/STRUCTURE _____ PERMIT EXPIRATION _____

XV. CONDITIONAL USE: variance _____ site plan _____ subdiv _____ shore and floodplain mgmt _____
 special exception _____ other _____ (explain) _____ DATE _____

XVI. SIGNATURE OF FIELD INSPECTOR (CEO) _____

XVII. FEES: base fee _____ subdivision fee _____ site plan review fee _____ other fees _____ late fee _____ TOTAL \$25.00
 XVIII. SPACE FOR FIGURING /ADDITIONAL COMMENTS:

| | |
|--|--|
| 1. WATER SUPPLY <input type="checkbox"/> public <input type="checkbox"/> private | 8. CHIMNEY * flues * fireplaces material |
| 2. SEWER <input type="checkbox"/> public <input type="checkbox"/> private, type _____ fuel _____ | 9. FRAMING: floor joists size _____ max. on centers _____ |
| 3. HEAT type _____ fuel _____ | ceiling joists _____ |
| 4. FOUNDATION type _____ thickness _____ footing _____ | rafters _____ |
| 5. ROOF type _____ pitch _____ load _____ covering _____ | studs _____ |
| 6. PLUMBING * tubs * showers * lavatories * laundry tubs * flushes * other | wall studs _____ |
| 7. ELECTRICAL service entrance size _____ smoke detectors _____ | 10. If 1-story building w/ masonry walls: wall thickness _____ height _____ |
| NUMBER OF OFF-STREET PARKING SPACES: enclosed _____ outdoors _____ | 11. BEDROOM WINDOWS height _____ width _____ sill height _____ egress window? <input type="checkbox"/> yes <input type="checkbox"/> no |

PLOT PLAN/DETAILS OF WORK ON REVERSE

Plrk - Tax Assessor Gold - GPC06

May 28, 1987
 PERMIT BUILDING PERMIT APPLICATION **Portland** (Previous permit #)
 APPLICANT FILL OUT I - VIII AND DETAILS OF WORK ON REVERSE
0 810 Please insert N/A (not applicable) for any item not pertaining to your request

I GENERAL INFORMATION

Location/address of construction 51 Candlewick Drive
 Owner or lessee's name Mrs. Sally Bogg Tel. 775-1709
 Address same

Contractor's name Philip Totolo Tel. 797-6199
 Address Ray Street

Subcontractors _____
PERMIT ISSUED
 JUN 1 1987
 City Of Portland

| |
|--|
| II. NEW, SUBDIVISION OR EXISTING III. LOT REFERENCE Name _____ Date recorded _____ Block & pg. Reg. Ceas. _____ Date recorded _____ |
|--|

III. PROPOSED USE: _____
 IV. PAST USE: _____
 V. OWNERSHIP: _____
 VI. DESCRIPTION OF WORK

to construct 10'3" X 12'2" attached porch to the back of dwelling
 to owner

VII. BUILDING DIMENSIONS: length _____ width _____ square footage _____ height _____ #stories _____

VIII. NET CONSTRUCTION COST: _____ IX. G.P. SQ. FT. OF LAND: _____ BUILDING _____

| | |
|--|---|
| X. RESIDENTIAL BUILDINGS: <input type="checkbox"/> NEW DWELLING UNITS WITH: <input type="checkbox"/> EXISTING DWELLING UNITS WITH: | XI. RESIDENTIAL UNITS: <input type="checkbox"/> NEW DWELLINGS <input type="checkbox"/> EXISTING DWELLINGS |
|--|---|

XII. SIGNATURE OF APPLICANT: _____ DATE: _____

DO NOT WRITE BELOW THIS LINE

| | |
|--|---|
| XIII ZONING: DISTRICT <u>R-3</u> STREET FRONTAGE _____ SETBACKS: front _____ back _____ side _____ side _____ ZONING BOARD APPROVAL. no <input type="checkbox"/> yes <input type="checkbox"/> (date) _____ PLANNING BOARD APPROVAL. no <input type="checkbox"/> yes <input type="checkbox"/> (date) _____ | XIV OFFICE USE: _____ TAX MAP: _____ VALUE/STRUCTURE: _____ PERMIT EXPIRATION: _____ |
|--|---|

XV. CONDITIONAL USE: variance _____ site plan _____ subdivision _____ shore and floodplain mgmt _____
 special exception _____ other: _____ (explain) _____

XVI. SIGNATURE OF FIELD INSPECTOR (CEO): _____ DATE: _____

XVII FEES

| | |
|----------------------|----------------|
| base fee | |
| subdivision fee | |
| site plan review fee | |
| other fees | |
| late fee | |
| TOTAL | \$25.00 |

XVIII SPACE FOR FIGURING /ADDITIONAL COMMENTS
 O.K. P. J. Turner May 28, 1987

PERMIT ISSUED WITH LETTER

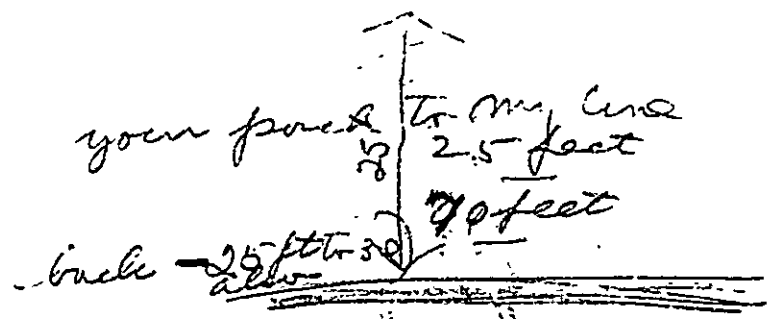
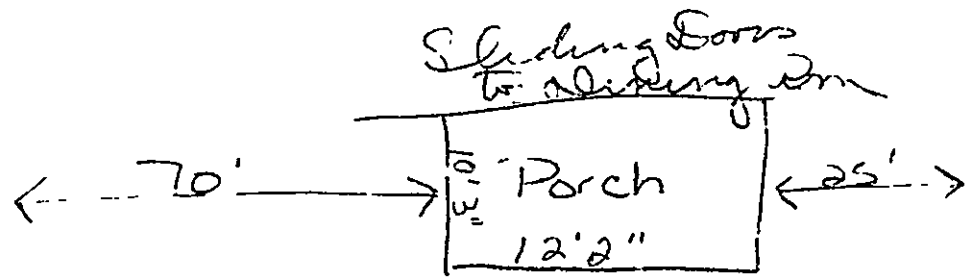
| | | |
|--|--|--|
| 1 WATER SUPPLY <input type="checkbox"/> public <input type="checkbox"/> private 2 SEWER <input type="checkbox"/> public <input type="checkbox"/> private type _____ HEAT type _____ fuel _____ 3 FOUNDATION type _____ thickness _____ footing _____ 5 ROOF type _____ pitch _____ covering _____ load _____ 6 PLUMBING # tubs _____ # showers _____ # lavatories _____ # laundry tubs _____ # flushes _____ # other _____ SEWER SYSTEM? <input type="checkbox"/> yes <input type="checkbox"/> no 7 ELECTRICAL service entrance size _____ # smoke detectors _____ NUMBER OF OFF-STREET PARKING SPACES enclosed _____ outdoors _____ | 8 CHIMNEY # flues _____ # of _____ material _____ 9 FRAMING floor joists _____ size _____ max on centers _____ ceiling joists _____ rafters _____ studs _____ wall studs _____ 10 if 1-story building w/ masonry walls wall thickness _____ height _____ 11 BROWN WINDOWS # ght _____ width _____ # gress window? <input type="checkbox"/> yes <input type="checkbox"/> no | PLOT PLAN/DETAILS OF WORK ON REVERSE Pink - Tax Assessor 019 011 013 |
|--|--|--|

PERMIT ISSUED WITH LETTER

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

INFORMATION AS TO CERTIFICATES OF OCCUPANCY FOR USE OF PREMISES
and
APPLICATIONS THEREFOR

1. The Zoning Ordinance requires that a Certificate of Occupancy shall be procured from the Department of Building Inspection before any use but the raising of crops is commenced on any vacant land, and before any existing use of land, except the raising of crops, is changed to some other use.
2. Applications for Certificates of Occupancy for the use of open land, are to be filed at the Building Department, Room 113, City Hall, by giving the necessary information over the counter to the permit clerk who will make out the application in quadruplicate, and by filing with the application the Site Plan required by the Ordinance.
3. Besides the Site Plan (described below), it is necessary that the applicant be prepared to give the following information:
 - a. Location of property by street and number.
 - b. Owner's name, address and phone number.
 - c. Name, address, and phone number of lessee, if any.
 - d. Existing use, if any, and proposed use of open land involved.
 - e. Number of commercial vehicles to be parked, if any.
 - f. Removal or disturbing of trees on public streets proposed.
4. The Zoning Ordinance requires that a Site Plan be filed with each application. This plan is to be filed as a blueprint with all of the information on it printed from the original (or equivalent duplication method), is to be at a definite indicated scale, to bear the name and address of the maker, and to contain all pertinent information to show compliance with the law, including the following:
 - a. Dimension and shape of the lot;
 - b. Location and dimensions of all buildings and structures, existing and proposed.
 - c. Each parking space (minimum for passenger cars 8 feet by 18 feet), and each loading bay (minimum 14 feet by 50 feet, of which no part may encroach on public sidewalk or street)
 - d. All driveways and maneuvering spaces.
 - e. All vehicular entrances to and exits from the lot over public sidewalks and streets, both existing and proposed, including:
 - (1) Character of curb on public street--existing and proposed;
 - (2) Location and width of approaches and exits over public sidewalks, and character of "curb cuts" or other proposed demarcation.
 - f. Location of all trees on public sidewalks or streets along every street frontage of the property.
 - g. Indication of any such trees which are proposed to be removed or disturbed.
 - h. Where off street parking is proposed, (See Section 14 of Ordinance) show in addition to above:
 - (1) Material and depth of sub-grade, and character of surfacing or paving.
 - (2) Surface drainage facilities.
 - (3) Location, height and method of fastening guard curbs and bumper guards.
 - (4) Location, height and material of any fences.
5. Before application and site plan are filed, written approval on the plan of the City Traffic Engineer must be procured for location and width of approaches and exits for vehicles. If access for vehicles is available from more than one street, the additional written approval of the Planning Board is required on the plan.
6. If removal or disturbance of any trees on the public sidewalk or street is proposed, the written approval of the Director of Parks and Recreation must be secured on the site plan, before application and plan are filed.



back of property
line

36304

797-6199

RECEIVED

MAY 28 1987

DEPT. OF BUILDING INSPECTION
TAMPA, FLORIDA