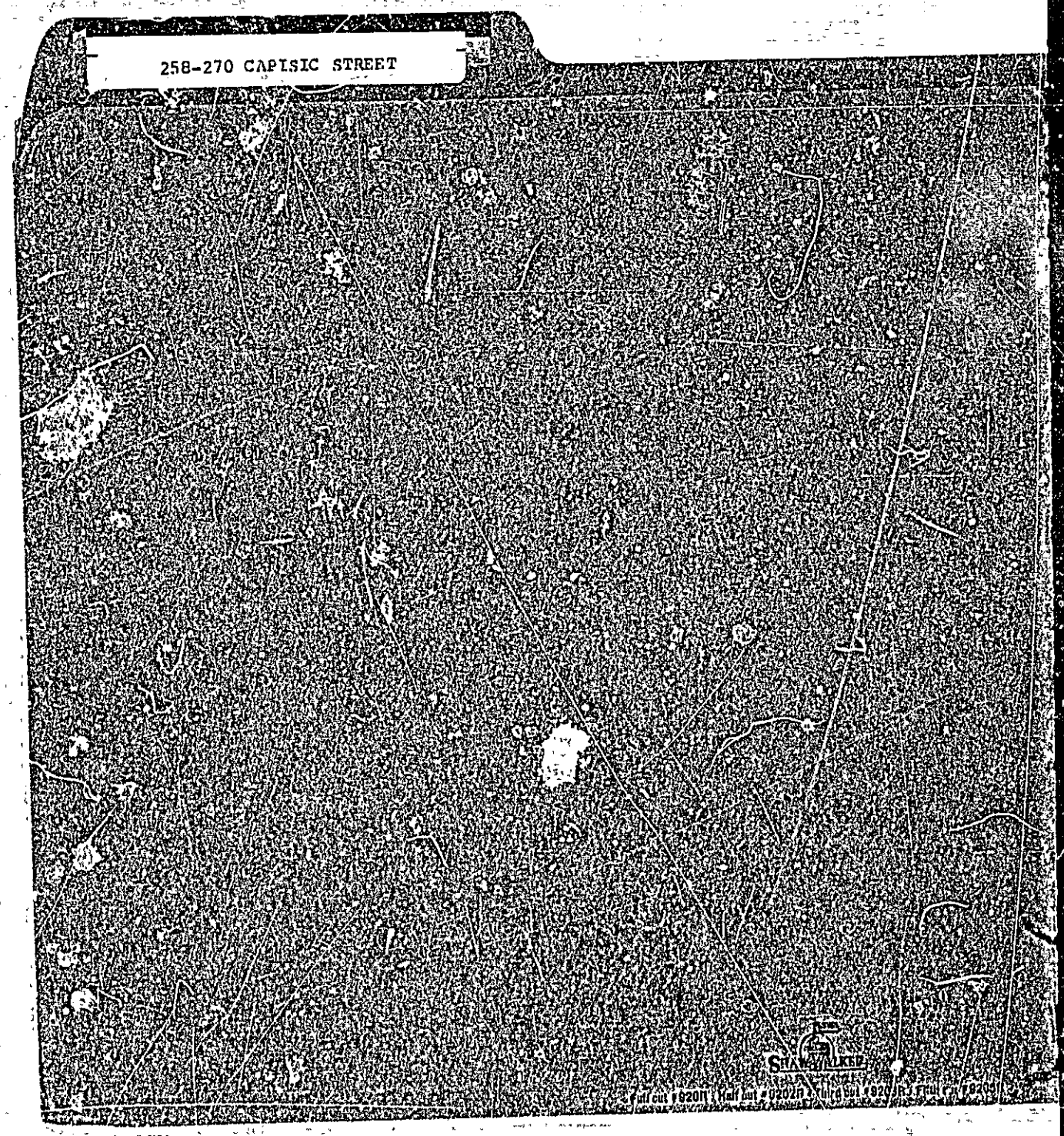
258-270 CAPISIC STREET



APPLICATION FOR PERMIT

PERMIT ISSUED
JUN 10 1980
00 388
CITY of PORTLAND

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .. 00-388 .....

ZONING LOCATION B-3 PORTLAND, MAINE, June 5, 1980

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 262 Capisic Street ..... Fire District #1 ☐, #2 ☐

1. Owner's name and address William H. Howison - same ..... Telephone H-772-1197 B-775-6371
2. Lessee's name and adddress ..... Telephone .....
3. Contractor's name and address .. Owner .... Telephone .....
4. Architect ..... Specifications ..... Plans ..... No. of sheets .....

Proposed use of building dwelling with addition ..... No. families 1

Last use dwelling ..... No. families 1

Material .... No. stories . Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractural cost $ 2,000 Fee $ 10.00

FIELD INSPECTOR—Mr. Marge @ 775-5451 Ext. 234

GENERAL DESCRIPTION

This application is for:

Dwelling .....

Garage .....

Masonry Bldg. .....

Metal Bldg. .....

Alterations .....

Demolitions .....

Change of Use .....

Other .....

To construct 20'6" x 8'6" addition to side of dwelling as per plans. 1 sheet of plans.

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☒ 2 ☐ 3 ☐ 4 ☐

Other: .....

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....

On centers: 1st floor ..... , 2nd ....., 3rd ....., roof .....

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ...., to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: *DATE*

BUILDING INSPECTION—PLAN EXAMINER .....

ZONING: O.K. M.G.W. 6/17/80

BUILDING CODE: .....

Fire Dept.: .....

Health Dept.: .....

Others: .....

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant Wm. H. Howison ..... Phone # same

Type Name of above William H. Howison ..... 1 ☒ 2 ☐ 3 ☐ 4 ☐

Other .....

and Address .....

FIELD INSPECTOR'S COPY

Permit No. 80/388

Location 762 Cypress St

Owner Wm. Stevenson

Date of permit 6-10-80

Approved Addition on Gable

NOTES

8-19-80 Foundation — floor & framing is All up — NO CALLS for insp. —

10-10-80 Complaint — Neighbor Called for final —

Sam's Territory

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

COMPLAINT

Location: 262 Capisic Street

INSPECTION COPY

COMPLAINT NO. 73/119 Date Received December 3, 1973

Location 262 Capisic Street Use of Building dwe[illegible]

Owner's name and address George Sykes, same [illegible]

Tenant's name and address Telephone

Complainant's name and address anon. neighb[illegible] Telephone

Description: Dog grooming in hous[illegible] [illegible]ntial Zone

NOTES: MR. Hoffsess talked to The lady & toured The house No dogs or grooming
12-3-73

A.P.- 262 Capisic St. July 7, 1966

George W. Sykes
262 Capisic Street

Dear Mr. Sykes:

Permit to construct 1-story frame storage shed 16'x24' at the above named location is being issued subject to plans received with application and in compliance with Building Code restrictions as follows:

1. Sills shall be securely anchored to masonry piers.

2. Floor joists need to be 2x10's at 16" on centers as on application instead of 2x6 inch floor joists at 2' on centers as stated on plans.

3. The 2x4 inch ceiling joists or ties will need to be hung in the center by a board to the rafters near the ridgeboard.

Very truly yours,

A. Allan Soule
Inspector

AASim

262 Capric St. - 71.166 - Allen

Storage shed

(R3)

CHECK AGAINST ZONING ORDINANCE

Date - House before 6/15/57

Zone Location - (RC) - R3

Interior or ~~corner Lot~~ -

40 ft. setback area? (Section 21) N/A

Use - Storage shed

~~Sewage Disposal~~ -

Rear Yards - 200'

Side Yards - 85'-60'

~~Front Yards~~ -

Projections -

Height -

Lot Area - About 59,298

Building Area - 14,825 - Dwelling & shed About 1,717

~~Area per Family~~ -

~~Width of Lot~~ -

~~Lot Frontage~~ -

~~Off-street Parking~~

R3 RESIDENTE ZONE

PERMIT ISSUED
JUL 7 1966
CITY of PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, June 27, 1966

Completed 7/1/66

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 262 Capisic Street Within Fire Limits? _____ Dist. No. _____

Owner's name and address George W. Sykes, 262 Capisic St. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address owner Telephone _____

Architect _____ Specifications _____ Plans yes No. of sheets ~~3~~ 2

Proposed use of building Storage of garden tools, etc. No. families _____

Last use _____ No. families _____

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot Dwelling

Estimated cost $ 100. Fee $ 5.00

General Description of New Work

To construct 1-story frame ~~dwelli~~ storage shed 16'x24'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** owner

Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? no

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? yes

Height average grade to top of plate 8' Height average grade to highest point of roof 12'

Size, front 14' 16' depth 24' No. stories 1 solid or filled land? ~~solid~~ earth or rock? ~~earth~~

Material of foundation 9" Sonotubes at least 4' below grade Thickness, top _____ bottom _____ cellar _____

Kind of roof ~~pitch~~ Rise per foot ~~5"~~ 5" Roof covering ~~asphalt roofing Class C Und. lab.~~ 6' O.C.

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber–Kind hemlock Dressed or full size? ~~dressed~~ Corner posts ~~2-2x4~~ Sills ~~4x6 solid~~

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ~~2x8~~ 2x10, 2nd _____, 3rd _____, roof 2x6

On centers: 1st floor 16", 2nd _____, 3rd _____, roof 24"

Maximum span: 1st floor 16', 2nd _____, 3rd _____, roof 8'

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:
O.K. - 7/1/66 - Allen w/letter

CS 201

INSPECTION COPY

Signature of owner George W. Sykes

P.H.

Permit No. 6116795

Location [illegible]

Owner [illegible]

Date of permit 4/7/66

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

7-21-66 Blocks on ground for support of sills

8-19-66 Framed out OK

Memorandum from Department of Building Inspection, Portland, Maine

258-270

268-270 Capisic Street—Permit for installation of oil burning forced hot water heating system for George Sykes by Harris Oil Company

11/20/43

Before tank and piping is covered from view, installer is required to notify this department of readiness for inspection and refrain from covering the tank up until approved.

This tank of 550 gallons capacity is required to be of steel or wrought iron no less in thickness than No. 14 gauge; is required to be galvanized if the metal is less than No. 7 gauge; and before installation is required to be protected against corrosion, even though galvanized, by two preliminary coats of red lead and heavy coat of hot asphalt.

Pipe lines connected to underground tank, other than tubing and except fill line and test wells, are to be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

WMcD/S

CC: Mr. George Sykes
268 Capisic Street

(Signed) Warren McDonald
Inspector of Buildings

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED
02174
NOV 20 1948
CITY of PORTLAND

Portland, Maine, November 19, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location ~~268-270~~ 268 Capisic St. Use of Building Dwelling No. Stories ____ New Building ____ Existing "

Name and address of owner of appliance George Sykes, 268 Capisic St.

Installer's name and address Harris Oil Company, 202 Commercial St. Telephone 2-8304

General Description of Work

To install oil burning forced hot water heating system

IF HEATER, OR POWER BOILER

Location of appliance or source of heat basement Type of floor beneath appliance concrete

If wood, how protected? Kind of fuel oil

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace 15"

From top of smoke pipe 15" From front of appliance Over 4' From sides or back of appliance Over 3'

Size of chimney flue 8x10 Other connections to same flue none

If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Permit Issued with Memo

Name and type of burner General Electric Labelled by underwriter's laboratories? yes

Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? top

Type of floor beneath burner concrete

Location of oil storage outside underground Number and capacity of tanks 1-550 gal. tank

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? ~~no~~ yes How many tanks fire proofed?

Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance

If wood, how protected?

Minimum distance to wood or combustible material from top of appliance

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Tank to bear Underwriters Label.

~~Pump room in garage. 200000 cubic cap bottom~~

Amount of fee enclosed? 2.00 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:
O.K. E.S.S. 11/19/48

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Harris Oil Co.

INSPECTION COPY

Signature of Installer By: Andrew R. Niles

Permit No. 48/2174

Location 248-270 Capitric St.

Owner George Sykes

Date of permit 10/20/48

Approved 11/31/49

NOTES

1 Fill Pipe ✓

2 Vent Pipe ✓

3 Kind of Heat Hot Water

4 Burner Rigidity & Supports ✓

5 Name & Label Hesd 856

6 Stack Control

7 High Limit Control

8 Remote Control ✓

9 Piping Support & Protection

10 Valves in Supply Line

11 Capacity of Tanks 550

12 Tank Rigidity & Supports ✓

13 Tank Distance ✓

14 Oil Gauge must be checked on outside underground tank.

15 Inspection Card ✓

16

12/4/48 [illegible]

[illegible]

12/6/48 - [illegible]

Mr. Yearly Thomson [illegible]

[illegible] all fixtures

[illegible] in tank.

(RC) RESIDENCE ZONE - C

APPLICATION FOR PERMIT

PERMIT ISSUED
No. 11658
SEP 15 1948
CITY OF PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, August 27, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter, repair, demolish, install~~ the following building ~~structure, equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location ~~Lots 193, 195~~ 201 Capisic Street Within Fire Limits? no Dist. No.

Owner's name and address George W. Sykes, 101 MacArthur Circle, East So. Portland Telephone W 2-2111

Lessee's name and address Telephone

Contractor's name and address J. H. Kennedy, 105 Preble Street Telephone

Architect James C. Saunders Specifications yes Plans yes No. of sheets 5

Proposed use of building A Dwelling house and attached garage No. families 1

Last use No families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot Fee $ 13.00

Estimated cost $ 12,500.

General Description of New Work

To construct one-story frame dwelling 31' x 48' with attached one-car garage 14' x ~~22~~ 21'.

Permit Issued with Letter

The inside of the garage will be covered, where required by law with metal lath and plaster. Metal covers standard fire-resistant door (self-closing) or Class C Und Lab labelled door 6" threshold.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** George W. Sykes

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes

Height average grade to top of plate 10' at gar. Height average grade to highest point of roof 15' at gar. 15'

Size, front 31' depth 46' No. stories 1 solid or filled land? solid earth or rock? earth

Material of foundation Concrete block Thickness, top 12" bottom 12" cellar yes

Material of underpinning " to sill Height Thickness

Kind of roof Pitch flat Rise per foot 2 Roof covering Asphalt Class C Und Lab.

No. of chimneys 2 Material of chimneys brick of lining tile Kind of heat hot water Fuel oil

Framing lumber—Kind hemlock Dressed or full size? dressed Size

Corner posts 4x6 Sills 4x6 Girt or ledger board? Size Max. on centers

Girders none Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. no stairway

Joists and rafters:	1st floor reinforced concrete slab,	2nd 2x6,	3rd,	roof 2x10	gar. 2x10
On centers:	1st floor,	2nd 16",	3rd,	roof 16"	16"
Maximum span:	1st floor,	2nd,	3rd,	roof 18'	18'

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot 1, to be accommodated 0 number commercial cars to be accommodated 0

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Signature of owner George W. Sykes

INSPECTION COPY

Permit No. 48/16.8.43
Location 2-4-6-8 Spruce
Owner Elizabeth Lucas
Date of permit 9/15/48
Notif. closing-in 12/14/48
Inspn. closing-in 12/14/48
Final Notif.
Final Inspn. 6/10/49
Cert. of Occupancy issued 6/10/49

NOTES

9/20/48 - Not yet started

9/13/48 - Location OK

11/5/48 Fire doors not yet provided in garage & utility room. Asked would like temporary Certificate of Occupancy. E.S.

2/14/49 - Fire doors provided but not self-closing. Told owner to install them. Fire doors installed. Certificate temporary. E.S.

6/10/49 - Self-closing devices have been provided on the two fire doors. Certificate of occupancy to be issued. E.S.

COPY

CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to George W. Sykes

Date of Issue June 10, 1949

This is to certify that the building, premises, or part thereof, indicated below, and ~~erected~~—altered—changed as to use at 268-280 Capisic Street under Building Permit No. 48/1668, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES	APPROVED OCCUPANCY
Entire Building	One-family Dwelling House and one-car Garage

Limiting Conditions:

This certificate supersedes certificate issued

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for Dwelling house & Garage Date August 27, 1948
at Lots 192, 193 Capisic St.

1. In whose name is the title of the property now recorded? George W. Sykes

2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, andhow? Stakes

3. Is the outline of the proposed work now staked out upon the ground? no mor.
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? Monday, August 30

4. What is to be maximum projection or overhang of eaves or drip? _____

5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes

6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes

7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

George W. Sykes

WARNING !!!

THIS BUILDING PERMIT IS ISSUED
SUBJECT TO SPECIAL CONDITION:

THAT NO CONCRETE SHALL BE POURED IN FOUNDATION FORMS AND NO LAYING OF UNIT MASONRY IN FOUNDATION WALLS SHALL BE STARTED UNTIL NOTICE HAS BEEN GIVEN AT THE DEPARTMENT OF BUILDING INSPECTION OF READINESS TO START ACTUAL MASONRY WORK, AND UNTIL RE-CHECK OF LOCATION HAS BEEN MADE BY INSPECTOR.

* * *

Original markings of corners of lot and especially stakes on street line set by Dept. of Public Works must be kept intact and easily accessible for re-check--not covered by excavated earth or building materials. Otherwise the "go-ahead" cannot be given. Dept. of Public Works cannot re-set their stakes.

* * *

Obviously the notice for re-check must be given at such a time as to allow reasonable opportunity to make re-check.

Warren McDonald
Inspector of Buildings

AP 263-280 Capisic St.-1

September 14, 1948

Mr. George H. Sykes
101 Macarthur Circle East
So. Portland, Maine
Mr. J. H. Kennedy
105 Preble Street

Subject: Permit for construction of one-family dwelling and garage at 263-280 Capisic Street

Gentlemen:

The permit for the above work is issued herewith to the owner, subject to the following:

1. It is understood that the construction of the patio is not to be done at this time.

2. The sill of the building is required to be no less than 4x6 instead of the 2x4 shown on plans. However, the 4x6 may be placed on edge if desired.

3. The metal lath and plaster on garage side of partition adjoining dwelling is required also on the partition between the garage and utility room as well as on the ceiling if one is to be provided for the garage. A fire door similar to the one to be provided in wall between house and garage is required in the doorway to utility room from garage. A 6-inch raised threshold is required in this doorway unless the floor of utility room is to be at least 6" higher than that in garage. Both this door and the one from garage into kitchen must be made self-closing by suitable devices.

4. Presumably thought has been given in designing utility room to providing space enough to allow for the clearances from woodwork around heater that are required by the Building Code. The room shown on plan appears to be rather small to do this, but it may work out all right.

Very truly yours,

Inspector of Buildings

AJS/3

CC: Mr. James C. Saunders
477 Congress Street

Revised July 8, 1948

SPECIFICATIONS FOR CONSTRUCTION

---A RESIDENCE FOR

Mr. & Mrs. George W. Sykes

Capisic Street, Portland, Maine

---JAMES C. SAUNDERS & ASSOCIATES

Architects & Engineers

477 Congress Street, Portland, Maine

---INDEX

SECTION 2. SUPPLEMENTARY GENERAL CONDITIONS

2-01. General Conditions. - "The General Conditions for the Construction of Buildings", Standard Form of the American Institute of Architects, Fifth Edition, Articles 1 to 44, inclusive, are hereby made a part of this specification to the same extent as if herein written out in full.

2-02. Intent and form of specification. - The mention herein or indication on the drawings of articles, materials, operations, and/or methods requires that the contractor provide each item mentioned or indicated of quality or subject to qualifications noted; perform according to conditions stated each operation prescribed; and provide therefor all necessary labor, equipment, and incidentals.

2-03. Proprietary articles. - Where proprietary articles are mentioned or indicated similiar articles of equal value and efficiency may be substituted; such substitution shall be subject to approval by the Architect.

2-04. Standard specification. - Reference herein to manufacturer's specifications and/or directions refer to written specifications and/or directions published by the manufacturer establishing standards of installation and workmanship for his product. Reference is to editions in effect at the date of proposal, and such reference thereby incorporates the standard specification or direction into this specification to the same extent as if herein written out in full.

2-05. Codes. - All materials and workmanship shall meet all requirements of applicable codes and regulations, including the City of Portland Building Code, the State of Maine Plumbing Code, and the national Electric Code. In the event of conflict between these specifications and/or the drawings and such codes or regulations the provisions of the latter shall govern.

2-06. Materials. - All materials shall be sound and free from defects that might impair their strength, durability, or appearance. All construction shall be sound and free from faults of any nature.

2-07. Workmanship. - All work shall be performed in a neat and workmanlike manner and shall be in accordance with the best modern practice for work of a similiar nature.

2-08. Examination. - All trades shall examine prior construction affecting their work and any faults therein which might be deleterious to their own work will be reported to the Architect in writing before proceeding. Failure to report any such faults shall constitute acceptance of all prior work. Subsequent development of defects in prior work will not relie the contractor of responsibility for resultant defects in his work.

2-09. Guaranty-warranty. - Unless specifically exempted or amended for a particular Section, each contractor shall guarantee all materials and workmanship furnished by him to be free from defects during the one year period following date of final acceptance. Such defects, including damage to other work resulting from them, shall be made good without expense to the Owner.

SECTION 3. GENERAL CONTRACTOR'S WORK

3-01. Drawings. - Article 4, "Copies furnished", of the General Conditions is hereby voided, and superseded as follows:

1 - The Architect will furnish free of charge the following documents to the Contractor.

5 sets of contract drawings
5 copies of the specification
2 copies of all details

2 - All other copies of the drawings, specifications, or details required will be furnished to the contractor by the architect for the cost of reproduction

3 - The contractor will keep on the job at all times a current set of drawings and specifications for the use of the architect.

3-02. Grades, levels, lines, and surveys. - The Owner will furnish location of lot lines, restrictions if any, and a bench mark. The contractor will establish, verify, and maintain all other grades, lines, levels, and bench marks.

3-03. Temporary facilities. - Provide, maintain, and pay for all temporary services required for the work.

3-04. Permits. - Secure and pay for all permits required for the work

3-05. Signs. - The General Contractor may erect one painted sign showing the name of the architect, the contractor, and the subcontractors. This will be the only sign displayed on the site of the work without the express approval of the architect.

SECTION 4. PREPARATION OF SITE - EXCAVATION

4-01. Building lay-out. - Two corner stakes will be set by the architect; the contractor will construct and maintain suitable batter boards giving correct corner locations and levels.

4-02. Building level. - The level of the [illegible]g room floor is hereby established at a point 2'-6" above the existing road [illegible] Capitol Street along the center line of the road at a point opposite the [illegible] of the entrance door. Before proceeding with the work, the Contractor shall arrange for the Public Works Department of the City of Portland to provide grade stakes establishing existing and proposed levels of the street. The architect will then verify the grade established above.

4-03. Topsoil. - Scrape off approximately 6-12" and pile in a suitable location well removed from the building. Suitable material may be used later for rough grading.

4-04. Excavation. - None anticipated other than under the above paragraph. The foundations indicated are to extend to undisturbed soil and are to be covered to approximate grades indicated.

4-05. Interior backfill. - Crushed stone or bank-run gravel to levels indicated. Backfill material shall be placed in approximately 12" layers and thoroughly flushed and tamped before succeeding layer is placed. Subsequent settlement of interior fill with consequent cracking of floor slabs shall be construed as a defect in the work under this Section and the contractor shall be liable under the provisions of Section 2-09.

4-06. Exterior backfill. - With excavated material and other approved material to an extent required to cover footings to a depth of 4'0" in all directions.

4-07. Rough grading. - No grading will be required under this contract other than as required by 4-06, above.

SECTION 5. CONCRETE WORK

5-01. Work included. - Footings and floor slabs.

Alternate #1: Foundation walls

5-02. Concrete. - Portland cement, Type I-A (air-entrained), mixed six (6) bags per cubic yard of concrete, with aggregate proportioned to give a workable mix with ratio of coarse to fine of 2 to 1 by weight.

Fine aggregate: Clean, strong, natural sand, free from fine dirt, clay, etc., and graded as follows:

% Passing	Sieve
100	#
45-75	30
10-30	50
0-10	100

Coarse aggregate: Clean, strong, crushed granite, maximum size 3/4"

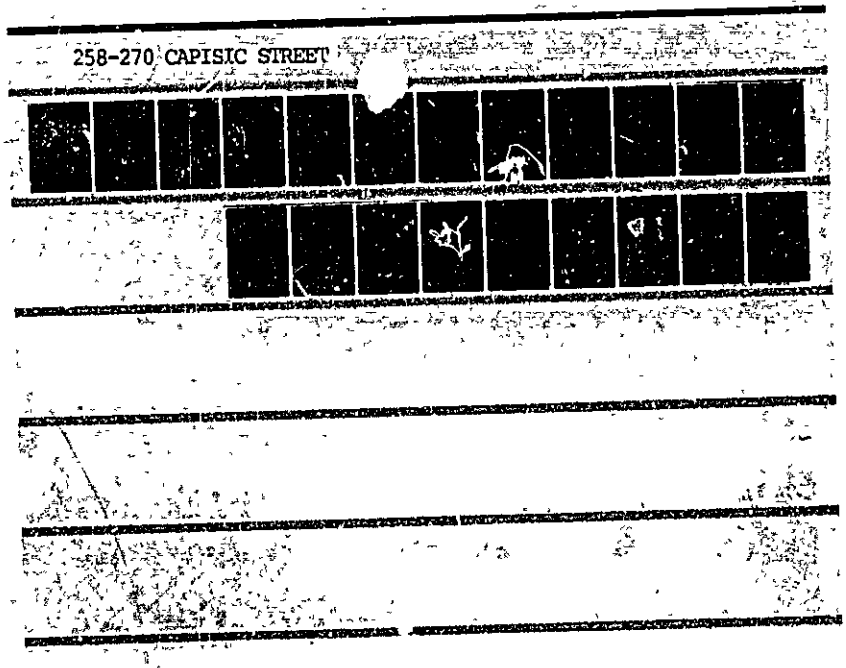
5-03. Water-cement ratio. - A) Footing and foundations: Six (6) gallons of water per sack of cement. B) Floor slabs: Five (5) gallons of water per sack of cement. These amounts to include surface water present in the aggregates at the time of mixing.

Water: Clean, free from oils, acids, alkalies, dirt, etc.; of drinkable quality

Adjustment of mix: May be made to keep concrete sufficiently plastic and workable to permit effective placement and compaction, with practicable minimum of fine aggregate and water, but in no case shall above water-cement ratio be varied.

5-04. Transit-mix concrete. - Use of transit- or ready-mixed concrete will be subject to architect's approval. Use will be approved if the mix complies with this specification in all particulars.

258-270 CAPISIC STREET



PERMIT ISSUED
APR 20 1983
CITY of PORTLAND

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....00285.....

ZONING LOCATION ... ... R-3 ... PORTLAND, MAINE March 17, 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ...262 Capisic Street..... Fire District #1 ☐, #2 ☐

1. Owner's name and address .WILLIAM H. & Julie L. Howison - same..... Telephone 772-1197
2. Lessee's name and address ..... Telephone .....
3. Contractor's name and address .Owner..... Telephone .....

..... Cost $ .....

Proposed use of building .....dwelling with ... No. units 1.....

Last use ..... No. families .....

Material ..... No stories ..... Heat ..... of roof ..... Roofing .....

Other buildings on same lot ....

Estimated contractural cost $...7,000... Appeal Fees $ .....

FIELD INSPECTOR—Mr ..... Base Fee ....45.00....

@ 775-5451 Late Fee .....

To construct 10' x 20' addition to side of dwelling to be used for utility room & study. TOTAL 45.00...

PERMIT ISSUED WITH LETTER

Letter Not Needed

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required for the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ... . fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet

Joists and rafters	1st floor	2nd	3rd	roof .....
On centers:	1st floor	2nd	3rd	roof .....
Maximum span:	1st floor	2nd	3rd	roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ....., to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY:	*DATE*
BUILDING INSPECTION—PLAN EXAMINER	
ZONING: A.H. Marcoux	4/19/83
BUILDING CODE:	
Fire Dept.:	
Health Dept.:	
Others:	

MISCELLANEOUS

Will work require disturbing of any tree on a public street? .....

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant Wm. H. Howison ..... Phone # ...same.....

Type Name of above ..William H. & Julie L. Howison. 1☒ 2☐ 3☐ 4☐

Other .....

and Address .....

PERMIT ISSUED WITH LETTER

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

2 MR. Carroll

Permit No 83/0285

Location 262 Capriole St.

Owner William R. Stevens

Date of permit 3-17-83

Approved 4-21-83

Dwelling addition

Garage

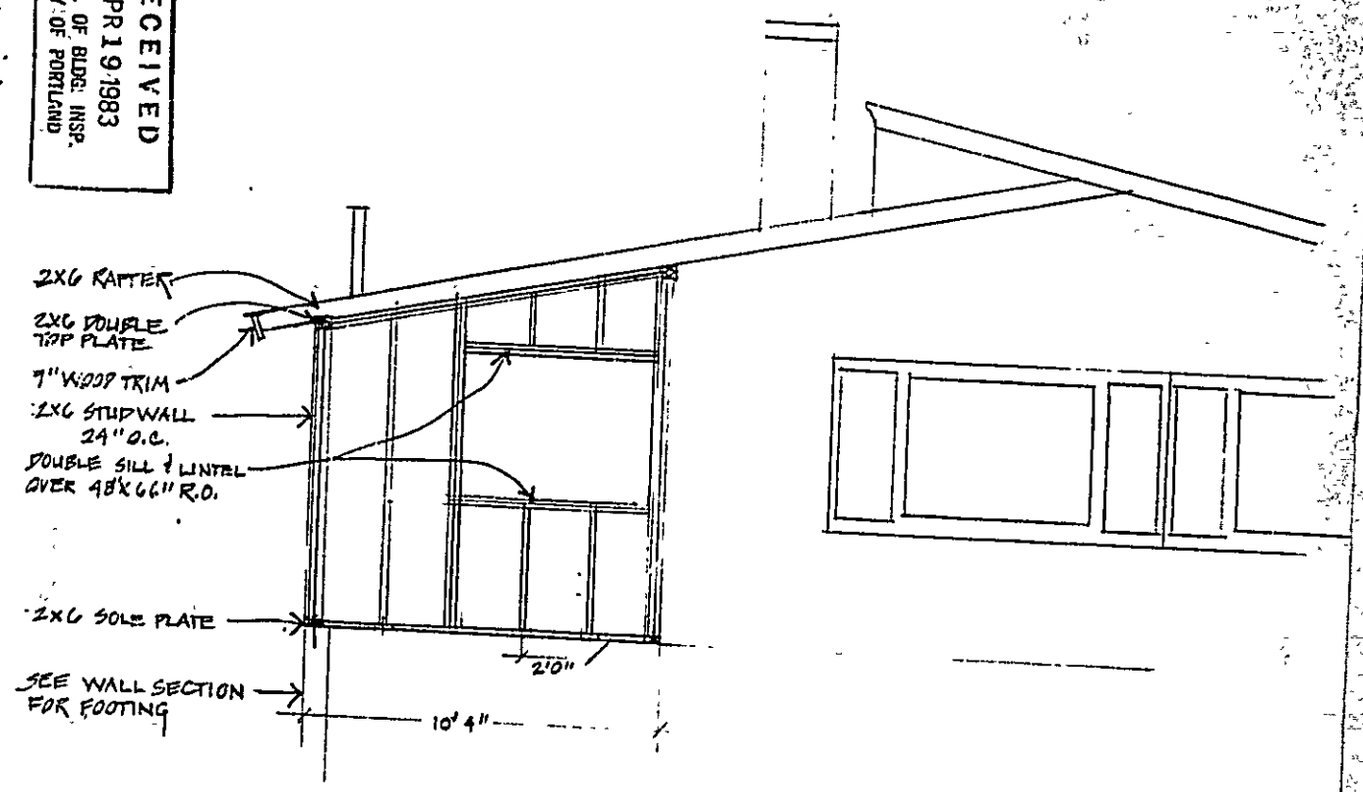
Alteration

NOTES

4/20/83 Work not Started yet

7/3/84 W/C

262 CAPISIC ST.



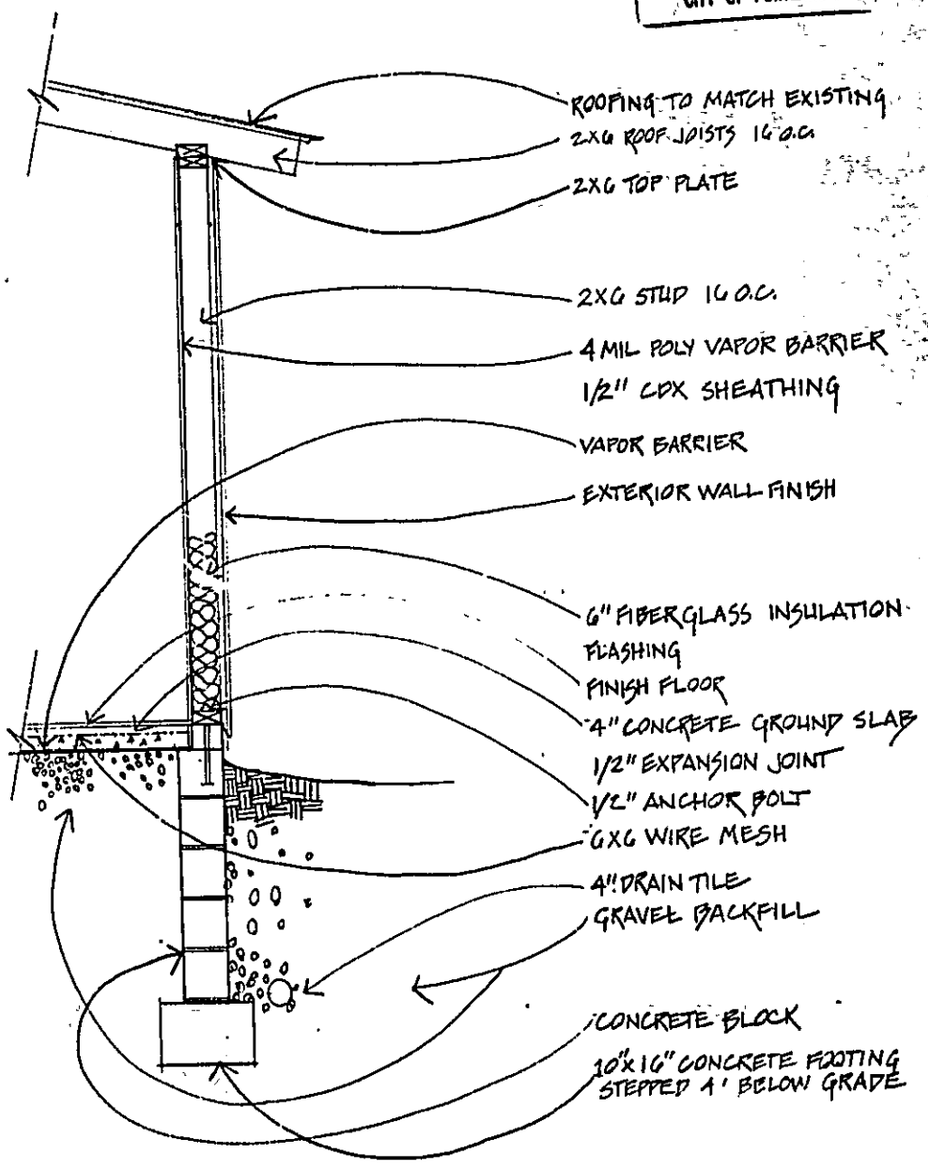
PROPOSED ADDITION

EXISTING BUILDING

WEST ELEVATION

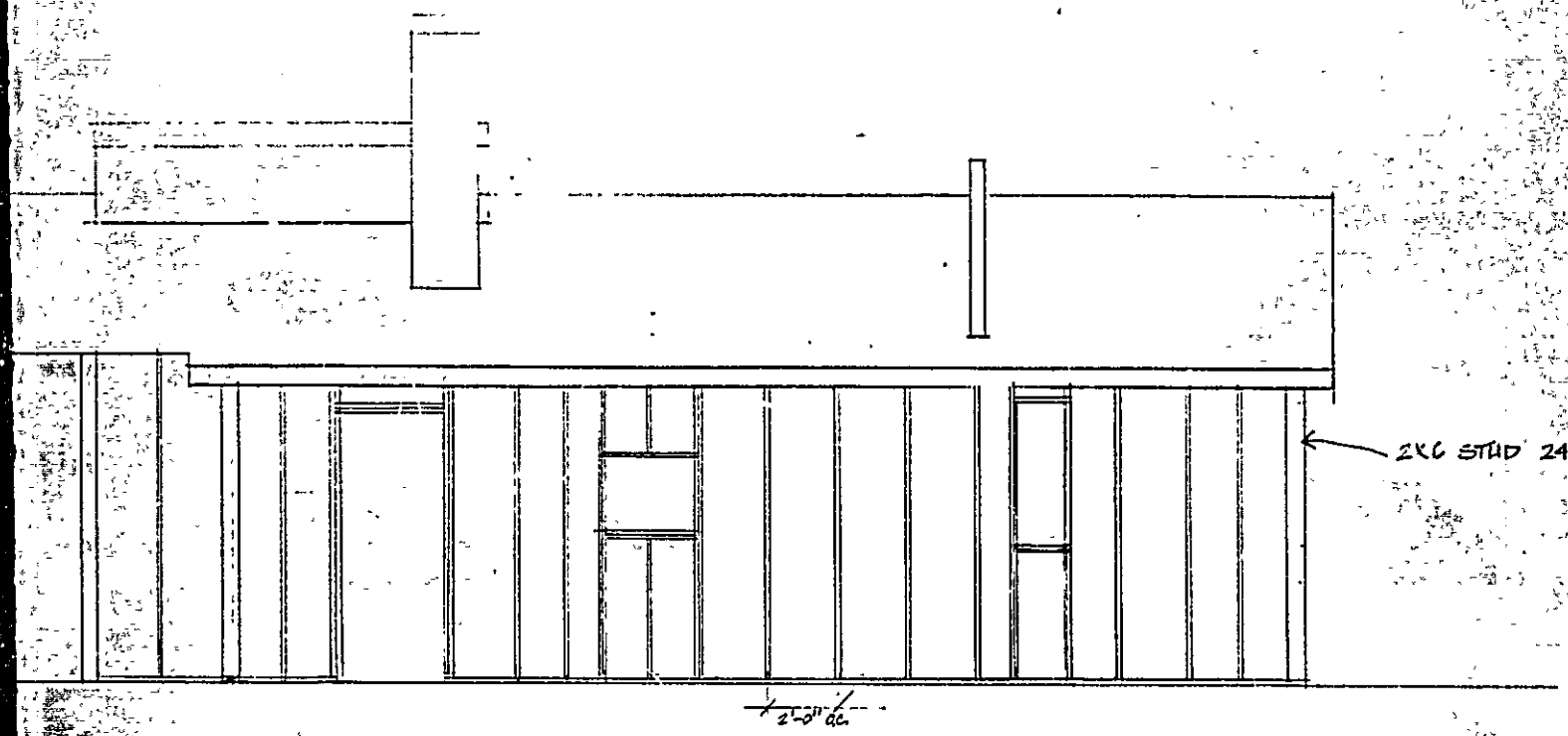
SCALE 1/4"=1'-0"

262 CAPISIC ST.



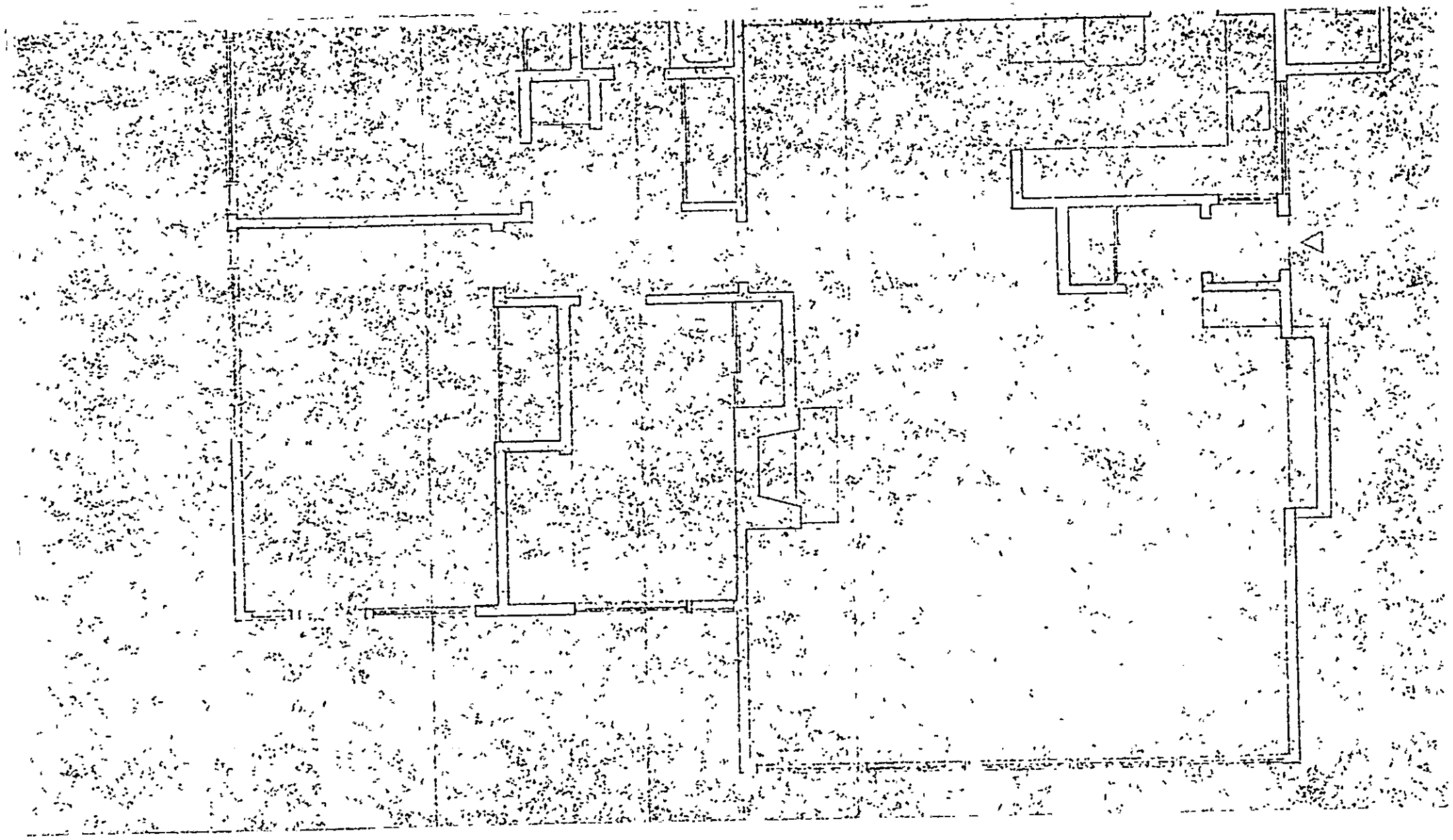
PERMIT IS NOT NEEDED
Letter

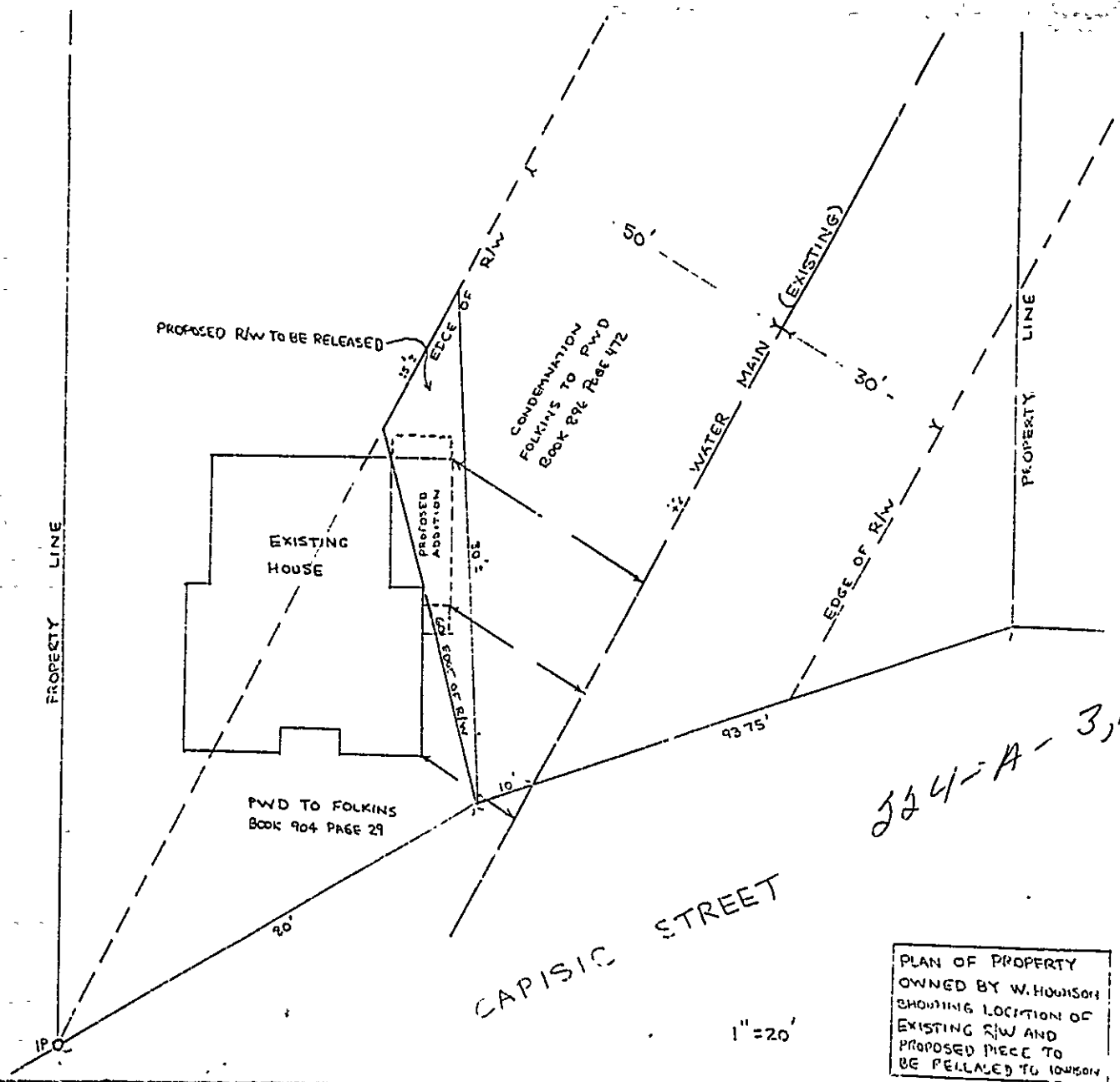
EXTERIOR WALL SECTION SCALE 1/2" = 1'-0"



NORTH ELEVATION

SCALE 1/4" = 1'-0"





224-A-3,14

(262)

PLAN OF PROPERTY OWNED BY W. HOWISON SHOWING LOCATION OF EXISTING S/W AND PROPOSED PIECE TO BE RELEASED TO HOWISON

APPLICATION FOR PERMIT

DEPARTMENT OF BUILDING INSPECTIONS SERVICES

ELECTRICAL INSTALLATIONS

Date Sept. 20, 1983
Receipt and Permit number B19080

To the CHIEF ELECTRICAL INSPECTOR, *Portland, Maine:*

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 262 Capisic St.
OWNER'S NAME: Bill Howison ADDRESS: same

COMPLETED CODE COMPLIANCE

FEES

OUTLETS:
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____ .....

FIXTURES: (number of)
Incandescent _____ Flourescent _____ (not strip) TOTAL _____ .....
Strip Flourescent _____ ft. .....

SERVICES:
Overhead x Underground _____ Temporary _____ TOTAL amperes 100 ..... 3.00

METERS: (number of) 1 ..... .50

MOTORS: (number of)
Fractional _____ .....
1 HP or over _____ .....

RESIDENTIAL HEATING:
Oil or Gas (number of units) _____ .....
Electric (number of rooms) _____ .....

COMMERCIAL OR INDUSTRIAL HEATING:
Oil or Gas (by a main boiler) _____ .....
Oil or Gas (by separate units) _____ .....
Electric Under 20 kws _____ Over 20 kws _____ .....

APPLIANCES: (number of)

Ranges		Water Heaters	
Cook Tops		Disposals	
Wall Ovens		Dishwashers	
Dryers		Compactors	
Fans		Others (denote)	

TOTAL _____ .....

MISCELLANEOUS: (number of)
Branch Panels 1 ..... 1.00
Transformers _____ .....
Air Conditioners Central Unit _____ .....
Separate Units (windows) _____ .....
Signs 20 sq. ft. and under _____ .....
Over 20 sq. ft. _____ .....
Swimming Pools Above Ground _____ .....
In Ground _____ .....
Fire/Burglar Alarms Residential _____ .....
Commercial _____ .....
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____ .....
over 30 amps _____ .....
Circus, Fairs, etc. _____ .....
Alterations to wires _____ .....
Repairs after fire _____ .....
Emergency Lights, battery _____ .....
Emergency Generators _____ .....

INSTALLATION FEE DUE:
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE:
FOR REMOVAL OF A "STOP ORDER" (304-16.b) .....
TOTAL AMOUNT DUE: 5.00 Min.

INSPECTION: ANYTIME - AFTERNOON
Will be ready on Sept. 21, 19 83 or Will Call _____
CONTRACTOR'S NAME: Bruce A. Farnham
ADDRESS: RFD #2 BOX 160, Cumb., ME 04021
TEL.: 829-5640
MASTER LICENSE NO.: 04652
LIMITED LICENSE NO.: _____
SIGNATURE OF CONTRACTOR: Bruce Farnham

INSPECTOR'S COPY — WHITE
OFFICE COPY — CANARY
CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS

Permit Number 19080

Location 262 Capitric St.

Owner W. Howison

Date of Permit 9-20-83

Final Inspection 9-21-83

By Inspector Libby

Permit Application Register Page No. 5

INSPECTIONS: Service ✓ by Libby

Service called in 9-21-83

Closing-in _____ by _____

PROGRESS INSPECTIONS:

CODE COMPLIANCE COMPLETED 9-21-83

DATE

REMARKS:

APPLICATION FOR PERMIT

PERMIT ISSUED
APR 20 1983
CITY of PORTLAND

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....00285.....

ZONING LOCATION ..... PORTLAND, MAINE . March 17, 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ...262 Capisic Street..... Fire District #1 ☐, #2 ☐

1. Owner's name and address ...WILLIAM H & Julie L Howison - same..... Telephone 772-1197
2. Lessee's name and address ..... Telephone .....
3. Contractor's name and address ...Owner..... Telephone .....

..... No. of sheets .....

Proposed use of building .....

Last use ...dwelling with addition..... No. families ...1.....

..... No. families .....

Material ..... No stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractural cost $...7,000.....

FIELD INSPECTOR—Mr. .....

@ 775-5451

Appeal Fees	$ .....
Base Fee	....45.00 ..
Late Fee	.....
TOTAL	$ ....45.00....

To construct 10' x 20' addition to side of dwelling to be used for utility room & study

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16 O.C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....

On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ....., to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: *DATE*

BUILDING INSPECTION—PLAN EXAMINER .....

ZONING: .....

BUILDING CODE: .....

Fire Dept.: .....

Health Dept.: .....

Others: .....

MISCELLANEOUS

Will work require disturbing of any tree on a public street? .....

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant ..... Phone # ....same.....

Type Name of above ..William H. & Julie L. Howison. 1☐ 2☐ 3☐ 4☐ XX

Other .....

and Address .....

2

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

CITY OF PORTLAND

JOSEPH E GRAY, JR
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

May 11, 1983

Mr. Antonio DiMillo
271 Cambridge Street
Portland, Maine 04103

RE: Section 502, BOCA Basic Building Code

Dear Mr. DiMillo;

Evaluation of six wooden structures on Long Wharf on this date revealed that these structures were constructed without benefit of the necessary permits.

It should also be noted these structures were constructed with exterior surfaces of a combustable nature. It is required that structures, in Fire District One, have exterior surfaces with a one hour fire rating.

Upon receipt of this notification either you or your representative must contact the Building Inspections Office to eliminate these violations.

Thanking you in advance for your expected cooperation.

Sincerely,

Michael Nugent,
Code Enforcment Officer

MN/LN

389 CONGRESS STREET • PORTLAND, MAINE 04101 • TELEPHONE (207) 775-5451

258-270 CAPISIC STREET

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

PROPERTY ADDRESS

Town Or Plantation	Portland
Street · Subdivision Lot #	262 Cornish Street

PROPERTY OWNERS NAME

Last: Howison First: William

Applicant Name	[illegible]
Mailing Address of Owner/Applicant (If Different)	53 [illegible]

0044 PORTLAND *** 05170 ***

Date Permit Issued: [illegible]

Local Plumbing Inspector Signature: [illegible]

$ FEE

☐ Double Charged

L.P.I. #

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: [illegible] Date: 6-3-83

Caution: Inspection Required

I have inspected the installation described above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: [illegible] Date Approved: JUL 11 1983

PERMIT INFORMATION

This Application Is for

1. ☑ NEW PLUMBING
2. ☐ RELOCATED PLUMBING

Type Of Structure To Be Served:

1. ☑ SINGLE FAMILY DWELLING
2. ☐ MODULAR OR MOBILE HOME
3. ☐ MULTIPLE FAMILY DWELLING
4. ☐ OTHER - SPECIFY: _____

Plumbing To Be Installed By:

1. ☑ MASTER PLUMBER
2. ☐ OIL BURNERMAN
3. ☐ MFG'D. HOUSING DEALER/MECHANIC
4. ☐ PUBLIC UTILITY EMPLOYEE
5. ☐ PROPERTY OWNER

LICENSE # 1694

Number	Hook-Ups And Piping Relocation	Column 2 Number	Column 2 Type of Fixture	Column 1 Number	Column 1 Type Of Fixture
	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District		Hosebibb / Silcock		Bathtub (and Shower)
			Floor Drain	1	Shower (Separate)
			Urinal	1	Sink
	HOOK-UP: to an existing subsurface wastewater disposal system.		Drinking Fountain		Wash Basin
			Indirect Waste		Water Closet (Toilet)
			Water Treatment Softener, Filter, etc.	1	Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures		Grease/Oil Separator		Dish Washer
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____	3	Water Heater
$	Hook-Up Fee		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
					Fixtures (Subtotal) Column 2
					Total Fixtures
				$ 9.	Fixture Fee
				$	Hook-Up Fee
				$ 9.	Permit Fee (Total)

JUN 30 1983

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

Page 1 of 1
HHE - 211 Rev. 4/83

TOWN COPY

CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

May 11, 1983

Mr. Antonio DiMillo
271 Capisic Street
Portland, Maine 04103

RE: Section 502, BOCA Basic Building Code

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Thanking you in advance for your expected cooperation.

Sincerely,

Michael Nugent,
Code Enforcment Officer

MN/LN

389 CONGRESS STREET • PORTLAND, MAINE 04101 • TELEPHONE (207) 775-5451

258-270 CAPISIC STREET

filmed

APPLICATION FOR PERMIT

DEPARTMENT OF BUILDING INSPECTIONS SERVICES

ELECTRICAL INSTALLATIONS

Date Sept. 7, 19 83
Receipt and Permit number B 08384

To the CHIEF ELECTRICAL INSPECTOR, *Portland, Maine:*

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 262 ~~Cahoon~~ Capisic Street

OWNER'S NAME: William & Julie L Howison ADDRESS: lives there

	FEES
OUTLETS:	
Receptacles ____ Switches ____ Plugmold ____ ft. TOTAL 1-30	3.00
FIXTURES: (number of)	
Incandescent x Flourescent ____ (not strip) TOTAL 6	3.00
Strip Flourescent ____ ft.	
SERVICES:	
Overhead ____ Underground ____ Temporary ____ TOTAL amperes ____	
METERS: (number of) ____	
MOTORS: (number of)	
Fractional ____	
1 HP or over ____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) ____	
Electric (number of rooms) 2	2.00
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) ____	
Oil or Gas (by separate units) ____	
Electric Under 20 kws ____ Over 20 kws ____	
APPLIANCES: (number of)	
Ranges ____ Water Heaters ____	
Cook Tops ____ Disposals ____	
Wall Ovens ____ Dishwashers ____	
Dryers ____ Compactors ____	
Fans ____ Others (denote) ____	
TOTAL ____	
MISCELLANEOUS: (number of)	
Branch Panels ____	
Transformers ____	
Air Conditioners Central Unit ____	
Separate Units (windows) ____	
Signs 20 sq. ft. and under ____	
Over 20 sq. ft. ____	
Swimming Pools Above Ground ____	
In Ground ____	
Fire/Burglar Alarms Residential ____	
Commercial ____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under x	1.00
over 30 amps ____	
Circus, Fairs, etc. ____	
Alterations to wires ____	
Repairs after fire ____	
Emergency Lights, battery ____	
Emergency Generators ____	
INSTALLATION FEE DUE:	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE:	
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	
TOTAL AMOUNT DUE:	9.00

INSPECTION:
Will be ready on ~~ready~~ today or tomorrow 19 ; or Will Call ____

CONTRACTOR'S NAME: ~~William L~~ Howison
ADDRESS: ~~same~~
TEL.:
MASTER LICENSE NO.: ~~Homeowner~~
LIMITED LICENSE NO.:

SIGNATURE OF CONTRACTOR: Wm. H. Howison

INSPECTOR'S COPY — WHITE
OFFICE COPY — CANARY
CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS

Permit Number P384

Location 262 Cypress St.

Owner W. Horrian

Date of Permit 9-7-83

Final Inspection 1-3-84

By Inspector Gibbs

Permit Application Register Page No. 3

INSPECTIONS: Service _____ by _____

Service called in _____

Closing-in _____ by _____

PROGRESS INSPECTIONS: 9-7-83 / _____

1-3-84 / _____

_____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

CODE COMPLIANCE COMPLETED

DATE 1-3-84

DATE: REMARKS:

filmed

APPLICATION FOR PERMIT

DEPARTMENT OF BUILDING INSPECTIONS SERVICES

ELECTRICAL INSTALLATIONS

Date Sept. 7, 19 83
Receipt and Permit number B 08384

To the CHIEF ELECTRICAL INSPECTOR, *Portland, Maine*

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 262 ~~Cedar~~ Capisic Street
OWNER'S NAME: William & Julie L Howison ADDRESS: live there

	FEES
OUTLETS: Receptacles ___ Switches ___ Plugmold ___ ft. TOTAL 1-30	3.00
FIXTURES: (number of) Incandescent x Flourescent ___ (not strip) TOTAL 6	3.00
Strip Flourescent ___ ft.	
SERVICES: Overhead ___ Underground ___ Temporary ___ TOTAL amperes ___	
METERS: (number of) ___	
MOTORS: (number of) Fractional ___	
HP or over ___	
RESIDENTIAL HEATING: Oil or Gas (number of units) ___	2.00
Electric (number of rooms) 2	
COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) ___	
Oil or Gas (by separate units) ___	
Electric Under 20 kws ___ Over 20 kws ___	
APPLIANCES: (number of) Ranges ___ Cook Tops ___ Wall Ovens ___ Dryers ___ Fans ___ TOTAL ___ Water Heaters ___ Disposals ___ Dishwashers ___ Compactors ___ Others (denote) ___	
MISCELLANEOUS: (number of) Branch Panels ___	
Transformers ___	
Air Conditioners Central Unit ___ Separate Units (windows)	
Signs 20 sq. ft. and under ___ Over 20 sq ft. ___	
Swimming Pools Above Ground ___ In Ground	
Fire/Burglar Alarms Residential ___ Commercial x	1.00
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under ___ over 30 amps ___	
Circus, Fairs, etc. ___	
Alterations to wires ___	
Repairs after fire ___	
Emergency Lights, battery ___	
Emergency Generators ___	
INSTALLATION FEE DUE:	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT . . . . DOUBLE FEE DUE:	
FOR REMOVAL OF A "STOP ORDER" (304-16.b) . .	9.00
TOTAL AMOUNT DUE:	

INSPECTION
Will be ready on today or tomorrow ready 19 ; or Will Call ___
CONTRACTOR'S NAME: William L Howison
ADDRESS: same
TEL.: ~~Homeowner~~
MASTER LICENSE NO ___ SIGNATURE OF CONTRACTOR: Wm. L. Howison
LIMITED LICENSE NO.: ___

INSPECTOR'S COPY — WHITE
OFFICE COPY — CANARY
CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS —

Permit Number P384

Location 262 Capitol St.

Owner W. Harrison

Date of Permit 9-7-83

Final Inspection 1-3-84

By inspector Gibby

Permit Application Register Page No. 3

INSPECTIONS: Service _____ by _____

Service called in _____

Closing-in _____ by _____

PROGRESS INSPECTIONS: 9-7-83 / /

1-3-84 / /

/ / /

/ / /

/ / /

/ / /

CODE COMPLIANCE COMPLETED

DATE 1-3-84

DATE:

REMARKS:

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

PROPERTY ADDRESS

Town Or Plantation	Portland, Maine 04102
Street Subdivision Lot #	262 Capisic Street

PROPERTY OWNERS NAME

Last: Howison First: William

Applicant Name	Scribner & Iverson, Inc.
Mailing Address of Owner Applicant (If Different)	P.O.Box 27 Portland, MAINE 04112

PORTLAND PERMIT # 1374 TOWN COPY

Date Permit Issued 1/29/85 $ FEE ☐ If Double Fee Charged

Local Plumbing Inspector Signature L.P.I. #

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit

Signature of Owner Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature JAN 30 1985 Approved

PERMIT INFORMATION

This Application is for

1. ☐ NEW PLUMBING
2. ☐ RELOCATED PLUMBING

Type Of Structure To Be Served:

1. ☒ SINGLE FAMILY DWELLING
2. ☐ MODULAR OR MOBILE HOME
3. ☐ MULTIPLE FAMILY DWELLING
4. ☐ OTHER - SPECIFY _____

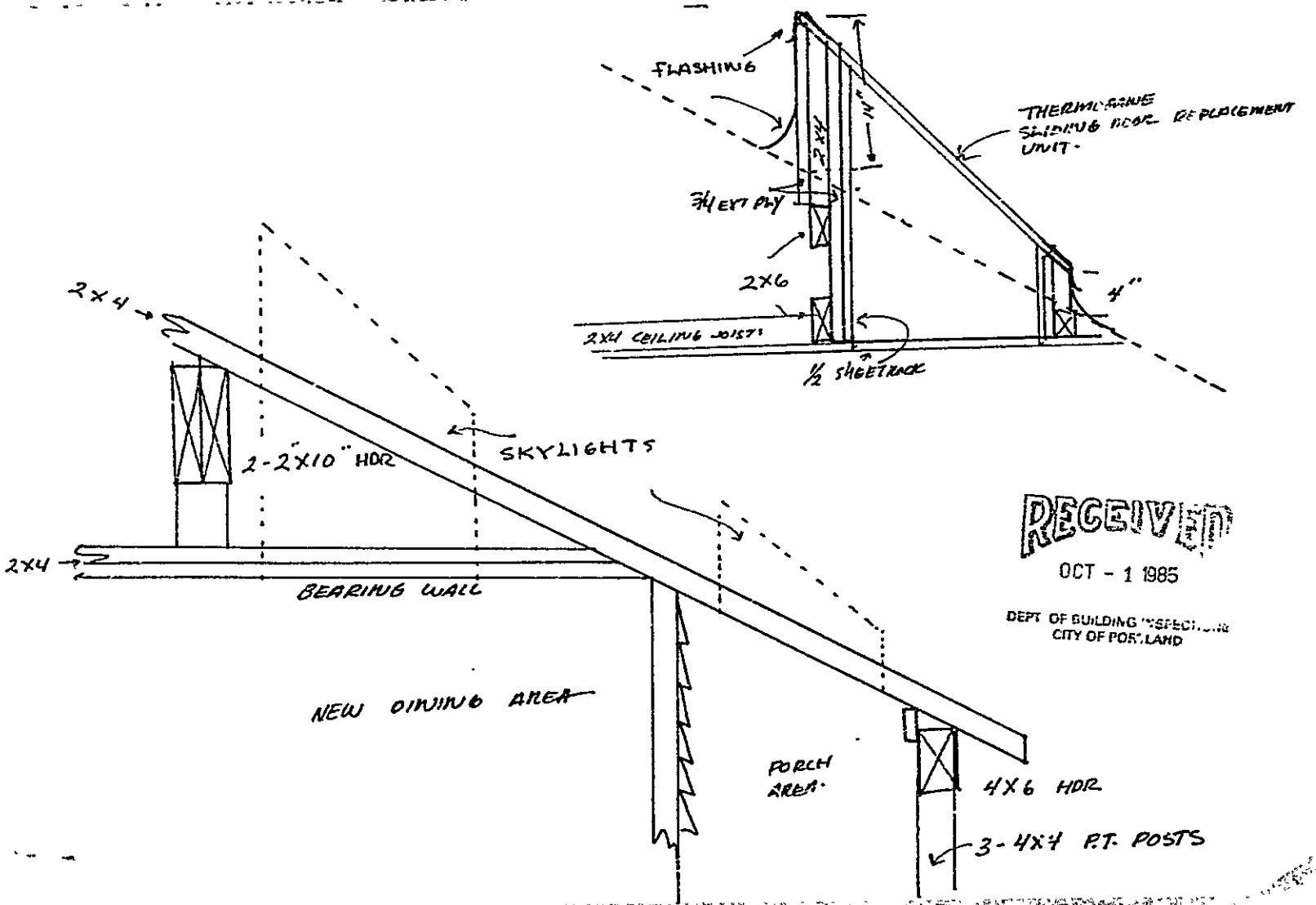
Plumbing To Be Installed By:

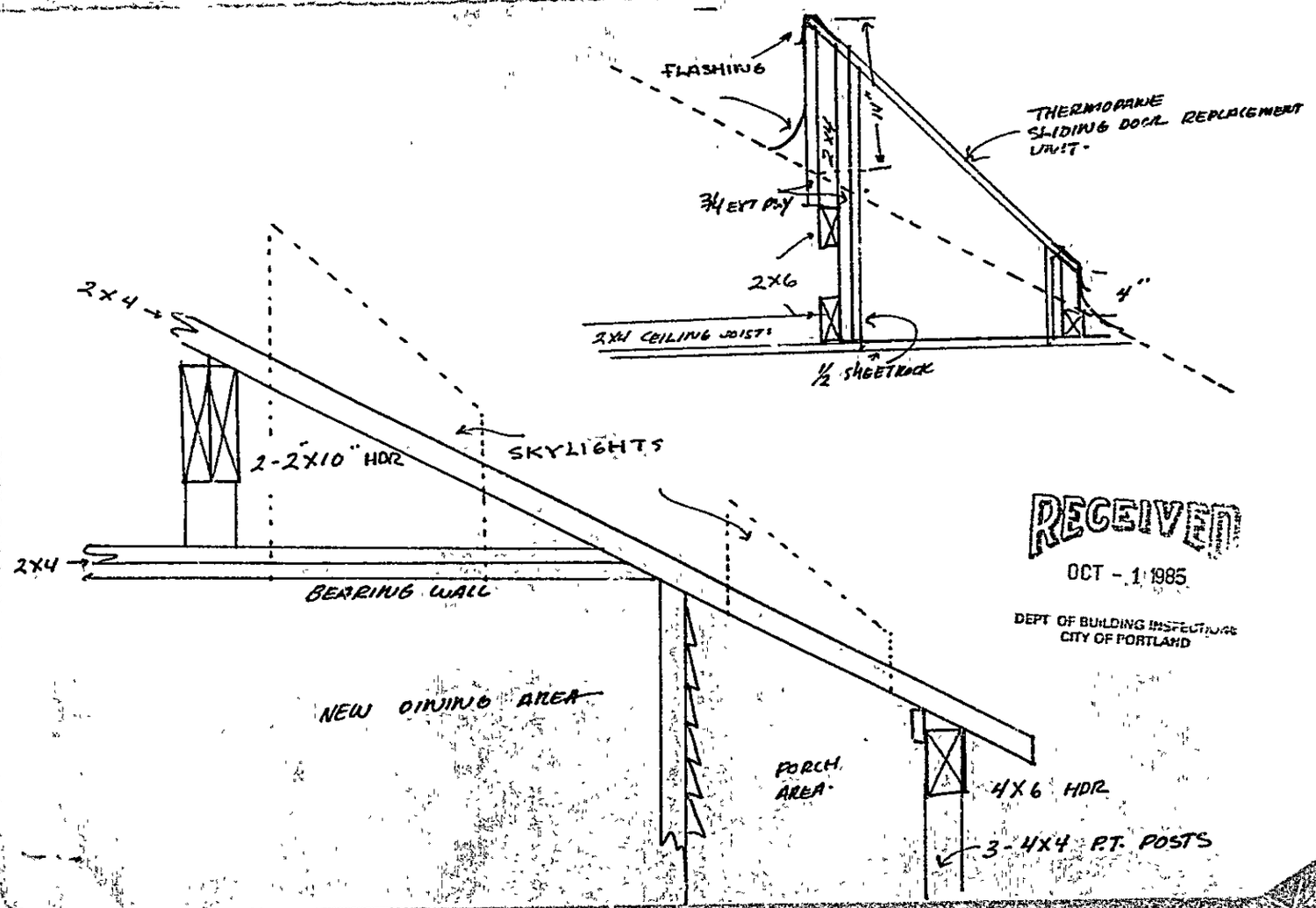
1. ☒ MASTER PLUMBER
2. ☐ OIL BURNERMAN
3. ☐ MFG'D HOUSING DEALER/MECHANIC
4. ☐ PUBLIC UTILITY EMPLOYEE
5. ☐ PROPERTY OWNER

LICENSE # 0 0 6 9 4

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type of Fixture	Number	Column 1 Type Of Fixture
	HOOK-UP to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District		Hose bib Sillcock		Bathtub (and Shower)
			Floor Drain		Shower (Separate)
			Urinal		Sink
	HOOK-UP to an existing subsurface wastewater disposal system		Drinking Fountain		Wash Basin
			Indirect Waste		Water Closet (Toilet)
			Water Treatment Softener Filter, etc		Clothes Washer
	PIPING RELOCATION of sanitary lines, drains, and piping without new fixtures		Grease Oil Separator		Dish Washer
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____	1	Water Heater replacement
$	Hook-Up Fee		Fixtures (Subtotal) Column 2	1	Fixtures (Subtotal) Column 1
					Fixtures (Subtotal) Column 2
				1	Total Fixtures
	SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE			$ 6.00	Fixture Fee
				$	Hook-Up Fee
				$6.00	

Page 1 of 1





PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

PROPERTY ADDRESS

Town Or Plantation	PORTLAND
Street Subdivision Lot #	242 CAPITOL ST

PROPERTY OWNERS NAME

Last WILSON First WILLIAM

Applicant Name:	SUPERVISOR
Mailing Address of Owner/Applicant (If Different)	PO BOX 27 PORTLAND

PORTLAND PERMIT # 1,711 TOWN COPY

Date Issued 5-28-86

Approved Without Inspection

Local Plumbing Inspector Fee Paid

FEC

LHI #

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner Applicant — Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

JUN 25 1986
Date Approved

PERMIT INFORMATION

This Application Is for

1. ☑ NEW PLUMBING
2. ☐ RELOCATED PLUMBING

MAY 29 1986

Type Of Structure To Be Served:

1. ☑ SINGLE FAMILY DWELLING
2. ☐ MODULAR OR MOBILE HOME
3. ☐ MULTIPLE FAMILY DWELLING
4. ☐ OTHER SPECIFY: _____

Plumbing To Be Installed By:

1. ☑ MASTER PLUMBER
2. ☐ OIL BURNERMAN
3. ☐ MFG'D HOUSING DEALER MECHANIC
4. ☐ PUBLIC UTILITY EMPLOYEE
5. ☐ PROPERTY OWNER

LICENSE # L 69 Y

Number	Hook Ups And Piping Relocation
	HOOK-UP to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.
	HOOK-UP to an existing subsurface wastewater disposal system
	PIPING RELOCATION of sanitary lines, drains, and piping without new fixtures
	Hook-Ups (Subtotal)
$	Hook-Up Fee

Number	Column 2 Type of Fixture
	Hosebibb / Sillcock
	Floor Drain
	Urinal
	Drinking Fountain
	Indirect Waste
	Water Treatment Softener, Filter, etc
	Grease/Oil Separator
	Dental Cuspidor
	Bidet
	Other: _____
	Fixtures (Subtotal) Column 2

Number	Column 1 Type Of Fixture
1	Bathtub (and Shower)
1	Shower (Separate)
	Sink
1	Wash Basin
1	Water Closet (Toilet)
	Clothes Washer
	Dish Washer
	Garbage Disposal
	Laundry Tub
	Water Heater
4	Fixtures (Subtotal) Column 1
	Fixtures (Subtotal) Column 2
4	Total Fixtures
$ 12	
$	
$ 12	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

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TOWN COPY

APPLICATION FOR PERMIT

PERMIT ISSUED
APR 24 1986
City Of Portland

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....448.....

ZONING LOCATION ..... PORTLAND, MAINE April 22, 198

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ....262 Capisic St. ..... 04102 ..... Fire District #1 □, #2 □

1. Owner's name and address William Howison - same ..... Telephone H 772-1197
2. Lessee's name and address ..... Telephone W 775-6371
3. Contractor's name and address ...Owner ..... Telephone .....

..... No. of sheets .....

Proposed use of building ....dwelling ..... No. families ....1.....

Last use . same ..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractural cost $..10,000....

FIELD INSPECTOR—Mr. .....

@ 775-5451

Appeal Fees	$ .....
Base Fee	....70.00.....
Late Fee	.....
TOTAL	$ .....

TO construct 1 story addition, 10' x 20' to rear of dwelling as per plans. 2 sheets of plans.

Stamp of Special Conditions

NOTE TO APPLICANT: *Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.*

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..yes..... Is any electrical work involved in this work? .....yes.

Is connection to be made to public sewer? existing... If not, what is proposed for sewage? .....

Has septic tank notice been sent? .... Form notice sent? .....

Height average grade to top of plate .9'..... Height average grade to highest point of roof ...13'.....

Size, front .....20... depth ...10... . No stories ....1... solid or filled land? . solid... earth or rock? earth....

Material of foundation ...concrete & cement block..... Thickness, top .8'..... bottom ....8".. cellar .....

Kind of roof ... pitch..... .... Rise per foot ..3/12..... Roof covering ..asphalt shingled..... ....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ...spruce... Dressed or full size? .... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters:	1st floor	2nd	3rd	roof .....
On centers.	1st floor	2nd	3rd	roof .....
Maximum span:	1st floor	2nd	3rd	roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ....., to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY:	*DATE*
BUILDING INSPECTION—PLAN EXAMINER	
ZONING:	
BUILDING CODE:	
Fire Dept.:	
Health Dept.:	
Others:	

MISCELLANEOUS

Will work require disturbing of any tree or a public street? ...no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ...yes...

Signature of Applicant .... Phone # ..... same

Type Name of above ...William Howison .... 1 ☒ 2 □ 3 □ 4 □

Other ....

and Address .....

2

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

PLUMBING PERMIT APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

Name: Sarah Bouchard
Owner:
Address: 12 Emerson Street

REAL PROPERTY OWNER'S NAME

Last: [illegible] First: William

Applicant Name: Gerrish & Iverson
Mailing Address: P.O. Box 3779
Portland, Maine 04104

PORTLAND PERMIT # 2,[illegible] TOWN COPY

Date: 7/18/88 $ 60 FEE

L.P.I. #

Owner/Applicant Statement

[illegible] 7-18-88
Signature of Owner/Applicant Date

Caution: Inspection Required

[illegible] complaints [illegible] Maine Plumbing Rules.

JUL 19 1988
Local Plumbing Inspector Signature Date Approved

PERMIT INFORMATION

This Application Is For

1. NEW PLUMBING
2. RELOCATED PLUMBING

Type Of Structure To Be Served

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4. PUBLIC UTILITY EMPLOYEE
5. PROPERTY OWNER

LICENSE #

Hook-Up & Piping Relocation Maximum of 1 Hook Up	Number	Column 2 Type of Fixture	Number	Column 1 Type Of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebibb / Sillcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
OR		Urinal		Sink
HOOK-UP: to an existing subsurface wastewater disposal system		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc		Clothes Washer
PIPING RELOCATION: [illegible] drains, and piping [illegible] new fixtures		Grease/Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
Number Hook-Ups & Relocations		Other	1	Water Heater
$ Hook-Up & Relocation Fee		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
			0	Fixtures (Subtotal) Column 2
			1	Total Fixtures
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE			$ 6	[illegible]
				[illegible]
			$ 6	[illegible]

Page 1 of
[illegible] 211 Rev 2/88

TOWN COPY