

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant _____

Date October 31, 1983

Mailing Address _____

Address of Proposed Site 237-2385

Proposed Use of Site _____

Site Identifier(s) from Assessors Maps _____

Acres of Site / Ground Floor Coverage _____

Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No

Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

FIRE DEPARTMENT REVIEW

(Date Received) _____

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMASE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
APPROVED CONDITIONALLY	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	CONDITIONS SPECIFIED BELOW
DISAPPROVED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	REASONS SPECIFIED BELOW

REASONS:

Hydrant - must be within 800' of the structure

(Attach Separate Sheet if Necessary)

FIRE DEPARTMENT COPY

SIGNATURE OF REVIEWING STAFF / DATE

Jametta M. Smith

10-31-83

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Applicant _____

Date _____

Mailing Address _____

Address of Proposed Site _____

Proposed Use of Site _____

Site Identifier(s) from Assessors Maps _____

Acres of Site / Ground Floor Coverage _____

Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No

Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	/	/	✓	✓	✓	/	✓	✓	✓	✓	✓	✓	*	*		
APPROVED CONDITIONALLY																CONDITIONS SPECIFIED BELOW
DISAPPROVED																REASONS SPECIFIED BELOW

REASONS: * Due to the overall absence of curbs and sidewalks along outer Congress St and the lack of pedestrian traffic, we feel the requirement for curbs and sidewalks unnecessary at this time.

(Attach Separate Sheet if Necessary)

Robert J. Ray Nov 8, 1983
SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

Nichols  **Portland**
Division of W.H. Nichols Co.

January 24, 1984

Mr. P. Samuel Hoffses
Chief of Inspection Services
City of Portland
Department of Planning & Urban Development
Inspection Services Div.
Portland, ME

Dear Mr. Hoffses:

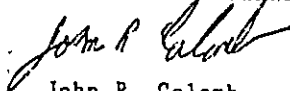
At the present time we are negotiating the final pricing with the contractors on our proposed addition to the plant. We are anticipating the contract will be awarded early in February, with construction to start during the month of March. Estimated completion time is 4-1/2 months. This still is a valid project and it is Nichols' intention to proceed with it.

If you should have any further questions regarding it, please do not hesitate to contact me.

Thank you for your cooperation in this matter.

Sincerely,

NICHOLS - PORTLAND



John R. Colomb
Manager, Manufacturing Services

JRC/cc



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

January 9, 1984

Mr. John W. Pochebit
W. H. Nichols Co.
2400 Congress Street
Portland, ME 04102

Dear Mr. Pochebit:

A review of our files shows you have a building permit application on file with the Division of Inspection Services.

Please notify this office by January 31, 1984 of your intentions regarding your proposed project.

If no action has been taken by the above date, this office will assume you have abandoned your project, and we will VOID your application.

Thank you for your cooperation in this matter.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

PSH/kat

Nichols Portland

Division of W.H. Nichols Co.

October 27, 1983

Portland City Hall
389 Congress St.
Portland, ME 04101

Attention: Mr. Rick Nolan

Dear Mr. Nolan:

The W.H. Nichols Company would like to submit for your evaluation and approval their plans for a major plant expansion. They are as follows:

604.4 B.2(a)

We are proposing to add 16,107 square feet of manufacturing space at our 2400 Congress Street location. This will be dedicated to the light manufacturing of fixed displacement gerotor pumps. We are entering into a new product line of automotive engine lubrication pumps. We have recently started producing oil pumps for Ford Motor Company for the Escort and Lynx at the rate of 10,000 per week. We are anticipating that other Ford engines and General Motors will adopt our product for use in their engines.

The first addition will be attached to the present facility and will be 100'-8" by 160'. The second addition of 6,131 square feet, 120' by 51'-1", will be an expansion to our Tool Room and Engineering Department. There are no residential units on this land nor are there any plans for any in the future.

604.4 B.2(b)

The present site consists of approximately 29.5 acres plus or minus, 1,200 feet of frontage on Congress Street with a depth of 730 feet. The back lot line is 2,340 feet long. The building with the addition will consist of approximately 120,644 square feet. We are planning to add 16,107 square feet to the north side of the building and 6,131 square feet to the south side of the building.

604.4 B.2(c)

To the best of my knowledge there are no existing or proposed easements or other burdens.

604.4 B.2(d)

We are not anticipating any additional waste with this plant expansion. At the present time we are trucking all solid waste to the baler site using our own vehicles.



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 0224
B.O.C.A. TYPE OF CONSTRUCTION MAR 21 1984

ZONING LOCATION ... F-1 ... PORTLAND, MAINE ... Oct. 28, 1983

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A., Building Code and Zoning Ordinance of the City of Portland with plans and specifications, as submitted herewith and the following specifications:

LOCATION ... 2400. Congress. Street ... Fire District #1 [] #2 []
1. Owner's name and address ... W. H. Nichols Co. ... same ... Telephone 774-6123
2. Lessee's name and address ... Telephone ...
3. Contractor's name and address ... The Sheridan Corp. ... -198 Me. Mall. ... Telephone ... 774-6138
Proposed use of building ... light manufacture of pumps ... No. of sheets ...
Last use ... same ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$66,000.00 Foundation only

FIELD INSPECTOR—Mr. ... @ 775-5451
Major site plan review
To construct 22,238 sq ft. addition to already existing building.
Applied for foundation only 3-16-84.
Appeal Fees 3
Site plan Review 300.00
Base Fee
Late Fee 340.00 Founda.
TOTAL \$
Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs on cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? ...
ZONING: OK ... 1/19/83
BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ...
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant ... John W. Porcubit ... Phone # 797-3359
Type Name of above ... John W. Porcubit for ... 1 [] 2 [] 3 [] 4 []
W. H. Nichols CO. Other ...
and Address ...

NOTES

3/28/84 Forting St inspection ok
for method of work

4/4/84 Wip St

5/84 Foundstone St. WIP.

Permit No.

Location

Owner

Date of permit

Approved by

Dwelling

Garage

Alteration

2900 Cong. St.

~~Large section of the page containing multiple horizontal lines, crossed out with a large 'X'.~~



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to **W. H. Nichols Co.**

LOCATION **2400 Congress Street**

Date of Issue **August 9, 1984**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under building Permit No. **34/408**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Financing Conditions:

1-Story, 2nd Floor

This certificate supersedes certificate issued

Approved:

Arthur
Inspector

[Signature]
Inspector of Building

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 408

B.O.C.A. TYPE OF CONSTRUCTION

APR 27 1984

ZONING LOCATION PORTLAND, MAINE .. April 18, 1984

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

- 1. Owner's name and address W. H. Nichols Co. - same
2. Lessee's name and address
3. Contractor's name and address The Sheridan Corp. - Box 2358, So. Portland

Proposed use of building manufacturing
Estimated contractual cost \$ 477,566

FIELD INSPECTOR - Mr. [Signature] @ 775-5451

Appeal Fees \$
Base Fee 2,300.00
Late Fee
TOTAL \$

To construct 100' x 150' 1 story addition to already existing building as per plans. 13 sheets of plans.

Stamp of Special Conditions

send permit to # 3 04106

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Any painting involved in this work? YES
Is any electrical work involved in this work? YES
Is construction to be made to public sewer? existing
Has septic tank been sent? Form notice sent?
Height average grade to highest point of roof
Material of chimneys
Roof covering
Material of chimeys
Kind of heat
Fuel
Sills
Columns under girders
Joists and rafters
On centers
Maximum span

IF A GARAGE

No. cars now accommodated on same lot to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: BUILDING INSPECTION - PLAN EXAMINER
ZONING
BUILDING CODE
Fire Dept.
Health Dept.
Others

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant Kenneth W. Jackson
Type Name of above Kenneth Jackson for The Sheridan Corporation
Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

[Handwritten signature]

Permit No. 84/408

Location 8410. Longview St.

Owner G. D. McCallister

Date of permit 4-18-84

Approved 4-27-84

Dwelling Addition to existing

Garage

Alteration

NOTES

8/9/84

CGO

2025 RELEASE UNDER E.O. 14176

B

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION D.I.3.14
ZONING LOCATION PORTLAND, MAINE

PERMIT ISSUED
OCT 19 1964
CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTIC. SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B. O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications

LOCATION 2400 Congress St. Fire District #1 [] #2 []
1. Owner's name and address W. H. Nichols Co. - Bangs Telephone 774-6121
2. Lessee's name and address Tel. phone:
3. Contractor's name and address Allied Constr. Co., Inc. 92 Darling Ave. 60, Portland 772-2838

FIELD INSPECTOR - Mr. 290,000 @ 775-5451
Site Plan Review Only.
Addition to existing facility.
construct 12,300 sq. ft. addition

Appeal Fee \$
Basic Fee Site Plan Rev. 300.00
Late Fee
TOTAL Fee \$ 1,010.00

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Height average grade to top of plate Height average grade to highest point of roof
Material of foundation Thickness, top bottom cellar
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repair be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION - PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Phone #
Type Name of above
David Cook for Allied Constr. Co.,
Other
and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

PLUMBING PERMITS

PROPERTY OR ADDRESS

Town Or Plantation: Portland

Street & Section Lot #: 5501

PROPERTY OWNER'S NAME (LAST, FIRST, MIDDLE INITIAL)

Last: McKenzie First: John

Applicant Name: John McKenzie

Mailing Address of Owner/Applicant (if different): 2-1-37-10

PORTLAND PERMIT # 484 TOWN COPY

Signature: John McKenzie

Local Number of Signatures: _____

FEE: _____

DATE: _____

Owner/Applicant Statement

I certify that the information submitted is correct, true, and accurate to the best of my knowledge and understanding, and that any false information is cause for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: _____ Date: _____

Caution: Inspection Required

I hereby inspect the installation authorized above and found it to be in accordance with the Maine Plumbing Rules.

Signature of Local Plumbing Inspector: Anthony Gendron Date Approved: AUG 4 - 1984

PERMIT INFORMATION

This Application is for:

1. NEW PLUMBING

2. RELOCATED PLUMBING

JUN 7 1984
JUN 13 1984

Type Of Structure To Be Served:

1. SINGLE FAMILY DWELLING

2. MODULAR OR MOBILE HOME

3. MULTIPLE FAMILY DWELLING

4. OTHER - SPECIFY 5501

Plumbing To Be Installed By:

1. MASTER PLUMBER

2. OIL BURNER

3. H.F.G.D. HOUSING DEALER / MECHANIC

4. PUBLIC UTILITY EMPLOYEE

5. PROPERTY OWNER

LICENSE # 1, 2, 3, 4

Number	Hook-Ups And Piping Relocation	Column 2		Column 1	
		Number	Type of Fixture	Number	Type of Fixture
	<p>HOOK-UP: to an existing subsurface wastewater disposal system.</p> <p>PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.</p>		Hosebibb / Silcock		Bathtub (and Shower)
		3	Floor Drain		Shower (Separate)
		1	Urinal		Sink
			Drinking Fountain	2	Wash Basin
			Indirect Waste	3	Water Closet (Toilet)
			Water Treatment Softener, Filter, etc		Clothes Washer
			Grease/Oil Separator		Dish Washer
			Dental Cuspidor		Garbage Disposal
			Bed		Laundry Tub
			Other: <u>...</u>	1	Water Heater
	Hook-Ups (Subtotal)	14	Fixtures (Subtotal) Column 2	6	Fixtures (Subtotal) Column 1
	Hook-Up Fee			14	Fixtures (Subtotal) Column 2
				14	Total Fixtures
				\$ 31	Fixture Fee
				\$	Hook-Up Fee
				\$ 31	Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TOWN COPY

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

402

Applicant: W. H. Nichols Co.
 Mailing Address: 2400 Congress Street
 Proposed Use of Site: Manufacturing
 Acreage of Site: 2.91 acres / 12,320 sq. ft. Ground Floor Coverage
 Site Location Review (DCP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

Date: October 11, 1984
 Address of Proposed Site: 2400 Congress St.
 Site Identifier(s) from Assessors Maps: T-1
 Zoning of Proposed Site: _____
 Proposed Number of Floors: 1
 Total Floor Area: 12,320 sq. ft.

BUILDING DEPARTMENT SITE-PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
- Requires Board of Appeals Action
- Requires Planning Board/City Council Action

Explanation:
 Use complies with Zoning Ordinance — Staff Review Below

Zoning: **GRACE & BULK**
 as applicable

COMPLIES
 COMPLIES
 CONDITIONALLY
 DOES NOT
 COMPLY

DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40-FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LET FRONTAGE	OFF-STREET PARKING	LOADING BAYS

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS:

[Signature]
 SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT -- ORIGINAL

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

402

Applicant W. S. Nichols Co.

Date October 11, 1984

Mailing Address 2400 Congress Street

Address of Proposed Site 2400 Congress Street

Proposed Use of Site Manufacturing

Site Identifier(s) from Assessors Maps 12-170 sq. ft.

Acreage of Site / Ground Floor Coverage 12,720 sq. ft.

Zoning of Proposed Site T-1

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors 1

Board of Appeals Action Required: () Yes () No

Total Floor Area 12,720 sq. ft.

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

FIRE DEPARTMENT REVIEW

(Date Received) _____

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING POOL	SAFETY HAZARDS	HYDRANTS	SIAMISE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED	✓	✓	✓		✓	✓			
APPROVED CONDITIONALLY									CONDITIONS SPECIFIED BELOW
DISAPPROVED									REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

James P. Collins
 SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

10-12-84

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

402

Applicant W. H. Nichols Co.

Date October 11, 1984

Mailing Address 2400 Congress Street

Address of Proposed Site 2400 Congress Street

Proposed Use of Site 1 1/2 story office

Site Identifier(s) from Assessors Maps T-1

Acreage of Site / Ground Floor Coverage 1.276 ac. / 54,700 sq. ft.

Zoning of Proposed Site T-1

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors 1

Board of Appeals Action Required: () Yes () No

Total Floor Area 54,700 sq. ft.

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	/															/
APPROVED CONDITIONALLY																
DISAPPROVED																

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

Robert J. Ray Oct. 16, 1984
 SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant W. B. Nichols Co. Date October 11, 1984
 Mailing Address 2490 Congress Street Address of Proposed Site _____
 Proposed Use of Site _____ Site Identifier(s) from Assessors Maps _____
 Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors 1
 Board of Appeals Action Required: () Yes () No Total Floor Area 12,420 sq. ft.
 Planning Board Action Required: () Yes () No

Other Comments: _____
 Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received) _____

- Major Development — Requires Planning Board Approval: Review Initiated
 Minor Development — Staff Review Below

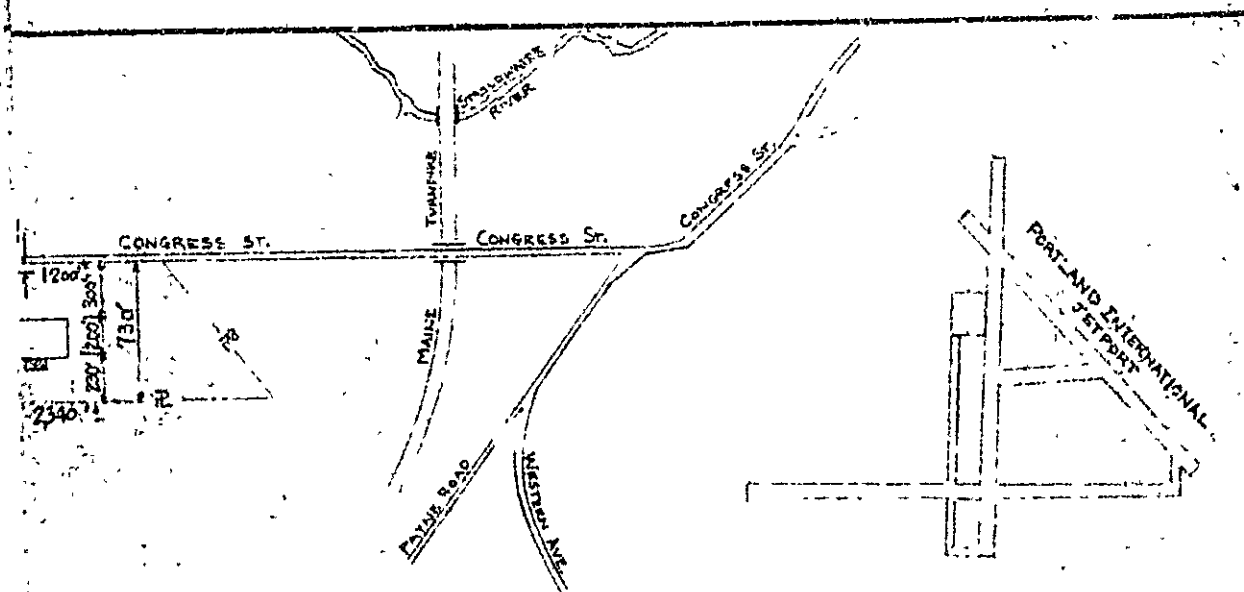
	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	
APPROVED CONDITIONALLY												CONDITIONS SPECIFIED BELOW
DISAPPROVED												REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

Barbara Barnhart 10/16/84
 SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY



SITE LOCATION MAP

APPROX. SCALE: 1"=800'

EXISTING BUILDING	=	98,406 SF	(2.26 ACRES)
PROPOSED ADDITIONS	=	22,238 SF	(0.51 ACRES)
TOTAL		120,644 SF	(2.77 ACRES)
TOTAL LAND AREA		29.5 ACRES	

ZONE: II
 PARKING: 332 CARS PROVIDED

NOTES:-

- 1) REFER TO DWG. NO. 1 (67-361) & 51 (70-394) FOR ORIGINAL GROUND CONTOURS & FINISH GRADES WHICH ARE EXISTING.
- 2) T.L. = YARD LIGHT. (1.00' CANDLE LEVEL)



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

March 20, 1984

The Sheridan Corp.
198 Maine Mall Road
South Portland, ME 04106

RE: 2400 Congress Street (W.H. Nichols Co.,

Gentlemen:

Your application to construct a foundation only at 2400 Congress Street, Portland, has been reviewed, and a building permit is herewith issued subject to the following requirements.

Site Plan Review

Inspection Services Div.: None. M. Ward 11/9/83
Planning Division: None. B. Barhydt 11/9/83
Fire Department: A hydrant must be within 800 ft. of the structure.
Parks/Public Works: Due to the overall absence of curbs and sidewalks along outer Congress Street and the lack of pedestrian traffic, we feel the requirement for curbs and sidewalks is unnecessary at this time. R. Roy 11/8/83

If you have any questions on this Site Plan Review, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

PSH/kat
Enclosure

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW**

341

Processing Form

Applicant: W. H. Nichols Company Date: October 31, 1983
 Mailing Address: 240 Congress Street, Portland, Maine Address of Proposed Site: 2378-2466 Congress Street
 Proposed Use of Site: Manufacture of Pumps Site Identifier(s) from Assessors Maps: 236-A-3
 Acreage of Site / Ground Floor Coverage: 29.5 acres / 22,238 sq. ft. Zoning of Proposed Site: T-1

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors: _____
 Board of Appeals Action Required: () Yes () No Total Floor Area: 22,238 sq. ft.
 Planning Board Action Required: (/) Yes () No

Other Comments: _____

Date Dep't. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW
(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
- Requires Board of Appeals Action
- Requires Planning Board/City Council Action

Explanation _____

- Use complies with Zoning Ordinance -- Staff Review Below

Zoning Space & Bulk as applicable

COMPLIES
COMPLIES CONDITIONALLY
DOES NOT COMPLY

DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: _____

[Signature]
SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT - ORIGINAL

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Applicant _____

Date October 31, 1983

Mailing Address _____

Address of Proposed Site _____

Proposed Use of Site _____

Site Identifier(s) from Assessors Maps _____

Acreage of Site / Ground Floor Coverage _____

Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No

Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

10/31/83
(Date Received)

Major Development — Requires Planning Board Approval: Review Initiated

Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	X	X	X	X	X	X	X	X	X	X		
APPROVED CONDITIONALLY												CONDITIONS SPECIFIED BELOW
DISAPPROVED												REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

Barbara Baird 11/9/83

SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Applicant: _____ Date: October 31, 1983

Mailing Address: _____ Address of Proposed Site: _____

Proposed Use of Site: _____ Site Identifier(s) from Assessors Maps: _____

Acres of Site: 1.2238 Ground Floor Coverage: _____ Zoning of Proposed Site: _____

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors: _____

Board of Appeals Action Required: () Yes () No Total Floor Area: _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

FIRE DEPARTMENT REVIEW

(Date Received) _____

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	STAIRCASE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	CONDITIONS SPECIFIED BELOW: REASONS SPECIFIED BELOW:
APPROVED CONDITIONALLY	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
DISAPPROVED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

REASONS: A hydrant must be within 800' of this structure

(Attach Separate Sheet if Necessary)


 SIGNATURE OF REVIEWING STAFF DATE: 10-31-83
 FIRE DEPARTMENT COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant: _____ Date: _____

Mailing Address: _____ Address of Proposed Site: _____

Proposed Use of Site: _____ Site Identifier(s) from Assessors Maps: _____

Acreeage of Site / Ground Floor Coverage: _____ Zoning of Proposed Site: _____

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors: _____

Board of Appeals Action Required: () Yes () No Total Floor Area: _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	
APPROVED CONDITIONALLY																CONDITIONS SPECIFIED BELOW
DISAPPROVED																REASONS SPECIFIED BELOW

REASONS: * Due to the overall absence of curbs and sidewalks along outer Congress St and the lack of pedestrian traffic, we feel the requirement for curbs and sidewalks is unnecessary at this time.

(Attach Separate Sheet if Necessary)

Robert J. Ray Nov 8, 1983

SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

Nichols Portland
Division of W.H. Nichols Co.

January 24, 1984

Mr. P. Samuel Hoffses
Chief of Inspection Services
City of Portland
Department of Planning & Urban Development
Inspection Services Div.
Portland, ME

Dear Mr. Hoffses:

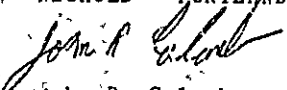
At the present time we are negotiating the final pricing with the contractors on our proposed addition to the plant. We are anticipating the contract will be awarded early in February with construction to start during the month of March. Estimated completion time is 4-1/2 months. This still is a valid project and it is Nichols' intention to proceed with it.

If you should have any further questions regarding it, please do not hesitate to contact me.

Thank you for your cooperation in this matter.

Sincerely,

NICHOLS - PORTLAND

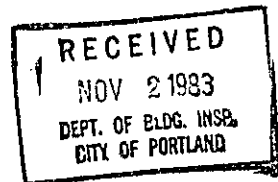

John R. Colomb
Manager, Manufacturing Services

JRC/cc

Nichols Portland
Division of W.H. Nichols Co.

October 27, 1983

Portland City Hall
389 Congress St.
Portland, ME 04101



Attention: Mr. Rick Nolan

Dear Mr. Nolan:

The W.H. Nichols Company would like to submit for your evaluation and approval their plans for a major plant expansion. They are as follows:

604.4 B.2(a)

We are proposing to add 16,107 square feet of manufacturing space at our 2400 Congress Street location. This will be dedicated to the light manufacturing of fixed displacement gerotor pumps. We are entering into a new product line of automotive engine lubrication pumps. We have recently started producing oil pumps for Ford Motor Company for the Escort and Lynx at the rate of 10,000 per week. We are anticipating that other Ford engines and General Motors will adopt our product for use in their engines.

The first addition will be attached to the present facility and will be 100'-8" by 160'. The second addition of 6,131 square feet, 120' by 51'-1", will be an expansion to our Tool Room and Engineering Department. There are no residential units on this land nor are there any plans for any in the future.

604.4 B.2(b)

The present site consists of approximately 29.5 acres plus or minus, 1,200 feet of frontage on Congress Street with a depth of 730 feet. The back lot line is 2,340 feet long. The building with the addition will consist of approximately 120,644 square feet. We are planning to add 16,107 square feet to the north side of the building and 6,131 square feet to the south side of the building.

604.4 B.2(c)

To the best of my knowledge there are no existing or proposed easements or other burdens.

604.4 B.2(d)

We are not anticipating any additional waste with this plant expansion. At the present time we are trucking all solid waste to the baler site using our own vehicles.

APPLICATION FOR PERMIT PERMIT ISSUED

B.O.C.A. USE GROUP 0224
 B.O.C.A. TYPE OF CONSTRUCTION MAR 21 1984
 ZONING LOCATION ... I-1 ... PORTLAND, MAINE ... Oct. 28, 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
CITY of PORTLAND

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 2400 Congress Street ... Fire District #1 #2
 1. Owner's name and address ... W. H. Nichols Co. - same ... Telephone 774-6121
 2. Lessee's name and address ... Telephone
 3. Contractor's name and address ... The Sheridan Corp. - 198 Me. Mall Rd. ... Telephone 774-6138

Proposed use of building ... Light manufacture of pumps ... So. Portland ... No. of sheets
 Last use ... same ... No. families
 Material ... No. stories ... Heat ... Style of roof ... Roofing

Other buildings on same lot
 Estimated contractual cost \$66,000.00 Foundation only
 Appeal Fees \$

FIELD INSPECTOR - Mr. @ 775-5451
 Major site plan review
 To construct 22,238 sq. ft. addition to already existing building.
 Applied for foundation only 3-16-84.
 Stamp of Special Conditions

Site plan Review \$00.00
 Base Fee
 Late Fee \$40.00 Founda.
 TOTAL \$

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber - Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 9 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: **DATE:** **MISCELLANEOUS:**
 BUILDING INSPECTION - PLAN EXAMINER Will work require disturbing of any tree on a public street?
 ZONING: *OK. M.A.D. 11/1/83*
 BUILDING CODE Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
 Fire Dept.
 Health Dept.
 Others:

Signature of Applicant: *Jean W. Pochebit* Phone # 797-3369
 Type Name of above: Jean W. Pochebit for 1 2 3 4
 W. H. Nichols Co. Other
 and Address

NOTES

3/28/84 Footing inspection SL
 for partial pour

4/4/84 WIP SL

5/8/84 Foundation SL WIP

Permit No.

Location

2900

Cambridge

Owner

Date of permit

Approved

Dwelling

Garage

Alteration

~~Empty lined area for notes, crossed out with a large X.~~



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 2400 Congress Street

Issued to W. H. Nichols Co.

Date of Issue August 9, 1984

This is to certify that the building, premises, or part thereof, at the above location, built—altered—change: as to use under Building Permit No. 84/408, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

1-Story Addition

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 408

APR 27 1984

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE April 18, 1984

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION: 2400 Congress Street..... Fire District #1 , #2

1. Owner's name and address: W. H. Nichols Co. - same..... Telephone 774-6121

2. Lessee's name and address..... Telephone.....

3. Contractor's name and address: The Sheridan Corp., Box 2358, So. Portland..... Telephone 774-6138

..... No. of sheets.....

Proposed use of building: manufacturing..... No. families.....

Last use: same..... No. families.....

Material:..... No. stories..... Heat..... Style of roof..... Roofing.....

Other buildings on same lot.....

Estimated contractual cost \$: 477,566.....

FIELD INSPECTOR—Mr. Rowe..... Appeal Fees \$.....

@ 775-5451..... Base Fee \$ 2,392.83.....

To construct 100' x 150' 1 story addition to..... Late Fee.....

already existing building as per plans..... TOTAL \$.....

22 13 sheets of plans..... Stamp of Special Conditions.....

.....

.....

send permit to # 3 04106.....

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Yes..... Is any electrical work involved in this work? yes.....

Is connection to be made to public sewer? existing..... If not, what is proposed for sewage?.....

Has septic tank notice been sent?..... Form notice sent?.....

Height average grade to top of plate..... Height average grade to highest point of roof.....

Size, front..... depth..... No. stories..... solid or filled land? earth or rock?.....

Material of foundation..... Thickness, top..... bottom..... cellar.....

Kind of roof..... Rise per foot..... Roof covering.....

No. of chimneys..... Material of chimneys..... of lining..... Kind of heat..... fuel.....

Framing Lumber—Kind..... Dressed or full size?..... Corner posts..... Sills.....

Size Girder..... Columns under girders..... Size..... Max. on centers.....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.....

Joists and rafters: 1st floor..... 2nd..... 3rd..... roof.....

On centers: 1st floor..... 2nd..... 3rd..... roof.....

Maximum span: 1st floor..... 2nd..... 3rd..... roof.....

If one story building with masonry walls, thickness of walls?..... height?.....

IF A GARAGE

No. cars now accommodated on same lot..... to be accommodated..... number commercial cars to be accommodated.....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?.....

APPROVALS BY:..... DATE..... MISCELLANEOUS.....

BUILDING INSPECTION—PLAN EXAMINER..... Will work require disturbing of any tree on a public street? NO.....

ZONING:.....

BUILDING CODE:..... Will there be in charge of the above work a person competent.....

Fire Dept.:..... to see that the State and City requirements pertaining thereto.....

Health Dept.:..... are observed? yes.....

Others:.....

Signature of Applicant: Kenneth N. Jackson..... Phone # 5279.....

Type Name of Job: Kenneth Jackson, for..... 1 2 3 4

The Sheridan Corporation..... Other.....

and Address.....

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

Rowe

NOTES

Permit No. 84/498

Location 2460 Longview Rd

Owner M. D. Matthews Co

Date of permit 4-18-84

Approved 4-27-84

Dwelling Addition to existing

Garage

Alteration

8/9/84
C. J. O.

~~Large section of the page is crossed out with a large handwritten 'X'.~~

10

APPLICATION FOR PERMIT

PERMIT ISSUED
JAN 8 1983
CITY OF PORTLAND

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 01614

ZONING LOCATION PORTLAND, MAINE

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 2400 Congress Street Fire District #1 #2

1. Owner's name and address W. H. NICHOLS CO. - HOME Telephone 774-6121

2. Lessee's name and address Telephone

3. Contractor's name and address HOME GAS CORP. - Station Rd., Oxford, Maine Telephone 1-539-4453

..... No. of sheets

Proposed use of building No. families

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$..... Appeal Fees \$.....

FIELD INSPECTOR--Mr. Base Fee

@ 775-5451

Late Fee

To install 1,000 gal. LP gas propane tank for temporary heat (above ground to set on cement blocks), as per plan.

TOTAL \$ 25.00

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber--Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

MISCELLANEOUS

BUILDING INSPECTION--PLAN EXAMINER,

Will work require disturbing of any tree on a public street?

ZONING:

Will there be in charge of the above work a person competent

BUILDING CODE:

to see that the State and City requirements pertaining thereto

Fire Dept.:

are observed?

Health Dept.:

Others:

Signature of Applicant Phone #

Type Name of above Scott Hemingway for Home Gas. 2 3 4

Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

①

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

JAN 31 1985

B.O.C.A. TYPE OF CONSTRUCTION 00.76

ZONING LOCATION PORTLAND, MAINE

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 2400 Congress St. Fire District #1 #2

1. Owner's name and address ... W. H. Nichols Co. - same Telephone

2. Lessee's name and address Telephone

3. Contractor's name and address ... Fireshield Sprinkler System Telephone ... 983-3261

Box 2267, Scarborough 04074 No. of sheets

Proposed use of building ... steel storage No. families

Last use ... same No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$..... 12,190

FIELD INSPECTOR—Mr. Appeal Fees \$

@ 775-5451 Base Fee 75.00

Late Fee

TOTAL \$ 75.00

To install sprinkler system to addition to existing manufacturer of machinery as per plans. 1 sheet of plans.

Stamp of Special Conditions

send permit to # 3 04074

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?

ZONING:

BUILDING CODE: Will there be in charge of the above work a person competent

Fire Dept. to see that the State and City requirements pertaining thereto

Health Dept. are observed?

Others:

Signature of Applicant Stephen Guoretta for Phone # same

Type Name of above Fireshield

Other 1 2 3 4

and Address

2

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 12/27/84, 19__
 Receipt and Permit number 02470

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 2400 Congress Street
 OWNER'S NAME: W.H. Nichols Co. ADDRESS: same

OUTLETS:	Receptacles _____	Switches _____	Plugmold _____	ft. TOTAL <u>10</u>	✓	FEE
FIXTURES: (number of)	Incandescent _____	Flou:escent _____	(not strip) TOTAL <u>51</u>		✓	3.00
	Strip Flourescent _____	ft. _____			✓	7.10
SERVICES:	Overhead _____	Underground <u>x</u>	Temporary _____	TOTAL amperes <u>600</u>	✓	6.00
METERS: (number of)	<u>1</u>					50
MOTORS: (number of)	Fractional _____					
	1 HP or over _____					
RESIDENTIAL HEATING:	Oil or Gas (number of units) _____					
	Electric (number of rooms) _____					
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler) _____					
	Oil or Gas (by separate units) _____				✓	
	Electric Under 20 kws <u>4</u>	Over 20 kws _____				20.00
APPLIANCES: (number of)	Ranges _____	Water Heaters _____				
	Cook Tops _____	Disposals _____				
	Wall Ovens _____	Dishwashers _____				
	Dryers _____	Compactors _____				
	Fans _____	Others (denote) _____				
	TOTAL _____					
MISCELLANEOUS: (number of)	Branch Panels _____					
	Transformers _____					
	Air Conditioners Central Unit _____					
	Separate Units (windows) _____					
	Signs 20 sq. ft. and under _____					
	Over 20 sq. ft. _____					
	Swimming Pools Above Ground _____					
	In Ground _____					
	Fire/Burglar Alarms Residential _____					
	Commercial _____					
	Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____					
	over 30 amps _____					
	Circus, Fairs, etc. _____					
	Alterations to wires _____					
	Repairs after fire _____					
	Emergency Lights, battery <u>6</u>				✓	3.00
	Emergency Generators _____					

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: _____
 TOTAL AMOUNT DUE: 39.60

INSPECTION:
 Will be ready on _____, 19__; or Will Call x
 CONTRACTOR'S NAME: Rix Falmouth Electric
 ADDRESS: Park Street, No. Falmouth
 TEL.: _____
 MASTER LICENSE NO.: 31022 SIGNATURE OF CONTRACTOR: [Signature]
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS —

Permit Number 02470

Location 2400 Longview St.

Owner W H Quichada

Date of Permit 12-27-84

Final Inspection 9-19-85

By Inspector Libby

Permit Application Register Page No. 58

INSPECTIONS: Service ✓ by Libby
Service called in OK
Closing-in 2-12-86 by Libby

PROGRESS INSPECTIONS: 1 1
3-14-85 1
9-19-85 1
1 1
1 1

CODE
COMPLIANCE
COMPLETED
DATE 9-19-85

REMARKS:
This was finalized long ago, I forgot to record it.

APPLICATION FOR PERMIT

PERMIT ISSUED

OCT 19 1984

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 01314

ZONING LOCATION F-1 PORTLAND, MAINE Oct. 11, 1984

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B O C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 2400 Congress St. Fire District #1 [] #2 []
1. Owner's name and address W. H. Nichols Co. same Telephone 774-5121
2. Lessee's name and address Telephone
3. Contractor's name and address The Sheppard Corp. 256 West Main Ave. at 1-400 Main St. Portland, Me. Box 266 Telephone 774-4933
Contractor Allied Constr. Co., Inc. No. of sheets
Proposed use of building 92 Darling Ave. So. Portland 772-2888 families
Last use manufacturer No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 200,000

FIELD INSPECTOR—Mr. @ 775-5451

Appeal Fees \$
Base Fee 300.00
Late Fee
TOTAL Fee \$ 1,010.00

Site Plan Review only.
Addition to existing facility.
construct 12,300 sq. ft. additon

Stamp of Special Conditions
PERMIT ISSUED WITH LETTER

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT ISSUED WITH LETTER

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING: Will there be in charge of the above work a person competent
BUILDING CODE: to see that the State and City requirements pertaining thereto
Fire Dept.: are observed?
Health Dept.:
Others: David Cook for Allied Constr. Co., Inc

Signature of Applicant Phone #
Type Name of above Other and Address

2 FIELD INSPECTOR'S COPY PERMIT ISSUED WITH LETTER OFFICE FILE COPY



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

October 18, 1984

W.H. Nichols Co.
2400 Congress St.
Portland, Me

Dear Sir:

Your application to construct a 12,300 sq. ft. addition at 2400 Congress St. has been reviewed and a building permit is herewith issued subject to the following requirements.

Site Plan Review Requirements

Inspection Division	None	Mr. M. Ward 10/17/84
Fire Dept.	None	Lt. James Collins 10/12/84
Planning Division	None	Ms. B. Barhydt 10/16/84
Parks & Public Works	None	Mr. R. Roy 10/16/84

Building & Fire Code Requirements

1. All electrical and plumbing permits must be obtained by masters of their trade.
2. Emergency lighting, exit signs, alarm system and strambler systems shall be extended to cover this addition in accordance to the appropriate standard.

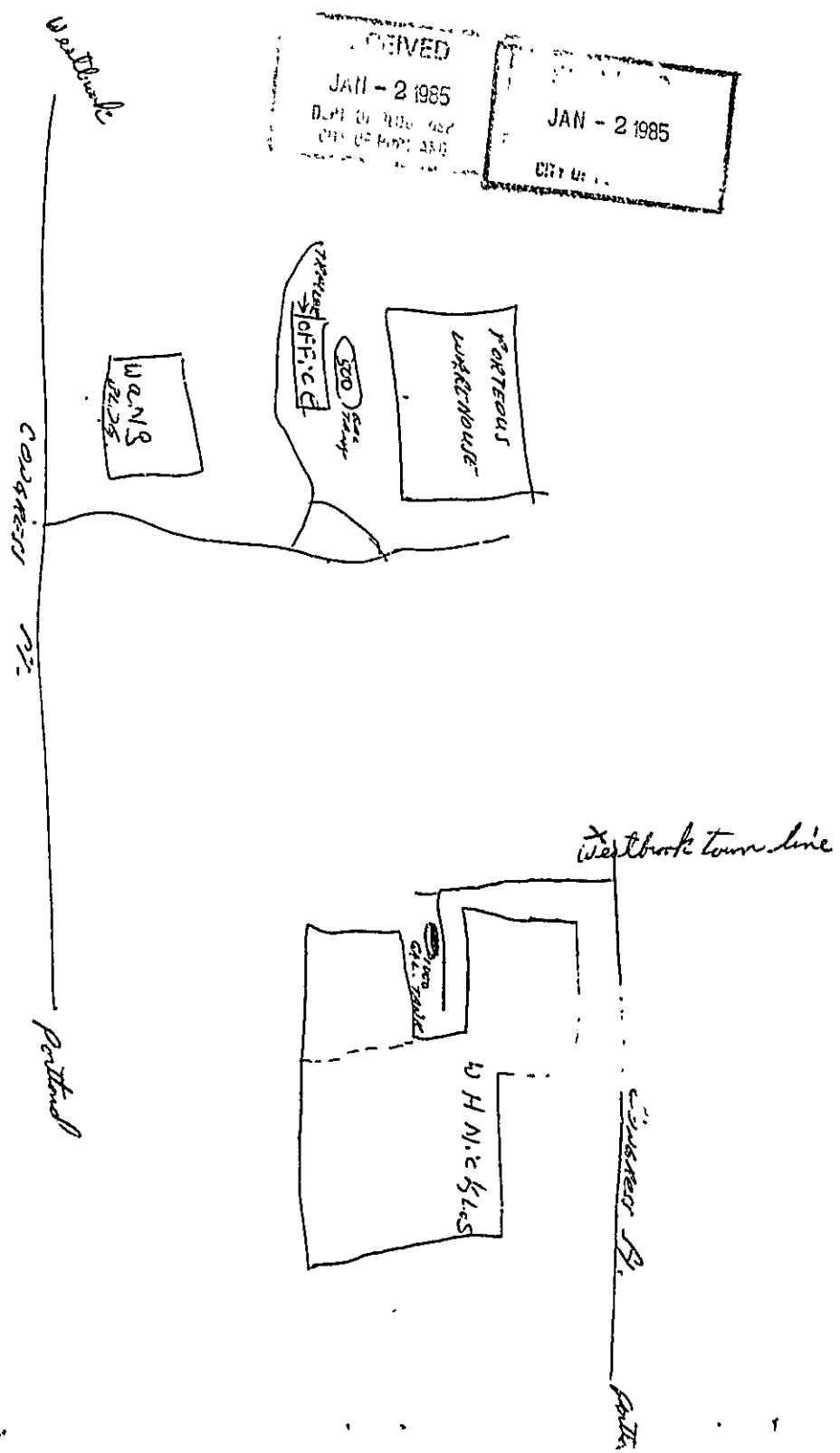
If you have any questions on these requirements please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Insp. Services

RECEIVED
JAN - 2 1985
DEPT. OF REVENUE
CITY OF HOUSTON, TEXAS

JAN - 2 1985
CITY OF HOUSTON, TEXAS



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 01614
ZONING LOCATION T-1 PORTLAND, MAINE

JAN 8 1985

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 2400 Congress Street Fire District #1 , #2
1. Owner's name and address W. H. Nichols Co. same Telephone 774-6121
2. Lessee's name and address Telephone
3. Contractor's name and address Home Gas Corp., Station Rd., Oxford Telephone 1-539-4493

Proposed use of building No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$.....

FIELD INSPECTOR—Mr. @ 775-5451
Base fee
Late Fee
TOTAL \$ 25.00

To install 1,000 gal. LP gas propane tank for temporary heat (above ground to set on cement blocks), as per plan.

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? NO.
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed? YES.
Others:

Signature of Applicant Scott H. Hemingway Phone #
Type Name of above Scott Hemingway for Home Gas, 1 2 3 4
Other
and Address

Permit No. 85161N

Location 2106 (1) 11

Owner 2106 (1) 11

Date of permit

Approved 1-8-85

Dwelling 2 1/2

Garage

Alteration

~~Notes section with horizontal lines and a large handwritten 'X' over it.~~

Notes section with horizontal lines.

Notes section with horizontal lines.

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 00076
B.O.C.A. TYPE OF CONSTRUCTION

JAN 31 1985

ZONING LOCATION PORTLAND, MAINE Jan. 28, 1985

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 2400 Congress St. Fire District #1 [] #2 []
1. Owner's name and address ... W. H. Nichols Co. - same Telephone ...
2. Lessee's name and address ... Telephone ...
3. Contractor's name and address .. Fireshield Sprinkler System Telephone ... 883-3261
Box 2267, Scarborough 04074, of sheets ...
Proposed use of building ... steel storage No. families ...
Last use ... same No. families ...
Material ... No stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$.....12,190

FIELD INSPECTOR—Mr. @ 775-5451

Appeal Fees \$
Base Fee 75.00.
Late Fee
TOTAL \$ 75.00

To install sprinkler system to addition to existing manufacturer of machinery as per plans. 1 sheet of plans.

Stamp of Special Conditions

send permit to # 3 04074

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept: James P. ... to see that the State and City requirements pertaining thereto
Health Dept: are observed?
Others:

Signature of Applicant Stephen Guerette Phone # same
Type Name of above Stephen Guerette for 1 [] 2 [] 3 [] 4 []
Fireshield Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

[Signature]



APPLICATION FOR PERMIT

1759 PERMIT ISSUED

DEC 12 1936

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION City Of Portland
ZONING LOCATION PORTLAND, MAINE Dec. 5, 1936

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 2400 Congress St. Fire District #1 [] #2 []
1. Owner's name and address Parker Hannifin Corp. Nichols, Del. Telephone 774-6121
2. Lessee's name and address Telephone
3. Contractor's name and address Sherrican Corp. P. O. Box 359 Telephone 453-9311
Fairfield, Me. No. of sheets
Proposed use of building powdered metal expansion No. families
Last use same No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 1,050,000 Appeal Fees \$
Base Fee 5,270.00
Lat \$

FIELD INSPECTOR—Mr. @ 775-5451

TO construct 1 story addition to existing building, 30,000 sq (approximate) on Congress Side of Building plans on file in office

Stamp of Special Conditions

send permit to # 1 David Early - 04102

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? YES Is any electrical work involved in this work? YES
Is connection to be made to public sewer? existing If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed?
Others:

Signature of Applicant David J. Early Phone # same
Type Name of above David J. Early P. E. 63 20 30 40
for Parker Hannifin Corp. Other and Address

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant _____ Date _____

Mailing Address _____ Address of Proposed Site _____

Proposed Use of Site _____ Site Identifier(s) from Assessors Maps _____

Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____

Site Location Review (DEP) Required () Yes () No Proposed Number of Floors _____

Board of Appeals Action Required () Yes () No Total Floor Area _____

Planning Board Action Required. () Yes () No

Other Comments _____

Date Dept. Review Due _____

PLANNING DEPARTMENT REVIEW

(Date Received) _____

- Major Development — Requires Planning Board Approval Review initiated
- Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	X	X	X	X	X	X	X	X	X	X		
APPROVED CONDITIONALLY												
DISAPPROVED												

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

David J. [Signature]
 SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Nichols Forxland

Sept 25, 1986

Applicant 2400 Congress St. 774-6121 2400 Congress Street Date Sept 25, 1986

Mailing Address Manufacturer addition Address of Proposed Site _____

Proposed Use of Site _____ Site Identifier(s) from Assessors Maps I-1

Acres of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors 1

Board of Appeals Action Required: () Yes () No Total Floor Area 31,185 sq ft.

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

FIRE DEPARTMENT REVIEW

(Date Received) _____

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMASE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED									CONDITIONS SPECIFIED BELOW
APPROVED CONDITIONALLY									
DISAPPROVED									

REASONS: _____

(Attach Separate Sheet If Necessary)

James P. Collins
 SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Nichols Portland

Sept 25, 1986

Applicant 2400 Congress St. 774-C121

2400 Congress Street

Mailing Address Manufacturer addition

Address of Proposed Site

Proposed Use of Site 22.8 acres / 31,185 sq ft.

Site Identifier(s) from Assessors Maps I-1

Acreage of Site / Ground Floor Coverage

Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors 1

Board of Appeals Action Required: () Yes () No

Total Floor Area 31,185 sq ft.

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
APPROVED CONDITIONALLY										<input checked="" type="checkbox"/>						CONDITIONS SPECIFIED BELOW
DISAPPROVED																REASONS SPECIFIED BELOW

REASONS: 1) A drainage maintenance agreement, in a form acceptable to the City, shall be submitted by the Applicant

(Attach Separate Sheet if Necessary)

Robert J. May 10/31/86
SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant: Nichols Portland Date: Sept 25, 1986

Mailing Address: 2400 Congress St. 774-6121 Address of Proposed Site: 2400 Congress Street

Proposed Use of Site: manufacturer addition Site Identifier(s) from Assessors Maps: I-1

Acres of Site: 2.8 / 31,185 sq. ft. Ground Floor Coverage: _____ Zoning of Proposed Site: _____

Site Location Review (DEP) Required: Yes No

Board of Appeals Action Required: Yes No

Planning Board Action Required: Yes No

Proposed Number of Floors: _____

Total Floor Area: 31,185 sq. ft.

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	CONDITIONS SPECIFIED BELOW	REASONS SPECIFIED BELOW
APPROVED	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
APPROVED CONDITIONALLY																	
DISAPPROVED										<input checked="" type="checkbox"/>							

REASONS: 1) A drainage maintenance agreement, in a form acceptable to the City, shall be submitted by the Applicant

(Attach Separate Sheet if Necessary)

Robert J. Ray (Signature)
 SIGNATURE OF REVIEWING STAFF/DATE 10/3/86

PUBLIC WORKS DEPARTMENT COPY

902126

Permit # City of Portland **BUILDING PERMIT APPLICATION** Fee \$45. Zone Map # Lot#
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Nichols Inc. Phone #
 Address: 2400 Congress St; Ptld, ME 04102
 LOCATION OF CONSTRUCTION 2400 Congress St.
 Contractor: Portland Pump Co. Sub: 883-4317
 Address: P O Box 1180; Scarborough ME Phone # 04074
 Est. Construction Cost: Proposed Use: commercial - tanks
 Past Use: same
 # of Existing Res. Units # of New Res. Units
 Building Dimensions L W Total Sq. Ft.
 # Stories: # Bedrooms Lot Size:
 Is Proposed Use: Seasonal Condominium Conversion
 Explain Conversion Remove 3 tanks; 6,000; 3,000, 3000

For Official Use Only PERMIT ISSUED
 Date: 11/2/90 Subdivision: Name: NOV 14 1990
 Inside Fire Limits Lot:
 Bldg Code Ownership: Public:
 Time Limit Estimated Cost City of Portland

Zoning: D-1 Zone O.R. DIST. 11/9/90
 Street Frontage Provided:
 Provided Setbacks: Front Back Side Side
 Review Required:
 Zoning Board Approval: Yes No Date:
 Planning Board Approval: Yes No Date:
 Conditional Use: Variance Site Plan Subdivision
 Shoreland Zoning Yes No Floodplain Yes No
 Special Exception
 Other (Explain)

Foundation: Install one tank; 2500-gln tank (\$35)

- Type of Soil:
- Set Backs - Front Rear Side(s)
- Footings Size:
- Foundation Size:
- Other

- Floors:
- Sills Size: Sills must be anchored.
 - Girder Size:
 - Lally Column Spacing: Size:
 - Joists Size: Spacing 16" O.C.
 - Bridging Type: Size:
 - Floor Sheathing Type: Size:
 - Other Material:

- Exterior Walls:
- Studding Size Spacing
 - No. windows
 - No. Doors
 - Header Sizes
 - Bracing: Yes No Span(s)
 - Corner Posts Size
 - Insulation Type Size
 - Sheathing Type Size
 - Siding Type Weather Exposure
 - Masonry Materials
 - Metal Materials

- Interior Walls:
- Studding Size Spacing
 - Header Sizes Span(s)
 - Wall Covering Type
 - Fire Wall if required
 - Other Materials

- Ceiling:
- Ceiling Joists Size:
 - Ceiling Strapping Size Spacing
 - Type Ceilings: Does not require review.
 - Insulation Type Size Requires Review.
 - Ceiling Height:

- Roof:
- Truss or Rafter Size Span Action: Approved.
 - Sheathing Type Size Approved with Conditions.
 - Roof Covering Type

Chimneys: Number of Fire Places
 Type: Date: 11/2/90
 Signature: [Signature]

Heating: Type of Heat:

Electrical: Service Entrance Size: Smoke Detector Required Yes No

- Plumbing:
- Approval of soil test if required Yes No
 - No. of Tubs or Showers
 - No. of Flushes
 - No. of Lavatories
 - No. of Other Fixtures

- Swimming Pools:
- Type:
 - Pool Size: x Square Footage
 - Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase

Signature of Applicant: [Signature] Date: 11-2-90

Signature of CEO: David Croxford Date: 11-2-90

Inspection Dates:

PERMIT ISSUED WITH LETTER

902126

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$45 Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Nichols Inc. Phone # _____

Address: 2400 Congress St; Pfd, 4E 04102

LOCATION OF CONSTRUCTION 2400 Congress St.

Contractor: Portland Pump Co Sub: 583-4317

Address: P O Box 1180; Scarborough ME Phone # 04074

Est. Construction Cost: _____ Proposed Use: commercial - tanks

Past Use: same

of Existing Res. Units _____ # of New Res. Units _____

Building Dimensions L _____ W _____ Total Sq. Ft. _____

Stories: _____ # Bedrooms _____ Lot Size: _____

Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____

Explain Conversion Remove #23 tanks; 6,000; 3,000, 3000 2610 gln

For Official Use Only PERMIT ISSUED

Date 11/2/90 Subdivision _____ Name NOV 14 1990

Inside Fire Limits _____ Lot _____

Bldg Code _____ Ownership: CITY OF PORTLAND Public _____

Time Limit _____ Estimated Cost _____

Zoning: T-1 Zone O.R. 11/4/90

Street Frontage Provided: _____

Provided Setbacks: Front _____ Back _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____

Special Exception _____

Other (Explain) _____

Foundation: Install one tank; 2500-gln tank (\$35) DEP. 11/1/90

1. Type of Soil: _____

2. Set Backs - Front _____ Rear _____ Side(s) _____

3. Footings Size: _____

4. Foundation Size: _____

5. Other _____

Floor:

1. Sills Size: _____ must be anchored.

2. Girder Size: _____

3. Lally Column Spacing: _____ Size: _____

4. Joists Size: _____ Spacing 16" O.C.

5. Bridging Type: _____ Size: _____

6. Floor Sheathing Type: _____ Size: _____

7. Other Material: _____

Exterior Wall:

1. Studding Size _____ Spacing _____

2. No. windows _____

3. No. Doors _____

4. Header Sizes _____ Span(s) _____

5. Bracing: Yes _____ No _____

6. Corner Posts Size _____

7. Insulation Type _____ Size _____

8. Sheathing Type _____ Size _____

9. Siding Type _____ Weather Exposure _____

10. Masonry Materials _____

11. Metal Materials _____

Interior Wall:

1. Studding Size _____ Spacing _____

2. Header Sizes _____ Span(s) _____

3. Wall Covering Type _____

4. Fire Wall if required _____

5. Other Materials _____

HISTORIC PRESERVATION

1. Ceiling Joists Size: _____ Spacing _____ Not in District nor Landmark _____

2. Ceiling Strapping Size _____ Spacing _____

3. Type of Milling: _____ Size _____ Does not require review _____

4. Insulation Type _____

5. Ceiling Height: _____ Requires review _____

Roof:

1. Truss or Rafter Size _____ Span _____ Applied _____

2. Sheathing Type _____ Size _____

3. Roof Covering Type _____

Chimneys:

Type: _____ Number of Fire Places _____ Date: _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required: Yes _____ No _____

Plumbing:

1. Approval of soil test if required: Yes _____ No _____

2. No. of Tubs or Showers _____

3. No. of Flushes _____

4. No. of Lavatories _____

5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____

2. Pool Size: _____ x _____ Square Footage _____

3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase

Signature of Applicant: [Signature]

Signature of CEO: David Croxford Date: 11/2/90

Inspection Dates _____

PERMIT ISSUED WITH LETTER

PLOT PLAN

N
▲

FEES (Breakdown From Front)

Base Fee \$ 95-

Subdivision Fee \$ _____

Site Plan Review Fee \$ _____

Other Fees \$ _____

(Explain) _____

Late Fee \$ _____

Type

Inspection Record

Date

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

Nov 19/90 - no for enclosure 1 & 2

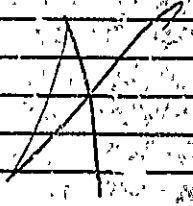
5/8/91 Tanks removed, back fill completed

New tank installed as per DEP requirements

Signature of Applicant

D. W. C. P. (AGENT FOR 001102)

Date



BUILDING PERMIT REPORT

DATE: 11-6-90

ADDRESS: 2400 Congress St

REASON FOR PERMIT: Underground Tank Removal & Installation

Remove 2-6000 + 1-3000 gal. Underoil + Install 1-2500 gal

BUILDING OWNER: Nichols Inc Wintond

CONTRACTOR: Patrol Pump

PERMIT APPLICANT David Crawford

APPROVED: [Signature] DENIED

CONDITION OF APPROVAL OR DENIAL:

- (1) All underground tank removal and/or installation shall be done in accordance with Department of Environmental Protection Regulations Chapter 691
- (2) No cutting of tanks on site. Cutting of tanks to be done at an approved tank disposal site.
- (3) Fire Dispatcher must be notified 48 hours in advance of removal and/or transportation of tanks.

**DEPARTMENT OF ENVIRONMENTAL PROTECTION
REGISTRATION FORM FOR UNDERGROUND OIL
AND HAZARDOUS SUBSTANCES (CHEMICAL)
STORAGE TANKS
(Pursuant to 38 M.R.S.A. Section 563, 40 CFR Part 280)**

STATE USE ONLY
DATE OF REGISTRATION: <u> / / </u>

1. REGISTRATION NUMBER: _____
(Complete only if a registration number has been previously assigned.)

2. FACILITY INFORMATION
- A. Name: NICHOLS, PORTLAND Division of Parker Hannifin Corporation
2400 Congress Street
- B. Mail Address: _____
- C. Street Address: 2400 Congress Street
- D. Town/City: Portland, Maine 04102
- E. Zip Code: 04102 F. Telephone: (207) 774-6121
- G. Directions to Site: _____
- H. Is at least one existing or planned tank (including piping and pumps) within 1000 ft. of a public water supply? Yes X No
- I. Is at least one existing or planned tank (including piping and pumps) within 300 ft. of a private water supply? Yes X No
- J. (Complete if the answer to (I) above is YES.) Is at least one water supply located within 300 feet of the tank(s) is owned by someone other than the facility owner or operator? Yes No
- K. Is the facility located on a significant sand and gravel aquifer or recharge area as mapped by the Maine Geological Survey? Yes No

(If you wish assistance in answering item (K), please call the Department at (207) 289-2651. Sand and gravel aquifer maps can be reviewed at any of the Department's offices or requested from the Maine Geological Survey, State House Station 22, Augusta, Maine 04333, (207) 289-2801.

NOTE: If the answer to item (H), (I) or (K) above is yes, the facility is in a sensitive geologic area. A new or replacement tank used for the marketing and distribution of oil in such an area requires secondary containment or ground water monitoring pursuant to 38 M.R.S.A. Section 546(C).

STATE USE ONLY			
Reviewer: _____	Date: _____	Map Number: _____	Comment: _____

- L. Facility Use (Check One):
- Wholesale Oil Distribution
- Retail Oil Distribution
- Oil Storage at Commercial Establishment
- X Oil Storage at Industrial Establishment
- Oil Storage/Single Residence
- Oil Storage/Multiple Residence
- Oil Storage/Farm
- Oil Storage/Public Facility (State or Local)
- Oil Storage/Federal Facility
- Chemical Storage

3. PERSON TO CONTACT FOR MORE INFORMATION
- A. Name: Bill Burnham
- B. Mail Address: 2400 Congress St.
- C. Town/City: Portland D. State: Me.
- E. Zip Code: 04102 F. Telephone: (207) 774-6121

RECEIVED

NOV 02 1990

DEPARTMENT OF ENVIRONMENTAL PROTECTION
REGISTRATION FORM FOR UNDERGROUND OIL
AND HAZARDOUS SUBSTANCES (CHEMICAL)
STORAGE TANKS

DEPT OF BUILDING REGULATIONS
CITY OF PORTLAND

(Pursuant to 38 M.R.S.A. Section 563, 40 CFR Part 280)

Facility Name: Nichols Portland

Location (Town/City): _____

Owner: Same

REGISTRATION NUMBER

(Complete ONLY if Registration Number has
been previously assigned.)

4. TANK OWNER
A. Name: Nichols Portland Division of Parker Hannifin Corporation
B. Mail Address: 2400 Congress Street
C. Town/City: Portland D. State: Maine
E. Zip Code: 04102 F. Telephone: (207) 774-6121
5. TANK OPERATOR
A. Name: Nichols Portland Division of Parker Hannifin Corporation
B. Mail Address: 2400 Congress Street
C. Street Address: 2400 Congress Street
D. Town/City: Portland E. State: Maine
F. Zip Code: 04102 G. Telephone: (207) 774-6121

6. COMPLETE the next two pages of this form and include each tank currently at the facility and each new or replacement tank planned for the facility.

7. ENCLOSE a check for the applicable registration fee with this submittal made payable to "Treasurer — State of Maine" and return to the Department of Environmental Protection. Registration fees are applicable ONLY to active, new, or replacement tanks used for the marketing and distribution of oil. Registration fees are due upon registration and annually thereafter, prior to the first day of January. Fees are as follows:

_____ Tanks 6,000 gallons or under in size _____ \$25 per tank
_____ Tanks over 6,000 gallons in size _____ \$50 per tank

8. MAKE TWO COPIES of this form. SUBMIT the original to the DEPARTMENT OF ENVIRONMENTAL PROTECTION (Bureau of Oil & Hazardous Materials Control, State House Station 17, Augusta, Maine 04333). SEND one copy to the LOCAL FIRE DEPARTMENT having jurisdiction. RETAIN the third copy for your records. For new and replacement tanks, registrations are due at least five (5) business days prior to installation. Registrations for existing tanks are due prior to February 1, 1986.

9. CERTIFY THIS FORM BY SIGNING. By signing this form, the tank registrant certifies that all information is accurate and complete, and that they will comply with all applicable federal, state and local laws and regulations concerning the underground storage of petroleum and other hazardous materials. The owner or operator is required by Maine statute to file an amendment to this registration with the Department of Environmental Protection immediately upon any change in the information on this form.

10/08/90

William H. Burnham

Plant Engineer

Date

Owner or Authorized Employee
(Please PRINT or TYPE)

Title

(Please PRINT or TYPE)

William H. Burnham

SIGNATURE

Maine Departmental of Environmental Protection
Bureau of Oil & Hazardous Materials Control
State House Station #17, Augusta, Maine 04333
Telephone: 207-289-2651
Attn: Tank Removal Notice

RECEIVED

NOV 02 1990

NOTICE OF INTENT
TO ABANDON (REMOVE) AN
UNDERGROUND OIL STORAGE FACILITY

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND

Name of Facility Owner: Mich. P. Brown
Mailing Address: 2400 Congress St Telephone No: _____
City: Portland State: Me Zip Code: 04112
Contact Person (name, address & telephone no.): _____
Name of Facility: SAME Registration No.: _____
Facility Location: _____

1. Identify the tanks at this location which are to be removed:

Tank Number	Age of Tank (Year)	Size (Gallons)	Type of Product Most Recently Stored
A. <u>(1)</u>	<u>16</u>	<u>2,000</u>	<u>Used Oil</u>
B. <u>(2)</u>	<u>16</u>	<u>1,000</u>	<u>"</u>
C. <u>(3)</u>	<u>16</u>	<u>1,000</u>	<u>"</u>
D.			

2. Directions to Facility (be specific):

3. Is tank(s) used for the storage of Class I liquids (e.g. gasoline, jet fuel)? Yes ___ No (IF YES, REMOVAL OF THE TANK MUST BE UNDER THE DIRECTION OF A CERTIFIED TANK INSTALLER OR PROFESSIONAL FIREFIGHTER.)

4. Name and telephone number of contractor who will do the tank removal: P. F. P.

Certified Tank Installer Certification Number & Name (if applicable): _____

Professional Firefighter Yes ___ No (Affiliate _____)

5. Expected date of removal: 11/5/90

I hereby provide Notice that I intend to properly abandon the underground oil storage facility as described above.

Date: 12/2/90

Mich. P. Brown
Signature of Tank Owner or Operator

Mich. P. Brown
Printed Name and Title

THIS FORM MUST BE FILED WITH THE DEPARTMENT AND LOCAL FIRE DEPARTMENT 30 DAYS PRIOR TO REMOVAL - RETURN POSTCARD WHEN TANK(S) HAS BEEN REMOVED.

Mail original and yellow copy to DEP; pink copy to fire dept.; retain gold copy

↑
TO BUILDING

2"φ SCHEDULE 40
PVC CONDUIT
AROUND SUMP LEAK
DETECTOR AND OVERFILL
ALARM CABLES

2"φ SCHEDULE 40
PVC CONDUIT
AROUND LEAK
DETECTION SENSOR
AND OVERFILL ALARM
CABLES

4"φ MONITORING
PIPE WITH
MANHOLE
COVER

4"φ PUMP OUT
PIPE w/SPILL
CONTAINMENT
MANHOLE

2"φ SCHEDULE 40 PVC CONDUIT AROUND PRODUCT
LEVEL INDICATOR LINE

3"φ FRP SECONDARY CONTAINMENT AROUND
2"φ FRP OFFSET FILL LINE

3"φ FRP SECONDARY CONTAINMENT AROUND
2"φ FRP VENT LINE

FLEXIBLE
CONNECTOR

BRASS FILL IDENTIFICATION
PLATE (LOCATED ON CONCRETE
PAD NEXT TO MANWAY PIT COVER)

FLEXIBLE
CONNECTOR

22"φ MANWAY COVER

42"φ PIPING SUMP

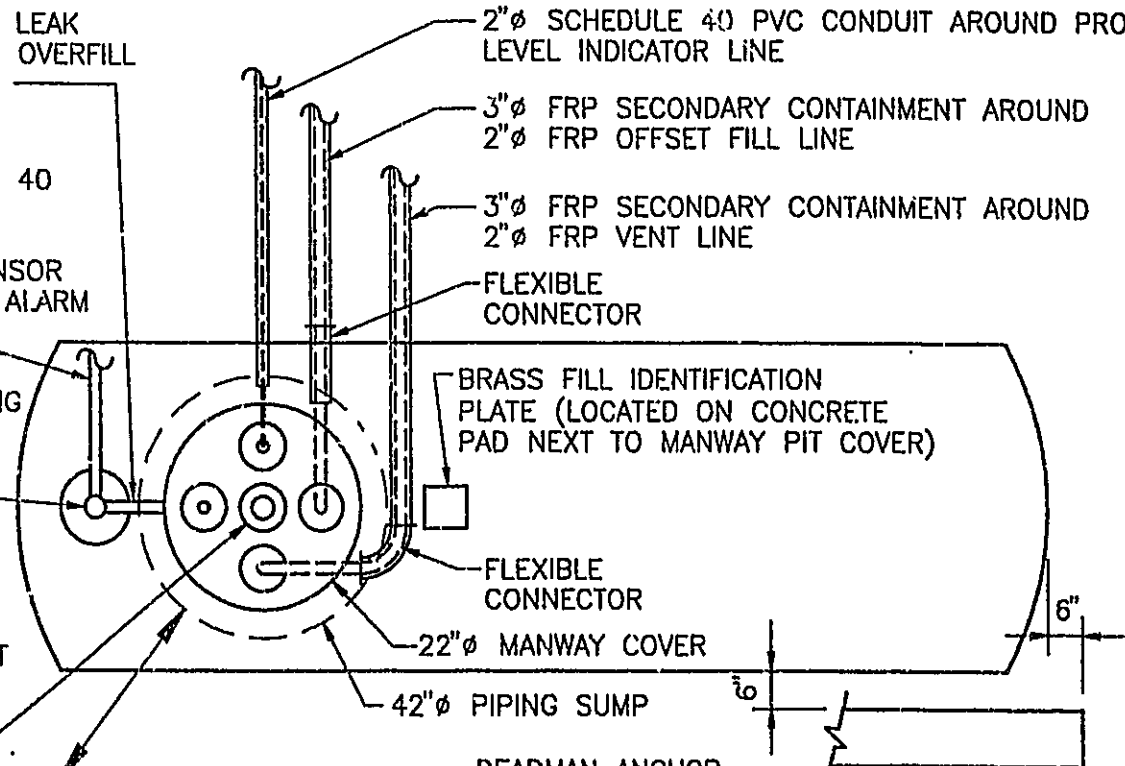
DEADMAN ANCHOR
(BOTH SIDES OF TANK)
PER MANUFACTURER'S
INSTRUCTIONS

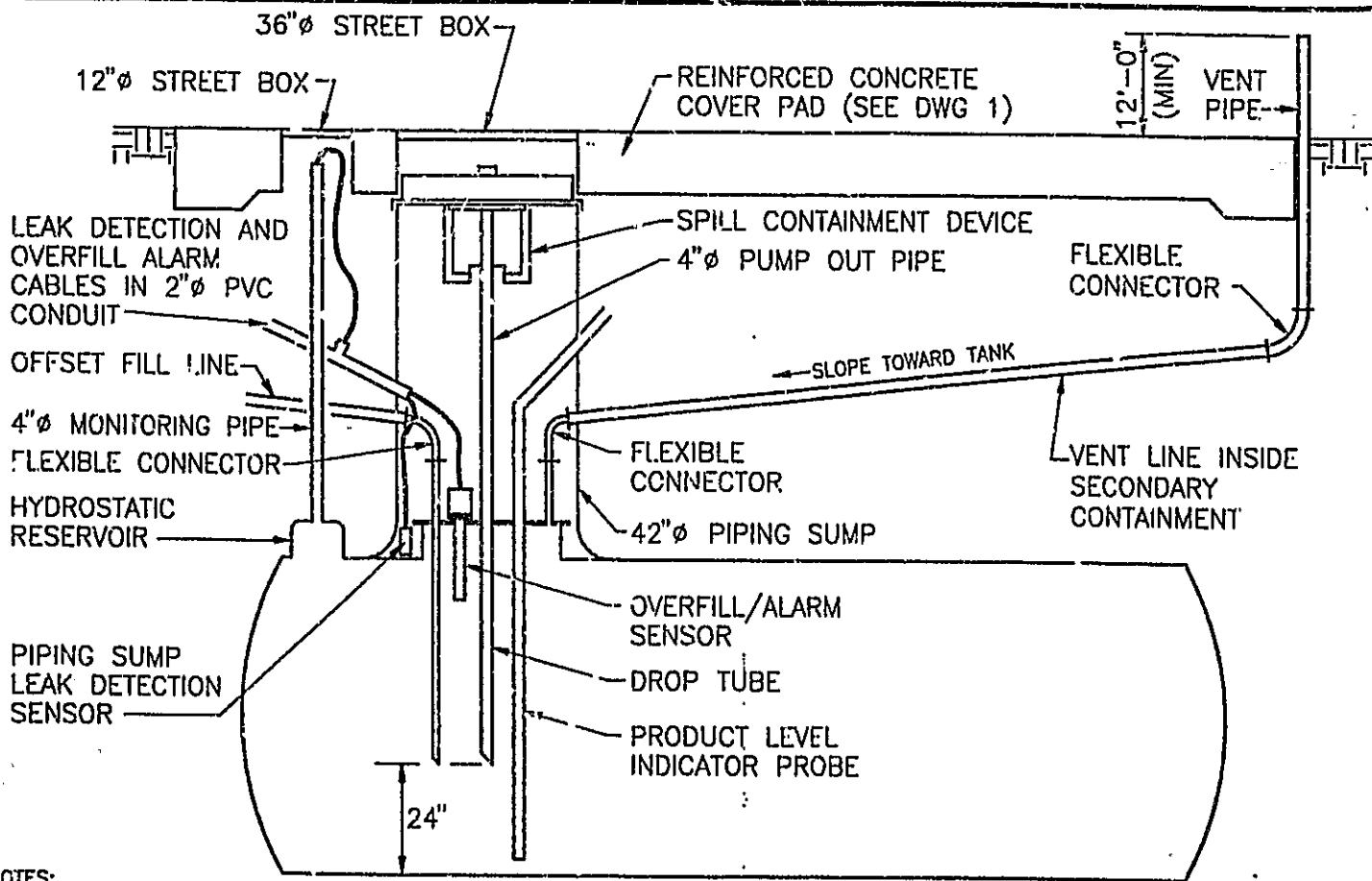
NOTES:

1. - SECONDARY CONTAINMENT ON PIPING
ENDS INSIDE PIPING SUMP
2. - LIQUID TIGHT CONNECTION TO BE MADE
BETWEEN SECONDARY CONTAINMENT AND
PIPING SUMP.

NOT TO SCALE

PLAN VIEW
WASTE OIL
INSTALLATION DIAGRAM
FOR TANK WITH
DUAL MANWAY
DRAWING 3





NOTES:

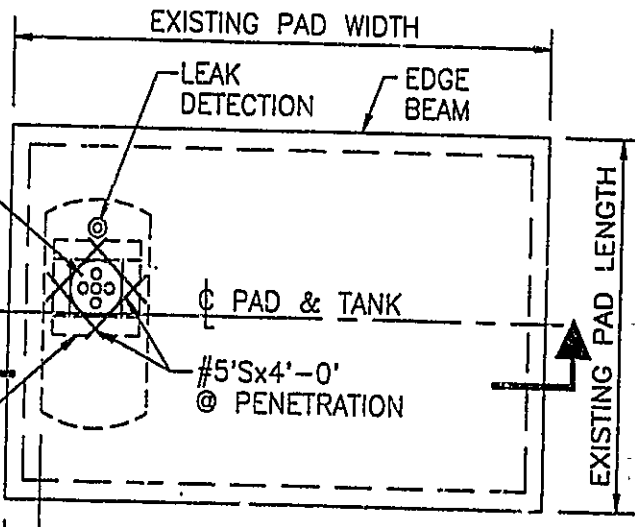
1. - SLOPE TANK 1/8" / FT FOOT DOWN TOWARD FILL PIPE END.
2. - ISOLATE PIPING SUMP AND MANWAY RISER FROM CONCRETE PAD PER MANUFACTURER'S INSTRUCTIONS.
3. - ISOLATE MANWAY RISER FROM TANK PER MANUFACTURER'S INSTRUCTIONS.

NOT TO SCALE

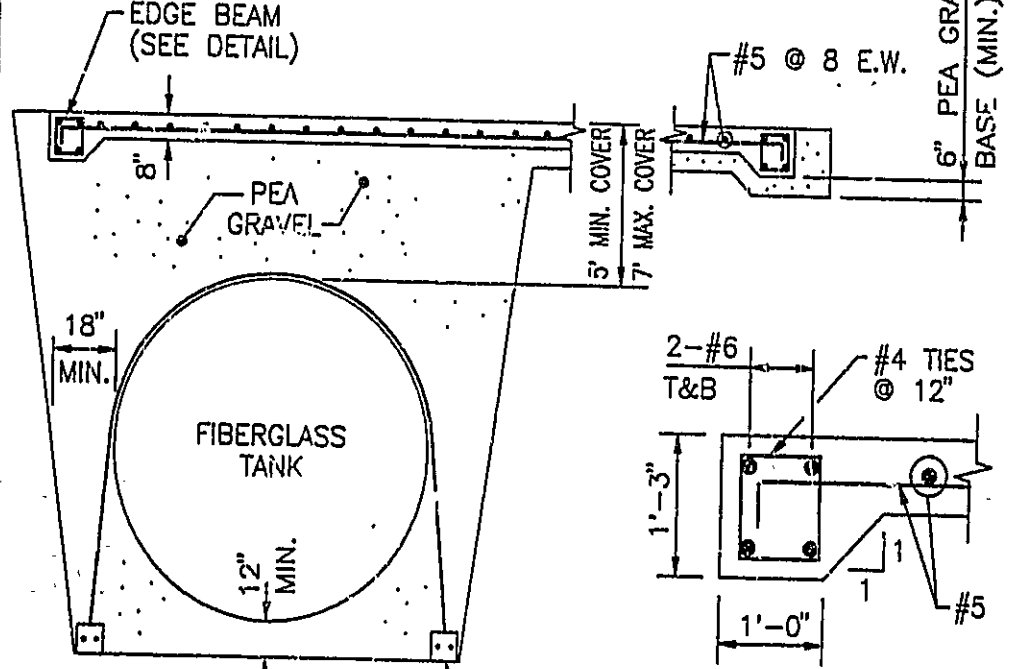
ELEVATION VIEW
WASTE OIL
INSTALLATION DIAGRAM
FOR TANK WITH
DUAL MANWAY
DRAWING 2

36" Ø MANWAY OPENING
 MANWAY COVER TO
 BE 3" HIGHER THAN
 REMAINDER OF PAD
 (DRAIN AWAY)
 CONCRETE TO SLOPE
 1/4" / FT. AWAY FROM
 MANWAY COVER.

12" Wx15" D BEAM
 REINFORCEMENT
 AND SHAPE SIM.
 TO EDGE BEAM



2'-0" (MIN.)
PLAN
 N.T.S.



SECTION 1
 N.T.S.

EDGE BEAM DETAIL
 N.T.S.

NOTES:

1. CONC. 4000 psi @ 28 DAYS & AIR ENTRAINED.
2. REINFORCING - Fy=60 psi.
3. PAD FINISH - LIGHT BROOM FOR NON-SKID.

DEADMAN ANCHOR-TYP
 (PER MANUFACTURER'S
 INSTRUCTIONS)

DRAWING 1
CONCRETE COVER PAD DESIGN
FOR TANK WITH DUAL MANWAYS

DEPARTMENT OF ENVIRONMENTAL PROTECTION
REGISTRATION FORM FOR UNDERGROUND OIL
AND HAZARDOUS SUBSTANCES (CHEMICAL)
STORAGE TANKS

(Pursuant to 38 M.R.S.A. Section 563, 40 CFR Part 280)

Facility Name: Nichols
Location (Town/City): Portland, ME
Owner: SAME

REGISTRATION NUMBER

(Complete ONLY if Registration Number has
been previously assigned.)

12. If this registration involves replacing tanks or installing tanks, ATTACH a drawing of the facility showing the location of tanks (and piping) to be installed and any existing tanks. USE the space below for a sketch if no drawing already exists. THE FORM OF ADDITIONAL PROTECTION for tanks used for marketing and distribution of oil in sensitive areas should be detailed on the drawing. MONITORING WELL LOCATIONS should be provided for all tanks greater than 1,100 gallons that are used for on-site consumption of oil.

**DEPARTMENT OF ENVIRONMENTAL PROTECTION
REGISTRATION FORM FOR UNDERGROUND OIL AND HAZARDOUS SUBSTANCES (CHEMICAL)
STORAGE TANKS**

(Pursuant to 38 M.R.S.A. Section 563, 40 CFR Part 280)

Facility Name: Nichols
Location (Town/City): Portland Owner: SAME

REGISTRATION
NUMBER

(Complete ONLY if
Registration Number
was Assigned)

10. IF NEW OR REPLACEMENT TANKS ARE INCLUDED WITH THIS REGISTRATION, PROVIDE:

A. Name of Installer: JEFF WILSON

B. Installer ID Number: 028

C. Expected Date of Installation: NOV 5th 1990

11. INDIVIDUAL TANK DATA (Complete one [L] line for each tank at the facility, including tanks planned for installation or replacement).

A. Tank Number	F. Tank Type	C. Piping Type	D. Tank Size	E. Form of Additional Protection for New and Replacement Wholesale or Retail Tanks in Sensitive Geologic Areas (Tanks and Piping)	F. Product Stored	G. Date Installed	H. Status	I. Date removed from active service (if applicable)	J. Amount of Product left in inactive tank (if applicable)
	<input type="checkbox"/> Bare or Asphalt-coated Steel <input type="checkbox"/> Cathodically Protected Steel <input checked="" type="checkbox"/> Fiberglass <input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> Galvanized Steel <input type="checkbox"/> Cathodically Protected Steel <input checked="" type="checkbox"/> Fiberglass <input type="checkbox"/> Other (Specify) <u>DOUBLE WALL</u>	<u>2,500</u> Gallons	<input type="checkbox"/> Continuous Electronic Monitoring of Ground Water <input type="checkbox"/> Continuous Electronic Monitoring of Vapors <input checked="" type="checkbox"/> Secondary Containment <input type="checkbox"/> Ground Water Sampling	GASOLINE FUEL OIL <input type="checkbox"/> Regular #1 #5 <input type="checkbox"/> Premium #2 #8 <input type="checkbox"/> Unleaded #4 <input type="checkbox"/> Premium Unleaded <input type="checkbox"/> Diesel <input type="checkbox"/> Chemical (Specify _____) <input type="checkbox"/> Other (Specify <u>WASTE OIL</u>)	<u>1</u> (Mo) <u>1</u> (Yr)	<input checked="" type="checkbox"/> Planned Active <input type="checkbox"/> Out-of-Service <input type="checkbox"/> Abandoned in place (filled with inert material) <input type="checkbox"/> Planned for removal	<u>1</u> (Mo) <u>1</u> (Yr)	_____ Gallons
	<input type="checkbox"/> Bare or Asphalt-coated Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> Galvanized Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Other (Specify) _____	_____ Gallons	<input type="checkbox"/> Continuous Electronic Monitoring of Ground Water <input type="checkbox"/> Continuous Electronic Monitoring of Vapors <input type="checkbox"/> Secondary Containment <input type="checkbox"/> Ground Water Sampling	GASOLINE FUEL OIL <input type="checkbox"/> Regular #1 #5 <input type="checkbox"/> Premium #2 #8 <input type="checkbox"/> Unleaded #4 <input type="checkbox"/> Premium Unleaded <input type="checkbox"/> Diesel <input type="checkbox"/> Chemical (Specify _____) <input type="checkbox"/> Other (Specify _____)	<u>1</u> (Mo) <u>1</u> (Yr)	<input type="checkbox"/> Planned Active <input type="checkbox"/> Out-of-Service <input type="checkbox"/> Abandoned in place (filled with inert material) <input type="checkbox"/> Planned for removal	<u>1</u> (Mo) <u>1</u> (Yr)	_____ Gallons
	<input type="checkbox"/> Bare or Asphalt-coated Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> Galvanized Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Other (Specify) _____	_____ Gallons	<input type="checkbox"/> Continuous Electronic Monitoring of Ground Water <input type="checkbox"/> Continuous Electronic Monitoring of Vapors <input type="checkbox"/> Secondary Containment <input type="checkbox"/> Ground Water Sampling	GASOLINE FUEL OIL <input type="checkbox"/> Regular #1 #5 <input type="checkbox"/> Premium #2 #8 <input type="checkbox"/> Unleaded #4 <input type="checkbox"/> Premium Unleaded <input type="checkbox"/> Diesel <input type="checkbox"/> Chemical (Specify _____) <input type="checkbox"/> Other (Specify _____)	<u>1</u> (Mo) <u>1</u> (Yr)	<input type="checkbox"/> Planned Active <input type="checkbox"/> Out-of-Service <input type="checkbox"/> Abandoned in place (filled with inert material) <input type="checkbox"/> Planned for removal	<u>1</u> (Mo) <u>1</u> (Yr)	_____ Gallons
	<input type="checkbox"/> Bare or Asphalt-coated Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> Galvanized Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Other (Specify) _____	_____ Gallons	<input type="checkbox"/> Continuous Electronic Monitoring of Ground Water <input type="checkbox"/> Continuous Electronic Monitoring of Vapors <input type="checkbox"/> Secondary Containment <input type="checkbox"/> Ground Water Sampling	GASOLINE FUEL OIL <input type="checkbox"/> Regular #1 #5 <input type="checkbox"/> Premium #2 #8 <input type="checkbox"/> Unleaded #4 <input type="checkbox"/> Premium Unleaded <input type="checkbox"/> Diesel <input type="checkbox"/> Chemical (Specify _____) <input type="checkbox"/> Other (Specify _____)	<u>1</u> (Mo) <u>1</u> (Yr)	<input type="checkbox"/> Planned Active <input type="checkbox"/> Out-of-Service <input type="checkbox"/> Abandoned in place (filled with inert material) <input type="checkbox"/> Planned for removal	<u>1</u> (Mo) <u>1</u> (Yr)	_____ Gallons
	<input type="checkbox"/> Bare or Asphalt-coated Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> Galvanized Steel <input type="checkbox"/> Cathodically Protected Steel <input type="checkbox"/> Fiberglass <input type="checkbox"/> Other (Specify) _____	_____ Gallons	<input type="checkbox"/> Continuous Electronic Monitoring of Ground Water <input type="checkbox"/> Continuous Electronic Monitoring of Vapors <input type="checkbox"/> Secondary Containment <input type="checkbox"/> Ground Water Sampling	GASOLINE FUEL OIL <input type="checkbox"/> Regular #1 #5 <input type="checkbox"/> Premium #2 #8 <input type="checkbox"/> Unleaded #4 <input type="checkbox"/> Premium Unleaded <input type="checkbox"/> Diesel <input type="checkbox"/> Chemical (Specify _____) <input type="checkbox"/> Other (Specify _____)	<u>1</u> (Mo) <u>1</u> (Yr)	<input type="checkbox"/> Planned Active <input type="checkbox"/> Out-of-Service <input type="checkbox"/> Abandoned in place (filled with inert material) <input type="checkbox"/> Planned for removal	<u>1</u> (Mo) <u>1</u> (Yr)	_____ Gallons

030458

City of Portland

BUILDING PERMIT APPLICATION Fee \$35.00 Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Nichols Portland Div. of Phone # 774-6121

Address: 2400 Congress St. Portland, 04102

LOCATION OF CONSTRUCTION 2400 Congress St

Contractor: Leavitt Parris Sub: _____

Address: 448 Payne Rd. Scarboro 04074 Phone # 883-4184

Est. Construction Cost: _____ Proposed Use: Anniversary celebration

_____ Past Use: three tents

of Existing Res. Units _____ # of New Res. Units _____

Building Dimensions L _____ W _____ Total Sq. Ft. _____

Stories: _____ # Bedrooms _____ Lot Size: _____

Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____

Explain Conversion to erect 3 tents for Anniversary celebration

June 5, 6, and 7 1993

Foundations:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

White - Tax Assessor

For Official Use Only

Date May 28, 1993

Inside Fire Limits _____

Bldg Code _____

Time Limit _____

Estimated Cost _____

Subdivision _____

Name _____

Lo _____

Ownership _____

Public _____

CITY OF PORTLAND

PERMIT ISSUED

Street Frontage Provided: _____

Provided Setbacks: Front _____ Back _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____

Special Exception _____

Other (Explain) _____

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____ Not in District nor Landmark.
3. Type Ceilings: _____ Does not require review.
4. Insulation Type _____ Size _____ Requires Review.
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____ Action: Approved
2. Sheathing Type _____ Size _____ Approved with Conditions
3. Roof Covering Type _____

Chimneys:

- Type: _____ Number of Fire Places _____ Date: 5/28/93

Heating:

- Type of Heat: _____

Electrical:

- _____ Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Permit Received By Latini

Signature of Applicant Christine Fox Date 5/28/93

CEO's District _____

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

4 Mr. Carroll

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FA 874-8716

Location of Construction: 2400 Congress St.		Owner: W H Nichols		Phone:		Permit No: 941280	
Owner Address: 2400 Congress St. Portland, ME		Lease/Buyer's Name: 04102		Phone:		Business Name:	
Contractor Name: * Grinnell Fire Protection Co		Address: 983 Riverside St-Portland, ME 04103		Phone: 978-2780		Permit Issued: PERMIT ISSUED DEC - 8 1994	
Past Use: manufacturing co		Proposed Use: manufacturing co w fire sprinkler syst		COST OF WORK: \$ 24,600		PERMIT FEE: \$ 145	
Proposed Project Description: install fire sprinkler system		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group/F/ Type: 1/1 00CA 93		Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Signature: <i>[Signature]</i>		Date:	
Permit Taken By: L Chase		Date Applied For: 12/3/94		Zoning Approval: <input checked="" type="checkbox"/> Suburban/Zoned for Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

**PERMIT ISSUED
WITH REQUIREMENTS**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

[Signature] 983 Riverside St Portland, ME 04103 878-2780
 SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Action:
 Approved
 Approved with Conditions
 Denied
 Date: *12/7/94*
[Signature]

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

CEO DISTRICT **4**
MR. CARROLL