

923788

Permit # 923788 City of Portland BUILDING PERMIT APPLICATION Fee 5.00 Zone \_\_\_\_\_ Map # \_\_\_\_\_ Lot # \_\_\_\_\_

Please fill out any part which applies to job. Proper plans must accompany form.

PERMIT ISSUED  
JUN 10 1992  
CITY OF PORTLAND

Owner: Mark McCracken Phone # 874-0931

Address: 57 Birchvale Drive 04102

LOCATION OF CONSTRUCTION 57 Birchvale Drive

Contractor: Mark McCracken Sub: \_\_\_\_\_

Address: same as above Phone # \_\_\_\_\_

Est. Construction Cost: \$1470.00 Proposed Use: single fam w/ exterior renovations

Past Use: single fam.

# of Existing Res. Units \_\_\_\_\_ # of New Res. Units \_\_\_\_\_

Building Dimensions L \_\_\_\_\_ W \_\_\_\_\_ Total Sq. Ft. \_\_\_\_\_

# Stories: \_\_\_\_\_ # Bedrooms \_\_\_\_\_ Lot Size: \_\_\_\_\_

Is Proposed Use: Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Conversion \_\_\_\_\_

Explain Conversion replacing retaining wall 20' x 4' x 6"

For Official Use Only  
Date 6/12/92  
Subdivision \_\_\_\_\_  
Name \_\_\_\_\_  
Inside Fire Limits \_\_\_\_\_  
Bldg Code \_\_\_\_\_  
Time Limit \_\_\_\_\_  
Estimated Cost \_\_\_\_\_  
Ownership: \_\_\_\_\_  
Lot \_\_\_\_\_

Review Required:  
Zoning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Planning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Conditional Use: \_\_\_\_\_ Variance \_\_\_\_\_ Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_  
Shoreland Zoning Yes \_\_\_\_\_ No \_\_\_\_\_ Floodplain Yes \_\_\_\_\_ No \_\_\_\_\_  
Special Exception \_\_\_\_\_  
Other (Explain) \_\_\_\_\_ 6-16-92

Foundation:  
1. Type of Soil: \_\_\_\_\_  
2. Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Side(s) \_\_\_\_\_  
3. Footings Size: \_\_\_\_\_  
4. Foundation Size: \_\_\_\_\_  
5. Other \_\_\_\_\_

Floor:  
1. Sills Size: \_\_\_\_\_ Sills must be anchored  
2. Girder Size: \_\_\_\_\_  
3. Lally Column Spacing: \_\_\_\_\_ Size: \_\_\_\_\_  
4. Joists Size: \_\_\_\_\_ Spacing 16" O.C.  
5. Bridging Type: \_\_\_\_\_ Size: \_\_\_\_\_  
6. Floor Sheathing Type: \_\_\_\_\_ Size: \_\_\_\_\_  
7. Other Material: \_\_\_\_\_

Exterior Walls:  
1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
2. No. windows \_\_\_\_\_  
3. No. Doors \_\_\_\_\_  
4. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_  
5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_  
6. Corner Posts Size \_\_\_\_\_  
7. Insulation Type \_\_\_\_\_ Size: \_\_\_\_\_  
8. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
9. Siding Type \_\_\_\_\_ Weather Exposure \_\_\_\_\_  
10. Masonry Materials \_\_\_\_\_  
11. Metal Materials \_\_\_\_\_

Interior Walls:  
1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
2. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_  
3. Wall Covering Type \_\_\_\_\_  
4. Fire Wall if required \_\_\_\_\_  
5. Other Materials \_\_\_\_\_

Ceiling:  
1. Ceiling Joists Size: \_\_\_\_\_  
2. Ceiling Strapping Size \_\_\_\_\_ Spacing \_\_\_\_\_  
3. Type Ceilings: \_\_\_\_\_ Size \_\_\_\_\_  
4. Insulation Type \_\_\_\_\_  
5. Ceiling Height: \_\_\_\_\_

Roof:  
1. Truss or Rafter Size \_\_\_\_\_ Span \_\_\_\_\_  
2. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
3. Roof Covering Type \_\_\_\_\_  
Action: Approved  
Approved with Conditions

Chimneys:  
Type: \_\_\_\_\_ Number of Fire Places \_\_\_\_\_  
Date: \_\_\_\_\_  
Signature: \_\_\_\_\_

Heating:  
Type of Heat: \_\_\_\_\_

Electrical:  
Service Entrance Size: \_\_\_\_\_ Smoke Detector Required Yes \_\_\_\_\_ No \_\_\_\_\_

Plumbing:  
1. Approval of soil test if required Yes \_\_\_\_\_ No \_\_\_\_\_  
2. No. of Tubs or Showers \_\_\_\_\_  
3. No. of Flushes \_\_\_\_\_  
4. No. of Lavatories \_\_\_\_\_  
5. No. of Other Fixtures \_\_\_\_\_

Swimming Pools:  
1. Type: \_\_\_\_\_  
2. Pool Size: \_\_\_\_\_ x \_\_\_\_\_ Square Footage \_\_\_\_\_  
3. Must conform to National Electrical Code and State Law.

Permit Issued By J. Fogg  
Signature of Applicant Mark McCracken  
CEO's District \_\_\_\_\_

Date 6/12/92

CONTINUED TO REVERSE SIDE  
Ivory Tag - CEO

White - Tax Assessor

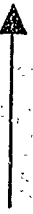
PERMIT ISSUED WITH REQUIREMENTS

PERMIT ISSUED WITH REQUIREMENTS

THOMPSON

PLOT PLAN

N



FEES (Breakdown From Front)

Base Fee \$ \_\_\_\_\_  
 Subdivision Fee \$ \_\_\_\_\_  
 Site Plan Review Fee \$ \_\_\_\_\_  
 Other Fees \$ \_\_\_\_\_  
 (Explain) \_\_\_\_\_  
 Late Fee \$ \_\_\_\_\_

Inspection Record

Type	Date
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____

COMMENTS *12/5/96* *Tree Called - Checked w/ overgrowth - doesn't appear*  
*what work was done -*  
*Permit Expired*

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

*Manuel*  
 SIGNATURE OF APPLICANT

ADDRESS

PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE NO.

Mark McCracken  
57 Birchvale Drive  
Portland, ME 04102  
874-0931

Proposal to Replace an Existing Concrete Retaining Wall.

Location: 57 Birchvale Drive, Portland, ME.

Existing wall: 26' x 4' x 8" poured concrete

Earth behind wall has settled causing the wall to lean approximately 4" from center. The concrete has fractured in several places. The wall is at risk of collapse.

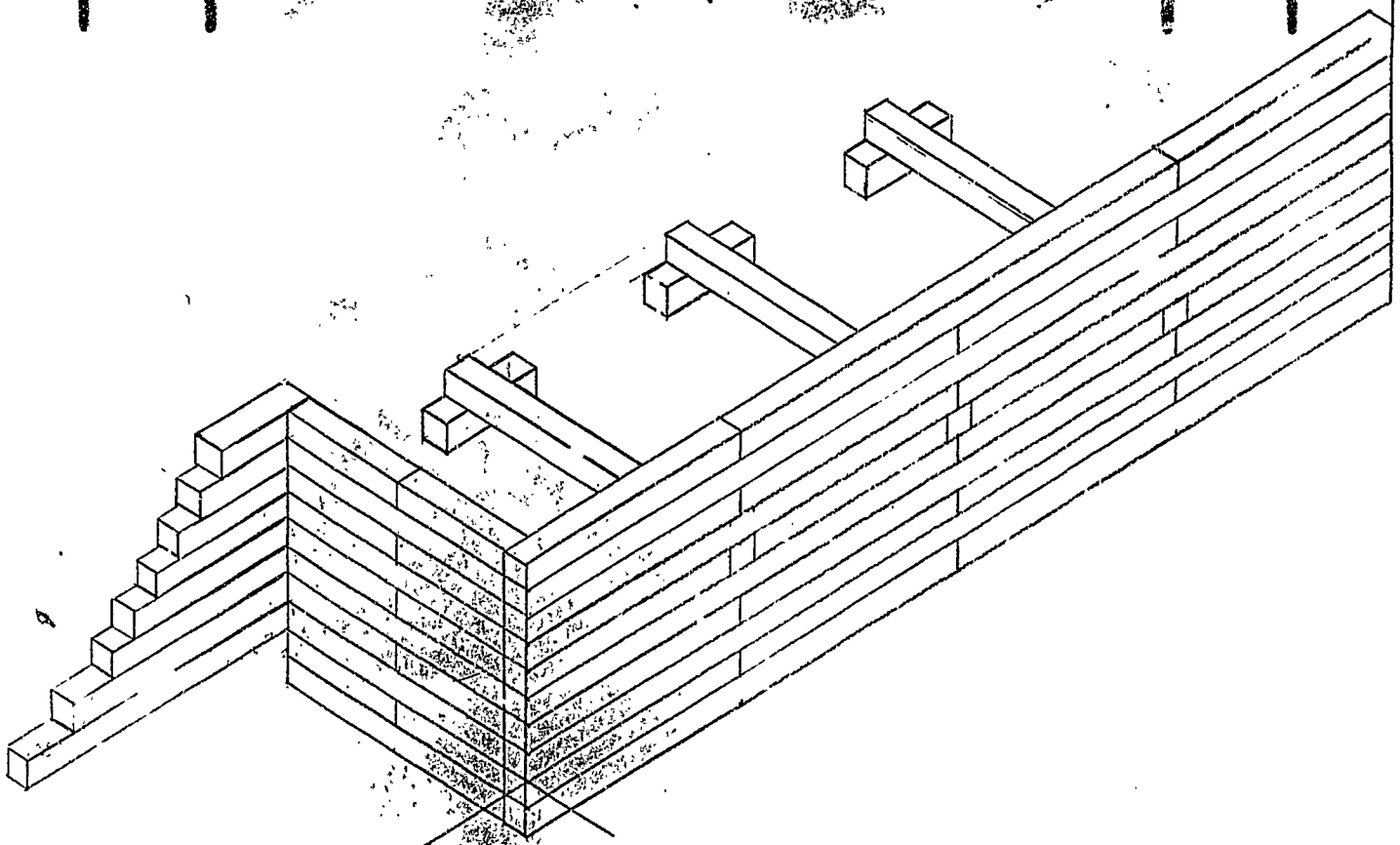
Proposed replacement: A 20' x 4' x 6" wall constructed from 6" x 6" x 10' pressure treated timber. Wall to be set on 6" crushed stone base, and anchored to the foundation of the house. It consists of ten courses of timber, including two courses below grade. The wall has three deadmen buried in the slope. The project includes removing the existing cast steps and slap stoop and replacement with wood construction of identical dimensions.

Removal of concrete wall and preparation of stone base to be done by Blue Rock Industries, Westbrook, ME. Construction of timber wall, steps and stoop, and landscaping to be done by property owner.

List of materials and approximate cost:

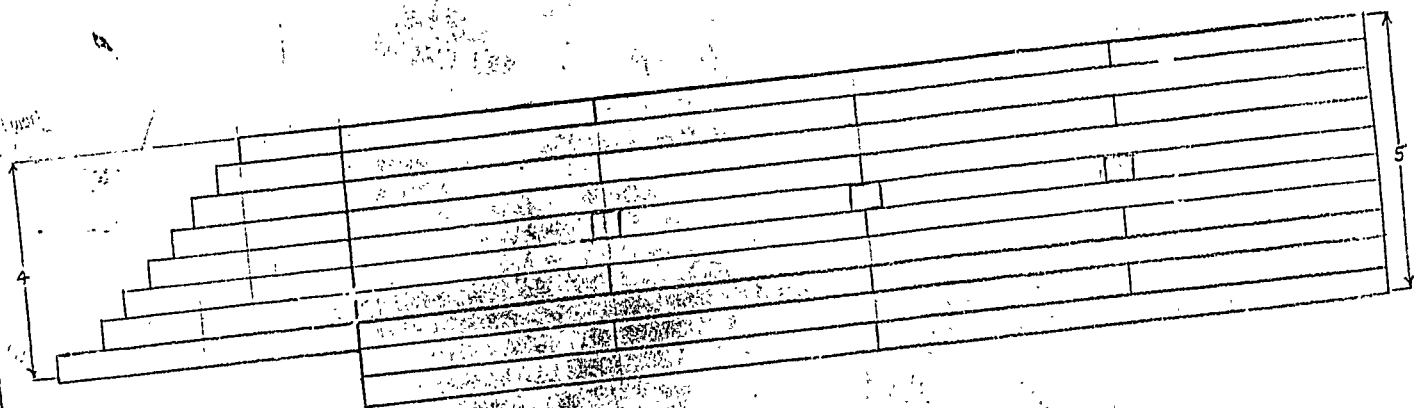
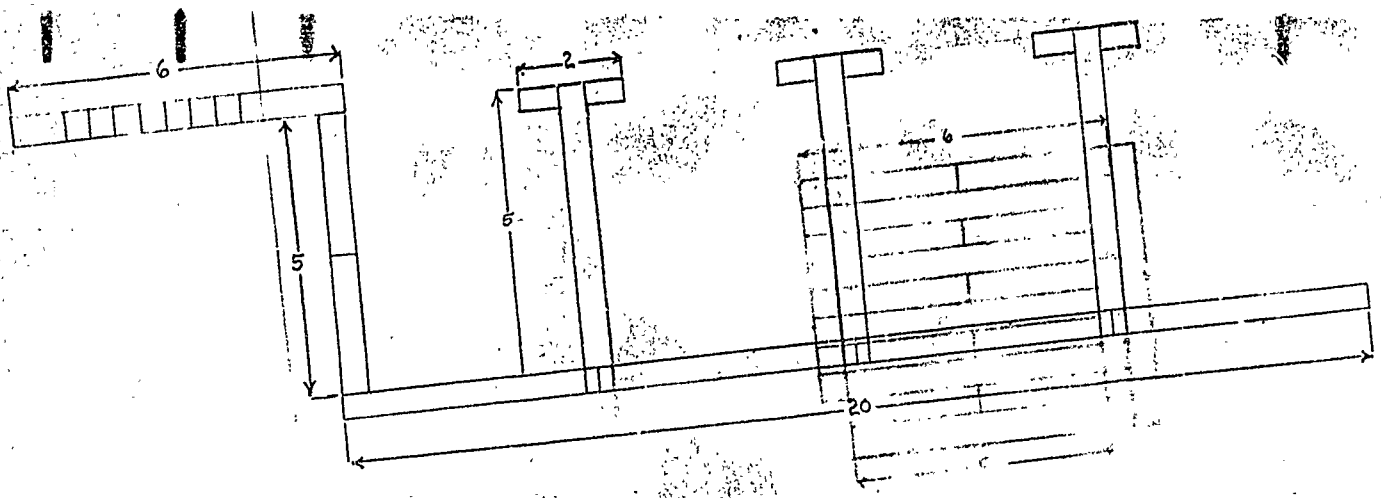
Remove wall, stone base	\$832.00
Pressure treated timber	500.00
Step stringer	18.00
Treads	30.00
12" galvanized spikes	50.00
6' angle iron	40.00
Total	<u>\$1470.00</u>

Included: Pictorial and orthographic drawings of proposed construction and dimensions. Plot plan.

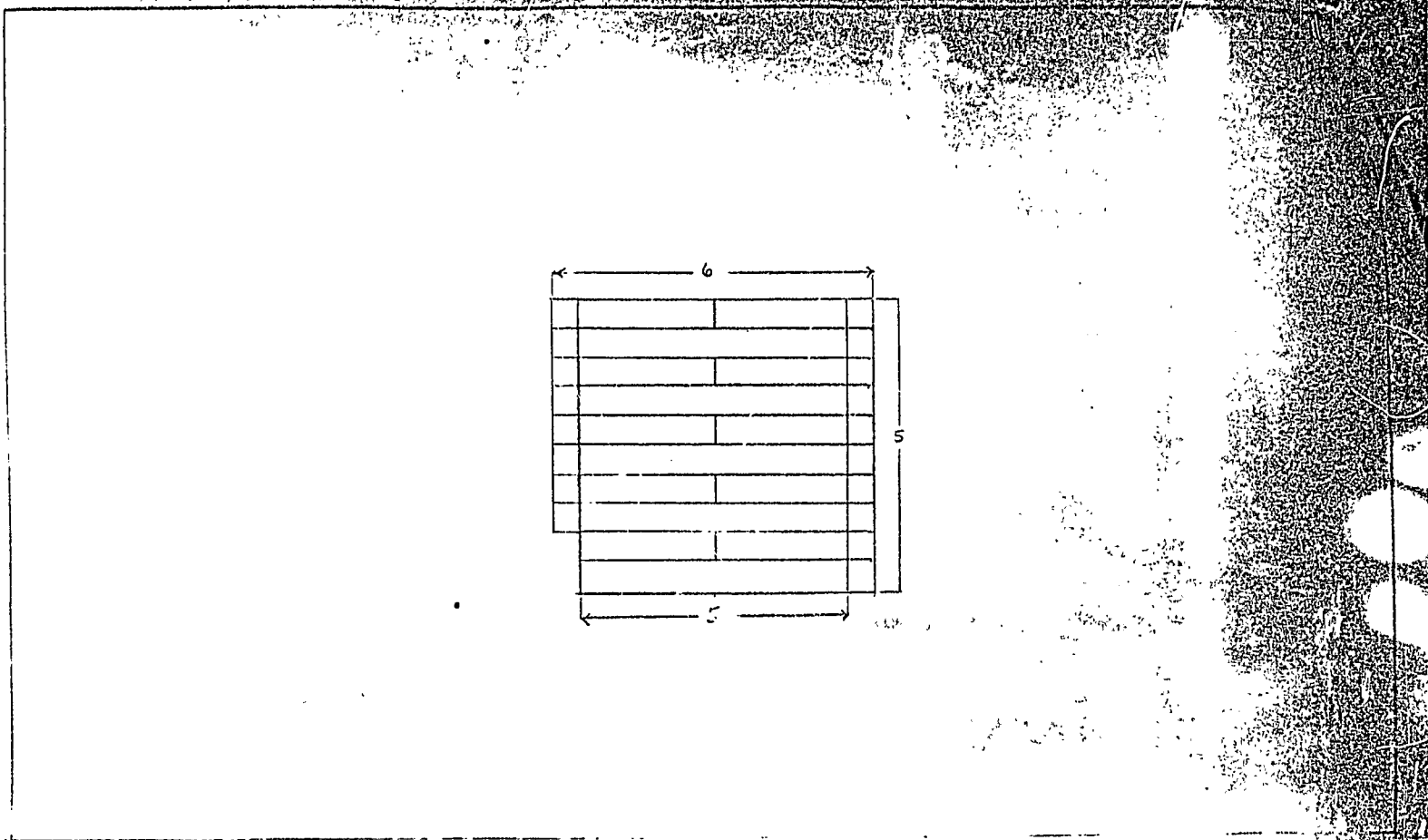


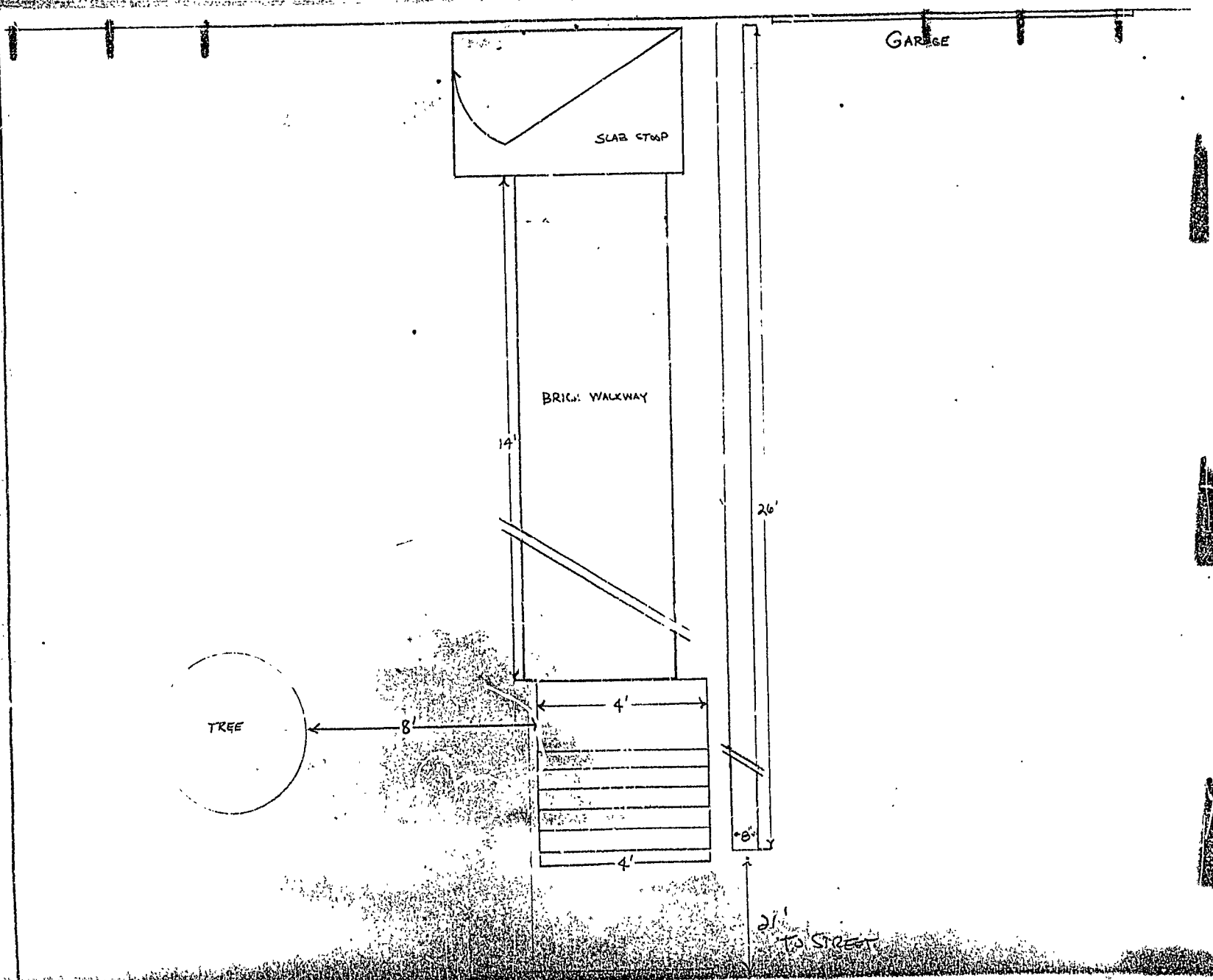
RETAINING WALL	
$\frac{1}{2}'' = 1'$	M McCracken
4 JUNE 1992	

McCracken  
57 Birchvale Dr.



RETAINING WALL  
 $\frac{1}{2}'' = 1'$  M. McCRAKEN 4-JL





Present layout

ROT DRAW  
 SP BIRCHVALE DR

NOTES

6-24-74 floor tubes on lagged out  
generally about 1/2" diameter  
inspected on floor below  
cutting of 2x11, benches over  
dirt floor, missing strips by floor  
wall 1/2"

6-25-74 talked to m. r. r.  
about about about about  
he will have some concrete

7-8-74 done

7-19-74 GALE OK TO CLOSE IN SUBJECT  
TO FLCT AND PLUMBING INSPN. RAY R.

7-22-74 about completed

8-12-74 done

8-26-74 Completed

Completed 8/27/74  
Rust

Permit No. 74/422  
Location LOT 9 BIRCHMERE DRIVE  
Owner WILLIAM DEAN  
Date of permit 5/17/74  
Approved

Sam

