

THE RITCHIE ORGANIZATION
1300 BOYLSTON STREET
CHESTNUT HILL, MASSACHUSETTS

September 12, 1974

ADDITIONS AND ALTERATIONS
PORTLAND CITY HOSPITAL
PORTLAND, MAINE
BID N . 17574

ADDENDUM NUMBER FOUR

Bidders are advised that the drawings and specifications for the above mentioned project are hereby modified, corrected and supplemented as follows, in accordance with this Addendum Number Four.

Item 4-1 DIVISION TWO

SECTION 2A

Page 2A-1

Page 2A-1 is attached and hereby made a part of this Addendum Number Four.

Addendum 4-1

DIVISION TWO

SECTION 2A

DEMOLITION

GENERAL REQUIREMENTS

1. The work under this section shall be subject to the General Conditions AIA Document A201, 4-70; Appendix to General Conditions and General Requirements and Special Provisions all of which shall be included as a part of this specification.

SCOPE

2. The work covered by this section of the specification consists of furnishing all plant, labor, equipment, appliances, and materials, and in performing all operations in connection with the demolition of existing buildings, etc., complete in accordance with the plans and this specification subject to the terms and conditions of the contract.
3. Demolish and remove completely the buildings or parts of buildings and other construction, to the lowest adjacent ground level.
4. Remove, regardless of elevation, all floor construction and partitions, masonry cross-walls, stairways, piping, apparatus, and debris. Remove all existing foundation walls and footings of the buildings demolished.
5. Give all necessary notices, obtain all permits, pay all legal fees, etc., in connection with the performance of the work specified herein.
6. The Contractor shall take all responsibility of the work, bear all losses resulting to him therefrom, or from the amount or character of, or from the method of doing the work, or from the nature of the place in or on which the work is done, or from fire, weather, elements, or other causes, and shall assume the defense of, and hold the Owner harmless from, all suits and claims against the Owner arising from any act, omission, or neglect of the Contractor, his agents or employees, in doing this work or in any manner arising out of the work done under this contract.

2A-1

PORTLAND CITY HOSPITAL

THE RITCHIE ORGANIZATION
1300 BOYLSTON STREET
CHESTNUT HILL, MASSACHUSETTS

August 29, 1974

ADDITIONS AND ALTERATIONS
PORTLAND CITY HOSPITAL
PORTLAND, MAINE
BID NO. 17574

ADDENDUM NUMBER ONE

Bidders are advised that the drawings and specifications for the above mentioned project are hereby modified, corrected and supplemented as follows, in accordance with this Addendum Number One.

Item 1-1 TABLE OF CONTENTS

Page TC-1

Delete the last item "Meeting of Board of Trustees (Hospital)" in its entirety.

Item 1-2 PROPOSAL FORM

Page PF-2

Page PF-2 (Revised) is attached and is hereby made a part of this Addendum Number One.

Item 1-3 DIVISION FIVE

SECTION 5B - MISCELLANEOUS IRON AND STEEL

Page 5B-4 - Add the following paragraphs:

"METAL RAILING (FURNISH AND INSTALL)

22. Metal railing for New Dining Room No. 101 shall be 2" stainless steel pipe, schedule 10, .109 inches thick, double rail, all welded construction.

23. Posts shall be spaced not greater than 6'-0" on centers, welded to 5" diameter pipe flanges and drilled for four (4) anchors per flange and expansion bolted to floor with stainless steel bolts.

24. Top rail shall be set at 36" with lower rail set at 18" above floor line.

Addendum 1-1

25. All connection shall be completely welded and ground smooth.

26. Piping shall be type 304 with No. 4 finish."

Item 1-4 DIVISION ELEVEN

SECTION 11A

Section 11A; FOOD SERVICE EQUIPMENT, is attached and hereby made a part of this Addendum Number One.

Item 1-5 DRAWINGS

Drawing A-500

Under "LEGEND" for food service equipment delete Item #16. Cup Dispenser.

Item 1-6 QUESTIONS AND ANSWERS

- a. Question: What work is required at the existing partitions where new smoke partitions are indicated?
- Answer: The existing partitions must be closed to the underside of the structure above and any openings must be filled in order to provide a smoke barrier.
- b. Question: The Architectural Drawings indicate a part of the existing building as Ward 1 and the Electrical Drawings indicate the same part of the building as Ward 1 and 2. Which should be followed?
- Answer: Ward 1 indicated on the Architectural Drawings and Ward 1 and 2 indicated on the Electrical shall be considered as being the same. Wherever Ward 1 and 2 is indicated on the Electrical Drawings it shall be considered as Ward 1.

Item 1-7 BORING DATA

Boring data is attached. For boring locations see Drawing A-102. This data is for informational purposes only and is not a part of the Contract Documents.

DIVISION ELEVEN

SECTION 11A

FOOD SERVICE EQUIPMENT

GENERAL REQUIREMENTS

1. The work under this section shall be subject to the General Conditions AIA Document A201, 4-70; Appendix to General Conditions and General Requirements and Special Provisions all of which shall be included as a part of this specification.
2. Bidders wishing to obtain approval on brands other than those specified by name shall submit their request to the Architect not less than ten (10) days before the bid openings. Approval by the Architect will be in the form of an addendum to the specifications equal to those specified so far as the requirements of the project are concerned. See A.I.A. Document A701, 4-70; Instructions to Bidders, Article 5.
3. Reference in the specifications to any article, device, product, material, fixture, form, or type of construction by name, make, or catalog number shall be interpreted as establishing a standard of quality and shall not be construed as limiting competition, and the Contractor, in such cases may at his option, use any article, device, product, material, fixture, form or type of construction which, in the judgement of the Architect, expressed in writing is equal to that specified. See A.I.A. Document A701, 4-70; Instructions to Bidders, Article 5.
4. Shop drawings shall be submitted to the Architect for approval in accordance with the Contract Documents. These drawings shall show construction in complete detail, showing methods and type of material to be used for each member, and the size and arrangement of all equipment and the relation to adjacent work and material. In addition to shop drawings submit the names of manufacturers and suppliers for all items to be furnished.

11A-1

PORTLAND CITY HOSPITAL

Addendum Number One

SCOPE

5. The work covered by this section of the specifications consists of furnishing all plant, labor, equipment, appliances, and materials, and in performing all operations in connection with the furnishing and installation of the food service equipment, complete in accordance with the plans and this specification subject to the terms of the contract.

WORK NOT INCLUDED

6. The following items of work are not included under this Section but are to be performed under the designated sections:

- a) Plumbing supply and waste lines: Section 15B, PLUMBING
- b) Final electrical connections: Section 16A, ELECTRICAL
- c) Metal rail in front of counter: Section 5B, MISCELLANEOUS IRON AND STEEL

GENERAL

7. All equipment shall be delivered and set in place in accordance with approved shop drawings. Equipment shall have laminated plastic die panel to floor. Colors as selected by the Architect.

8. All refrigeration shall have a one (1) year service warranty with an additional four (4) year warranty on domes. Balance of equipment shall have one (1) year warranty with all manufacturers warranties honored.

9. Entire line-up shall have stainless steel toe plate as shown on the drawings with vent openings. All field joints shall be water tight.

10. Equipment as specified herein, unless otherwise noted, is based on equipment as manufactured by the Bastian-Blessing Co.

11A-2

PORTLAND CITY HOSPITAL

Addendum Number One

<u>ITEM</u>	<u>QUANTITY</u>	
1	1	Shelving Unit, 8'-0" #818 with two electric outlets #5362 HDEO with caps and to have toe plate. Bastian Blessing.
2	1	Roll Warmer Stand #83 , 2'-6" long with toe plate. Bastian Blessing.
3	1	Sink Section #505, 1'-0" with faucet, waste chute and toe plate. Bastian Blessing.
4	1	Plastic Laminate Top Slab, approx. 11'-9" long x 1½" thick as shown on plan. Bastian Blessing.
5	1	Display Unit #887G, Viewmatic 4'-0" long, double glass ends, self-closing doors both sides, lighted interior. Bastian Blessing.
6	1	Cold Pan Unit, 4'-0" Bastian Blessing.
7	1	Contour sneeze guard below display case. Bastian Blessing.
8	1	Sandwich Unit #C634, 4'-0" long, grommet hole in top with electric outlet #8410 located below. Bastian Blessing.
9	2	Contour protector guard #5033 - one unit 4'-0" long; one unit 6'-0" long. Bastian Blessing.
10	1	Vapormatic #C756, 6'-0" with five 12 x 20" openings. Heating unit to be with automatic fill. Unit shall maintain its own water level and make-up system. Each compartment to be individually controlled with one master switch. Bastian Blessing.

11A-3

PORTLAND CITY HOSPITAL

Addendum Number One

<u>ITEM</u>	<u>QUANTITY</u>	
11	1	Shelving Unit, 4'-9" long to have cutout for cup dispenser. Bastian Blessing.
12	1	Refrigerator, McCall #2045F, tray file.
13	1	Roll warmer, Toastmaster #3B804
14	1	Silver Dispenser, Steril Sil #TC85
15	1	Toast & Toastmaster #1D3
16	-	Omit
17		Tray slide to be solid stainless steel with necessary brackets with enclosed ends
18.	1	Cup Lowerator, Servolift #PD4T
19	-	Coffee Urn (N.I.C.)
20	1	Coffee Warmer, Cory #CH2AW
21	1	Servolift TCA-ST
22	2	Maple cutting board, one (1) 4'-0" long with cu.-out and stainless steel waste receptacle; One (1) 6'-0" long. Bastian Blessing.
23	1	Under counter refrigerator unit, cold wall construction with pancake blower coil. Bastian Blessing.
24	1	Under counter shelving unit Bastian Blessing.

11A-4

PORTLAND CITY HOSPITAL

Addendum Number One

ITEM

QUANTITY

25

1

Under counter shelving unit.
Bastian Blessing.

26

2

Condensing units - 1/3 HP unit for
Viewmatic, lines to run up interior
of leg. 1/4 HP for refrigerator under
sandwich unit.

11A-5

PORTLAND CITY HOSPITAL

Addendum Number One

State the amounts included in Base Bid amount indicated above for the following items of work:

(a) The entire portion of work to be performed in WARD 7.

_____ Dollars (\$ _____)

(b) The entire portion of work to be performed in WARD 1 with the exception of the "break-through" areas between the New Addition and Ward 1.

_____ Dollars (\$ _____)

(c) The construction and removal of the New Temporary Passage.

_____ Dollars (\$ _____)

(d) The complete fire alarm system, except in the new addition:

_____ Dollars (\$ _____)

(e) The Nurse Call System for Ward 7.

_____ Dollars (\$ _____)

(f) The Emergency lighting for Ward 1 and Ward 7.

_____ Dollars (\$ _____)

TEST BORING AND CONSTRUCTION CORPORATION
 Telephone 391-4500
 MEDFORD, MASSACHUSETTS 02155
 Date MAY 21, 1974 Job No. 74111
 Scale 1" = 4' ft.

ASSOCIATES, INC., CHESTNUT HILL, MASS.
 PORTLAND CITY HOSPITAL, PORTLAND, MAINE

BORING #1

GROUND SURFACE	2
1'0" LOOSE LOAM & LOESS SAND	0
2'0" FINE FINE SAND	7
3'0" FINE FINE SAND	8
4'0" FINE FINE SAND	10
5'0" FINE FINE SAND	11
6'0" FINE FINE SAND	12
7'0" FINE FINE SAND	12
8'0" HARD SILT SAND	15
9'0" HARD SILT SAND	20
10'0" HARD SILT SAND	10
11'0" HARD SILT SAND	10

11'0" = REFUSAL =
 (*100 blows, no penetration)
 NO WATER ENCOUNTERED
 DATE STARTED 5-20-74
 DATE COMPLETED 5-20-74

BORING #2

GROUND SURFACE	2
1'0" LOOSE LOAM	0
2'0" FINE FINE SAND	10
3'0" FINE FINE SAND	10
4'0" FINE FINE SAND	12
5'0" FINE FINE SAND	13
6'0" FINE FINE SAND	14
7'0" FINE FINE SAND	14
8'0" FINE FINE SAND	15
9'0" FINE FINE SAND	50

9'0" = REFUSAL =
 (*100 blows, no penetration)
 NO WATER ENCOUNTERED
 DATE STARTED 5-20-74
 DATE COMPLETED 5-20-74

BORING #2-A

GROUND SURFACE	3
1'0" LOOSE LOAM & LOESS SAND	0
2'0" FINE FINE SAND	10
3'0" FINE FINE SAND	12
4'0" FINE FINE SAND	13
5'0" FINE FINE SAND	14
6'0" FINE FINE SAND	15
7'0" FINE FINE SAND	20

7'0" = REFUSAL =
 (*100 blows, no penetration)
 NO WATER ENCOUNTERED
 DATE STARTED 5-20-74
 DATE COMPLETED 5-20-74
 BOTH LOCATION OF THIS BORING SHOWN ON PLAN.

USED OPEN-END "A" ROD WITH 300 LB. WEIGHT FALLING 24 INCHES.

All samples have been visually classified by AJD. Unless otherwise specified, water levels noted were observed at completion of borings, and do not necessarily represent permanent ground water levels. Figures in right hand column indicate number of blows required to drive 3 1/2-INCH SPLIT SAMPLER 6 inches using 140 lb. weight falling 30 inches. Sheet 1 of 2



THE RITCHIE ORGANIZATION
architecture, engineering, planning

September 13, 1974
Comm. No. 25506

Mr. R. Lovell Brown
Director
Building Department - Rm. 113
Portland City Hall
389 Congress Street
Portland, Maine 04111


RE: PORTLAND CITY HOSPITAL, PORTLAND, MAINE

Dear Mr. Brown:

Enclosed, for your files, find Addenda #3 and #4 regarding
the above project.

Very truly yours,

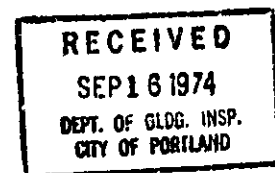
THE RITCHIE ORGANIZATION - CHESTNUT HILL


Albert J. Platt
Vice President

AJP:jl
encl.

cc: A. J. Luoni
G. E. Pike
J. Busa
Code Book

P.S. Also enclosed is Addendum #1.



1300 Boylston Street
Chestnut Hill, Massachusetts 02167
617 734-9300

236 Goodwin Crest
Birmingham, Alabama 35209
205 870-7470

3099 East Commercial Boulevard
Fort Lauderdale, Florida 33308
305 771-1340

93 RESIDENCE ZONE

RESIDENCE ZONE

PERMIT ISSUED

0113
SEP 20 1965



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, September 24, 1965

CITY of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1151 Brighton Ave. Within Fire Limits? _____ Dist. No. _____

Owner's name and address _____ City of Portland _____ Telephone _____

Lessee's name and address _____ Lewiston, Maine _____ Telephone _____

Contractor's name and address Eastern Fire Protection Co., P.O. Box 399 Telephone _____

Architect _____ Specifications _____ Plans yes No. of sheets 1

Proposed use of building Hospital No. families _____

Last use _____ " _____ No. families _____

Material brick No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$ _____ Fee \$ 5.00

General Description of New Work

To install wet sprinkler system in psychiatric ward building - extension of existing system

Sent to Fire Dept 9/27/65
Rec'd from Fire Dept 9/28/65

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Eastern Fire Protection Co.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bot om _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in-charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

A. E. M.
Carl J. Johnson
CHIEF OF FIRE DEPT.

City of Portland
Eastern Fire Protection Co.

CS 301

INSPECTION COPY

Signature of owner

By: [Signature]

MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

July 27, 1964

Location: 1151 Brighton Ave.

Before tank and piping is covered from view, installer is required to notify the Fire Dept. Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Dept. Headquarters.

This tank of ⁽¹⁾10,123 gallons capacity is required to be of steel or wrought iron no less in thickness than # 10 gauge; and before installation is required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

00901
30 34
CITY OF PORTLAND

Portland, Maine, July 28, 1964

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location	1151 Brighton Ave.	Use of Building	Hospital	No. Stories	NEW Building Existing
Name and address of owner of appliance	City of Portland				
Installer's name and address	Gould-Farmer Co., 70 Free St.			Telephone	

General Description of Work

To install 2-oil burning equipments in connection with existing steam heat (conversion)

IF HEATER, OR POWER BOILER

Location of appliance Any burnable material in floor surface or beneath?
 If so, how protected? Kind of fuel?
 Minimum distance to burnable material, from top of appliance or casing top of furnace
 From top of smoke pipe From front of appliance From sides or back of appliance
 Size of chimney flue Other connections to same flue
 If gas fired, how vented? Rated maximum demand per hour
 Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Ray Horizontal Rotary Labelled by underwriters' laboratories? yes
 Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? top
 Type of floor beneath burner concrete Size of vent pipe 2 1/2"
 Location of oil storage outsider underground Number and capacity of tanks 1-10, 120,
 Low water shut off yes Make McDonnell-Miller No. 150
 Will all tanks be more than five feet from any flame? yes How many tanks enclosed?
 Total capacity of any existing storage tanks for furnace burners none

Sent to Fire Dept. 7/28/64
Rec'd from Fire Dept. 7/30/64

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
 If so, how protected? Height of Legs, if any
 Skirting at bottom of appliance? Distance to combustible material from top of appliance?
 From front of appliance From sides and back From top of smokepipe
 Size of chimney flue Other connections to same flue
 Is hood to be provided? If so, how vented? Forced or gravity?
 If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Tank to be buried at least 3' below grade; coated with asphaltum; bears Ind. Lab.

Amount of fee enclosed? 3.00 (\$2.00 for one heater, etc., \$1.00 additional for each additional heater, etc., in same building at same time)

APPROVED:

Carl P. Johnson
CHIEF OF FIRE DEPT.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Gould-Farmer Co.

Signature of Installer By: *E. T. Miller*

CS 300

INSPECTION COPY

P.S.

8-18

Permit No. 64/961
 Location 115 1/2 English Ave.
 Owner City of Portland
 Date of permit 10/3/64
 Approved _____

NOTES

1	Flt Pipe	
2	V. Pipe	
3	Kind of Heat	
4	Burner Rigidity & Support	
5	Lamp & Label	
6	Stack Control	
7	High Limit Control	
8	Remote Control	
9	Piping Support & Protection	
10	Valves to Supply Unit	
11	Capacity of Tanks	
12	Supports	
13		
14		
15	Hot Water Control	
16	Hot Water Shut-off	

10-5-64 Tank ready
to cover
 Firebrick going in
right hand boiler #1
 10-22-64 Oil burner
nearly in #2
 #2. 11-4-64 Right hand
boiler completed OK
 #1 Boiler Completed - OK

RC RESIDENCE ZONE

PERMIT ISSUED

00423

APR 22 1958

CITY OF PORTLAND



APPLICATION FOR PERMIT

Class of Building or Type of Structure ... 2nd class

Portland, Maine, April 22, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter~~ repair ~~demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1151 Brighton Ave. Within Fire Limits? no Dist. No.

Owner's name and address City of Portland, 389 Congress St. Telephone ..

Lessee's name and address .. Telephone ..

Contractor's name and address Megquier & Jones, 33 Pearl St. Telephone 3-6471

Architect .. Specifications Plans yes No. of sheets 1

Proposed use of building Hospital No. families ..

Last use .. No. families ..

Material brick. No. stories 4. Heat .. Style of roof .. Roofing ..

Other building on same lot ..

Estimated cost \$ 1600.00 Fee \$ 5.00

General Description of New Work

To erect metal fire escape from third floor to ground as per plans

APR 22 1958
Rec'd from Fire Dept.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? .. Is any electrical work involved in this work? ..

Is connection to be made to public sewer? .. If not, what is proposed for sewage? ..

Has septic tank notice been sent? .. Form notice sent? ..

Height average grade to top of plate .. Height average grade to highest point of roof ..

Size, front depth .. No. stories .. solid or filled land? earth or rock? ..

Material of foundation .. Thickness, top .. bottom .. cellar ..

Material of underpinning .. Height .. Thickness ..

Kind of roof .. Rise per foot .. Roof covering ..

No. of chimneys .. Material of chimneys of lining .. Kind of heat .. fuel ..

Framing Lumber—Kind .. Dressed or full size? .. Corner posts .. Sills ..

Size Girder .. Columns under girders .. Size .. Max. on centers ..

Kind and thickness of outside sheathing of exterior walls? ..

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor .. , 2nd .. , 3rd .. , roof ..

On centers: 1st floor .. , 2nd .. , 3rd .. , roof ..

Maximum span: 1st floor .. , 2nd .. , 3rd .. , roof ..

If one story building with masonry walls, thickness of walls? .. height? ..

If a Garage

No. cars now accommodated on same lot .. to be accommodated .. number commercial cars to be accommodated ..

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ..

APPROVED:

Carl F. Johnson

CHIEF OF FIRE DEPT.

Miscellaneous

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .. Y.B.S

City of Portland
Megquier & Jones

Signature of owner .. by: *R. E. Johnson*

INSPECTION COPY

F.M

NOTES

5-28-58 Steel escape
most all up. *JP*

6-7-58 Cutting in
doors 1st & 2nd floors
No footing yet *JP*

6-25-58 Footing in
at base of fire escape
No brds on exit doors *JP*

7-2-58 Completed *JP*

X

6-25-58 7-1

Permit No. 581/428
 Location 1517 South Main Ave
 Owner C. H. ...
 Date of permit 6/25/58
 Notif. closing in
 Inspn. closing in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

APPROVED: _____
 INSPECTION CODE

#3



APPLICATION FOR PERMIT

Class of Building or Type of Structure. Installation

Portland, Maine, Oct. 4, 1955

PERMIT ISSUED

61776

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~construct~~ install the following ~~building~~ equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1151 Brighton Ave. Within Fire Limits? no Dist. No. . . .
 Owner's name and address City of Portland. Telephone
 Lessee's name and address " " " " " " Telephone
 Contractor's name and address Grinnell Co., 275 W. Exchange St., Providence R. I. Telephone
 Architect Specifications Plans yes No. of sheets 1
 Proposed use of building hospital No. families
 Last use " " " " " " No. families
 Material brick No. stories 1 Heat Style of roof Roofing
 Other building on same lot
 Estimated cost \$ Fee \$ 2.00

General Description of New Work

To install automatic sprinkler system for X-ray department as per plan.

CERTIFICATE
REQD.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO E. N. Sweetser, 38 Green St., Gorham

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? . If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation. Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing lumber—Kind Dressed or full size?
 Corner posts Sills Girt or ledger board? Size
 Girders Size Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor , 2nd , 3rd , roof
 On centers: 1st floor . , 2nd . , 3rd . , roof
 Maximum span: 1st floor , 2nd , 3rd , roof
 If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot . , to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:
.....
.....
.....

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ..YEAH...
 City of Portland
 Grinnell Co.

INSPECTION COPY Signature of owner by: E. N. Sweetser
 C16-154-112-Mark

NOTES

10-31-55 Work underway
11-3-55 Completed *RP*

X

11-3

Permit No. 55/1776
 Location 1151 South Main Ave
 Owner City of Portland
 Date of permit 10/24/55
 Notif. examine-in _____
 Inspn. examine-in _____
 Final Notif. _____
 Final Inspn. _____
 Cert of Occupancy Issued _____
 Staking Out Notice _____
 Form Check Notice _____

APPROVED

REPRODUCTION COPY



(RA) RESIDENCE ZONE - A

APPLICATION FOR PERMIT

PERMIT ISSUED
MAY 13 1952
CITY OF PORTLAND

Class of Building or Type of Structure Second Class
Portland, Maine, April 30, 1952

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect ~~alter, repair, reconstruct or demolish~~ the following building structure ~~as shown on~~
in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and
specifications, if any, submitted herewith and the following specifications:

Location 1151 Brighton Avenue Within Fire Limits? no Dist. No. _____
 Owner's name and address City of Portland Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address C. A. Askov & Son, 39 Read Street Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building Hospital No. families _____
 Last use _____ " _____ No. families _____
 Material brick No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____ Fee \$ 4.00
 Estimated cost \$ 1,000.

General Description of New Work

To erect metal fire escape on rear of building second floor to ground-as per plan.
THIS IS TO BE ON WING OF MAIN BLDG USED AS MEN'S DORMITORY

Permit Issued with Letter

Sent to Fire Dept. 5/1/52
Rec'd from Fire Dept. 5/15/52

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS MET

No. Chief's order
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in
the name of the heating contractor. **PERMIT TO BE ISSUED TO** C. A. Askov & Son

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to
 see that the State and City requirements pertaining thereto are
 observed? yes

APPROVED:
with letter by [Signature]
[Signature]
CITY OF PORTLAND

City of Portland
C. A. Askov & Son

Signature of owner by: C. Paul Packor

INSPECTION COPY

NOTES

7-15-52 work completed w/ps

Blank lined area for notes.

Large blank lined area for notes.

Large blank lined area for notes.

Permit No. 521666
 Location 1151 Brighton Ave.
 Owner City of Eastland
 Date of permit 5/13/52
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 7-15-52 w/ps
 Cert. of Occupancy issued

1151 w/ps

INTER-OFFICE CORRESPONDENCE

*File
Barron
5-15-52*

CITY OF PORTLAND, MAINE
PORTLAND CITY HOSPITAL

To: Mr. Warren McDonald, Director, Building Insp. DATE: May 13, 1952
From: Matthew I. Barron, Director, City Hospital
SUBJECT: Fire Escape

J. F. Askov & Son have been awarded the contract for the erection of fire escape and the cutting through of two doors at City Hospital.

The bed situation, as you probably know, is very acute. The delay in the erection of this fire escape, as I understand it from the Purchasing Department, is caused by the fact that your office is overloaded with work and that you cannot find the time to go over these prints. We will not be able to open a new ward until the fire escape is erected. I would appreciate it very much if you would expend every effort to speed up what must be necessary to come from your office in order that we might open new beds for hospital patients.

Please advise.

Matt:
We issued the permit today. If this new ward is in a place not occupied by inmates of home or hospital, it may be alright to have a plan of it.

Matthew I. Barron, Director
Portland City Hospital

MEB:jhm

We are not aware of any new ward being established, and it is my belief that the Bldg Dept should be consulted when such plans are being formulated - not when the

RECEIVED
MAY 13 1952
DEPT. OF BLD'G INSP.
CITY OF PORTLAND

over

AP-1151 Brighton Avenue

May 12, 1952

Mr. C. A. Aaskov & Son
37 Read Street
Portland, Maine

c.c. Lester F. Wallace
Purchasing Agent

c.c. Matthew I. Sarron
Director of Public Welfare

c.c. Oliver T. Sanborn
Chief of the Fire Department

Gentlemen:-

Building permit for erection of a metal fire escape on the wing of the men's dormitory at Portland City Home is issued herewith, based on the plan filed with the application for permit, but subject to the following conditions:-

- 1 - The concrete foundation for the foot of the lower run of stairs is to extend at least four feet below grade or to ledge if it is found at a lesser depth.
- 2 - The Fire Department should be consulted, if that has not already been done, as regards the width of the new doors opening onto the fire escape, and as to the type of locking devices to be provided on these doors.

Very truly yours,

Inspector of Buildings

AJS/G



Original Permit No. 35/2175

Amendment No. 3

JAN 16 1937

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, January 16, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 35/2175 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1105-1177 Brighton Ave. Ward D With the Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address City of Portland

Contractor's name and address F. E. Cunningham & Sons, 181 State St.

Plans filed as part of this Amendment yes No. of Sheets 1

Increased cost of work _____ Additional fee .25

Description of Proposed Work

To provide fire escape as per plan submitted.
To install self-closing fire door between boiler room and tunnel leading to main building.

City of Portland
F. W. Cunningham & Sons

Signature of Owner By: Wrestley Jones

Approved: Oliver T. Toulou

Chief of Fire Department

Approved: 1/16/37

Commissioner of Public Works

Walter M. Donald
Inspector of Buildings

INSPECTION COPY

95/17

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

File: P.55/2175-1

November 17, 1936

James E. Barlow,
City Manager

Dear Sir:

With reference to the laundry, garage and heating plant at the City Home, it appears that the pipe tunnel running from the boiler room to the basement of the hospital has no door on either end so that any excess smoke or gas which might be present in the boiler room would soon find its way to the basement of the hospital. This seems like a very undesirable situation, and I recommend that a self-closing metal-clad fire door be provided on the boiler room end of the pipe tunnel of such a size that it will clear the pipes when it swings, and that the pipes passing through the entrance to the pipe tunnel be tightly encased in incombustible material outside of the fire door frame.

I have talked this situation over with Chief Sanborn and he agrees that this is the best thing to be done.

Perhaps this extra work can be accomplished at the same time the fire escape platform and ladder outside of the laundry which the board of Fire Engineers require, is provided.

Very truly yours,

MCH/1

CITY COUNCIL
ARTHUR W. JORDAN
CHAIRMAN
LESTER F. WALLACE
RALPH D. BROOKS
ARTHUR E. CRAIG
EDGAR E. ROUNDS



JAMES E. BARLOW
CITY MANAGER
JAMES C. FURNIVAL
SEC'Y TO CITY MANAGER
TELEPHONES
FOREST 880 AND 244

CITY OF PORTLAND, MAINE
EXECUTIVE DEPARTMENT

*File City Home
with
Heating plant
orig. in
12/14/36*

September 19, 1936

Mr. Warren McDonald
CITY BUILDING

Dear Sir:

You wrote me sometime ago in regard to the self-sustaining stack at the new boiler house at the City Home.

I talked with Mr. Allen of the Portland Company and he said it was absolutely safe as a self-sustaining stack.

In regard to the joints, I thought you would be interested in his statement. He stated that built the way that is, it would last 25% longer than if reversed, the reason being that the moisture from combustion condenses on the inside, absorbs gases, runs into the joints, and corrodes the material. Any moisture collecting in the joints on the outside is at least clean water, free from acid and does not do nearly as much harm as if these joints were on the inside of the pipe.

Very truly yours,

J. E. Barlow
CITY MANAGER

JEB:G

File # 55/2173-I

Messrs. H. Lander & Abrose Higgins,
516 Congress Street,
Portland, Maine

July 27, 1936

Gentlemen:

With regard to the framing of the monitor roofs upon the boiler house, garage and laundry at the City Home and Hospital, I phoned a request to your office on July 23rd that you come down and check over this framing as it has been built, a request that perhaps did not reach you.

I find that both the monitor over the laundry and the monitor over the boiler room have their new roofs framed with 4x8 joists, dressed four sides. The joists over the laundry are about 47 inches from center to center on a clear span of 11 feet. Those over the boiler room are about 45 inches from center to center on a clear span of 16 feet. Even assuming 1800 lbs. per square inch fibre stress (the Building Code allowance for Douglas Fir) the joists over the laundry appear to be good for a total load of 53 pounds per square foot and those over the boiler room a total load of 23 pounds per square foot. The Building Code requirements for live load on these flat roofs is 40 pounds per square foot and the usual practice where there is no ceiling and a tar and gravel roof is to allow 50 pounds per square foot for combined live and dead loads, although the actual dead loads run more than ten pounds per square foot in such a case.

Obviously, in the above figures are correct, something must be done to strengthen the roof framing of both monitors. Will you be kind enough to furnish a plan showing how you propose to remedy this situation without delay?

From the records I find that I requested from you a plan showing the framing of these monitors on December 16, 1935 before the permit was issued. You replied with a tracing paper plan marked Sheet No. 7 dated December 30, 1935. This plan indicates the framing of the monitor of the laundry only and was evidently intended to be typical of the two monitors which are of different size and located on roofs which are framed differently. In inspection of the monitor roofs as built and comparison with the plan, I cannot discover on the job the 4x8 posts shown on the plan as being on the center line of the monitor over the laundry and evidently to be supported upon the 6x8 underneath. On the plan I can discover no indication of the 4x8 joists which have been provided as indicated above on the job. No doubt there has been conferences between architect and contractor on the job of which I am not aware which accounts for these discrepancies.

Very truly yours,

WGD/H

CC: F. W. Cunningham & Sons

Inspector of Buildings

HMS HIGGINS
5 ST JERLEND MA SE
LE 1/2 AND 2 COM No 201
ET No. 7



Original Permit No. _____

Amendment No. _____

PERMIT ISSUED

AMENDMENT TO APPLICATION FOR PERMIT

JUN 25 1926

Portland, Maine, June 15, 1926

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 85/2175 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1105-1177 Brighton Avenue Ward 9 With the Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address City of Portland

Contractor's name and address F. W. Cunningham & Sons, 181 State Street E-0246

Plans filed as part of this Amendment yes No. of Sheets 1

Increased cost of work _____ Additional fee .25

Description of Proposed Work

concrete & brick
To build one story addition, first floor, to provide 1 car garage as per plan filed with this amendment

Approved: _____

Olin T. Soubou

Chief of Fire Department.

INSPECTION COPY

Commissioner of Public Works.

Signature of Owner

City of Portland
By F. W. Cunningham & Sons

Approved: _____

F. W. Cunningham & Sons
J. S. Sullivan
6/25/26

Inspector of Buildings.

1103

File: P.35/2175-I

April 25, 1936

F. W. Cunningham & Son,
151 State Street,
Portland, Maine

Gentlemen:

With relation to the boiler house, garage and laundry under construction at the Boothby Home, I understand that you are beginning the construction of the concrete forms for the foundation.

We have got the impression in some way that these reinforced foundation walls would not be built precisely as shown on the contract drawings which were filed with the application for the building permit. Several months ago Mr. Higgins, the architect, told me that the contract drawings would be followed rather than the design made by Webster and Libby.

We never had a complete plan of Webster and Libby's design, and if these drawings are not to be followed we do not care for a complete set. If, however, you are planning to deviate from the contract drawings as they were filed with the application for the permit, please file an application for an amendment to the permit and with the application file the plans which show precisely how the foundation is to be built.

An inspector from this office noted recently that under at least a part of the foundation wall a sloping ledge has been uncovered. In such locations I presume that full precautions are to be taken so that the foundation wall will in all places have a horizontal bearing whether the material which supports it is earth or rock. If this is not the case, please advise.

Very truly yours,

McD/H
CC: E. Leander Higgins

Inspector of Buildings

December 14, 1935

Messrs. E. Leander & Ambrose
Stevens Piggins
514 Congress Street,
Portland, Maine

Gentlemen:

With reference to the plans and specifications of the proposed boiler house, laundry and garage at the Boothby Home and Farrington Hospital, I have the following questions.

1. On sheet one of the plans Section E-F of the reinforced concrete retaining wall indicate the toe of the wall to be extending toward the inside of the building and the heel of the wall extending beneath the bank which the wall is to retain. The lines indicating toe and heel on the foundation plan, however, indicate just the opposite arrangement. This should be corrected and figures adjusted if necessary before the contract is signed. This wall is not a very common detail of construction, and indicated in Paragraph D of Section 27 of the Building Code. please furnish a copy of the calculations upon which this design is based. I am particularly interested in this building because the City of Portland happens to be the owner. I presume studies were made prior to inviting bids of the comparative costs of this reinforced cantilever wall as against a simple gravity wall. If so, I shall appreciate it if you will furnish a copy of these studies and the conclusions reached for the file of this department.

2. I can discover no plan or specification for the framing of the two monitor walls and roofs. Please furnish these details of the framing for checking, especially since it is not possible to check the framing of the main roofs which support these monitors without this information. On Sheet 4 of the plans in the roof over the boiler room you have indicated 6x8 joists as "dense structural grade Douglas Fir". In the roof over the laundry you have indicated the roof joists as 6x8 "structural grade Douglas Fir". If "dense structural grade" is actually to be used, the allowable fibre stress is 1750 pounds per square inch. If merchantable lumber only is to be used the fibre stress is 1500 pounds per square inch. I presume all of this material is to be dressed four sides. If this material is to be actually "dense grade" then the joists appear to be all right. If merchantable grade is to be used, the 6x8 joists over the laundry do not figure satisfactorily because they are on a twelve foot span.

5. With regard to the reinforcing rods in the roof slab over the coal bunkers and in the laundry floor slab, I can discover no details on the plan or in the specifications which show the location of the rods as regards depth in the slabs and no information about bending, if any. I cannot find any indication of special reinforcement around the manholes or coal holes in the roof slab over the bunkers. There is in the specifications a clause referring to the detailed location of reinforcement as shown on the plans.

4. The specifications mentioned certain wooden lintels. In what location are those proposed?

5. The grease and oil trap in the garage should be specified to satisfy the regulations of the Plumbing Code. And the gasoline storage tank should be specified to carry the Underwriters' Label for underground tanks. I presume this tank is to be buried in the ground.

6. Apparently the concrete foundation walls otherwise exposed in garage and boiler room are to be lined on the inside with brick. I can discover no specifications for anchoring this veneer to the concrete walls.

7. There appears to be no provision for ventilating the toilet room in the apparatus room.

May I have this information promptly?

Very truly yours,

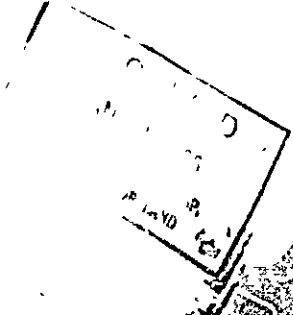
Inspector of Buildings.

McD/H
CC: Mr. Barlow

Because this building belongs to the City, I have spent an unusual amount of time on specifications and plans. Besides the questions raised in the above letter there are a few questions about matters which, it seems to me, are perhaps bad policy on the part of the city for economy's sake and other reasons. I shall be glad to go over them with you, if you desire.

Warren McDonald

Handwritten notes:
K...
...
...
...
...
1/19/36



E. LEANDER HIGGINS
AMROSE STEVENS HIGGINS

Architects
514 Congress Street
Portland Maine

- 5. The Contractor has been notified that the grease and oil trap in the garage must satisfy the regulations of the Plumbing Code and that the gasoline storage tank shall carry the Underwriter's label for underground tanks.
- 6. The brickwork will be anchored to the Cement wall with "Tie-To" Non-Clog Veneer Anchors, manufactured by the "Tie-To" Insert Co. or an approved equal.
- 7. The Contractor has been notified that a ventilating opening with register must be installed in the aparatus room toilet.

*Higgins says he
will be
made of lead
1' x 3' 1/2
1/8/36*

Very truly yours,

Leander J. Higgins

ASE/A

*File
File 9
File 10*

VOLUME OF BOOTHBY HOME & FARRINGTON HOSPITAL FOR APPRAISAL

Assessors Section	Building	Built	Type Construction	* Assessors Volume Cu.Ft.	* E.R.A. Volume Cu.Ft.	E.R.A. Section
A	Psychopathi	1928	Brick	46,920	62,454	I
B	Corridor	1928	Frame	—	2,540	W
C	Salerium	1910	Frame	—	50,779	T U
	Exit Ramp	1928	Frame	—	4,532	V
D	Garage	?	Frame	7,040	9,994	Y
E	Hospital	1902	Brick	249,084	298,545	S
F	Bakery & Boiler Room	"	Brick	27,216	54,956	O P Q R
G	Corridor or Runway	1910	Frame	—	6,672	H
H	Dining Room & Chapel	1902	Brick	151,274	154,603	M
I	Womens Dormitory	"	Brick	77,175	89,845	J
J	Womens Rooms	"	Brick	154,784	155,615	F G H K
K	Office Building	"	Brick	76,950	89,996	E
L	Mens Rooms	"	Brick	154,784	160,086	B C D L
M	Mens Dormitory	"	Brick	77,175	89,845	A

* E.R.A. volumes represent complete structure in each case, including attics and cellars if any. Apparently the Assessors volumes omit attics or space under the roof.

see Diagrams in Plan File



GENERAL PERMIT NOT ISSUED

PERM 2173
Permit No. 10508

APPLICATION FOR PERMIT

DEC 31 1936

Class of Building or Type of Structure Mill Construction

Portland, Maine, December 31, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 111 E Brighton Avenue Ward 9 Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address City of Portland, Telephone 3-6246

Contractor's name and address F. F. Cunningham & Sons, 181 State St. Telephone 4-1853

Architect's name and address E. Leander Higgins

Proposed use of building Boiler House, Garage and Laundry No. families _____

Other buildings on same lot City Home

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

end one
To erect two-story brick and concrete building app. 80' x 64' as per plans submitted

Details of New Work

Depth _____ No. stories _____ Height average grade to highest point of roof _____

Rested on solid or filled land? _____ earth or rock? _____

Foundation _____ Thickness _____ bottom _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat steam Type of fuel _____ Distance, heater to chimney _____

If oil burner, name and model _____

Capacity and location of oil tanks _____

Is gas fitting involved? _____ Size of service _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets 6 and specifications _____

Estimated cost \$ 28,000. Fee \$ 14.00

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTOR _____ Signature of owner _____

By F. F. Cunningham & Sons City of Portland

By Thomas P. Salloua

**CITY OF PORTLAND, MAINE
MEMORANDUM**

TO: Sam Hoffses, Inspection Service Division
FROM: Robert O'Bradovich, Director of Maintenance
SUBJECT: Barron Center Cafeteria Addition Building Permit

DATE: 9/5/89

Please find enclosed 7 copies of the construction plans and related material you requested for issuance of a building permit for this project.

Steve Harris has reviewed the survey map and site plan for this project and will be contacting you. As per your conversation with Steve, I am not including 7 copies of these site plans.

I would greatly appreciate your earliest possible review, as we would like to begin construction as soon as possible.

If you have any questions, I can be reached at the Barron Center at 774-2625 or 74-0.

Thank you.

City of Portland

1145 Brighton Ave

RECEIVED

SEP 07 1989

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

SCOPE OF PROJECT

In order to provide a segregated smoking/non smoking area at the Barron Center Cafeteria, a 14' x 22'3" sunroom type addition will be built off the existing Cafeteria on the West side of the Barron Center.

This project is being funded from the Barron Center FY 90 Capital Outlay Budget. Budgeted amount \$24,000.

Original plans called for the construction of a "Pella Type" sunroom with the work to be performed by an outside contractor, but because of the high cost of this type of construction, the decision was made to build a stick built structure using City Staff. The City will contract out some construction phases (excavation, foundation, HVAC, sprinkler, etc.)

It is planned that this project be completed during the 1989 construction season.

PROJECT DETAILS

Construction of a stick built 14' X 22'3" structure onto the Barron Center.

Site Plan - reviewed by Steve Harris, Planning Engineer.

Building Permit - construction plans submitted to Sam Hoffses, Inspections Division.

Excavation & Foundation - City bid to be awarded to yet unknown contractor.

Construction - To be performed by City staff. (see construction plans).

Fire & Life Safety - addition to be fully sprinkled (integrated into Barron Center sprinkler system).

HVAC - addition to be heated by a hydronic unit heater. Addition will have a supply/exhaust roof ventilator.

Electrical & Lighting - work to be performed by City staff and the City's electrical contractor (Seebee Electric).

Plumbing - N/A - with the exception of piping to hydronic unit heater.

Utilities - site has been inspected by all utilities for excavation (see check off list).

Materials - materials list enclosed.

Construction Time - 4 - 6 weeks.

Estimated Cost - \$24,000.

Permit Fees - waived by City Manager's office (Mark Green).



Grinnell

FIRE PROTECTION SYSTEMS COMPANY

983 Riverside Street
Portland, Maine 04103
207-878-2780

August 28, 1989

Baron Center
1145 Brighton Avenue
Portland, Maine 04102

Attn: Robert O'Braedovich

Re: Cafeteria Addition

Dear Bob,

We are pleased to submit our quotation of ONE THOUSAND FOUR HUNDRED THIRTY DOLLARS (\$1,430.00) for furnishing and installing two sprinklers in the proposed 14 X 22'-3" addition.

We have included the following:

Two Grinnell chrome Duraspeed sprinklers on concealed piping.
One connection to the existing system for a source of supply

We have not included the following:

Removal and replacement of ceiling tiles and grid work.
Sprinklers within the concealed spaces above the suspended ceilings
Special plating or painting of the sprinkler piping.

It is the responsibility of the Buyer to provide an adequate water supply at sufficient pressure to meet the demand of this system as specified by the insurance authority having jurisdiction.

PAYMENT TERMS

Terms of payment are net ten (10) days from date of invoice. Invoices may be rendered on a progress basis for work completed through the date of invoicing, and purchaser agrees to pay such progress billing in full, in accordance with the payment terms specified above.

UTILITIES CALL LIST

BARRON CENTER SUN-ROOM ADDITION

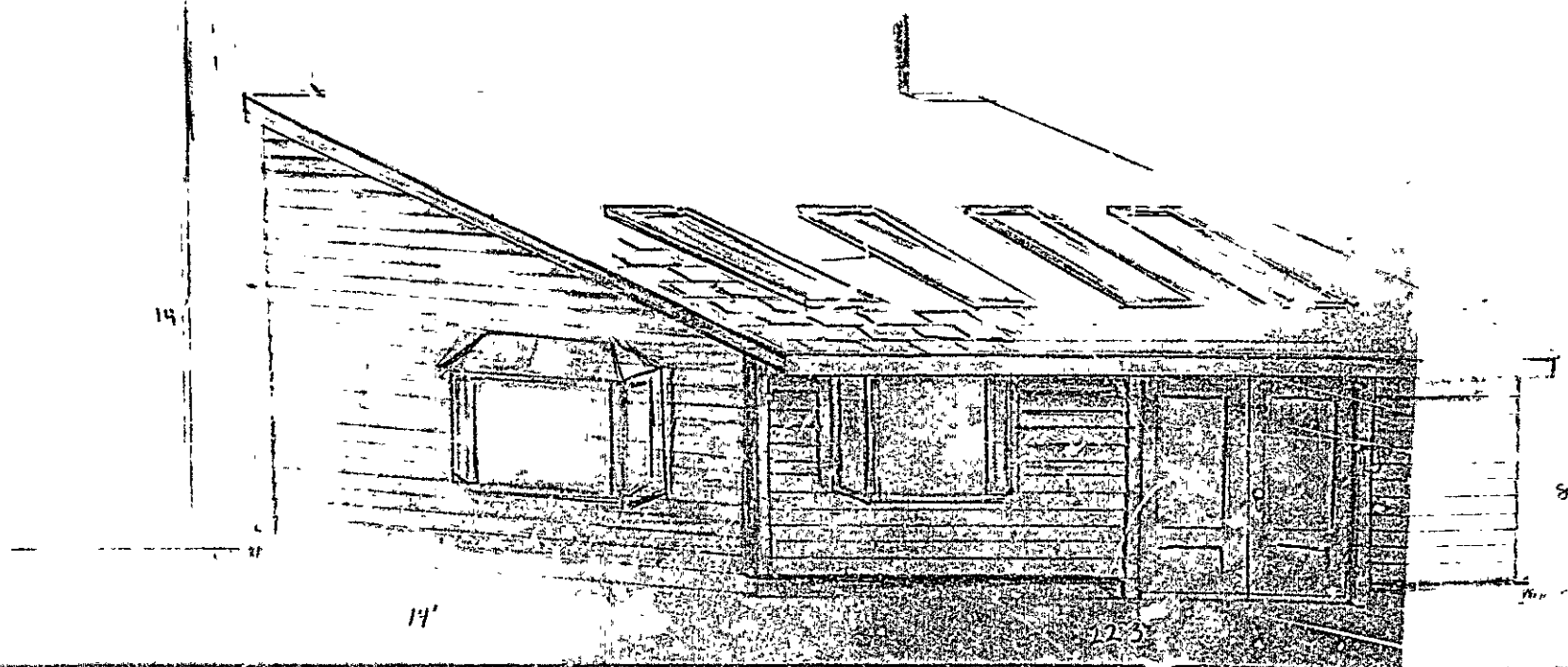
Permit # 89353998

		Date	Inspected By
CMP	<i>E. G. Hoff</i>	<i>8-31-89</i>	
NEW ENGLAND TELEPHONE	<i>John Hunter</i>	<i>8/31/89</i>	
NORTHERN UTILITIES	<i>John Hunter</i>	<i>8-1-89</i>	
PORTLAND WATER DIST.	<i>J. Lilly</i>	<i>8-31-89</i>	
PORTLAND PIPE LINE	<i>T.A. Hudson</i>	<i>9-1-89</i>	
CITY OF PORTLAND SEWER DIVISION	<i>James P. ...</i>	<i>9-1-89</i>	
AT&T	<i>L. ...</i>	<i>...</i>	
SPRINT	<i>S</i>		

BARKOW CENTER I 1/2" = 1'
GREENHOUSE ADDITION

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

RECEIVED
SEP 07 1989



**CITY OF PORTLAND, MAINE
MEMORANDUM**

TO: Sam Hoffses, Inspection Service Division
FROM: Robert O'Bradovich, Director of Maintenance
SUBJECT: Barron Center Cafeteria Addition Building Permit

DATE: 9/5/89

Please find enclosed 7 copies of the construction plans and related material you requested for issuance of a building permit for this project.

Steve Harris has reviewed the survey map and site plan for this project and will be contacting you. As per your conversation with Steve, I am not including 7 copies of these site plans.

I would greatly appreciate your earliest possible review, as we would like to begin construction as soon as possible.

If you have any questions, I can be reached at the Barron Center at 774-2625 or 74-0.

Thank you.

RECEIVED

SEP 07 1989

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

SCOPE OF PROJECT

In order to provide a segregated smoking/non-smoking area at the Barron Center Cafeteria, a 14' x 22'3" sunroom type addition will be built off the existing Cafeteria on the West side of the Barron Center.

This project is being funded from the Barron Center FY 90 Capital Outlay Budget. Budgeted amount \$24,000.

Original plans called for the construction of a "Pella Type" sunroom with the work to be performed by an outside contractor, but because of the high cost of this type of construction, the decision was made to build a stick built structure using City Staff. The City will contract out some construction phases (excavation, foundation, HVAC, sprinkler, etc.)

It is planned that this project be completed during the 1989 construction season.

PROJECT DETAILS

Construction of a stick built 14' X 22'3" structure onto the Barron Center.

Site Plan - reviewed by Steve Harris, Planning Engineer.

Building Permit - construction plans submitted to Sam Hoffses, Inspections Division.

Excavation & Foundation - City bid to be awarded to yet unknown contractor.

Construction - To be performed by City staff. (see construction plans).

Fire & Life Safety - addition to be fully sprinkled (integrated into Barron Center sprinkler system).

HVAC - addition to be heated by a hydronic unit heater. Addition will have a supply/exhaust roof ventilator.

Electrical & Lighting - work to be performed by City staff and the City's electrical contractor (Seebee Electric).

Plumbing - N/A - with the exception of piping to hydronic unit heater.

Utilities - site has been inspected by all utilities for excavation (see check off list).

Materials - materials list enclosed.

Construction Time - 4 - 6 weeks.

Estimated Cost - \$24,000.

Permit Fees - waived by City Manager's office (Mark Green).



Grinnell

FIRE PROTECTION SYSTEMS COMPANY

883 Riverside Street
Portland, Maine 04103
207-878-2789

August 28, 1989

Baron Center
1115 Brighton Avenue
Portland, Maine 04102

Attn: Robert O'Broedovich

Re: Cafeteria Addition

Dear Bob,

We are pleased to submit our quotation of ONE THOUSAND FOUR HUNDRED THIRTY DOLLARS (\$1,430.00) for furnishing and installing two sprinklers in the proposed 14 X 22'-3" addition.

We have included the following:

Two Grinnell chrome Dur-speed sprinklers on concealed piping.
One connection to the existing system for a source of supply

We have not included the following:

Removal and replacement of ceiling tiles and grid work.
Sprinklers within the concealed spaces above the suspended ceilings.
Special plating or painting of the sprinkler piping.

It is the responsibility of the Buyer to provide an adequate water supply at sufficient pressure to meet the demand of this system as specified by the insurance authority having jurisdiction.

PAYMENT TERMS

Terms of payment are net ten (10) days from date of invoice. Invoices may be rendered on a progress basis for work completed through the date of invoicing, and purchaser agrees to pay such progress billing in full, in accordance with the payment terms specified above.

UTILITIES CALL LIST

BARRON CENTER SUN-ROOM ADDITION

Permit # 89353998

	<u>Date</u>	<u>Inspected By</u>
CMP <u>E. A. Hoff</u>	<u>8-31-89</u>	
NEW ENGLAND TELEPHONE <u>John Houghton</u>	<u>8/31/89</u>	
NORTHERN UTILITIES <u>John Hoff</u>	<u>8-1-89</u>	
PORTLAND WATER DIST. <u>J. Lilly</u>	<u>8-31-89</u>	
PORTLAND PIPE LINE <u>T. H. Harrison</u>	<u>9-1-89</u>	
CITY OF PORTLAND SEWER DIVISION <u>James B. ...</u>	<u>9-1-89</u>	
AT&T <u>...</u>	<u>...</u>	<u>...</u>
SPRINT <u>...</u>		

CAROL CENTER 4/2/89
CAPITAL BUILDING

RECEIVED

SEP 07 1989

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

