

292-276 CAFISIC STREET

SHAW-WALKER  
920 IR



GENERAL RESIDENCE ZONE PERMIT ISSUED  
 APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class No. 2052  
 Portland, Maine, November 27, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Sub 140 Capisic Street Ward 8 Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's or Lessee's name and address G. J. Magee, 22 Webb Street Telephone \_\_\_\_\_  
 Contractor's name and address John C. Jacobson, 25 Hillside Ave., So. Portland Telephone 5-7786  
 Architect's name and address \_\_\_\_\_  
 Proposed use of building Dwelling No. families 1  
 Other buildings on same lot Garage ~~to be~~ applied for  
 Plans filed as part of this application? yes see 7057 No. of sheets 7  
 Estimated cost \$ 2,800. Fee \$ 1.25

Description of Present Building to be Altered

Material f No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_

General Description of New Work

To erect one family dwelling house.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 28' depth 22' No. stories 1 1/2 Height average grade to top of plate 10'  
 Height average grade to highest point of roof 21'  
 To be erected on solid or filled land? solid earth or rock? earth  
 Material of foundation concrete to sill Thickness, top 10" at grade bottom 12"  
 Material of underpinning concrete Height 18" Thickness 9"  
 Kind of Roof pitch Rise per foot 12" & 10" Roof covering Asphalt Class F. Ond. Lab.  
 No. of chimneys one Material of chimneys brick of lining tile  
 Kind of heat hot air Type of fuel coal Is gas fitting involved? no  
 Corner posts 4x8 Sills 4x8 Girt or ledger board? 2-2x4 Size \_\_\_\_\_  
 Material columns under girde iron column Size 4" Max. on centers 8'  
 Studs (outside walls and rrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. corner  
 Joists and rafters: 1st floor 2x8 2nd 1x8 3rd \_\_\_\_\_ roof 2x6 2x6  
 On centers: 1st floor 16" 2nd 16" 3rd \_\_\_\_\_ roof 24" 24"  
 Maximum span: 1st floor 12' 2nd 12' 3rd \_\_\_\_\_ roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
 Total number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner By: John C. Jacobson

INSPECTION COPY

57713

Ward 1 Permit No. 35/2052  
 Location 140 Caprice St.  
 Owner D. Magee  
 Date of permit 11/27/35  
 Notif. closing-in 12/30/35  
 Inspn. closing-in 12/30/35 - G.T.  
 Final Notif. 4/1/36  
 Final Inspn. 3/18/36  
 Cert of Occupancy issued 3/18/36

12" collar in kitchen.  
 G.T. issued - A.G.S.  
 2/7/36 - O.K. except for  
 matters in regard to  
 heater - A.G.S.

NOTES

- 11/27/35 - Staking out O.K. - A.G.S.
- 12/2/35 - Excavation about completed.
- 12/5/35 - Pouring foundation wall. Rather cold day for pouring concrete.
- 12/11/35 - Well stripped. Apparently O.K.
- 12/16/35 - Framing & boarding of first story completed O.K.
- 12/18/35 - Clapboarding outside walls - A.G.S.
- 12/30/35 - Whiting in cell cannot nail no

Permit No. 35/2052

11/27/35

12/30/35

3/18/36

11/27/35

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT  
for 1 family dwelling house  
at \_\_\_\_\_ Ct. Isic Street

Date

*O. J. Magee*

1. In whose name is the title of the property now recorded? \_\_\_\_\_
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? *yes, by stakes*
3. Is the outline of the proposed work now staked out upon the ground? *yes* If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? \_\_\_\_\_
4. What is to be maximum projection or overhang of eaves or drip? *8"*
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? *yes*
6. Do you assume full responsibility for the correctness of all statements in this application concerning the sizes, design and use of the proposed building? *yes*
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? *yes*

*John D. Jacobson*



(RC) RESIDENCE ZONE - C

# APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, April 12, 1954

PERMIT ISSUED

APR 15, 1954

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter~~ ~~rebuild~~ ~~reconstruct~~ ~~relocate~~ ~~relocate~~ ~~relocate~~ the following building structure ~~and~~ ~~erect~~ ~~erect~~ ~~erect~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 294 Capric St., 292-296 Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's name and address Edson Goodrich, 294 Capric St. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Thomas McKeague, 37 Cash St., So. Portland Telephone 4-9668  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
 Proposed use of building dwelling house No. families 1  
 Last use \_\_\_\_\_ " " \_\_\_\_\_ No. families 1  
 Material wood No. stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 600. Fee \$ 4.00

### General Description of New Work

To construct 1-story frame addition 7' x 12' to rear of dwelling.  
To change window to french door on rear of dwelling. New opening will be about 4" wider.  
End wall of existing addition to be removed.

### Permit Issued with Letter

CERTIFIC  
REQUIRE

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Thomas McKeague

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate 12' Height average grade to highest point of roof 14'  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation concrete piers at least 4' below grade Thickness, top 10 8" bottom 10" cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof shed Rise per foot 1" Roof covering Asphalt Class C and Lab  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind hemlock Dressed or full size? dressed  
 Corner posts 1x6 Sills 4x6 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders 2" Size 4x6 Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x1-16' O. C. Bridging in every floor and flat roof span over 8 feet. See letter  
 Joists and rafters: 1st floor 2x6-2x6, 2nd 2x4, 3rd \_\_\_\_\_, roof 2x6  
 On centers: 1st floor 16", 2nd 16", 3rd \_\_\_\_\_, roof 16"  
 Maximum span: 1st floor 12'-6", 2nd 12', 3rd \_\_\_\_\_, roof 12'  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

*with letter by [Signature]*

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Edson ~~Goodrich~~ Goodrich

Signature of owner by:

*Thomas McKeague*

INSPECTION COPY

NOTES

4/15/54 Framing of floor joists -  
 16" O.C. x 12" J. 5 pan. 4x6 Sill  
 all round. This at present is  
 all enclosed like a room. Joists  
 are approx 8" x 10" O.C. Jacks are  
 screw type sold by Steve Rubick  
 sunk 1/2" into ground inside  
 a 6" pipe.

4/28/54 Mr. McNeague  
 called and said that  
 roof of present porch  
 has a beam at the center  
 of the span of the rafters.  
 He is therefore to provide  
 a girder consisting of  
 3-2x8s for the support  
 of the end of this beam.  
 Where the girder wall  
 between the old porch  
 and the addition is to  
 be removed - OJ

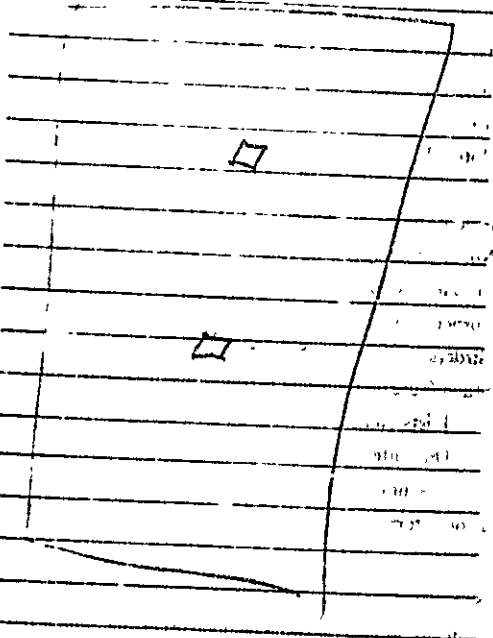
5-14-54 Not home Job  
 appears half done in  
 5-18-54 one end of new  
 beam midway under  
 floor sets on flat rock  
 on top of ground. Must  
 have cedar or concrete  
 post 4'- below grade  
 Question of floor wall  
 heaters being set in too  
 close to wood framing  
 & sheathing. OJ

6-4-54 Near done will  
 use sheet asbestos behind  
 wall heater Post be  
 grade not in OJ

6-24-54 Job completed  
 Post below grade not in  
 OJ

~~7-1-54~~  
~~7-1-54~~  
~~7-1-54~~  
~~7-1-54~~

Permit No. 54443  
 Location 101st St. & 1st Ave. S. (Dunwoody)  
 Owner J. J. Spill, Oshkosh, Wis.  
 Date of permit 5/14/54  
 Notif. closing-in  
 Inspn. closing-in  
 Final Notif.  
 Final Inspn.  
 Cert. of Occupancy Issued  
 Sinking Out-Notice  
 Form Check Notice



AP 294 Capisic St.

April 15, 1954

Mr. Thomas McKeague  
37 Cash St.  
South Portland, Me.

Copy to: Mr. Elson Goodrich  
294 Capisic St.

Dear Mr. McKeague:

Building permit for construction of an addition 7 feet by 12 feet on the rear of the dwelling at 294 Capisic St. is issued herewith subject to the following conditions as discussed with you:

1. The jack post columns proposed for use between the top of the concrete piers and the under side of the sills are not acceptable. It is understood that either 4x4 or 4x6 wood posts securely fastened top and bottom are to be used at this location. On this basis the concrete piers are required to extend at least 6 inches above grade.

2. Concrete piers are to be located at the corner and midway of each of the outer walls of the addition. Sills are to be 4x6 all one piece in cross section set with the 6 inch dimension upright with 2x6 floor timbers spaced 16 inches on center notched over a 2x3 nailing piece spiked to the side of the sills.

3. A 4x6 girder running lengthwise of the addition and supported at each end on a concrete pier is to be provided at the center of the span of floor joists.

4. The 2x6 rafters on a 12 foot span and with a pitch of only 4 inches in 12 inches do not figure out on the 16 inch spacing indicated. It is necessary that they be spaced no more than 12 inches on centers. Presumably the 2x4 ceiling timbers are to be hung up to the rafters at about the center of their span, as otherwise they would not figure out to carry even a ceiling load alone on the 12 foot span indicated.

5. Notification is to be given this department for an inspection before lath or wall board is applied to walls or ceiling.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/B



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, April 9, 1951

PERMIT ISSUED

00570  
APR 12 1951

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~alter~~ ~~repair~~ ~~work~~ ~~on~~ ~~the~~ ~~following~~ ~~building~~ ~~structure~~ ~~as~~ ~~shown~~ ~~on~~ ~~the~~ ~~plans~~ ~~and~~ ~~specifications~~, if any, submitted herewith and the following specifications:

Location 296 Capisic Street Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's name and address M. Edson Goodrich, 296 Capisic Street Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address M. H. Lewis Co., 308 Capisic Street Telephone 4-1989  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building 1-car garage No. families \_\_\_\_\_  
Last use \_\_\_\_\_ " " \_\_\_\_\_ No. families \_\_\_\_\_  
Material wood No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot dwelling house  
Estimated cost \$ 75. Fee \$ .50

General Description of New Work

To construct 4' x 12' addition on rear of existing garage.  
Rear gable end wall to be removed up to plate.

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO M. H. Lewis Co.

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate 8' Height average grade to highest point of roof 9'  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation concrete slab Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof shed Rise per foot \_\_\_\_\_ Roof covering Asphalt Class C Und La'  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind hemlock Dressed or full size? dressed  
Corner posts 1x4 Sills 1x4 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor concrete, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x4  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 22"  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 4'  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:  
O.N. 4/12/51 - J.S.

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

M. Edson Goodrich

Signature of owner by: M. H. Lewis Co. Inc.

INSPECTION COPY



NOTES

~~4-9-51. Work well at night without permit. Has used some 2x4 corner where fence new shall remain. Has used 2x6~~

~~2x10x4 = 100  
2x10x45 = 900  
1000 or 225 o.k.~~

Permit No. 51/570  
 Location 246 Caprice St.  
 Owner Mr. Edwin Goodrich  
 Date of permit 4/12/51  
 Notif. closing-in  
 Inspn. closing-in  
 Final Notif.  
 Final Inspn. 4-17-51, JTB  
 Cert. of Occupancy issued 1/10/51

M. H. LEWIS CO., Inc.  
BUILDERS  
Cabinet and Millwork  
PATTERNMAKERS

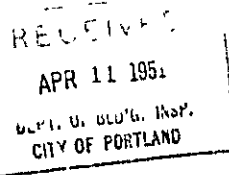
Office: 102 EXCHANGE ST.

Tel. 3-5377

PORTLAND 3, MAINE

April 10, 1951

Warren McDonald, Bldg. Insp.  
City Hall  
Portland, Maine



Dear Warren:

I received your telephone message concerning permit for four (4') foot extension to garage located at 296 Capisic Street. The owner (new) M. Goodrich employed me to replace swinging doors with overhead doors. When finished, he asked me to complete the four foot extension started and somewhat advanced by a recent previous owner.

As it was bringing to completion work already started I did not think to secure a permit. I readily understand one is necessary as I put on such an extension to my own garage a few years back.

Enclosed please find sketch requested.

Very truly yours,

MHL/n

*Maurice H. Lewis*

*Beulah:  
No find app  
and give with them  
to Agl. to check  
mm  
4/11/51*



FILL IN COMPLETELY AND SIGN WITH INK

# APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED

1605  
OCT 15 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, 10/15/40

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: 142 Capron St Use of Building: Residence No. Stories: 1 1/2 New Building Existing: Existing  
Name and address of owner of appliance: Osier, Mrs. - 142 Capron St  
Installer's name and address: Randall & McAllister 845 Bond 3244

### General Description of Work

To install: Oil Burner to Existing

### IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? yes If not, which story: \_\_\_\_\_ Kind of Fuel: Oil  
Material of supports of appliance (concrete floor or what kind): Concrete  
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, from top of smoke pipe \_\_\_\_\_ from front of appliance \_\_\_\_\_ from sides or back of appliance \_\_\_\_\_  
Size of chimney flue \_\_\_\_\_ Other connections to same flue \_\_\_\_\_

### IF OIL BURNER

Name and type of burner: Tankless Labeled and approved by Underwriters' Laboratories? yes  
Will operator be always in attendance? \_\_\_\_\_ Type of oil feed (gravity or pressure): Gravity  
Location oil storage: Basement No. and capacity of tanks: 1 - 2 1/2 Gall  
Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed? \_\_\_\_\_  
Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of Installer: Randall & McAllister

Permit No. 401605

Location 142 Caprice St.

Owner D. J. Magee

Date of Permit 10/15/40

Post Card sent

Notif. for insp. None

Approval 5/17/41, O.K.

Oil Burner Check List (date) 5/17/41

1. Kind of heat - Hot Air

2. Label

3. Anti-siphon

4. Oil storage

5. Tank distance

6. Vent Pipe

7. Fill Pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. Temp. & pressure safety

15. Instruction card

16.

NOTES

1. 1/2" x 1/2" x 1/2" x 1/2"

2. 1/2" x 1/2" x 1/2" x 1/2"

3. 1/2" x 1/2" x 1/2" x 1/2"

4. 1/2" x 1/2" x 1/2" x 1/2"

5. 1/2" x 1/2" x 1/2" x 1/2"

6. 1/2" x 1/2" x 1/2" x 1/2"

7. 1/2" x 1/2" x 1/2" x 1/2"

8. 1/2" x 1/2" x 1/2" x 1/2"

9. 1/2" x 1/2" x 1/2" x 1/2"

10. 1/2" x 1/2" x 1/2" x 1/2"

11. 1/2" x 1/2" x 1/2" x 1/2"

12. 1/2" x 1/2" x 1/2" x 1/2"

13. 1/2" x 1/2" x 1/2" x 1/2"

14. 1/2" x 1/2" x 1/2" x 1/2"

15. 1/2" x 1/2" x 1/2" x 1/2"

16. 1/2" x 1/2" x 1/2" x 1/2"

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for 1 car garage  
at Caplsic St. 224A-8

Date Nov. 27, 1935

O. J. Magee

1. In whose name is the title of the property now recorded? \_\_\_\_\_
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? yes
3. Is the outline of the proposed work now staked out upon the ground? yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? \_\_\_\_\_
4. What is to be maximum projection or overhang of eaves or drip? 6"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that, in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

John P. Jacobson



GENERAL RESIDENCE ZONE Permit No. 2057  
**APPLICATION FOR PERMIT PERMIT ISSUED**

Class of Building or Type of Structure Third Class NOV 29 1935  
 Portland, Maine, November 27, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the followin, building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location About 140 Caspian Street (242-246) Ward 8 Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's or Lessee's name and address O. J. Magee, 22 Kabb Street Telephone \_\_\_\_\_  
 Contractor's name and address John C. Jacobson, 25 Hillside Ave., So. Portland Telephone 5-7755  
 Architect's name and address \_\_\_\_\_  
 Proposed use of building 1 car garage No. families \_\_\_\_\_  
 Other buildings on same lot Drolling house applied for  
 Plans filed as part of this application? yes No. of sheets 1  
 Estimated cost \$ 200. Fee \$ .75

**Description of Present Building to be Altered**

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_

**General Description of New Work**

To erect one car frame garage 13' x 10'

NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and paid for by the name of the heating contractor.

CERTIFICATE OF COMPLETION TO BE FILED WITH THE PERMIT IS WANTED

**Details of New Work**

Height average grade to top of plate 7'-0"  
 Size, front 10'-0" depth 10'-0" No. stories 1 Height average grade to highest point of roof 12'-0"  
 To be erected on solid or filled land? solid earth or rock? earth  
 Material of foundation concrete slab Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of Roof pitch Rise per foot 10" Roof covering asphalt shingles class C underlab.  
 No. of chimneys none Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
 Kind of heat none Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
 Corner posts 4x4 Sills 4x4 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
 Joists and rafters: 1st floor concrete slab, 3rd \_\_\_\_\_, roof 2x4  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x4  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

**If a Garage**

No. cars now accommodated on same lot none, to be accommodated 1  
 Total number commercial cars to be accommodated none  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

**Miscellaneous**

Will above work require removal or disturbing of any shade tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? no

INSPECTION COPY - Signature of owner O. J. Magee by John C. Jacobson  
 CHIEF OF FIRE DEPT.

Ward 8 Permit No. 35/2057

OK 140 Cassin St.

Owner D. Magee

Date of permit 11/29/35

Notif. in

Inspn. closing-in

Final Notif.

Final Inspn. 1/9/36

Cert. of Occupancy issued None

NOTES

- 11/27/35 - Staking out O.K. - A.G.S.
- 12/2/35 - No work started - A.G.S.
- 12/5/35 - Same - A.G.S.
- 12/11/35 - Same - A.G.S.
- 12/16/35 - Same - A.G.S.
- 12/30/35 - Slab poured - A.G.S.
- 1/9/36 - Framing completed - A.G.S.



Permit No. \_\_\_\_\_

## APPLICATION FOR PERMIT TO REPAIR BUILDING

Second Class Building

Portland, Maine, February 18, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 569 Congress Street Ward 5 Within fire limits? yes Dist. No. 1Owner's name and address Abraham Goodside, 94 Forest Ave. Telephone \_\_\_\_\_Contractor's name and address J. H. Simonds Co., 216 Federal St. Telephone E-5125Use of building Stores and OfficesNo. stories 2-1 Height ✓ ft., Gross area \_\_\_\_\_ sq. ft., Style of roof \_\_\_\_\_

Type of present roof covering \_\_\_\_\_

General Description of New Work  
To repair after fire to former condition, except that of the skylights is to be eliminated  
(Cause - Unknown)

## If Roof Covering is to be Repaired or Renewed

When last repaired? \_\_\_\_\_, Area then repaired \_\_\_\_\_ sq. ft.

Are repairs or renewal due to damage by fire? yes If so, what area damaged? \_\_\_\_\_ sq. ft.

Area of roof to be repaired now? \_\_\_\_\_ sq. ft.

Type of roofing to be used Tar and gravel No. plies \_\_\_\_\_

Trade name and grade of roof covering to be used \_\_\_\_\_

Estimated cost \$ \_\_\_\_\_ Fee \$ \_\_\_\_\_

INSPECTION COPY

Signature of owner \_\_\_\_\_



Ward            Permit No.             
Location                                       
Owner                                       
Date of permit                               
Notif. closing-in                             
Inspn. closing-in                             
Final Notif.                                 
Final Inspn.                                 
Cert. of Occupancy issued                   

hot water heater with  
a small range type  
burner shell in place  
of the gas burner. A  
2 gallon glass bottle  
supplies the oil fuel.  
A.C.P.

5/17/41. Mr. Deans said this heater  
can be crossed off as it is  
only a matter of getting  
a permit. Other matters  
taken care of. C.H.

NOTES

Empty lined area for notes.



FILL IN COMPLETELY AND SIGN WITH INK

Permit No. 2151

GENERAL RESIDENCE ZONE  
APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

December 23, 1935

Portland, Maine,

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

292-296 About 140 Capisic Street dwelling house

Location U. J. Hagar, Webb St. Use of Building \_\_\_\_\_

Name and address of owner Thomas Skinner Co., 127 Main St. So. Portland Ward 8

Contractor's name and address \_\_\_\_\_ Telephone 4-4746

General Description of Work Jacobson - 3-7795

To install hot air furnace

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? yes If not, which story \_\_\_\_\_ Kind of Fuel coal

Material of supports of heater or equipment (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, 2'

from top of smoke pipe 18", from front of heater over 4' from sides or back of heater over 3'

Size of chimney flue 10x11 Other connections to same flue none

IF OIL BURNER

Name and type of burner \_\_\_\_\_ Labeled and approved by Underwriters' Laboratories? \_\_\_\_\_

Will operator be always in attendance? \_\_\_\_\_ Type of oil feed (gravity or pressure) \_\_\_\_\_

Location oil storage \_\_\_\_\_ No. and capacity of tanks \_\_\_\_\_

Will all tanks be more than seven feet from any flame? \_\_\_\_\_ How many tanks fireproofed? \_\_\_\_\_

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents for each additional heater, etc., in same building at same time.)

Signature of contractor Thomas Skinner

INSPECTION COPY

Ward & Permit No. 35/2151 I

Location - Alt. 140 Capisco St

Order O. J. Magee

Date of permit 1/22/35

Post Card sent

Notif. for inspn None

Approval ~~Time~~ 5/17/41

01/21/41 40/1605

Oil Burner Check List (Water)

1. Kind of heat Hot air furnace
2. Label
3. Anti-siphon
4. Oil storage
5. Tank distance
6. Vent pipe
7. Fill pipe
8. Gauge
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
- 16.

NOTES

12/30/35 - Heater set  
up but not all of  
the heater pipes were

2/7/36 - Sawer's Center

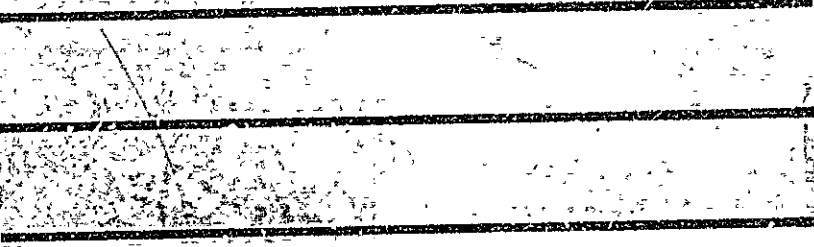
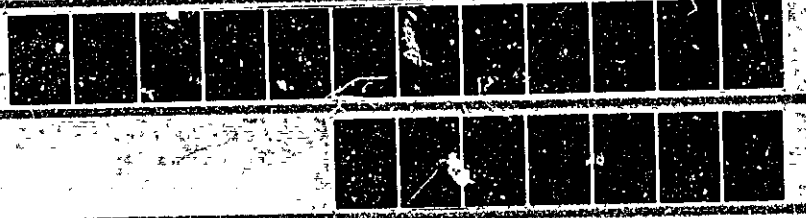
removed from one  
registers. Smaller  
pipe of heater does  
not fit tightly a  
leakable in places.

ney - Cold air  
ducts have to be all  
metal instead of  
metal jacket to  
bottom of floor joists  
and using spacers  
between lullers for duct.  
O.J.

2/10/36 - Mr. Shuman  
says that he will  
take care of above mat-  
ters - O.J.

3/17/36 - Cold air ducts  
now made of metal.  
An oil burning hot  
water heater properly  
vented to chimney  
has been installed  
by Jacobson in base-  
ment. This is appar-  
ently the coil and  
shell of an oil

292-296: CAPSIC STREET





**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date May 26, 19 82  
 Receipt and Permit number A77744

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following, specifications:

LOCATION OF WORK: 294 Capisic Street  
 OWNER'S NAME: Donald Wade ADDRESS: same

	FEES
<b>OUTLETS:</b>	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____	
<b>FIXTURES: (number of)</b>	
Incandescent _____ Flourescent _____ (not strip) TOTAL _____	
Strip Flourescent _____ ft. _____	
<b>SERVICES:</b>	
Overhead <input checked="" type="checkbox"/> Underground _____ Temporary _____ TOTAL amperes <u>100</u> ..	3.00
<b>METERS: (number of)</b> <u>1</u> ..	.50
<b>MOTORS: (number of)</b>	
Fractional _____	
1 HP or over _____	
<b>RESIDENTIAL HEATING.</b>	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
<b>COMMERCIAL OR INDUSTRIAL HEATING:</b>	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
<b>APPLIANCES: (number of)</b>	
Ranges _____ Water Heaters _____	
Cook Tops _____ Disposals _____	
Wall Ovens _____ Dishwashers _____	
Dryers _____ Compactors _____	
Fans _____ Others (denote) _____	
TOTAL _____	1.50
<b>MISCELLANEOUS: (number of)</b>	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 _____ and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
FOR ADDITIONAL WORK _____ ORIGINAL PERMIT _____ DOUBLE FEE DUE: _____	
FOR REMOVAL OF A " _____" (304-16.b) _____	
TOTAL AMOUNT DUE: _____	5.00

**INSPECTION:**

Will be ready or 1 today 19; or Will Call \_\_\_\_\_

CONTRACTOR'S NAME Marino Elec

ADDRESS: 68 Taft Avenue

TEL.: 774-3129

MASTER LICENSE NO.: 2299 SIGNATURE OF CONTRACTOR:

LIMITED LICENSE NO.: \_\_\_\_\_ Marino Electric

*(by James Marino)*

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN



P 258 792 595

RECEIPT FOR CERTIFIED MAIL

NO INSURANCE COVERAGE PROVIDED—  
NOT FOR INTERNATIONAL MAIL  
(See Reverse)

SENT TO

Mr. Robert Philbrook

STREET AND NO.

295 Capisic St.

P.O., STATE AND ZIP CODE

Portland, Me. 04102

POSTAGE

\$

CERTIFIED FEE

SPECIAL DELIVERY

RESTRICTED DELIVERY

CONSULT POSTMASTER FOR FEES  
OPTIONAL SERVICES

RETURN RECEIPT SERVICE

SHOW TO WHOM AND DATE DELIVERED

SHOW TO WHOM, CITY AND ADDRESS OF DELIVERY

SHOW TO WHOM AND DATE DELIVERED WITH RESTRICTED DELIVERY

SHOW TO WHOM, DATE AND ADDRESS OF DELIVERY WITH RESTRICTED DELIVERY

TOTAL POSTAGE AND FEES

\$

POSTMARK OR DATE

P.S. Form 3800, Apr 1976

Re: 295 Capisic St. - Schumckel



## CITY OF PORTLAND

JOSEPH E. GRAY, JR.  
DIRECTOR OF PLANNING  
AND URBAN DEVELOPMENT  
Inspections Services Div.

October 22, 1982

Mr. Robert Philbrook  
295 Capisic Street  
Portland, Maine 04102

Re: 295 Capisic street


Dear Mr. Philbrook:

As discussed with you recently, you are located in an R-3 Residential Zone which prohibits any type of business use including car repair (Sec. 602.24.C.3 c of the Zoning Ordinance). All such business activities must cease.

Also, Chapter 317 of the Municipal Ordinance deems it unlawful and a violation "... to deposit, place, leave or abandon any old, discarded, worn out or junked motor vehicles, or vehicles, or parts thereof, on any private property in the City of Portland. . ."

Any and all such vehicles and parts must be removed from the above premises no later than 10 days from the receipt of this letter. Failure to comply could result in further legal action.

Very truly yours,

  
Marge Schimmuckal  
Code Enforcement Officer

MS/jmr







R-3 ZONE  
CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

COMPLAINT

Location  
295 Capisic St.

INSPECTION COPY

COMPLAINT NO. 82-106

Date Received Oct 15, 1982

Location 295 Capisic St. Use of Building dwelling  
Owner's name and address Philbrook Robert Philbrick - same Telephone none listed  
Tenant's name and address Telephone  
Complainant's name and address From City Manager's Office Brian Dudley X 206 Telephone

Description: Man is repairing cars at above address.

(1979 → complaint of junk cars → were removed with in 10 days)

NOTES: I ASSUME THAT THIS MEANS THAT THESE CARS ARE NOT OWNED BY THE PROPERTY OWNER & IS RUNNING A BUSINESS IN A RESIDENTIAL ZONE OF CAR REPAIR.

10-15-82 No one home - quite a few <sup>NEARLY A DOZEN</sup> CARS (some registered) on both sides of house - some look like they won't operate on the roads - some engine/parts also lying around

10-19-82 AGAIN NO ONE IS HOME - SITUATION THE SAME - APPEARS TO BE SOME CHANGE IN THE POSITION OF 10 OF THE CARS.

10-21-82 Brian Dudley wanted an up-to-date on this complaint - I did so

10-22-82 I GOT MR & MRS PHILBROOK AT HOME. THEY STATED THAT THEIR SON IS WORKING ON FRIENDS' CARS IN THE REAR GARAGE. I NOTIFIED THEM THAT NO BUSINESSES WERE ALLOWED IN A RESIDENTIAL ZONE THAT IT WASN'T EVEN APPEALABLE. THE BUSINESS MUST CEASE. I ALSO TOLD THEM THAT ALL JUNK VEHICLES MUST BE REMOVED 10 DAYS FROM WHEN THEY RECEIVE MY CERTIFIED LETTER.

MR & MRS PHILBROOK WERE VERY AGREEABLE AND KNEW THAT THEIR YARD HAD TO BE CLEANED UP AND SHOWED COMPLETE CO-OPERATION IN THIS MATTER.

10-27-82 HAVEN'T RECEIVED CONFIRMATION OF RECEIPT OF CERTIFIED LETTER YET. APPEARS THAT THE CARS ARE BEING SHUFFLED AROUND (MAYBE) - AND HAS A "FOR SALE" SIGN ON IT -

10-29-82 SAME - MORE SHUFFLE AROUND OF CARS

11-8-82 I FOUND THE CERTIFIED LETTER RETURNED POST CARD - 10 WORKING DAYS WILL BE UP 11-9-82 - TODAY REVEALS ALL CARS GONE BUT 1 AND TRUCK (MAYBE THE FAMILY USES FOR PLOWING THEIR DRIVE) -

11-10-82 - 2 REG CARS (SILVER) IN DRIVE - ONLY TRUCK (BLUE) IN REAR - REST CLEANED AWAY X NOTICED BY BRIAN DUDLEY