



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICE
ELECTRICAL INSTALLATIONS

Date July 15, 1988, 19
 Receipt and Permit number 2937

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 284 Cumberland Avenue
 OWNER'S NAME: City of Portland ADDRESS: Portland High School

	FEES
CUTLETS:	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____	
FIXTURES: (number of)	
Incandescent _____ Fluorescent _____ (not strip) TOTAL _____	
Strip Fluorescent _____ ft _____	
SERVICES:	
Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____	
METERS: (number of) _____	
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ Water Heaters _____	
Cook Tops _____ Disposals _____	
Wall Ovens _____ Dishwashers _____	
Dryers _____ Compressors _____	
Fans _____ Others (denote) _____	
TOTAL _____	
MISCELLANEOUS: (number of)	
Branch Panels <u>2</u> _____ 3.00	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 20 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
INSTALLATION FEE DUE: _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____	
FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____	
TOTAL AMOUNT DUE: 5.00 Minimum	

INSPECTION:

Will be ready on July 15, 1988, 10; or Will Call _____

CONTRACTOR'S NAME: Maiorano Electric

ADDRESS: 92 Portland, Street, Portland, ME

TEL: 774-2572

MASTER LICENSE NO.: 4485 SIGNATURE OF CONTRACTOR: _____

LIMITED LICENSE NO.: _____



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date October 4, 1988
 Receipt and Permit number 29656

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code, and the following specifications:

LOCATION OF WORK: Portland High School - 284 Cumberland Ave
 OWNER'S NAME: City of Portland ADDRESS: _____

	FEES
OUTLETS:	
Receptacles <u>845</u> Switches <u>615</u> Plugmold <u>200</u> ft. TOTAL <u>1660</u>	166.00
FIXTURES: (number of)	
Incandescent _____ Fluorescent _____ (not strip) TOTAL <u>1984</u>	200.40
Strip Fluorescent _____ ft.	
SERVICES:	
Overhead _____ Underground <u>1</u> Temporary _____ TOTAL amperes <u>4400</u> ..	13.00
METERS: (number of) <u>1</u>	
MOTORS: (number of)	
Fractional _____	
1 HP or over <u>88</u>	88.00 ²
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) <u>2</u>	10.00
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges <u>2</u>	
Cook Tops <u>2</u>	
Wall Ovens <u>2</u>	
Dryers <u>2</u>	
Fans _____	
Water Heaters <u>1</u>	
Disposals <u>1</u>	
Dishwashers <u>1</u>	
Compactors _____	
Others (denote) _____	
TOTAL	16.50
MISCELLANEOUS: (number of)	
Franch Panels <u>69</u>	69.00
Transformers _____	5.00
Air Conditioners Central Unit <u>1</u>	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial <u>1</u>	5.00
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under <u>18</u>	18.00
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery <u>25</u>	
Emergency Generators _____	
INSTALLATION FEE DUE: _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____	
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	
TOTAL AMOUNT DUE: 590.90	<u>590.90</u>

INSPECTION:

Will be ready on _____, 19__; or Will Call x

CONTRACTOR'S NAME: The SE Company, Inc.

ADDRESS: 965 Forest Ave., Portland

TEL: 797-8190

MASTER LICENSE NO.: 03284 SIGNATURE OF CONTRACTOR: _____

LIMITED LICENSE NO.: _____

PERMIT # 2502 CITY OF PORTLAND **NO. 2** BUILDING PERMIT APPLICATION MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: City of Portland School Department
 Address: 284 Cumberland Avenue, Portland
 LOCATION OF CONSTRUCTION 284 Cumberland Avenue
 CONTRACTOR: _____ SUBCONTRACTORS: _____
 ADDRESS: _____
 Est. Construction Cost: _____ Type of Use: MAJOR SITE PLAN
 Past Use: _____
 Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____
 Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____
 Conversion - Explain MAJOR SITE PLAN - 6 sets of plans submitted.

For Official Use Only	
Date: <u>JANUARY 31, 1989</u>	Subdivision: Yes / No _____
Inside Fire Limits _____	Name _____
Blot Code _____	Lot _____
Time Limit _____	Block _____
Estimated Cost _____	Permit Expiration: _____
Value of Structure _____	Ownership: _____ Public _____ Private _____
Fee: Major Site Plan Fee <u>\$350.00</u>	

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only
 # Of Dwelling Units _____ # Of New Dwelling Units parking garage

Foundations:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceiling: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 4. Other _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Zoning:
 District: _____ Street Frontage Req. _____ Provided _____
 Required Setbacks: Front _____ Back _____ Side _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shore and Floodplain Mgmt. _____ Special Exception _____
 Other (Explain) _____
 Date Approved: _____

Permit Received By Nancy Crossbar
 Signature of Applicant [Signature] Date 31 January 1989
 Signature of CEO _____ Date _____
 Inspection Dates _____

PLOT PLAN



FEES (Breakdown From Front)
Base Fee \$ _____
Subdivision Fee \$ _____
Site Plan Review Fee \$350.00 _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

not inspection reports on other, mit card - NO1-

Signature of Applicant *Chrys Pap-pas as agent for owner*

Date *31 January 1989*

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW**

Processing Form

Stephen Mchr - 772-83921

January 26, 1969

City of Portland School Department
 Applicant
 284 Cumberland Avenue, Portland
 Mailing Address
 parking garage
 Proposed Use of Site
 3/4 / 27,000 sq ft
 Acreage of Site / Ground Floor Coverage

27-70m
 284 Cumberland Avenue
 Address of Proposed Site
 27-B-8
 Site Identifier(s) from Assessors Maps
 B-2
 Zoning of Proposed Site

Proposed Number of Floors 6
 Total Floor Area 162,000 sq ft

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 - Requires Board of Appeals Action
 - Requires Planning Board/City Council Action

Explanation _____

- Use complies with Zoning Ordinance — Staff Review Below

Zoning
 SPACE & BULK
 as applicable

COMPLIES

COMPLIES
 CONDITIONALLY

DOES NOT
 COMPLY

REASONS:

DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARD	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS

CONDITIONS
 SPECIFIED
 BELOW

REASONS
 SPECIFIED
 BELOW

SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT—ORIGINAL

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW**

Processing Form

Telephone No. 771-0391

City of Portland School Department

JANUARY 30, 1989

Applicant

Date

264 Cumberland Avenue, Portland

264 Cumberland Avenue

Mailing Address

Address of Proposed Site

Parking Garage

Site Identifier(s) from Assessors Maps

Proposed Use of Site

Zoning of Proposed Site

3/4 27,000 sq ft

Acres of Site / Ground Floor Coverage

Proposed Number of Floors 0

Site Location Review (DEP) Required: () Yes () No

Total Floor Area 162,000 sq ft

Board of Appeals Action Required: () Yes () No

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

FIRE DEPARTMENT REVIEW

(Date Received) _____

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMESF CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED	✓	✓			✓		✓		
APPROVED CONDITIONALLY									CONDITIONS SPECIFIED BELOW
DISAPPROVED									REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

2-6-89

Walter C. ...
 SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW**

Processing Form

Stephen Morr - 772-8392
 City of Portland School Department
 Applicant
 254 Cumberland Avenue, Portland
 Mailing Address
 parking garage
 Proposed Use of Site
 3/4 / 27,000 sq ft
 Acreage of Site / Ground Floor Coverage

9-27-87
 Date January 26, 1985
 254 Cumberland Avenue
 Address of Proposed Site
 27-B-6
 Site Identifier(s) from Assessors Maps
 B-1
 Zoning of Proposed Site

Site Location Review (DEF) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors 0
 Total Floor Area 162,000 sq ft

Other Comments: _____
 Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received)

- Major Development -- Requires Planning Board Approval: Review Initiated
- Minor Development -- Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
APPROVED CONDITIONALLY												
DISAPPROVED												

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

[Signature] 8-18-87
 SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Stephen Harris - 770-0950

City of Portland Street Department

Applicant
254 Cumberland Avenue, Portland

Mailing Address
Portland, Maine

Proposed Use of Site
3/4" / 25,000 sq ft

Acres of Site / Ground Floor Coverage

9-27 BLM

Date

Address of Proposed Site

Site Identifier(s) from Assessors Maps

Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors 6
 Total Floor Area 162,000 sq ft

Other Comments:

Date Dept. Review Due:

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	UTILITIES	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED																
APPROVED CONDITIONALLY																CONDITIONS SPECIFIED BELOW
DISAPPROVED																REASONS SPECIFIED BELOW

REASONS:

(Attach Separate Sheet if Necessary)

Stephen K. Harris 8/22/89
 SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

TO: Mark Green, Deputy City Manager
FROM: Lt. Wallace Garroway, Fire Prevention Bureau
SUBJECT: Elm Street Parking Garage
DATE: August 6, 1990

On Thursday, August 2, Chief of Inspection Services Sam Hoffses and I met at the Elm Street Parking Garage to examine the various rails and guards and report back to you the areas that represent the greatest hazard. Our findings are as follows:

1. Rails and guards in all stairways.
2. Guards between the ramps on all levels - seventeen spaces each floor.
3. All snow gates and the barrier beside the snow gate at the top level on the Cumberland Avenue end.
4. Two areas where the ornamental walls meet the guard - Cumberland Avenue end and the end toward Congress Street. Access to these ornamental walls could easily be gained by climbing the guard. A barrier of at least 6" was discussed as being adequate.
5. Guards at the top level where there are two ornamental steel "gable end" structures on the Elm Street side.

Upon my return to Fire Headquarters, I discussed the findings with Chief Winslow and he stated that he wished to have the openings on the Elm Street side, that have guard rails in front of guards, included. These guards are made of 2 and 1/2" pipe and 10" channel iron with spacing of 8", 10" and 16".

On the second level there are twelve 8 foot openings and one approximately 16 feet wide. On the third, fourth and fifth levels there are openings on each side of the stairway and one approximately 16 feet wide, on each level, on the Elm Street side.



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207)874-9300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

August 24, 1989

SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

RE: 9-27 Elm Street - Parking Garage

Reed & Keed
Woolwich,
Maine 04579

Dear Sir:

Your application to construct an open parking garage has been reviewed and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter is met.

Site Plan Review Requirement.

Inspection Services Approved S. Hoffses
Fire Department Approved LT. Wallace Garroway
Planning Division Approved S. Greene
Public Works Approved E. Harris

view rights outside

- Building & Fire Code Requirements
1. A smoke proof enclosure shall be provided per NFPA 101 Chapt 29 section 8-2.2.4 and shall comply with Chapt 5 section 2.3.
 2. Emergency lighting to be provided to illuminate the path of travel to the exits including the interior of the stairwells.
 3. Exits and the path of travel to the Exits to be marked with illuminated exit signs.
 4. Handicapped accessibility & usability must be provided throughout this structure. State law requires a certification from the design professional stating that the plans of this facility meet the state law requirement. Please submit this certification.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

S. Samuel Hoffses
Chief of Inspection Services

*Rails + Mesh
Exits Light
Handicap Rail
Fence for Rear Wall*

/el

cc: Steve Harris, Public Works
Paul N. Leff, Public Works
Sara Greene, Planner
William Giroux, Zoning Codes Enforcement Officer

PERMIT #
Please fill in:

Owner: _____

Address: _____

LOCATION OF _____

CONTRACTOR _____

ADDRESS _____

Est. Construct _____

Permit Use _____

Building Name _____

Is Proposed Use _____

COMPLETE _____

Residential _____

Ordinance _____

Foundation:

1. Type _____

2. Size _____

3. Footing _____

4. Foundation _____

5. Other _____

Floor:

1. Slab _____

2. Joist _____

3. Lath _____

4. Joist _____

5. Brick _____

6. Concrete _____

7. Insulation _____

8. Stair _____

9. Stair _____

10. Masonry _____

11. Metal _____

Interior Wall:

1. Stud _____

2. Block _____

3. Wall _____

4. Fire _____

5. Other _____



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 8/2/90, 19____
 Receipt and Permit number 01486

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: Cumhland Ave - Portland High School

OWNER'S NAME: City of Prld ADDRESS: _____

	FEES
OUTLETS:	
Receptacles _____ Switches _____ Plug-n-old _____ ft. TOTAL _____	
FIXTURES: (number of)	
Incandescent _____ Flourescent _____ (not strip) TOTAL _____	
Strip Flourescent _____ ft. _____	
SERVICES:	
Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____	
METERS: (number of) _____	
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ Water Heaters _____	
Cook Tops _____ Disposals _____	
Wall Ovens _____ Dishwashers _____	
Dryers _____ Compactors _____	
Fans _____ Others (denote) _____	
TOTAL _____	
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial <input checked="" type="checkbox"/> _____	5.00
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fair, etc. _____	
Amperations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT _____	INSTALLATION FEE DUE:
FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____	DOUBLE FEE DUE:
	TOTAL AMOUNT DUE: <u>5.00</u>

INSPECTION:

Will be ready on _____, 19____; or Will Call _____

CONTRACTOR'S NAME: Sentry Protective Systems

ADDRESS: 536 Riverside st; Ptld, ME

TEL: 797-7799

MASTER LICENSE NO.: _____ SIGNATURE OF CONTRACTOR: Michael Caspnd

LIMITED LICENSE NO.: LTD electrician #15395

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN



State of Maine
DEPARTMENT OF PROFESSIONAL & FINANCIAL REGULATION
ELECTRICIANS EXAMINING BOARD

002878

Be it known that LAWRENCE R. BOYLE

Has qualified as required by M.R.S.A. Title 052 Chapter 000017

is Authorized to act as
LTD ELECTRICIAN, LOW ENERGY

LIC / CERT / REG # LE50015395
ISSUE DATE 04-23-90
EXPIRES 06-30-91
ORIGINAL LIC DATE 04-23-70

Susan M. Collins
AUTHORIZED SIGNATURE

RECEIVED

AUG 02 1990

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

01837

CITY OF PORTLAND BUILDING PERMIT APPLICATION

MAP LOT#

any part which applies to job. Proper plans must accompany form.

City of Portland Portland High School
284 Cumberland Ave.

CONSTRUCTION 284 Cumberland Ave.
Fire Shields Sprinkler Systems 883-3261
11 Washington Ave. Scarborough Industrial Park
Scarborough Maine 04074
Estimated Cost: 350,000 Type of Use: school

Dimensions L W Sq. Ft. # Stories Lot Size
Seasonal Condominium Apartment

Reason - Explain sprinkler system modifying and adding on to the new addition.
ONLY IF THE NUMBER OF UNITS WILL CHANGE

Number of Units # Of New Dwelling Units
Type of Soil: Backs - Front Rear Side(s)
Foundations Size: Foundation Size:
Floor Material:

Foundation Size: Sills must be anchored.
Column Spacing: Size: Spacing 16" O.C.
Footing Type: Size:
Footing Sheathing Type: Size:
Footing Material:

Foundation Spacing
Windows
Doors
Footing Size: Span(s)
Footing: Yes No
Footing Posts Size
Footing Type Size
Footing Type Size
Footing Type Weather Exposure
Footing Materials
Footing Materials

Foundation Spacing
Footing Size: Span(s)
Footing Type
Footing Wall if required
Footing Materials

White-Tax Assessor Yellow GPCOG White Tag CEO Copyright GPCOG 1987

Portland High School

For Official Use Only
Date: March 22, 1989
Subdivision: Yes / No
Name:
Lot:
Block:
Permit Expiration:
Ownership: Public / Private

Ceiling:
1. Ceiling Joists Size:
2. Ceiling Strapping Size Spacing
3. Type Ceilings:
4. Insulation Type
5. Ceiling Height:
PERMIT ISSUED
MAR 30 1989

Roof:
1. Truss or Rafter Size Span
2. Sheathing Type Size
3. Roof Covering Type
4. Other City Of Portland

Chimneys:
Type: Number of Fire Places

Heating:
Type of Heat:

Electrical:
Service Entrance Size: Smoke Detector Required Yes No

Plumbing:
1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures 00.000.1

Swimming Pools:
1. Type:
2. Pool Size: x Square Footage
3. Must conform to National Electrical Code and State Law.

Zoning:
District: B-3 Street Frontage Req.
Required Setbacks: Front Back

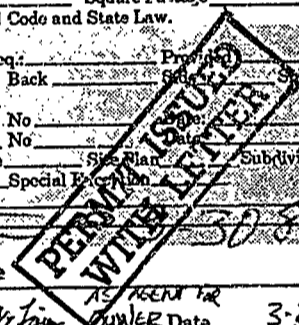
Review Required:
Zoning Board Approval: Yes No
Planning Board Approval: Yes No
Com. Use: Variance Site Plan Subdivision
Other (Explain)
Date Approved: WD H

Permit Received By Deborah Goode

Signature of Applicant Christopher A. McLean Date 3-22-89

Signature of CEO: [Signature] Date 3-25-89

Inspection Dates



PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ _____

Subdivision Fee \$ _____

Site Plan Review Fee \$ _____

Other Fees \$ 1,770.00 _____

(Explain) _____

Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

ck @ Scott #

COMMENTS *March 12, 1989* *Have not been into the new system yet - have*
placed a new 6" main in from the street & work progressing
as per plans

Signature of Applicant *Christopher A. McLean* as agent for owner Date *3-22-89*



CITY OF PORTLAND, MAINE
389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

March 30, 1989

Fire Shields Sprinkler
11 Washington Avenue
Scarborough Industrial Park
Scarborough, Maine 0407

Re: 284 Cumberland Avenue

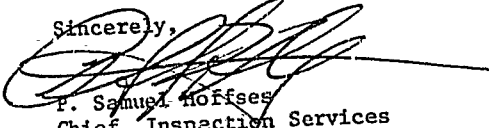
Dear Sir:

Your application to modify the sprinkler system has been reviewed and a permit is herewith issued subject to the following requirements:

- 1.) All work to be done in compliance with the requirements of N.F.P.A. #13.
- 2.) All attic areas of combustible construction to have full sprinkler protection and be separated from other attic areas by one hour rated construction.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief, Inspection Services

cc: Lt. Garroway, Fire Department

Portland High School

PERMIT # 000973 CITY OF Portland BUILDING PERMIT APPLICATION

MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: City of Portland
Address: 385 Congress Street
LOCATION OF CONSTRUCTION 284 Cumberland Avenue

CONTRACTOR: _____ SUBCONTRACTORS: _____
ADDRESS: _____

Est. Construction Cost: 11,400,000 Type of Use: High School

Past Use: _____
Building Dimensions: L _____ W _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____

Is Proposed Use: _____
Major Conversion - Explain addition (see plan review)

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
Residential Buildings Only: _____
Of Dwelling Units _____ # Of New Dwelling Units _____

Foundations:
1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:
1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____ Size: _____
3. Lally Column Spacing: _____ Spacing 16" O.C.
4. Joists Size: _____ Size: _____
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____
7. Other Material: _____

Exterior Walls:
1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____ Span(s) _____
4. Header Sizes _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____ Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:
1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Other _____

For Official Use Only
Date: April 12, 1988
Subdivision: Yes / No _____
Name: _____
Block: _____
Permit Expiration: _____
Ownership: _____
Public / Private

Ceiling:
1. Ceiling Joists Size: _____ Spacing _____
2. Ceiling Strapping Size _____
3. Type Ceilings: _____
4. Insulation Type _____
5. Ceiling Height: _____

Roof:
1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____
4. Other _____

Chimneys:
Type: _____ Number of Fire Places _____

Heating:
Type of Heat: _____
Smoke Detector Required Yes _____ No _____

Electrical:
Service Entrance Size: _____
Plumbing:
1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:
1. Type: _____ Square Footage _____
2. Pool Size: _____
3. Must conform to National Electrical Code and State Law.

Zoning:
District: _____ Street Frontage Req. _____ Provided _____
Required Setbacks: Front _____ Back _____ Side _____

Review Required:
Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
Shore and Floodplain Mgmt. _____ Special Exception _____
Other: (Explain) _____
Date Approved: _____

Permit Received By Journe Quint

Signature of Applicant _____
Signature of CEO Stephen Moore

Inspection Dates _____
White Tag - GEO _____
White Tag - GPCOG _____

PERMIT ISSUED
WITH LETTER
Date: April 12, 1988

PLO PLAN



FEES (Break down From Frant)
Base Fee \$ 57000
Subdivision Fee \$ _____
Site Plan Review Fee \$ 35000
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

Signature of Applicant _____

Date _____

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant: City of Portland Date: April 12, 1988
 Mailing Address: 389 Congress Street Address of Proposed Site: 284 Cumberland Avenue
 Proposed Use of Site: Garage Site Identifier(s) from Assessors Maps: 27-3-1
 Acreage of Site: 2.62 / Ground Floor Coverage: 12,500 Zoning of Proposed Site: B-2
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors: 3
 Board of Appeals Action Required: () Yes () No Total Floor Area: 37,500
 Planning Board Action Required: () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received) _____

- Major Development — Requires Planning Board Approval: Review Initiated
 Minor Development — Staff Review Below

	COFFING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED												
APPROVED CONDITIONALLY												
DISAPPROVED												

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

[Handwritten Signature]
 SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

April 12, 1988
Date

Applicant City of Portland

Address of Proposed Site 234 Cumberland Avenue

Mailing Address 389 Congress Street

Site Identifier(s) from Assessors Maps 7-1-1-1

Proposed Use of Site Gymnasium

Zoning of Proposed Site B-2

Acraage of Site 2.62 / Ground Floor Coverage 12,500

Proposed Number of Floors 3
Total Floor Area 37,500

Site Location Review (DEP) Required: () Yes (X) No
Board of Appeals Action Required: () Yes (X) No
Planning Board Action Required: (X) Yes () No

Other Comments: _____
Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	CONDITIONS SPECIFIED BELOW	REASONS SPECIFIED BELOW
APPROVED																	
APPROVED CONDITIONALLY																	
DISAPPROVED																	

REASONS: Curb to be reset shall be first approved by the City engineer. Sidewalks damaged during construction shall be reconstructed

(Attach Separate Sheet if Necessary)

William E. Sullivan 7/15/88
SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Applicant City of Portland Date April 12, 1988
 Mailing Address 389 Congress Street Address of Proposed Site 224 Cumberland Avenue
 Proposed Use of Site Gymnasium Site Identifier(s) from Assessors Maps 27-B-1
 Acreage of Site / Ground Floor Coverage 2.62 / 12,500 Zoning of Proposed Site 2
 Site Location Review (DEP) Required: () Yes (X) No Proposed Number of Floors 3
 Board of Appeals Action Required: () Yes (X) No Total Floor Area 37,500
 Planning Board Action Required: (X) Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW
(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 Requires Board of Appeals Action
 Requires Planning Board/City Council Action

Explanation _____

- Use complies with Zoning Ordinance — Staff Review Below

Zoning SPACE & BULK, as applicable	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40' FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS
	COMPLIES																	
COMPLIES CONDITIONALLY																		
DOES NOT COMPLY																		

CONDITIONS SPECIFIED BELOW
REASONS SPECIFIED BELOW

REASONS: _____

O.K. [Signature]
SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT—ORIGINAL

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

City of Portland
 Applicant _____ Date April 12, 1958
339 Congress Street
 Mailing Address _____ Address of Proposed Site 784 Cumberland Avenue
Commission
 Proposed Use of Site _____ Site Identifier(s) from Assessors Maps _____
8.62 / 12,500
 Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site G-2
 Site Location Review (DEP) Required: () Yes (X) No Proposer's Number of Floors 5
 Board of Appeals Action Required: () Yes (X) No Total Floor Area 37,500
 Planning Board Action Required: (X) Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

FIRE DEPARTMENT REVIEW

4/13/58
(Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMASE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED									
APPROVED CONDITIONALLY									CONDITIONS SPECIFIED BELOW
DISAPPROVED									REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)


 SIGNATURE OF REVIEWING STAFF/DATE
 FIRE DEPARTMENT COPY

847
son

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Joe Gray
FROM: Robert Ganley *RBG*
SUBJECT: Portland High School

DATE: 5/16/83

...

As the person responsible for coordinating the construction of the Portland High School renovation project I want to authorize your department to waive the building permit fee for this project and also to waive the performance guaranty. Obviously since this project is 100% funded with City dollars, it makes no sense to pay a Building Inspection fee and since the City will be standing behind the project and the contractor will be fully bonded, I see no need for a performance guaranty either.

..

RBG,k
cc: David Lcurie

PERMIT ISSUED
WITH LETTER



CITY OF PORTLAND, MAINE

389 COTEGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

August 3, 1988

C. M. Cimino, Inc.
3 Warren Avenue
Westbrook, ME 04092

RE: 284 Cumberland Avenue, Portland, Me, (Portland High School)

Dear Sir:

Your application to make alterations and gymnasium addition has been reviewed and a permit is herewith issued subject to the following requirement(s):

Site Plan Review Requirements

Fire Department - Approved, F. F. J. K. Dobkowski
Inspection Services - Approved, P. Samuel Hoffses
Public Works - Approved with conditions. Curb to be reset, shall be first approved by the City Engineer, sidewalks damaged during construction shall be reconstructed, W. Boothby
Planning Department - Approved, D. Klenk, 7/29/88

Building & Fire Code Requirements

1. The sounding devices used in the fire alarm/sprinkler system shall be audio and visual type.

2. The fire alarm shall be provided with zone disconnect capabilities.

If you have any questions regarding these requirement(s), please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief, Inspection Services

PSH/jq

cc: William Boothby, Public Works
David Klenk, Planning Department
Lt. Collins, Fire Department



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 6/4/92, 19
 Receipt and Permit number 3014

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 284 Cumberland Ave. - PHS gym

OWNER'S NAME: City/Portland ADDRESS: _____

	FEES
OUTLETS:	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____	
FIXTURES: (number of)	
Incandescent _____ Flourescent _____ (not strip) TOTAL _____	
Strip Flourescent _____ ft. _____	
SERVICES:	
Overhead _____ Underground _____ Temporary <u>X</u> TOTAL amperes _____	<u>15.00</u>
METERS: (number of) _____	
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____	Water Heaters _____
Cook Tops _____	Disposals _____
Wall Ovens _____	Dishwashers _____
Dryers _____	Compactors _____
Fans _____	Others (denote) _____
TOTAL _____	
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
	INSTALLATION FEE DUE: _____
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____	
FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____	
	TOTAL AMOUNT DUE: <u>15.00</u>

INSPECTION:

Will be ready on 6/19- am _____, 19____; or Will Call _____

CONTRACTOR'S NAME: Seaber Elect

ADDRESS: 200 Anderson St- Ptd, ME

TEL: 774-4880

MASTER LICENSE NO.: #3014 SIGNATURE OF CONTRACTOR: _____

LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

PERMIT # 000973 CITY OF Portland BUILDING PERMIT APPLICATION MAP # LOT #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: City of Portland

Address: 389 Commercial Street

LOCATION OF CONSTRUCTION 211 Cumberland Avenue

CONTRACTOR: _____ SUBCONTRACTORS: _____

ADDRESS: _____

Est. Construction Cost: _____ Type of Use: _____

Part Use: _____

Building Dimensions: L _____ W _____ Sq. Ft. _____ # Stories _____ Lot Size _____

Is Proposed Use: Seasonal _____ Condominium _____ Apartment _____

Is It Conversion, Explain Dimensions add/deduct (Add to Plan number)

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundations

1. Type of Sill: _____ Rear _____ Side(s) _____

2. Set Beets - Front _____

3. Footings Size: _____

4. Foundation Size: _____

5. Other _____

Floors _____ Sills must be anchored.

1. Sills Size: _____

2. Girder Size: _____

3. Lally Column Spacing: _____ Size: _____ Spacing 16" O.C.

4. Joists Size: _____

5. Bridging Type: _____ Size: _____

6. Floor Sheathing Type: _____ Size: _____

7. Other Material: _____

Exterior Walls

1. Studding Size _____ Spacing _____

2. No. windows _____

3. No. Doors _____

4. Header Size _____ No. _____ Span(s) _____

5. Bracing: Yes _____ No _____

6. Corner Posts Size _____

7. Insulation Type _____ Size _____

8. Sheathing Type _____ Size _____ Weather Exposure _____

9. Siding Type _____

10. Masonry Materials _____

11. Metal Materials _____

Interior Walls

1. Studding Size _____ Spacing _____

2. Header Size _____ Span(s) _____

3. Wall Covering Type _____

4. Fire Wall If required _____

5. Other Materials _____

For Official Use Only

Date April 22 1983 Subdivision: Yes / No _____

Inside Fire Limit _____ Name _____

Blind Code _____ L.A. _____

Time Limit _____ Block _____

Estimated Cost _____ Permit Expiration _____

Value/Structure _____ Ownership _____ Public _____

Fee _____ Private _____

Cellar

1. Ceiling Joists Size _____ Spacing _____

2. Ceiling Strapping Size _____

3. Type Callings: _____ Size _____

4. Insulation Type _____

5. Ceiling Height: _____

6. Other _____

Roof: 1. Truss or Rafter Size _____ Span _____

2. Sheathing Type _____ Size _____

3. Roof Covering Type _____

4. Other _____

Chimneys: _____ Number of Fire Places _____

Heating: _____ Type of Heat: _____

Electric: _____ Service Entrance Size: _____ Smoke Detector Required: Yes _____ No _____

Plumbing: _____ 1. Approval of soil test if required: Yes _____ No _____

2. No. of Fubs or Showers _____

3. No. of Flushes _____

4. No. of Lavatories _____

5. No. of Other Fixtures _____

Swimming Pools: _____

1. Type: _____ Square Footage _____

2. Pool Size: _____

3. Must conform to National Electrical Code and State Law.

Zoning: _____ District: _____ Street Frontage Req: _____ Provided _____

Required Setbacks: Front _____ Back _____ Side _____

Review Required: _____

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shore and Floodplain Mgmt. _____ Special Exception _____

Other (Explain): _____

Date Approved: _____

Permit Received By: Janine Quint

Signature of Applicant: _____

Signature of CEO: Stephen Hoar

Inspection Dates: 1-0-83

White Tag: CEO

White Tag: CEO

White Tag: CEO

White Tag: CEO

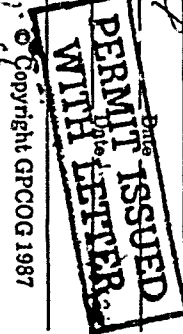
White Tag: CEO

White Tag: CEO

White Tag: CEO

White Tag: CEO

White Tag: CEO



White Tax Assessor

Yellow GPCOG

White Tag CEO

Copyright GPCOG 1987

284 Cumberland Ave

11-29-94 A.M. Tuesday

Inspect with Sam Hoffses, Jay Moran, & Rick Jones. We checked fire penetrations throughout. In the attic, we looked at an open shaft with duct work feeding into (near library) and other open shafts. We noticed missing lintels. In kitchen area, we looked at areas where HVAC ducts were installed and there were no lintels added above where steel beams were supposed to be supported. In cafeteria, we noted fire penetrations around elevator shaft over several floors.

11-30-94 P.M. Wednesday

Inspected with Lt. McDougal and Conrad Paulson, P.E. Open shaft in old section of attic was completely blocked up. Appears not to have any fire penetrations. Unable to verify if another lintel was added. Room 232 - Engineers were doing analysis work. There were major fire penetrations around duct work and missing lintels where steel beams rest on openings. Cimino construction working in G30 & G34 - They had blocked up some cable, pipe, and conduit penetrations.

12-2-94 P.M. Friday

Inspected by myself. Room 305 & 306 - Cimino had added new mesh and they were adding plaster (3/4" to 1") on the attic side only. Still substantial fire penetrations. Did note what appears to be 2 - 2 X 10's or 2 X 12's placed on clay tile. Will address this with Rick Jones and Sam Hoffses. This is further over in attic than where the open shaft was. (near farthest walkway to right of stairs)

12-5-94
T. Munson, C.E.O.

SAM HOFFS

PORTLAND HIGH SCHOOL MASONRY WALL REPAIRS AT PENETRATIONS
GENERAL NOTES SHEET W

December 2, 1994
WJE 942566

1. Contractor shall measure dimensions of penetrations and shall cut lintels to length as shown on attached drawing(s).
2. Contractor shall bring to the attention of the Engineer any conditions different from that shown on the attached drawing(s) and shall bring to the attention of the Engineer any conditions that prevent Contractor's completion of the work as shown on the drawing(s).
3. All masonry shall be constructed in accordance with the ACI 530-91 and ACI 530.1-91.
4. Brick units shall be solid units and conform to ASTM C 2
5. Brick shall be laid in a running bond.
6. Mortar shall be Type N mortar. No masonry cement shall be used.
7. Fill collar joint solid with mortar as work progresses.
8. Joint reinforcement, where specified, shall be truss-type joint reinforcement with deformed longitudinal wires as manufactured by Dur-O-Wal or approved equal.
9. Grout, for filling spaces less than 1 sq. ft., shall be prepackaged, non-shrink and non-metallic, as manufactured by 5-Star, Masterbuilders, or approved equal.
10. Concrete, for filling spaces greater than or equal to 1 sq. ft., shall be 3000 psi concrete, made with 1/2 in. aggregate. Concrete and concrete placement shall be in accordance with ACI 318-89, Revised 1992.
11. Containment board shall be 1/2 in. thick exterior grade BC plywood.
12. Anchors shall be 1/2 in. diameter Hilti sleeve anchors with 1-1/2 in. diameter washers.
13. Steel plates shall meet the requirements of ASTM A36. Plates shall be cut to length. If flamecutting is used, flat edges of plate shall be ground smooth.

Wiss, Janney, Elstner Associates, Inc.
29 N. Wacker Dr., Chicago, Illinois 60606

MADE BY
TST / [signature]

SHEET NUMBER
W1

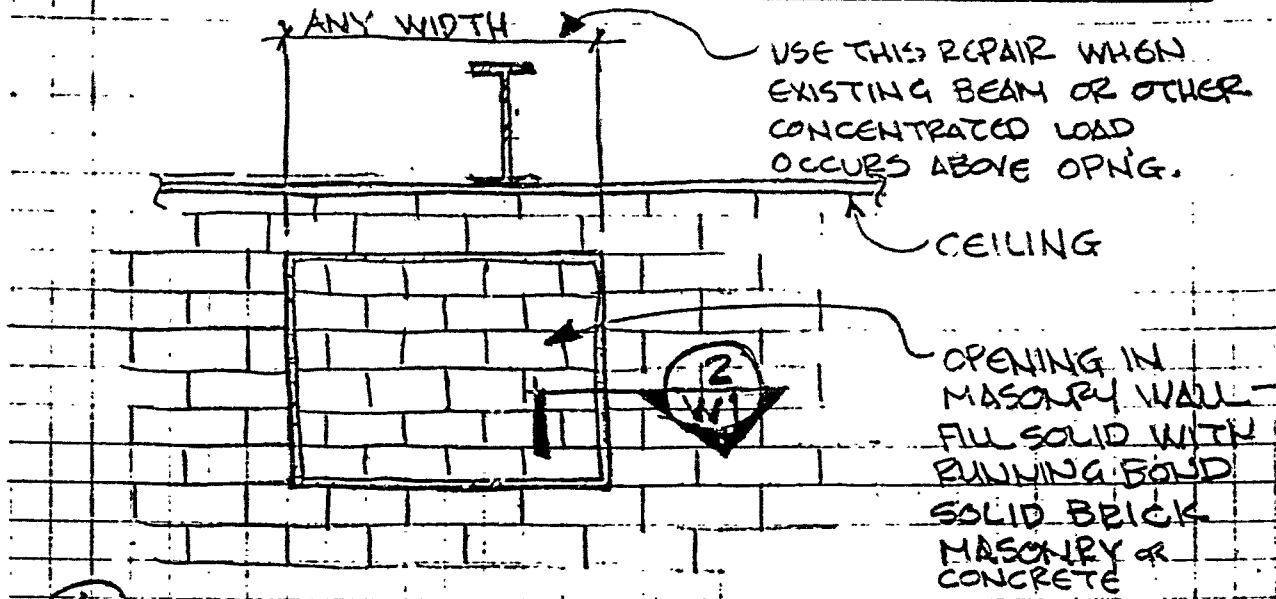
PORTLAND HIGH SCHOOL
MASONRY WALL REPAIRS AT
OPENING WITHOUT PENETRATION

CHECKED BY
DLP

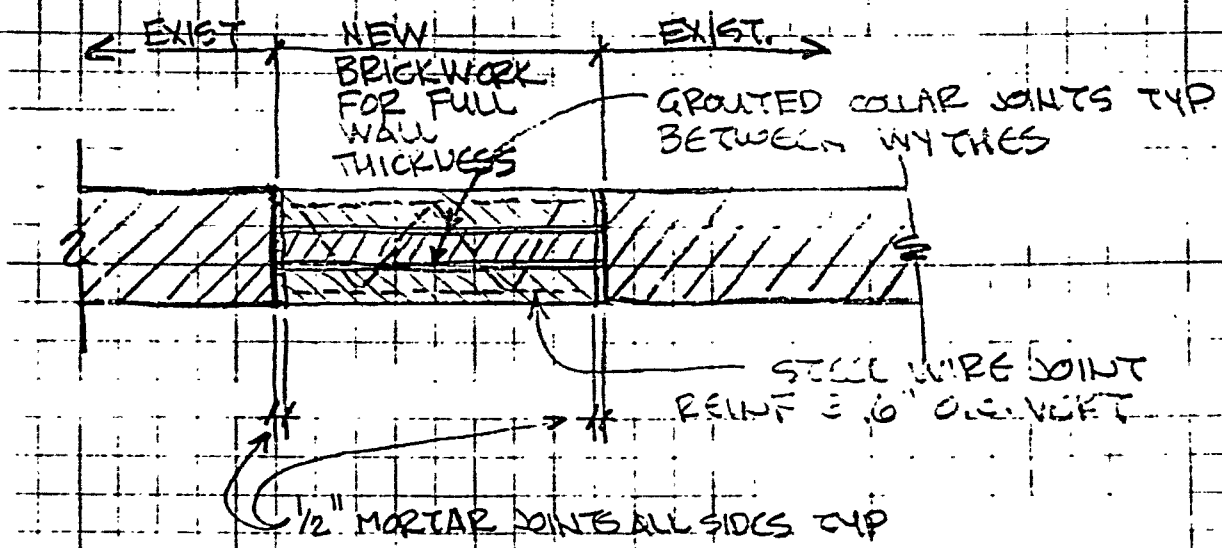
PROJ. NUMBER

DATE
12 2 94

942566



① PARTIAL WALL ELEVATION



② PLAN SECTION VIEW

Wiss, Janney, Elstner Associates, Inc.
29 N. Wacker Dr., Chicago, Illinois 60606

MADE BY
TST/AS

SHEET NUMBER
W-2

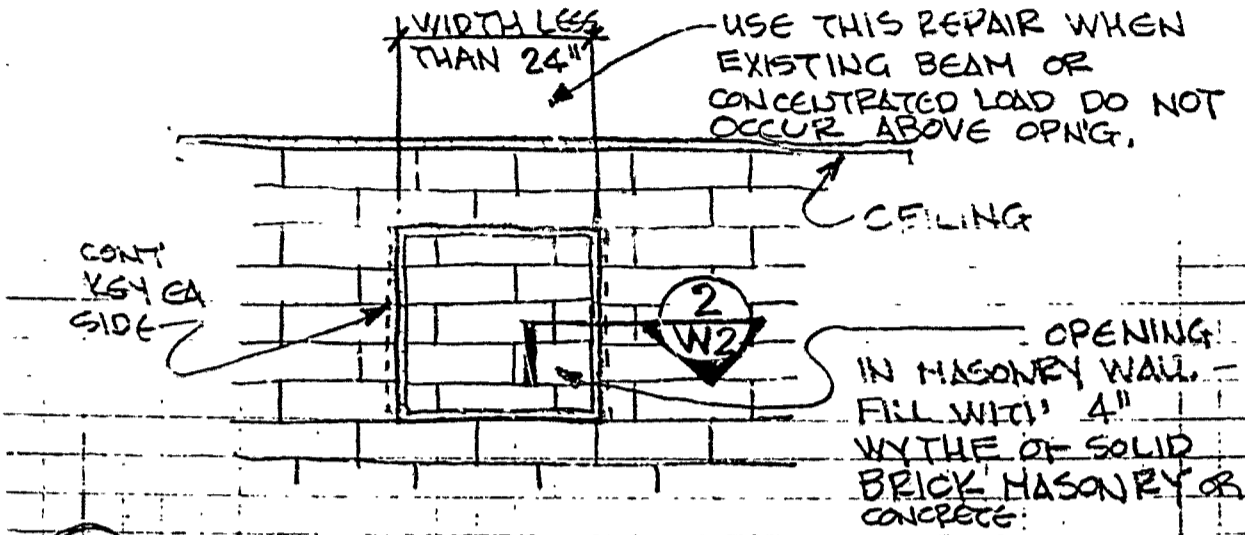
PORTLAND HIGH SCHOOL
MASONRY WALL REPAIRS AT OPENINGS
WITHOUT PENETRATION

CHECKED BY
DLD

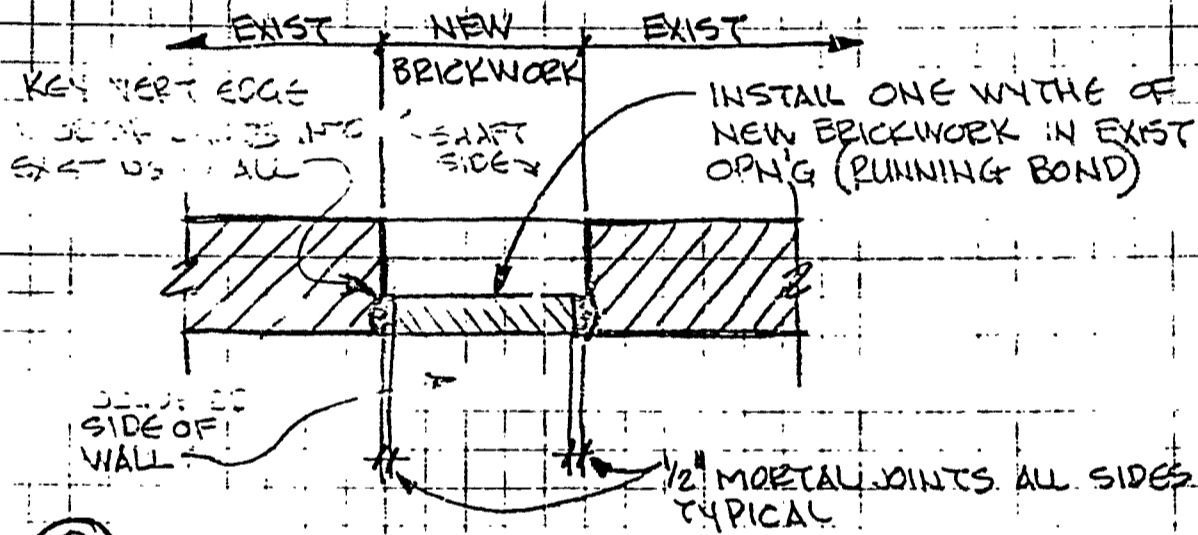
PROJ. NUMBER

DATE
12 2 94

942566

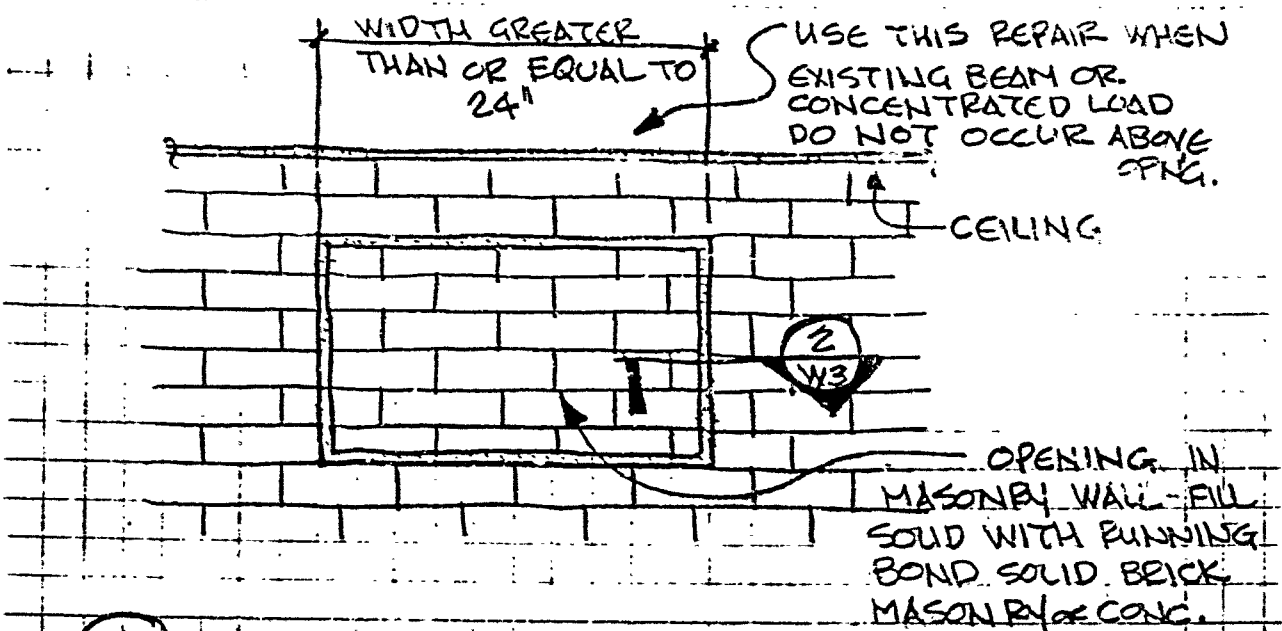


① PARTIAL WALL ELEVATION

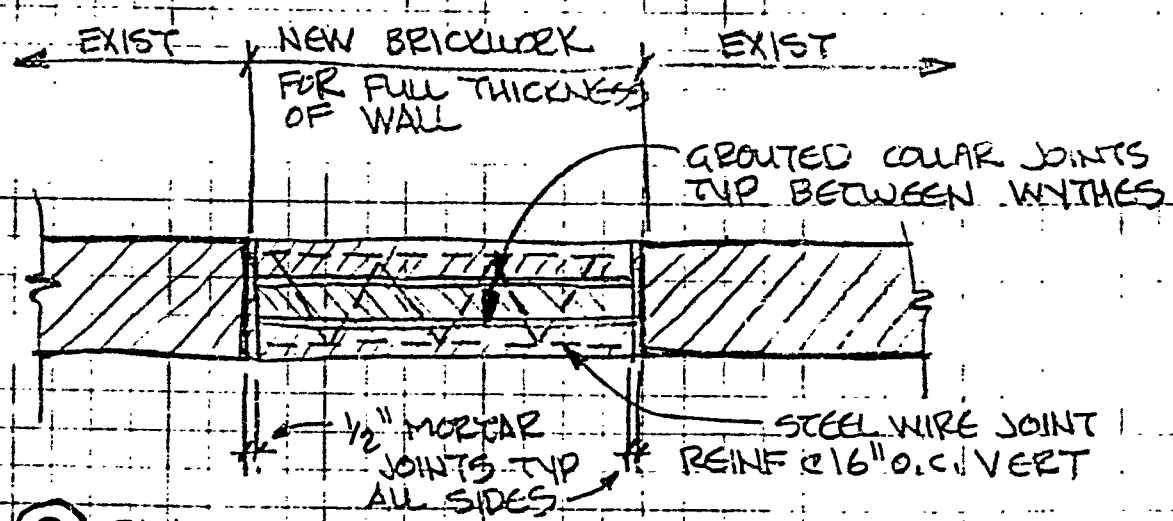


② PLAN SECTION VIEW

WISS, JANNEY, ELSTNER ASSOCIATES, INC. 29 N. WACKER DR., CHICAGO, ILLINOIS 60606 PORTLAND HIGH SCHOOL MASONRY WALL REPAIRS AT OPENING WITHOUT PENETRATION	I. DE BY TST / JB	SHEET NUMBER W 3
	CHECKED BY JLP	PROJ NUMBER 942566
	DATE 12 2 94	

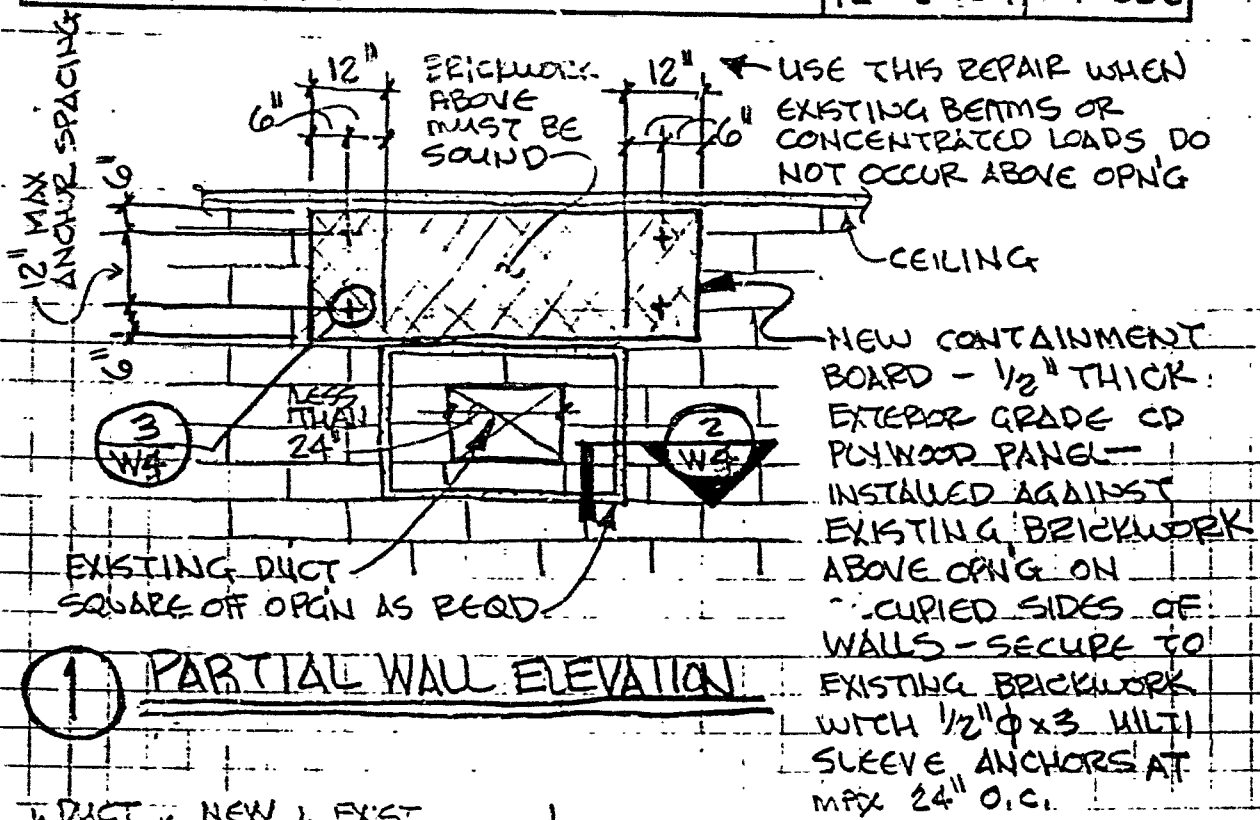


① PARTIAL WALL ELEVATION

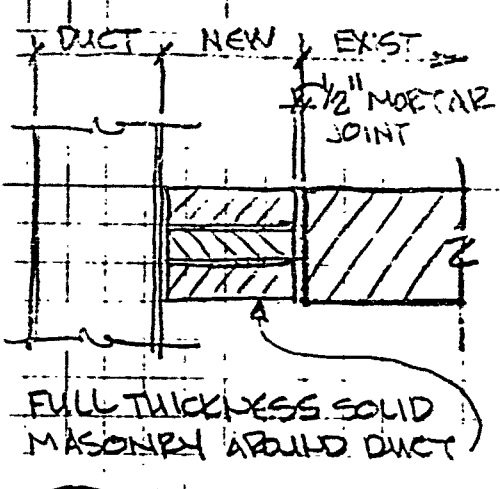


② PLAN SECTION VIEW

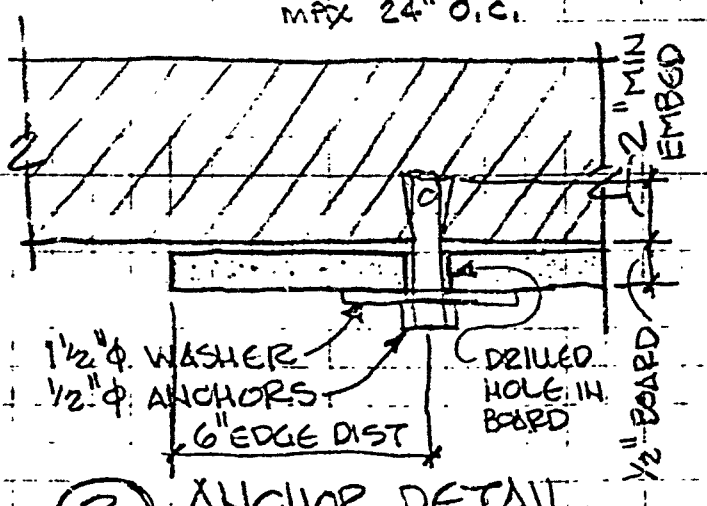
Wiss, Janney, Elstner Associates, Inc. 29 N. Wacker Dr., Chicago, Illinois 60606	MADE BY TST JES	SHEET NUMBER W4
	CHECKED BY DLD	PROJ NUMBER 942566
PORTLAND HIGH SCHOOL MASONRY WALL REPAIRS AT SPACING WITH PENETRATIONS	DATE 12 2 94	



1 PARTIAL WALL ELEVATION

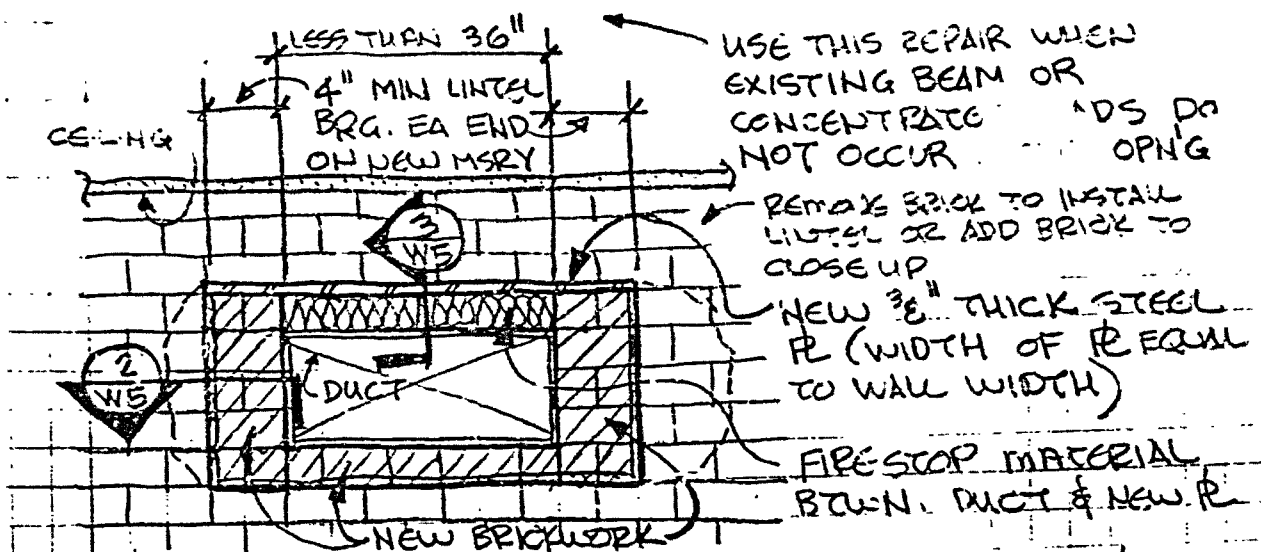


2 PLAN SECTION



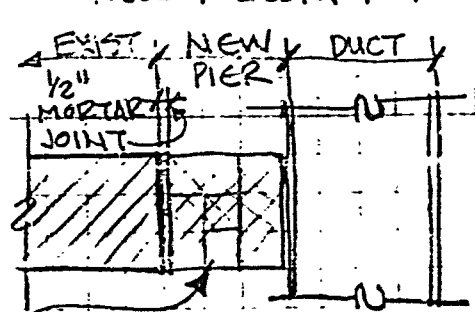
3 ANCHOR DETAIL

Wiss, Janney, Elstner Associates, Inc. 29 N. Wacker Dr., Chicago, Illinois 60606	MADE BY TST/LS	SHEET NUMBER W5
	CHECKED BY DKD	PROJ. NUMBER 942566
PORTLAND HIGH SCHOOL MASONRY WALL REPAIRS AT OPG WITH PENETRATIONS	DATE 12 2 94	

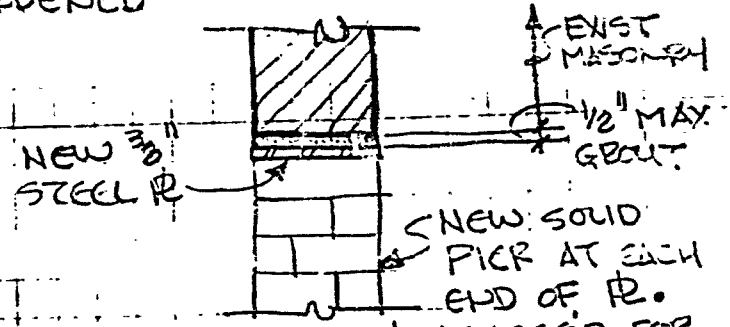


1 PARTIAL WALL ELEVATION

- 1 SQUARE OFF TOP OF EXISTING OPENING TO INSTALL STEEL PLATE FLUSH TO EXISTING MASONRY ABOVE
- 2 INSTALL TEMPORARY VERTICAL SUPPORT FOR STEEL PLATE UNTIL NEW MASONRY HAS HARDENED



SOLID INTERLOCKING BRICK PIER FOR SUPPORTING NEW PLATE



WIDEN OPENING AS REQ'D FOR NEW PIERS OR CLOSE OPG TO NEW PIERS

2 PLAN SECTION

3 CROSS SECTION

Wiss, Janney, Elstner Associates, Inc.
29 N. Wacker Dr., Chicago, Illinois 60606

MADE BY
TST/AB

SHEET NUMBER

W6

CHECKED BY

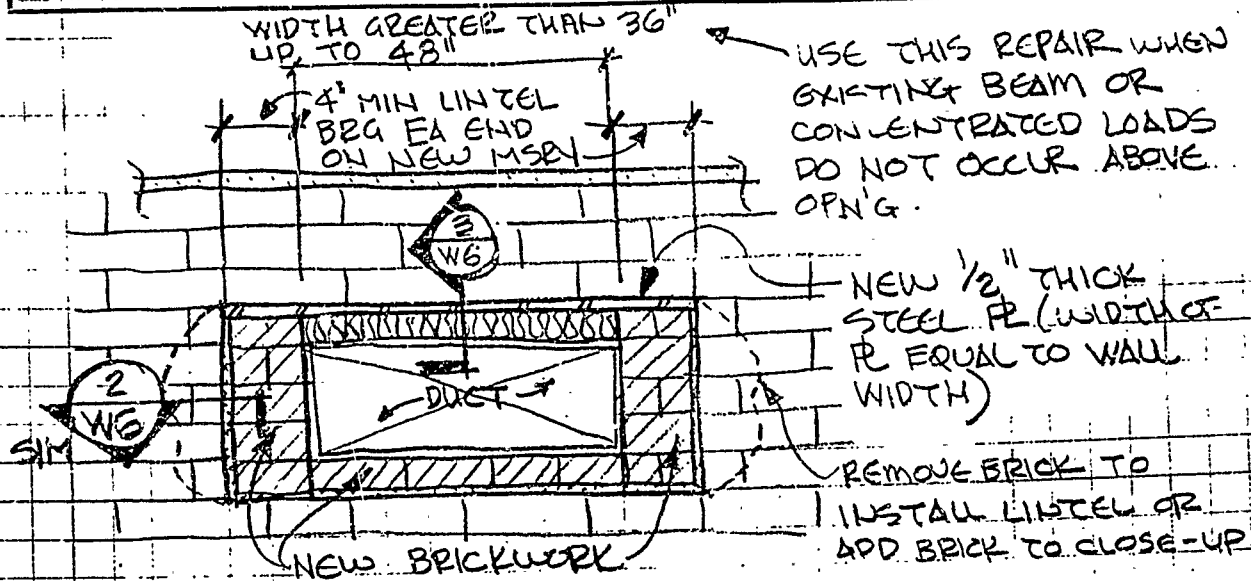
DLP

PROJ. NUMBER

DATE
12 2-94

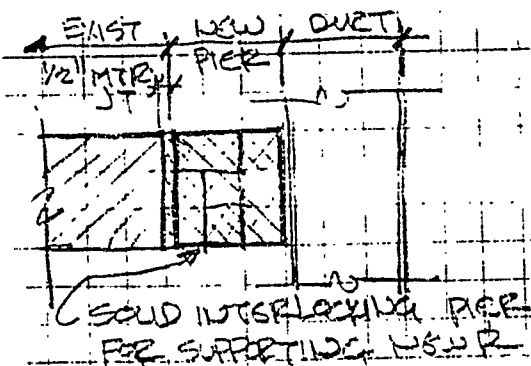
942566

PORTLAND HIGH SCHOOL
MASONRY WALL REPAIRS AT OFFICE
PENETRATIONS



1 PARTIAL WALL ELEVATION

- 1 SQUARE OFF EXISTING OPENING TO INSTALL STEEL PL FLUSH TO EXIST MASONRY ABOVE
- 2 INSTALL TEMPORARY VERTICAL SUPPORT FOR STEEL PL UNTIL NEW MASONRY HAS CURED



2 PLAN SECTION

3 CROSS SECTION

Wiss, Janney, Elstner Associates, Inc.
29 N. Wacker Dr., Chicago, Illinois 60606

MADE BY

TST/BS

SHEET NUMBER

W 7

PORTLAND HIGH SCHOOL
MASONRY WALL REPAIRS AT OPENINGS WITH
PENETRATIONS

CHECKED BY

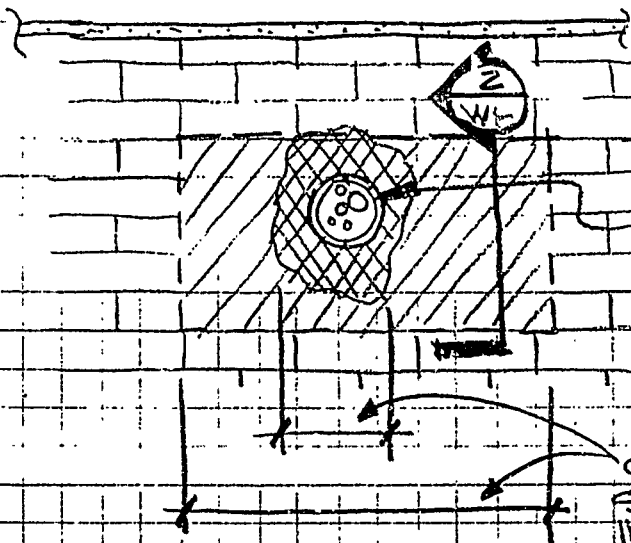
DLP

PROJ. NUMBER

DATE
12 2 94

942566

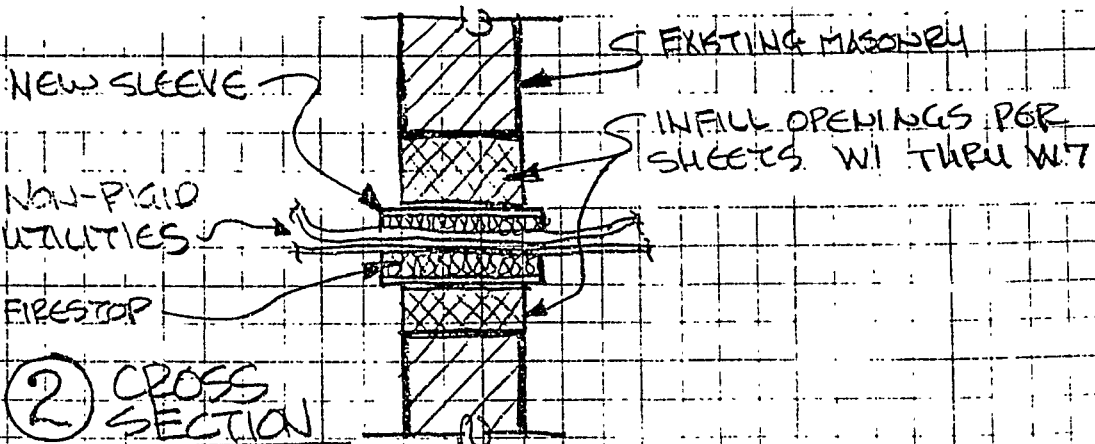
USE THIS REPAIR WHEN
EXISTING BEAM OR
CONCENTRATED LOADS
DO NOT OCCUR ABOVE
OPENING



NEW SLEEVE
INSTALLED AROUND
NON-RIGID CABLES
ETC. INSTALL
FIRESTOPPING MATL
AS REQD.

OPENING WIDTHS VARY - SEE
SHEETS W/ THRU W'G FOR
INFILL & LINTEL REQ'S.

① PARTIAL WALL ELEVATION AT



② CROSS SECTION

11 HFFSE

PORTLAND HIGH SCHOOL MASONRY WALL REPAIRS-INSPECTOR NOTES

Sheet W N1 of 2
December 2, 1994
WJE 942566

REPAIRS OF OPENINGS IN LOAD BEARING WALLS WHICH DO NOT HAVE A
CONCENTRATED LOAD OVER THE OPENING AND WHICH HAVE ADEQUATE
ARCHING OVER THE OPENING

1. GENERAL

- A. Verify the presence or absence of a concentrated load by locating beams bearing on the wall. Metal detector may be required.
- B. Make a sketch of the openings in the wall of the room above to verify that concentrated loads do NOT exist over opening to be repaired and that the brickwork over opening has adequate arching.
- C. If a concentrated load (such as a beam or a column of brickwork) is present over the opening, develop a design to accommodate the site specific conditions. The exception is condition 2. A.

2. OPENINGS WITH NO PENETRATIONS PASSING THROUGH THE OPENING.

- A. If a concentrated load is present or there is inadequate arching action above, fill the full thickness and extent of the opening with concrete or solid brick units. (Specify Detail W1)
Pipes ARE Permitted
- B. If concentrated load is NOT present and the opening width is less than 24 in., fill the extent of the opening with 4 in. of concrete or solid brick units. (Specify Detail W2) If the opening is less than 6 in., firestop material can be used to fill the full thickness and extent of the opening.
- C. If concentrated load is NOT present and the opening width is greater than 24 in., fill the full thickness and extent of the opening with solid brick units. (Specify Detail W3)

3. OPENINGS WITH PENETRATION AND CONCENTRATED LOAD IS NOT PRESENT (DUCT, BX, COMMUNICATION CABLES, ETC.) PASSING THROUGH THE OPENING.

- A. Penetrations from 0 in. to 24 in. wide: Fill the full thickness of the opening in the brickwork to the extent of the penetration with concrete or solid brick units and install containment for the existing brickwork over the penetration. Verify that the brickwork above the

PORTLAND HIGH SCHOOL MASONRY WALL REPAIRS-INSPECTOR NOTES

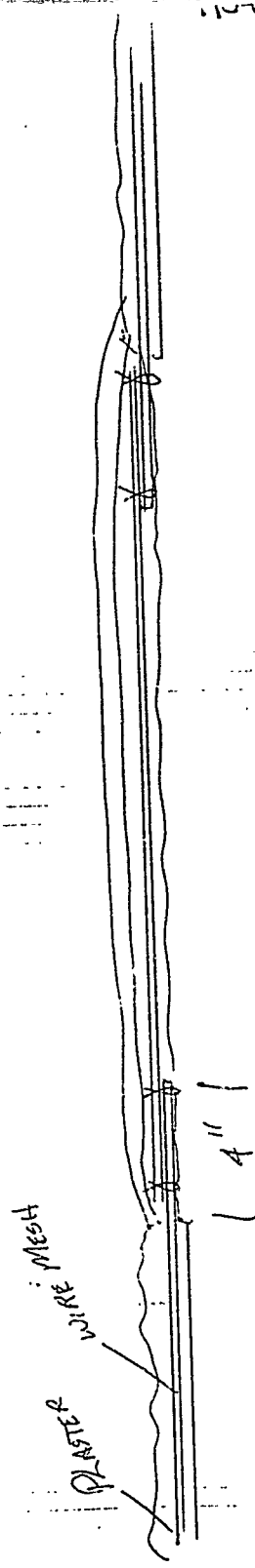
Sheet W N2 of 2

penetration is sound. (Specify Detail W4) If the brickwork above the penetration is not sound, a lintel shall be installed per detail W5.

- B. Penetrations from 24 in. to 36 in. wide: Install 3/8 in. plate lintel and fill the full thickness of the opening in the brickwork to the extent of the penetration with concrete or solid brick units. (Specify Detail W5)
- C. Penetrations from 36 in. to 48 in. wide: Install 1/2 in. plate lintel and fill the full thickness of the opening in the brickwork to the extent of the penetration with concrete or solid brick units. (Specify Detail W6)
- D. Penetrations greater than 48 in. wide: Develop a design to accommodate site specific conditions.
- E. Opening with non-rigid utilities (BX, communication cables, etc.): Install smallest diameter sleeve which will accommodate the existing utilities. Fill the full thickness to the extent of the sleeve with solid brick units, grout or firestop material as shown. Fill extent of sleeve with firestop material. (Specify Detail W7)

PLASTER CEILING REPAIR DETAIL

11-29-94
KEITH LOWELL
PORTLAND
DESIGN
TEAM
CIV. DEP 11-29-94



NOTES

- 1 REMOVE OLD PLASTER TO EXPOSE 4" OF MESH
- 2 LAP NEW MESH 4" OVER OLD AND WIRE BOTH EDGES 6" O.C.
- 3 APPLY STRUCTO-LITE IN 2 - 1/2" LAYERS. APPLY FROM TOP OR BOTTOM.
- 4 CONTINUE FURRING CHANNEL ACROSS OPENINGS > 10" IN DIAMETER. WIRE MESH TO NEW FURRING CHANNEL 6" O.C. EXTEND CHANNELS 1/2" DIA. BEYOND OPENINGS.
5. ALL NEW WIRE MESH, WIRE TIES & FURRING CHANNELS SHALL BE INSPECTED BEFORE FIRST COAT OF PLASTER IS APPLIED.

SKETCH #1

SENT BY: Xerox Telecopier 7021 : 8-30-94 : 2:26PM :

207 974 6649: # 2

Portland Public Schools

Administrative Offices
331 Veranda Street, Portland, Maine 04103-5599
207-574-8100



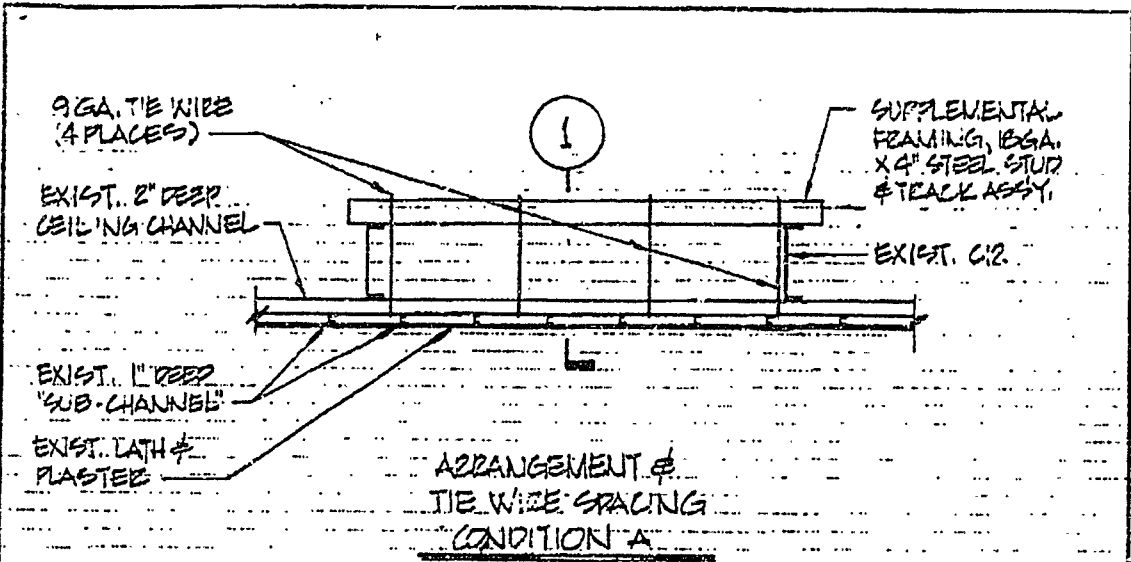
TO: Sam Hoffses
Inspections Dept. - City Hall
FAX # 874-8649
FROM: Richard Jones
DATE: 8/23/94

PAGE 1 OF 6

MESSAGE: _____

FAX # (207) 874-8107

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ARRANGEMENT OF TIE WIRE SPACING CONDITION A

TIE WIRE SPACING CONDITION B:

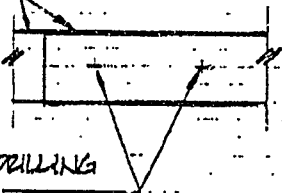
PROVIDE 9 GA. TIE WIRES AT EVERY SUB-CHANNEL AS SHOWN IN SECTION 1 ON SK. 2.

SPACING OF COMPONENTS:

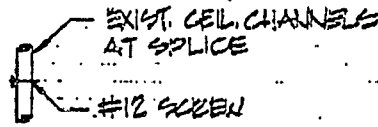
- EXIST. C/R'S: 5'-9" TO 6'-9"
- EXIST. 2" CEIL. CHANNEL: 5'-0"
- EXIST. 1" SUB-CHANNEL: 1'-0"
- NEW SUPPLEMENTAL FRAMING: SPA. TO MATCH EXIST. CEILING CHANNEL

NOTE: SPACINGS ARE APPROXIMATE, VERIFY IN FIELD.

EXIST. 2" CEIL. CHANNELS



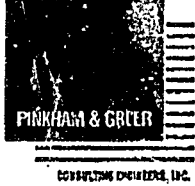
2 #12 SELF-DRILLING SCREWS



EXIST. CEIL. CHANNELS AT SPLICE
#12 SCREW

NOTE: FASTEN ALL EXIST. SPLICES AS SHOWN WHERE CONDITION B EXISTS.

FASTENING AT EXIST. CEIL. CHANNEL SPLICE



PORTLAND HIGH SCHOOL
CEILING REPAIRS

DLP 8-19-94 SK1 OF 5

SUPPLEMENTAL LIGHT
GAGE METAL FRAMING

2" x 4" x 10 GA. STL. STUD
w/ 4" x 10 GA. TRACK

#8 SELF-DRILLING
SCREWS 12" O.C.
(TYR)

9 GA. TIE WIRE

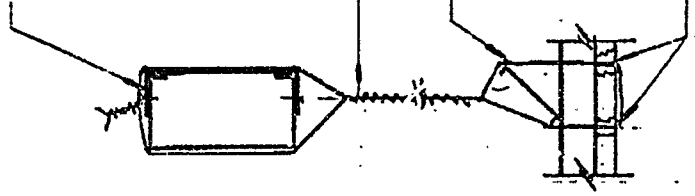
EXIST. CEIL. CHANNEL
EXIST. 1" SUB-CHANNEL,
METAL LATH, & PLASTER

2" x 4" x 10 GA. STUD
w/ 4" x 10 GA. TRACK

9 GA. TIE WIRE

TIE WIRE MUST
ENGAGE EXIST.
CHANNEL, SUB-
CHANNEL, LATH
& PLASTER

BREAK OUT EXIST.
PLASTER TO
ALLOW TIE WIRE
TO PENETRATE



CONDITION A

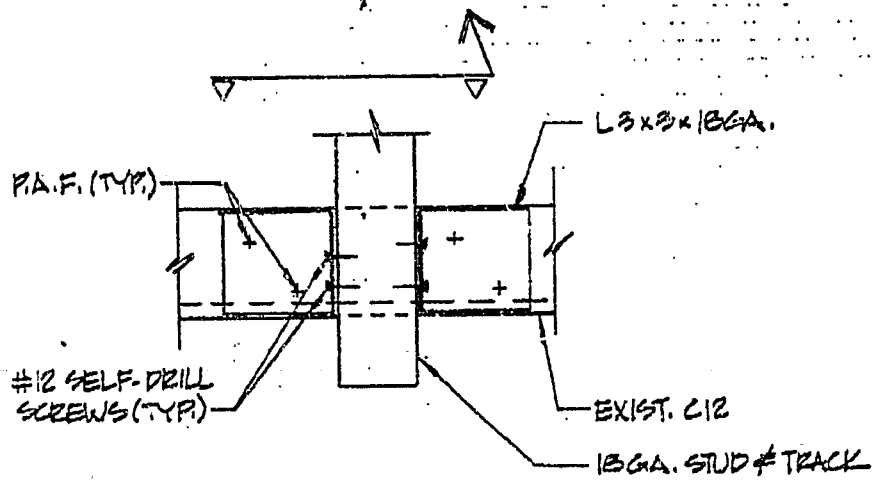
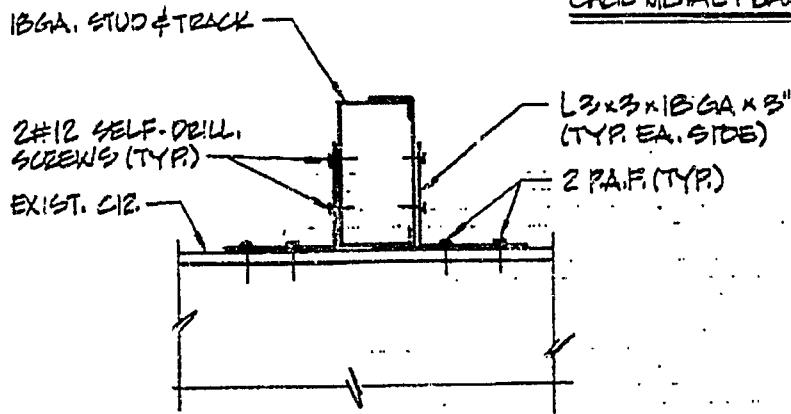
SECTION 1

CONDITION B

PORTLAND HIGH SCHOOL
CEILING REPAIRS
DIP 8-19-94
SK:2 of 5

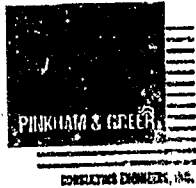


SUPPLEMENTAL LIGHT
GAGE METAL FRAMING



PLAN VIEW

TYP. BEAZING ON EXIST. C12



PORTLAND HIGH SCHOOL
CEILING REPAIRS

DWG 8-19-94 SKB OF 5

#12 SELF-DRILL. SCREW
INTO EACH STUD/TRACK
ASSEMBLY

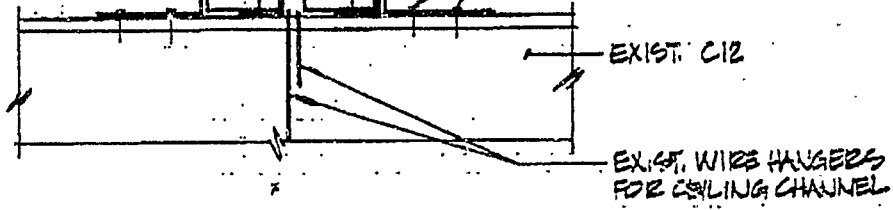
PLATE 1/8 GA. x 2"x4"

L3x3x1/8 GA. (TYP)

1/8 GA. STUD & TRACK
ASSEMBLIES

2 #12 SELF-DRILL.
SCREWS (TYP)

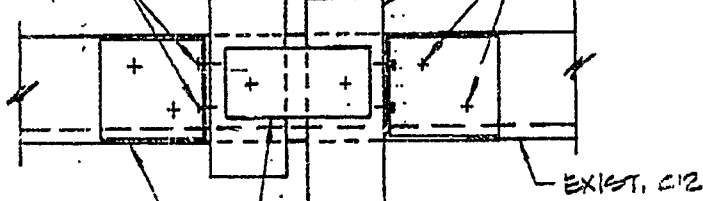
P.A.F.'S (TYP)



#12 SELF-DRILL.
SCREWS (TYP)

1/8 GA. STUD & TRACK ASSY.

P.A.F.'S (TYP)

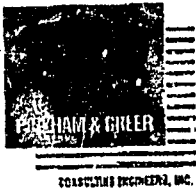


L3x3x1/8 GA. (TYP)

PLATE 1/8 GA. W/2
#12 SELF-DRILL. SCREWS

PLAN VIEW

BEARING ON EXIST. C12 FOR
CONT. SUPPLEMENTAL FRAMING



PORTLAND HIGH SCHOOL
CEILING REPAIRS
SEP 8-19-94 SKA (OFF)

NOTES FOR SUPPLEMENTAL FRAMING:

1. CONDITION A: EXIST. CEILING CHANNEL IS VERTICAL AND EXIST. CLIPS SUPPORTING SUB-CHANNELS ARE ON ALTERNATING SIDES OF CEIL. CHANNEL

CONDITION B: EXIST. CEILING CHANNEL IS NOT VERTICAL AND/OR CLIPS SUPPORTING SUB-CHANNELS ARE ON SAME SIDE OF CEIL. CHANNEL.

2. POWDER ACTUATED FASTENERS (P.A.F.): EQUIVALENT TO HILTI EDU PINS, .145" SHANK DIA.

3. STEEL STUDS: EQUIVALENT TO DIETRICH 4" CSW W/ 2" FLANGE, 16GA., MIN. YIELD STRENGTH 33,000 PSI; 13 GA. TRACK, MIN. YIELD STRENGTH 33,000 PSI.

4. TIE WIRE: 9 GA, ASTM A641, YIELD STRENGTH 33,000

5. SELF-DRILLING SCREWS: NO. 12 WITH #3 POINT, HEX WASHER HEAD
NO. 8 WITH #2 POINT, HEX WASHER OR PAN HEAD.



PORTLAND HIGH SCHOOL
CEILING REPAIRS

DLP 8-19-94

5/15/95

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207 874 8649: # 1

Portland Public Schools

Administrative Offices
331 Veranda Street, Portland, Maine 04103-8399
207-874-8100



TO: Sam Hoffes
Inspections Dept - City Hall
FROM: 874-8649
ATTN: Quiana Jones

PAGE 3 OF 6

MESSAGE: _____

FAX # (207) 874-8107

Equal Opportunity Employer

*Just -
Sam
Please
Him
Lesh
A
Send it to
A
Thank you*

TRANSMISSION REPORT

THIS DOCUMENT (REDUCED SAMPLE ABOVE)
WAS SENT

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NO	REMOTE STATION I. D.	START TIME	DURATION	#PAGES	COMMENT
1	207 874 8649	8-23-94 1:08PM	3'34"	6	

TOTAL 0:03'34" 6

XEROX TELECOPIER 7021



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Robert Ganley, City Manager
DATE: August 22, 1994
FROM: Marge Schmuckal, Asst. Chief of Inspection Services
SUBJECT: Portland High Ceiling Collapse

On Monday morning August 22, 1994, Sam Hoffses, Mike Claus, Paul Bradberry, and I inspected the third floor art room area where the ceiling collapse occurred and also the attic area. The workmen are in the process of exposing areas where all the support strapping lie. This is in order to check the integrity of the remaining structural supports. The workmen made mention to us that during this process of suctioning off cellulose insulation to expose these areas, it appears that they had found some live wires that had not been secured or wire-nutted. We are passing this information on to Richard Jones so that they can properly take care of that matter as soon as possible.

Paul Bradberry did not think that his expertise could help us out in this matter, but was willing to be available to us if we had any mechanical questions. Mike Claus initially agrees with the suggested reason of the ceiling collapse. He would like to see any written reports when they are submitted.

Our office will be keeping on top of this situation as it progresses.

/el

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
P. Samuel Hoffses, Chief of Inspection Services

PORTLAND HIGH SCHOOL BUILDING REPAIR PROJECT

PLAN ROOM NO: 2093
 BUILDING ROOM NO: 233

WALL				CEILING			FLOOR OR ROOF DECK ABOVE			INSPECTION		
NETL / BRICK MYTHE	LINTEL INSTALLED	FRESTOP	CABLE SLEEVE	SUPPORT FRAME	LATH & WIRE TIE	PLASTER FRESTOP	SUPPORT FRAME	GROUT REPAIR	SKELBACK REPAIR	FRESTOP	BY	DATE
Sprecher department called for repair Done											RDJ	12/6/93
and duct in primary sawed in masonry Done											RDJ	12/6/93
N/E w/ PENNACON Duct through was 1st w/ girth installed 2nd w/ girth installed completed											RDJ	12/7/93

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 DEC 7 1994
 RECEIVED

PORTLAND HIGH SCHOOL BUILDING REPAIR PROJECT

PLAN ROOM NO: 3035
BUILDING ROOM NO: 324

WALL			CEILING			FLOOR OR ROOF DECK ABOVE			INSPECTION			
NETL BRCK W/THE	LINTEL INSTALLED	FIRESTOP	CABLE SLEEVE	SUPPORT FRAME	LATH & WIRE TIE	PLASTER FIRESTOP	SUPPORT FRAME	GROUT REPAIR	SKEWBACK REPAIR	FIRESTOP	BY	DATE
					Report of repairs made on 12/7/94 at 1st floor plaster door all openings						R05	12/7/94

DEPT. OF BUILDING INSPECTORS
CITY OF PORTLAND, ME
DEC 7 1994
RECEIVED

PORTLAND HIGH SCHOOL BUILDING REPAIR PROJECT

PLAN ROOM NO.: 3046
 BUILDING ROOM NO.: 333

WALL			CEILING			FLOOR OR ROOF DECK ABOVE			INSPECTION			
INFILL BRICK WITH	LINTEL INSTALLED	FRESTOP	CABLE SLEEVE	SUPPORT FRAME	LATH & WIRE TE	PLASTER FRESTOP	SUPPORT FRAME	GROUT REPAIR	SKEWBACK REPAIR	FRESTOP	BY	DATE
						SMALL inside Rector Loose plaster					R25	12/11/94

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
RECEIVED
 DEC 7 1994

PORTLAND HIGH SCHOOL BUILDING REPAIR PROJECT

PLAN ROOM NO: 3044
BUILDING ROOM NO: 332

WALL				CEILING				FLOOR OR ROOF DECK ABOVE			INSPECTION	
NETL BRCK W/THE	LINTEL INSTALLED	FRESTOP	CABLE SLEEVE	SUPPORT FRAME	LATH & WIRE TIE	PLASTER FRESTOP	SUPPORT FRAME	GROUT REPAIR	SKEWBACK REPAIR	FRESTOP	BY	DATE
						Small Water Damage Repair					RCS	12/17/94

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
DEC 7 1994
M L E & S I V E

PORTLAND HIGH SCHOOL BUILDING REPAIR PROJECT

PLAN ROOM NO: 3059
 BUILDING ROOM NO: 306

FLOOR OR ROOM: DECK ABOVE

INSPECTION

WALL

CEILING

FLOOR OR ROOM: DECK ABOVE

INSPECTION

NEEL
BRCK
WYTHE

LINTEL
INSTALLED

FRESTOP

CABLE
SLEEVE

SUPPORT
FRAME

LATH &
WIRE TIE

PLASTER
FRESTOP

SUPPORT
FRAME

GROUT
REPAIR

SKEWBACK
REPAIR

FRESTOP

BY

DATE

WALL	CEILING	FLOOR OR ROOM: DECK ABOVE	INSPECTION								
LINTEL INSTALLED	FRESTOP	CABLE SLEEVE	SUPPORT FRAME	LATH & WIRE TIE	PLASTER FRESTOP	SUPPORT FRAME	GROUT REPAIR	SKEWBACK REPAIR	FRESTOP	BY	DATE
					Installed 1st coat plaster in roof					RSJ	11/27/94
					2nd coat plaster - SW&U					RSJ	11/30/94
					Note and photo and						

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 DEC 7 1994
 RECEIVE