

125 CAPSIC STREET

271-273

SHAL...  
MTR

First cut #520A - Hat cut #520H - Third cut #9203H - Full cut #9205H

CITY OF PORTLAND, MAINE  
PERMIT REQUIRED BY  
FIRE PREVENTION CODE  
Chapter 321

JUL 1 1976

No.

THIS IS GRANTED TO: **Antonio DiMillo**

Name same

Doing Business as same

At 271 Capisic St.

Portland, Maine

For **Fireworks Display**

At Fee of \$ **5.00**

Subject to Limiting Conditions

Of the Fire Prevention Code of the City of Portland

**for 4th of July - rain date is July 5, 1976**

This permit is granted subject to strict observance of all laws, ordinances and regulations enacted for the protection of the City so far as they may apply, and is to continue in force until Dec. 31, 1976.

Issued by *[Signature]*  
Director of Building & Inspection  
Services

Approved by *Clement O. Dadd*  
Chief of Portland Fire Department

THIS PERMIT IS NOT TRANSFERABLE



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 00170

B.O.C.A. TYPE OF CONSTRUCTION

MAR 12 1974

ZONING LOCATION PORTLAND, MAINE, March 4, 1974

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 271 Capisic St.
1. Owner's name and address Antonio DiMillo, same
2. Lessee's name and address
3. Contractor's name and address Key Developers Inc., Sebago Lake, Maine
4. Architect
Proposed use of building dwelling
Last use
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contract cost \$24,000. Fee \$ 72.

FIELD INSPECTOR—Mr. Hoffees GENERAL DESCRIPTION
This application is for: @ 775-5451
Dwelling Ext. 234 to construct a two story addition to an existing dwelling per plan.
Garage
Masonry Bldg.
Metal Bldg. Stamp of Special Conditions
Alterations
Demolitions
Change of Use
Other addition

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

DETAILS OF NEW WORK

Is any plumbing involved in this work? Yes
Is any electrical work involved in this work? Yes
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. or centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING: P.K. M.G.P. 3/6/74
BUILDING CODE: P.K. E.S. 3/12/74 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes
Fire Dept.
Health Dept.
Others:

Signature of Applicant Kenneth Beach Phone # 839-5983
Type Name of above Kenneth Beach 1 2 3 4

FIELD INSPECTOR'S COPY

Other and Address

1000 gal tank  
05100

NOTES

Permit No. 74170  
Location 371 Caprice  
Owner A. DiMillo  
Date of permit 3/12/74  
Approved

3-19-74 700 lbs working left  
note, for shell dept before setting  
back. *OK*

3-25-74 Placing footing. *OK*

3-27-74 solid fillers about setting  
for tank; permit needed. *OK*

4-2-74 started framing. *OK*

4-9-74 framing second floor. *OK*

4-17-74 had good well. *OK*

4-24-74 Work going slow, everybody around  
notice steel grades do  
not have statements of design  
no calls for inspection. *OK*

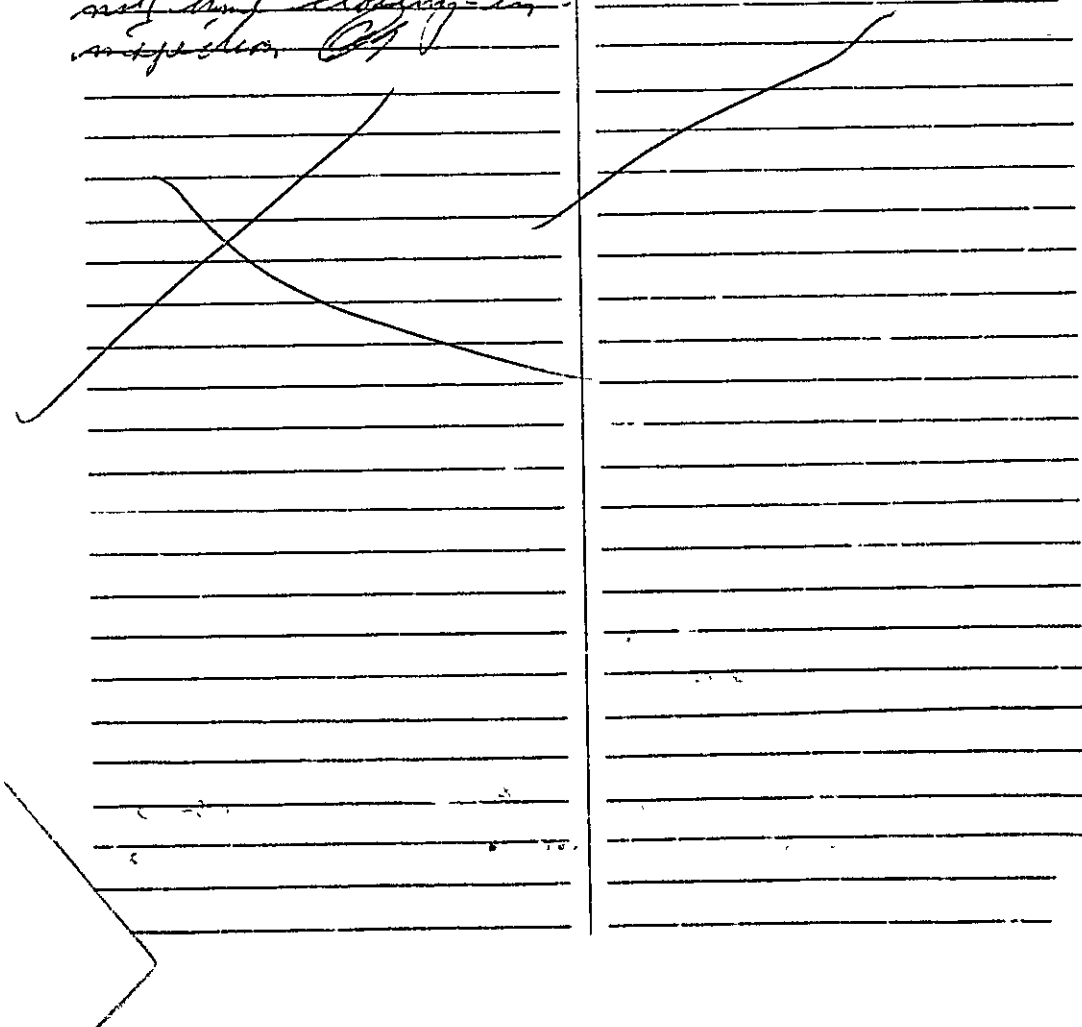
4-25-74 beyond going  
well. *OK* Contractor  
about mounting on steel  
beam. *OK*

6-20-74 about complete. *OK*

7-2-74 same. *OK*

7-22-74 Not complete  
well not used deep  
well because didn't  
get any casing in  
inspection. *OK*

Span



**CITY OF PORTLAND, MAINE**  
**Application for Permit to Install Wires**

Permit No. 1191  
 Issued 3-19-74  
March 19, 1974

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

*(This form must be completely filled out — Minimum Fee, \$1.00)*

Owner's Name and Address Antonio Di Abilio Tel. 7.7 40924  
 Contractor's Name and Address M & M Electric Tel. 767 2411  
 Location 271 CAPSCIC STREET Use of Building  
 Number of Families 1 Apartments Stores Number of Stories 2  
 Description of Wiring: New Work Additions  Alterations

Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)  
 No. Light Outlets 7 Plugs 21 Light Circuits 1 Plug Circuits 1  
 FIXTURES: No. Fluor. or Strip Lighting (No. feet)  
 SERVICE: Pipe Cable Underground No. of Wires Size  
 METERS: Relocated Added Total No. Meters  
 MOTORS: Number Phase H. P. Amps Volts Starter  
 HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.  
 Commercial (Oil) No. Motors Phase H.P.  
 Electric Heat (No. of Rooms)  
 APPLIANCES: No. Ranges Watts Brand Feeds (Size and No.)  
 Elec. Heaters Watts  
 Miscellaneous Watts  
 Transformers Air Conditioners (No. Units) Extra Cabinets or Panels  
 Will commence 5/19 Ready to cover in 19 Signs (No. Units)  
 Amount of Fee \$ 2.00 Inspection Will Call 1974

Signed Guy Maurano

DO NOT WRITE BELOW THIS LINE

SERVICE	METER		GROUND			
VISITS: 1	2	3	4	5	6	
7	8	9	10	11	12	

REMARKS:  
CLOSE IN  
5/14/74

INSPECTED BY J.A.

(OVER)

**CITY OF PORTLAND, MAINE**  
**Application for Permit to Install Wires**

Permit No. 1319  
 Issued 5-10-74  
May 10, 1974

Portland, Maine

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

Owner's Name and Address ANTHONY Di Millo Tel. 767-4111-7742904  
 Contractor's Name and Address MJM Electric 14 CHEVERUS ROAD Tel. 429-0472-7672411  
 Location 271 GORSEIC STREET Use of Building  
 Number of Families  Apartments Stores Number of Stories  
 Description of Wiring: New Work Additions Alterations

Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)  
 No. Light Outlets Plugs 30 Light Circuits Plug Circuits 3  
 FIXTURES: No. Fluor. or Strip Lighting (No. feet)  
 SERVICE: Pipe Cable Underground No. of Wires Size  
 METERS: Relocated Added Total No. Meters  
 MOTORS: Number Phase H. P. Amps Volts Starter  
 HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.  
 Commercial (Oil) No. Motors Phase H.P.  
 Electric Heat (No. of Rooms)  
 APPLIANCES: No. Ranges 1 ts Brand Feeds (Size and No.)  
 Elec. Heaters Watts  
 Miscellaneous Watts Extra Cabinets or Panels  
 Transformers Air Conditioners (No Units) Signs (No. Units)  
 Will commence 19 Ready to cover in 19 Inspection 19  
 Amount of Fee \$ 2.00

Signed Muy Mairano

DO NOT WRITE BELOW THIS LINE

SERVICE . . . . .	METER	GROUND
VISITS: 1 . . . . . 2 . . . . . 3 . . . . . 4 . . . . . 5 . . . . . 6 . . . . .		
7 . . . . . 8 . . . . . 9 . . . . . 10 . . . . . 11 . . . . . 12 . . . . .		

REMARKS:  
CLOSE IN  
5/14/74

INSPECTED BY [Signature] (OVER)





APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

00316 APR 19 1974

ZONING LOCATION PORTLAND, MAINE April 18, 1974

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plan and specifications, if any, submitted herewith and the following specifications:

LOCATION 271 Capric St. Fire District #1, #2
1. Owner's name and address Anthony DiMillo
2. Lessee's name and address
3. Contractor's name and address Breggy Oil Co. 84 Congress St. Telephone 772-4631
4. Architect
Proposed use of building dwelling
Last use
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ Fee \$5.00

FIELD INSPECTOR-Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451 Ext. 234 Install 1000 gal. oil tank underground as per plan. Tank to be covered with asphaltum and bear Underwriter's label.
Dwelling
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A CAPACITY

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION-PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept. A. M. Miller J.P.P.

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? J.C.S.

Breggy Oil Co

PORTLAND FIRE DEPT

Signature of Applicant

Phone # 772-4631

Type Name of above

1 2 3 4

FIELD INSPECTOR'S COPY

Other and Address

Sent to Fire Dept. 4/18/74
Rec'd from Fire Dept. 4/19/74



PERMIT RECORD

NOTES

4-24-9180 tank installed without  
permits requested by Aldy Insp. Dept. [Signature]

[Large handwritten X mark]

Approved

Date of permit 4/18/54

Owner Paulson Dr Miller

Location 271 Olympic St

Permit No. 74/316

Nelson

Two columns of horizontal lines for notes or additional information.

RECEIVED  
FIRE DEPT  
APR 20 1954

4-24-9180

4-24-9180

CITY OF PORTLAND, MAINE  
PERMIT REQUIRED BY  
FIRE PREVENTION CODE  
Chapter 321

No.

THIS IS GRANTED TO:

Name Antonio DiMilio  
Doing Business as \_\_\_\_\_  
at 271 Capisic St.  
Portland, Maine

For

Fireworks Display At Fee of \$ 5.00  
Subject to Limiting Conditions  
For July 4th- Rain date - July 8

This permit is granted subject to strict observance  
of all laws, ordinances and regulations enacted for  
the protection of the City so far as they may apply,  
and is to continue in force until Dec. 31, 1973.

Issued by [Signature]  
Director of Building & Inspection  
Services

Approved by [Signature] F.P.B.  
Chief of Portland Fire Department

THIS PERMIT IS NOT TRANSFERABLE

**CITY OF PORTLAND, MAINE**  
**Application for Permit to Install Wires**

Permit No. 54711  
 Issued  
 Portland, Maine Jan 9, 1966

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

*(This form must be completely filled out -- Minimum Fee, \$1.00)*

Owner's Name and Address Dr. Dismilly Tel.  
 Contractor's Name and Address Wahit Elect. 10 Woodbine Tel. 772-6880  
 Location 271 Congress St. Use of Building Dwelling  
 Number of Families 3 Apartments Stores Number of Stories 2  
 Description of Wiring: New Work Additions Alterations  
Aluminum Wiring  
 Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)  
 No. Light Outlets Plugs Light Circuits Plug Circuits  
 FIXTURES: No. Light Switches Fluor. or Strip Lighting (No. feet) #6  
 SERVICE: Pipe  Cable Underground No. of Wires 3 Size  
 METERS: Relocated Added Total No. Meters  
 MOTORS: Number Phase H. P. Amps Volts Starter  
 HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.  
 Commercial (Oil) No. Motors Phase H.P.  
 Electric Heat (% of Rooms)  
 APPLIANCES: No. Ranges Watts Brand Feeds (Size and No.)  
 Elec. Heaters Watts  
 Miscellaneous Watts Extra Cabinets or Panels #  
 Transformers Air Conditioners (No. Units) Signs (No. Units)  
 Will commence 19 Ready to cover in 19 Inspection 19  
 Amount of Fee \$ 1.00

Signed Matthew B. Hall

DO NOT WRITE BELOW THIS LINE

SERVICE	<input checked="" type="checkbox"/>	METER		GROUND	<input checked="" type="checkbox"/>
VISITS: 1	2	3	4	5	6
7	8	9	10	11	12

REMARKS:  
 INSPECTED BY FW Hubert  
 (OVER)

PERMIT TO INSTALL PLUMBING

11340

PERMIT NUMBER

Date Issued 4-18-62  
 Address 275 Captain Street  
 Installation J. Cliffo Weeks  
 Owner of bldg. L. Clifford Weeks

By J. Cliffo Weeks  
 Owner's Address Captain Street  
 Plumber Harriet Walz Date 4-18-62

APPROVED FINAL INSPECTION	NEW	REPL.	PROPOSED INSTALLATIONS	NUMBER	FEE
<input checked="" type="checkbox"/>			SINKS	1	\$ 2.00
<input checked="" type="checkbox"/>			LAVATORIES	1	2.00
<input checked="" type="checkbox"/>			TOILETS	1	2.00
<input checked="" type="checkbox"/>			BATH TUBS	1	2.00
<input checked="" type="checkbox"/>			SHOWERS	1	2.00
<input checked="" type="checkbox"/>			DRAINS		
			HOT WATER TANKS		
			TANKLESS WATER HEATERS		
			GARBAGE GRINDERS		
			SEPTIC TANKS		
			HOUSE SEWERS		
			ROOF LEADERS (Conn. to house drain)		

By JOSEPH P. WELCH  
 APPROVED FINAL INSPECTION  
 Date May 27, 63  
 By Klein

- TYPE OF BUILDING
- COMMERCIAL
  - RESIDENTIAL
  - SINGLE
  - MULTI FAMILY
  - NEW CONSTRUCTION
  - REMODELING

PORTLAND HEALTH DEPT. PLUMBING INSPECTION TOTAL ▶ \$10.00

PERMIT ISSUED  
MAR 30 1961  
CITY OF PORTLAND



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class  
Portland, Maine, March 27 1961

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 271 Capisic St. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address Antonio DiHillo, 271 Capisic St. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Alton Hurd, 334 Spring St, Westbrook Me. Telephone W-4-5381  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building 2-car garage No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Material frame No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot dwelling  
Estimated cost \$ 1000.00 Fee \$ 4.00

General Description of New Work

To construct 2-car frame garage 24' x 24'

*2-9' wide openings with 4x8 headers, roofing bearing on this wall.*

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO \_\_\_\_\_

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate 8' Height average grade to highest point of roof 12'  
Size, front 24' depth 24' No. stories 1 solid or filled land? solid earth or rock? earth  
Material of foundation concrete slab Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof pitch Rise per foot 5" Roof covering Asphalt Class C Und. Lab.  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind hemlock Dressed or full size? dressed  
Corner posts 4x4 Sills 4x6 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-24" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor concrete, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x6  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x16  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 13'  
If one story building with masonry walls thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot 0, to be accommodated 2 number commercial cars to be accommodated no  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED:  
*with letter by AJH*

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto observed? yes  
Antonio DiHillo  
Alton Hurd

SEALED AND PRINTED BY THE CITY OF PORTLAND

INSPECTION COPY

Signature of owner

*Alton Hurd*



AP- 257-285 Capisic Street

March 30, 1961

Mr. Alton Hurd  
334 Spring Street  
Westbrook, Maine

cc to: Mr. Antonio DiMillo  
271 Capisic Street

Dear Mr. Hurd:

Building permit for construction of a two-car wood frame garage 24 feet by 24 feet on the lot with the dwelling at the above named location is issued herewith subject to the following conditions:-

1. The 2x6 rafters are to be spaced no more than 16 inches on centers instead of the 24 inch spacing indicated.
2. Headers over the 9 foot wide door openings which will support roof load are to be no less than 4x10 or double 2x10 if hemlock or spruce lumber is used, or 4x8 if Douglas Fir or Hard Pine lumber is used.

Very truly yours,

Albert J. Sears  
Director of Building Inspection

AJS:m

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for 2-car frame garage  
at 271 Genesic St. Date March 27, 1961

1. In whose name is the title of the property now recorded? Antonio DiMillo
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? yes-stakes
3. Is the outline of the proposed work now staked out upon the ground? yes  
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? \_\_\_\_\_
4. What is to be maximum projection or overhang of eaves or drip? 6"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Antonio DiMillo





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Dec. 29, 1958

PERMIT ISSUED

DEC 29 1958

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 271 Canisic St. Use of Building Dwelling No. Stories 2 Name Building Existing Name and address of owner of appliance Bond Realty Co., 125 Revere St. Installer's name and address Bruns Oil & Service, 262 Valley St. Telephone 2-2960

General Description of Work

To install New steam boiler (replacement) reinstalling existing oil burner.

IF HEATER, OR POWER BOILER

Location of appliance Basement Any burnable material in floor surface or beneath? none If so, how protected? Kind of fuel? oil Minimum distance to burnable material, from top of appliance or casing top of furnace 2' From top of smoke pipe 2' From front of appliance over 4' From sides or back of appliance over 3' Size of chimney flue 12x14 Other connections to same flue none If gas fired, how vented? Rated maximum demand per hour Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Labelled by underwriters' laboratories? Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? Type of floor beneath burner Size of vent pipe Location of oil storage Number and capacity of tanks Low water shut off Make No. Will all tanks be more than five feet from any flame? How many tanks enclosed? Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smoke pipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: [Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes Bruns Oil & Service

CITY MAINE PRINTING CO.

INSPECTION COPY

Signature of Installer by: [Signature]

F.M.





R3 RESIDENCE ZONE  
CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION  
COMPLAINT

CS-66

Location  
271 Capistic St.

INSPECTION COPY

COMPLAINT NO. 57/10

Date Received 8/12/57

Location 271 Capistic St.

Use of Building

Owner's name and address Clyde W. Pierce, 271 Capistic St.

Telephone

Tenant's name and address

Telephone

Complainant's name and address George Sykes, 262 Capistic St.

Telephone 2-1197

Description of Parking cars on lot.

Cars were parked there last week - supposed to be for a few days. Still there.

NOTES

8/12/57 - Cars parked in rear of driveway. 11/12/57

FH

Mr. Holliman of 304 Capistic St. called up today about above complaint. He says lot being used for parking of cars (8 passenger cars with no plates). Dealers car works at Portland Motors. Cars have been there about a week. HR

8/12/57 - Mr. Pierce, sales manager of Portland Motor Sales called and said that this condition was a temporary one occasioned by receipt of a large number of company vehicles which in fact exceeded their usual storage area and that the cars were not to be held for a week or so on this driveway until they could be disposed of elsewhere. He said that they had all been removed and he had them to him that parking of motor vehicles on lot with this exception and that not more than three cars should be in a lot in violation of present Ordinance and all of them were to be removed at any one time.

9/3/57 - Mrs. Sykes said over phone that trouble is all cleared up.

BT 9/4/57

August 23, 1957

Caplt. 271 Capisic St.—Use of property contrary to  
the Zoning Ordinance

Mr. Clyde W. Pierce  
271 Capisic Street

Dear Mr. Pierce:—

It appears that a portion of the lot which you are reported to own or control at 271 Capisic St. has been or is being used for parking a considerable number of motor vehicles, some of them at least being unlicensed. Whether these cars have been on the lots in connection with some type of business use or whether they are incidentally parked there, the use is contrary to the Zoning Ordinance of Portland according to Section 4 of the Ordinance applying to the R-3 Residence Zone where the property is located.

While no one has authority to allow or permit the violation of the law for any time at all, in order that you may have a reasonable time to adjust the situation, we will take no further steps if the property is placed in compliance with the Zoning Ordinance before August 30th—otherwise it will be my duty to seek the assistance of the Corporation Counsel of the City to secure compliance with the law.

Very truly yours,

Warren McDonald  
Inspector of Buildings

W McD/G

AP 271 Capisic St.-I

January 11, 1946

Mr. Cleve M. Gurney  
86 Lamb Street  
Westbrook, Maine

Subject: Building permit for alterations of plat-  
form and piazza at 271 Capisic Street

Dear Sir:

Upon looking over the framing details of the proposed piazza, some discrepancies are noted:

You have not indicated the location or spacing of the cedar posts for foundations, but this spacing determines the span and therefore the strength of the 4x8 sills which you say that you are to use with the 2-inch dimension upright. The fact that the floor joists are to be on spans of 12 feet and that a 4x8 is to be run through the center, presumably under the floor joists and at right angles to them, indicates that you would have at least one cedar post under the end of this crosswise 4x8 and under the center of the outside 24-foot length of the piazza. If this were all, the outside 4x8 sill would be on spans of 12 feet. This might work out if you wanted it that way, but involved is the question of supports of the roof.

have indicated a shed roof running the 6-foot way of the piazza and that a 4x8 plate would be under the outside edges of the rafters on spans of eight feet. Thus it appears that with the corner posts under the ends of this 4x8 plate you would have two intermediate posts to make the span of the plate eight feet. So these intermediate posts, being eight feet from center to center, would land upon the 4x8 sill, four feet from the sill's bearing upon the center cedar post.

If the cedar posts outlined above were all you proposed, there are indications that the posts supporting the roof would overload the 4x8's on the 12-foot spans.

You will appreciate, of course, that we cannot spend a great deal of time on the framing of this piazza, but I trust from the information given above, you will be able to work out the framing so that there will be no question about any of the members being overloaded. Whenever you have said that 4x8's will be used, I presume you mean a solid 4x8 or doubled 2x8's. Solid timber is required for the sills, but the doubled 2x8's may be used for the cross girder if desired. It is to be borne in mind, however, that the floor joists and rafters must be supported upon sills, plate or girders. They may be either by bearing them upon the top of the supporting timber or by using 2x3 strips, no less than 2x3, spiked to the side of the supporting timber. Shall any of the joists be supported by merely spiking through the supporting timber into the end of the grain of the timber to be supported.

Very truly yours,

Inspector of Buildings

WMOB/S

A  
RH  
PH  
VAJS  
HL  
BS



(RC) GENERAL RESIDENCE ZONE - C  
APPLICATION FOR PERMIT

PERMIT 00034  
JAN 9 1946

Class of Building or Type of Structure Third Class

Portland, Maine, January 9, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter repair or demolish all the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 271 Conisic Street Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's name and address Dorothy Gurney, 45 Lamb Street, Westbrook Telephone no  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Cleve Gurney and John Doucet, Haskell St. Westbrook Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
 Proposed use of building Dwell'g No. families 1  
 Last use \_\_\_\_\_ No. families 1  
 Material frame No. stories 2 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot garage and poultry house Fee \$ 1.00  
 Estimated cost \$ 200.

General Description of New Work

To demolish existing platform 6'x24' on side of building and  
To construct 1 story piazza 6'x24' with roof over same

4 acres of land

11' x 8' on 6' of m = 415  
6' x 12' x 15' = 3240

3 x 8 x .50' = 1200

4 x 8 on 12' of m = 2076

7200 x 1.75 = 2136

4x8 plate - 8' span  
See letter which follows  
issuance of permit

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

NOTIFICATION BEFORE LATHING  
OR CLOSING-IN IS WAIVED

Details of New Work

Is any plumbing work involved in this work? no Is any electrical work involved in this work? no  
 Height average grade to top of plate 10' Height average grade to highest point of roof 12'6"  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ at least 4' below grade No. stories 1 solid or filled land? solid earth or rock? earth  
 Material of foundation cedar posts Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof shed pitch Rise per foot 5" Roof covering asphalt roofing Class C Ind. Lab  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind hemlock Dressed or full size? dressed  
 Corner posts 4-4 Sills 4x8 8" upright Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and at roof span over 8 feet.  
 Joists and rafters: 1st floor 2x8 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 2x4  
 On centers: 1st floor 16" 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 24"  
 Maximum span: 1st floor 12' 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 6'  
 It one story building with masonry walls, thickness of walls? 4x8 thru center height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature of owner Cleve M. Gurney

INSPECTION COPY

Permit No 46/34

Location 271 Caprice St

Owner Dorothy Gurney

Date of permit 1/9/46

Notif. closing-in

Inspn. closing-in

Final Notif

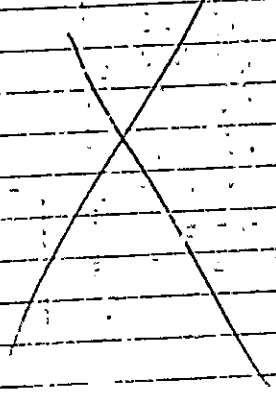
Final Inspn. 3/11/46

Cert. of Occupancy issued None

NOTES

See letter which followed issuance of permit.

3/11/46 - Training class -  
held - AGS



W-2-V

46

1207

46

7110/67

271-225  
135  
Capielo St

February 12, 1943

Harris Oil Co.,  
17 Main Street  
South Portland, Maine

Gentlemen:

Please post permanently in place near the oil burner  
you have installed for Tom L. Kotredes at 135 Capielo Street, an  
instruction card relating to the operation of the oil burner  
equipment and thus satisfy the Building Code regulations thereto.

Very truly yours,

Inspector of Buildings.

McD/W

CO: Tom L. Kotredes  
135 Capielo Street





FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 0067

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

JAN 19 1940

Portland, Maine, January 19, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 271-273 135 Capisic Street Use of Building dwelling No. Stories 2 Existing Building Existing

Name and address of owner of appliance Tom L. Kotrodas, 135 Capisic St. Telephone 2-8204

Installer's name and address Harris Oil Co., 17 Main St., So. Portland

General Description of Work

To install Oil Burning Equipment in connection with existing steam heat

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? yes If not, which story Kind of Fuel Oil

Material of supports of appliance (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, from top of smoke pipe from front of appliance from sides or back of appliance

Size of chimney flue Other connections to same flue

IF OIL BURNER

Name and type of burner Fluid Heat Labeled and approved by Underwriters' Laboratories? yes

Will operator be always in attendance? Type of oil feed (gravity or pressure) gravity

Location oil storage basement No. and capacity of tanks 1 275 gal.

Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed?

Amount of fee enclosed \$1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.) Harris Oil Co.

Signature of Installer By A. M. Hill

INSPECTION COPY

CERTIFICATE OF BUILDING INSPECTOR

1319C

Permit No. 40/67  
 135 Caprice St.  
 Owner Thomas K. Kates  
 Date of Permit 1/19/40  
 Post Card sent None  
 Approval Tag issued 1/10/40  
 Oil Burner Check List (date) 4/10/40

1. Kind of heat Steam  
 2. Label 134376  
 3. Anti-siphon   
 4. Oil storage   
 5. Tank distance   
 6. Vent Pipe   
 7. Fill Pipe   
 8. Gauge   
 9. Rigidity   
 10. Feed safety   
 11. Pipe sizes and material   
 12. Control valve   
 13. Ash pit vent   
 14. Temp. or pressure safety   
 15. Instruction card 1/10  
 16. Right of entry in accordance with  
 NOTED  
 Letter 2/10/40

General Description of Work

No.	Description of Work	Remarks
1	Kind of heat	Steam
2	Label	134376
3	Anti-siphon	<input checked="" type="checkbox"/>
4	Oil storage	<input checked="" type="checkbox"/>
5	Tank distance	<input checked="" type="checkbox"/>
6	Vent Pipe	<input checked="" type="checkbox"/>
7	Fill Pipe	<input checked="" type="checkbox"/>
8	Gauge	<input checked="" type="checkbox"/>
9	Rigidity	<input checked="" type="checkbox"/>
10	Feed safety	<input checked="" type="checkbox"/>
11	Pipe sizes and material	<input checked="" type="checkbox"/>
12	Control valve	<input checked="" type="checkbox"/>
13	Ash pit vent	<input checked="" type="checkbox"/>
14	Temp. or pressure safety	<input checked="" type="checkbox"/>
15	Instruction card	1/10
16	Right of entry in accordance with	



OFFICE HOURS  
10 TO 12 M.  
4 TO 5 P M

# City of Portland.

## OFFICE OF INSPECTOR OF BUILDINGS

..... Aug. 15 ..... 1912

271-273  
275

To the Inspector of Buildings of the City of Portland:

The undersigned respectfully makes application for a permit to erect enlarge a building on.....  
189. Cassia St. street, at number 1357 to be.....  
Two stories high..... Twenty eight feet long,..... Twenty four  
feet wide; also an addition to be..... stories high,..... 8 - 6 in  
feet long,..... feet wide, and to be used as a.....

CELLAR WALL—To be constructed of..... stone to be Twenty two  
batter to 1/6 .. inches on top.

UNDERPINNING—To be..... Height of underpinning from top of cellar wall to bottom of  
sill..... 7..... ft..... 6..... inches to be..... 7..... inches in thickness.

EXTERIOR WALLS—To be constructed of..... If of Brick, Stone, etc. Total length of wall  
..... ft..... inches. Thickness of 1st..... 2d..... 3d..... 4th.....  
5th..... 6th..... story walls. If of reinforced concrete state mix and reinforcing system  
to be used.

If wood construction, sills to be..... 6 by 8..... Girders..... 6 by 8.....  
Posts..... 4 by 6..... Girts..... 4 by 4..... Studs..... 2 by 4..... to be spaced..... 16.....  
This building will be used for the purposes of..... Lathing..... (If for apartments,  
tenements, or other family uses state number of families accommodated and number on each floor.  
If for manufacturing or mercantile purposes state character of business and amount of estimated  
weight to be carried by the floor.)  
Number of families on floor.....  
Total number of families.....  
Manufacturing (state character).....  
Estimated load on floors per sq. ft.....  
Mercantile business (state character and load per sq. ft.).....

If building is used for tenement house or family use and more than one family, the following provis-  
ions of the Building Laws regarding dividing partitions shall be adhered to (Quote Law re. this).

FIRESTOPS—All bearing and center partitions will have firestops cut in tight on top of each partition cap  
and between each set of floor timbers. Where ledger boards are used there shall be firestops cut in  
tight against bottom of ledger boards, of same size as wall studs. Also wherever the Inspector of  
Buildings may consider necessary.

STAIRWAYS—No. in building..... 1..... location..... open..... to be enclosed  
with..... open..... walls to be lathed with..... Wood..... lathing.

ROOF—To be constructed of..... Wood..... Rafters to be..... 2 by 6 inches to be spaced..... 24.....  
..... inches on centers. Roof to be covered with..... Cedar Shingles.....  
Gutters to be made of..... Wood..... Cornices to be made of..... Wood.....  
Bay windows to be made of..... to be covered with.....  
Dormer Windows to be made of..... to be covered.....  
Chimneys, Smoke flues to be lined with..... flue lining and provided with a 10 inch outside collar and an  
inside collar to go to the inside of the flue.

Estimated Cost of Building

INSPECTION—The Inspector of Buildings is to be notified when building is ready for lathing and at least  
24 hours before the lathing is begun.

The Builder is..... J. Edwards, St. Portland Me

The Architect is..... Alice J. Starbird..... Address.....

The Owner is..... Alice J. Starbird..... Address 185 Cassia St. Portland Me

No Deviation will be made from the above application without written permission from the Inspector of  
Buildings.

The above petition was granted the..... day of..... 1912

(Applicant to sign here .. Alice J. Starbird.



# City of Portland.

7-16-12.

191

271-273

To the Inspector of Buildings of the City of Portland:

The undersigned respectfully makes application for a permit to erect, enlarge  
 a building on Capissic St. street, at number 135  
 to be 1 & 1/2 stories high Twenty feet long,  
Twenty feet wide; also an addition to be          stories  
 high,          feet long,          feet wide, and to  
 be used as a Stable

The material to be used in the erection enlargement of said building is to be as follows:  
 Exterior walls to be made of Wood  
 Roof to be made of Shingles  
 Gutters to be made of None  
 Cornices to be made of Wood  
 Bay windows to be made of           
 Dormer windows to be made of           
 The builder is Geo. Milne Address           
 The architect is          Address           
 The owner is Alice I. Starbird Address 143 Capissic St.

(Applicant to sign here) Mrs. Alice I. Starbird

OFFICE OF  
 INSPECTOR OF BUILDINGS,  
 FOR THE  
 CITY OF PORTLAND.  
 OFFICE HOURS:  
 10-11 A. M. 4-5 P. M.

The above petition was granted the          day of          191



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED 658 JUN 10 1971

Portland, Maine, June 10, 1971

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 271 Capisic St. Use of Building Dwelling No Stories 2 New Building Existing
Name and address of owner of appliance Anthony DiVillo, 271 Capisic St.
Installer's name and address Breezy Oil Service, 84 Congress St. Telephone

General Description of Work

To install Oil-fired forced hot water heating system, in place of oil-fired steam heat.

IF HEATER, OR POWER BOILER

Location of appliance Basement Any burnable material in floor surface or beneath? none
If so, how protected? Kind of fuel? oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 3'
From top of smoke pipe 12' From front of appliance over 4' From sides or back of appliance over 3'
Size of chimney flue 12 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Wayne-gun type Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 1/2"
Location of oil storage basement Number and capacity of tanks 275 Existing
Low water shut off Make No.
Will all tanks be more than five feet from any flame? yes How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

[Empty lines for miscellaneous information]

Amount of fee enclosed 10.00 (Building at same time)

APPROVED: [Signature] 6/10/71

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Breezy Oil Service

Signature of Installer by: [Signature]

INSPECTION COPY

Permit No. 71/658

Location 371 Glenview St

Owner *Richard S. Miles*

Date of permit 4/22/71

Notif. closing-in

League class. *WARD*

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES WALTER H. WALLACE

*8/19/71 C.H.*

Lined area for notes, currently blank.

PERMIT TO INSTALL PLUMBING

PERMIT NUMBER 527

Date Issued 6-10-71  
 Portland Plumbing Inspector  
 By ERNOLD R GOODWIN

App. First Insp.  
 Date 6/10/71  
 By [Signature]

App. Final Insp.  
 Date 6/10/71  
 By [Signature]

- Type of Bldg.
- Commercial
  - Residential
  - Single
  - Multi Family
  - New Construction
  - Remodeling

Address <u>271 Caprice St.</u>		Date: <u>6-10-71</u>	
Installation For: <u>Single</u>		NO. <u>6-10-71</u> FEE	
Owner of Bldg: <u>A. DiVillo</u>			
Owner's Address: <u>Same</u>			
Plumber: <u>Gregory J. Congress</u>			
NEW	REPL.		
		SINKS	
		LAVATORIES	
		TOILETS	
		BATH TUBS	
		SHOWERS	
		DRAINS FLOOR SURFACE	
		HOT WATER TANKS	
<u>1</u>		TANKLESS WATER HEATERS	<u>2.00</u>
		GARBAGE DISPOSALS	
		SEPTIC TANKS	
		HOUSE SEWERS	
		ROOF LEADERS	
		AUTOMATIC WASHERS	
		DISHWASHERS	
		OTHER	
		TOTAL	<u>2.00</u>

Building and Inspection Services Dept.: Plumbing Inspection

**CITY OF PORTLAND, MAINE**  
**Application for Permit to Install Wires**

Permit No. **55013**  
 Issued **6/10/71**  
 Portland, Maine **June 10, 1971**

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

*(This form must be completely filled out - Minimum Fee \$1.00)*

Owner's Name and Address **Anthony Di Milla 271 Capisic St**

Contractor's Name and Address \_\_\_\_\_ Tel. \_\_\_\_\_

Location **271 Capisic St** Use of Building **res.**

Number of Families **1** Apartments \_\_\_\_\_ Stores \_\_\_\_\_ Number of Stories **✓**

Description of Wiring: New Work **✓** Additions \_\_\_\_\_ Alterations \_\_\_\_\_

**Alfred J. P. Barner & Controls,**

Pipe Cable **✓** Metal Molding \_\_\_\_\_ BX Cable \_\_\_\_\_ Plug Molding (No. of feet) \_\_\_\_\_

No. Light Outlets \_\_\_\_\_ Plugs \_\_\_\_\_ Light Circuits \_\_\_\_\_ Plug Circuits \_\_\_\_\_

FIATRES: No. \_\_\_\_\_ Fluor. or Strip Lighting (No. feet) \_\_\_\_\_

SERVICE: Pipe \_\_\_\_\_ Cable \_\_\_\_\_ Underground \_\_\_\_\_ No of Wires \_\_\_\_\_ Size \_\_\_\_\_

METERS: Relocated \_\_\_\_\_ Added \_\_\_\_\_ Total No. Meters \_\_\_\_\_

MOTORS: Number **1** Phase **1** H. P. **1/8** Amps **30** Volts **115** Starter \_\_\_\_\_

HEATING UNITS: Domestic (Oil) \_\_\_\_\_ No. Motors \_\_\_\_\_ Phase \_\_\_\_\_ H.P. \_\_\_\_\_

Commercial (Oil) \_\_\_\_\_ No. Motors \_\_\_\_\_ Phase \_\_\_\_\_ H.P. \_\_\_\_\_

Electric Heat (No. of Rooms) \_\_\_\_\_

APPLIANCES: No. Ranges \_\_\_\_\_ Watts \_\_\_\_\_ Brand Feeds (Size and No.) \_\_\_\_\_

Elec. Heaters \_\_\_\_\_ Watts \_\_\_\_\_

Miscellaneous \_\_\_\_\_ Watts \_\_\_\_\_ Extra Cabinets or Panels \_\_\_\_\_

Transformers \_\_\_\_\_ Air Conditioners (No. Units) \_\_\_\_\_ Signs (No. Units) \_\_\_\_\_

Will commence \_\_\_\_\_ 19 \_\_\_\_\_ Ready to cover in \_\_\_\_\_ 19 \_\_\_\_\_ Inspection \_\_\_\_\_ 19 \_\_\_\_\_

Amount of Fee \$ **7.00**

Signed **Breggy O. P. Conroy**  
*L. Jordan*

DO NOT WRITE BELOW THIS LINE

SERVICE	METER	GROUND
VISITS: 1	2	3
7	8	9
	10	11
		12

REMARKS:

INSPECTED BY **J. H. ...**  
 (OVER)



**CITY OF PORTLAND, MAINE**  
**Application for Permit to Install Wires**

Permit No. **57290**  
 Issued **10-24-68**  
 Portland, Maine **10-23** .. .. , 19**68**

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

*(This form must be completely filled out - Minimum Fee, \$1.00)*

Owner's Name and Address **Antonio DiMillo** Tel. **7793924**  
 Contractor's Name and Address **Newcomb Elec** Tel. **7738540**  
 Location **271 Capsic St.** Use of Building **dwelling**  
 Number of Families **1** Apartments **0** Stores **0** Number of Stories **1**  
 Description of Wiring: New Work  Additions  Alterations

Pipe	Cable	Metal Molding	BX Cable	Plug Molding (No. of feet)
No. Light Outlets	<b>10</b>	Plugs	Light Circuits	<b>1</b>
FIXTURES: No.			Fluor. or Strip Lighting (No. feet)	
SERVICE: Pipe	Cable <input checked="" type="checkbox"/>	Underground	No. of Wires	<b>3</b> Size <b>3/2, 4/1, 1/4"</b>
METERs: Relocated	<input checked="" type="checkbox"/>	Added	Total No. Meters	<b>1</b>
MOTORS: Number	Phase	H. P.	Amps	Volts
HEATING UNITS: Domestic (Oil)		No. Motors		Phase
Commercial (Oil)		No. Motors		H.P.
Electric Heat (No. of Rooms)				
APPLIANCES: No. Ranges	Watts	Brand Feeds (Size and No.)		
Elec. Heaters	<del>Watts</del> <b>1300</b>			
Miscellaneous	Watts	Extra Cabinets or Panels		
Transformers	Air Conditioners (No. Units)	Signs (No. Units)		
Will commence <b>10-23 1968</b>	Ready to cover in <b>Mill</b>	19. Inspection		
Amount of Fee \$ <b>3.75</b>	<b>call</b>			

Signed **Frank Newcomb**

*Outlet = 2.50  
 Fee for inspection = 2.50  
 Other = 1.50  
 Web meter = 2.25*

DO NOT WRITE BELOW THIS LINE

SERVICE	<input checked="" type="checkbox"/>	METER		GROUND	<input checked="" type="checkbox"/>
VISITS: 1	2	3	4	5	6
7	8	9	10	11	12

REMARKS:

INSPECTED BY **J.W. Hunter**  
 (OVER)



**PLUMBING APPLICATION**

Depart  
Division

**PROPERTY ADDRESS**

Town Or Plantation: Portland  
Street: 171  
Subdivision Lot #: 171

**PROPERTY OWNERS NAME**

Last: St. Amillo First: TONY

Applicant Name: Carl J. Henriksen

Mailing Address of Owner/Applicant (If Different): 171

PORTLAND PERMIT # 1,814  
7.3.186  
Local Plumbing Inspector Signature L.P.I. # 1

**Owner/Applicant Statement**

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: \_\_\_\_\_ Date: 7-1-86

**Caution: Inspection Required**

I have inspected the installation authorized above and found it to be compliance with the Maine Plumbing Rules.

JAN 7 - 1987

Local Plumbing Inspector Signature

**PERMIT INFORMATION**

**This Application is for**

- 1.  NEW PLUMBING
  - 2.  RELOCATED PLUMBING
- JUL 9 - 1986

**Type Of Structure To Be Served:**

- 1.  SINGLE FAMILY DWELLING
- 2.  MODULAR OR MOBILE HOME
- 3.  MULTIPLE FAMILY DWELLING
- 4.  OTHER - SPECIFY: \_\_\_\_\_

**Plumbing To Be Installed By:**

- 1.  MASTER PLUMBER
- 2.  OIL BURNERMAN
- 3.  MFG'D. HOUSING DEALER/MECHANIC
- 4.  PUBLIC UTILITY EMPLOYEE
- 5.  PROPERTY OWNER

LICENSE # 0,19,4,3

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type Of Fixture	Number	Column 1 Type Of Fixture
	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.	4	Hosebibb / Silcock	7	Bathtub (and Shower)
			Floor Drain	1	Shower (Separate)
			Urinal	3	Sink
	HOOK-UP: to an existing subsurface wastewater disposal system		Drinking Fountain	6	Wash Basin
			Indirect Waste	5	Water Closet (Toilet)
			Water Treatment Softener, Filter, etc.	1	Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures		Grease/Oil Separator	1	Dish Washer
			Dental Cuspidor	1	Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____		Water Heater
\$	Hook-Up Fee		Fixtures (Subtotal) Column 2	2,1	Fixtures (Subtotal) Column 1
				4	Fixtures (Subtotal) Column 2
				2,5	Total Fixtures
				\$	Fixture Fee
				\$	Hook-Up Fee
				\$	Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE



# APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP .....

APR 8 1986

B.O.C.A. TYPE OF CONSTRUCTION ..... 00371

ZONING LOCATION ..... PORTLAND, MAINE

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION .. 271 Capistic Street .. Fire District #1 , #2

1. Owner's name and address Antonio DiMillo - same 04102 .. Telephone 772-2216 ..

2. Lessee's name and address .. Telephone ..

3. Contractor's name and address Brown Homes - State Rd., Scar., Me. .. Telephone ..

Proposed use of building .. Single Family .. No. of sheets ..

Last use .. No. families ..

Material .. No. stories .. Heat .. Style of roof .. Roofing ..

Other buildings on same lot ..

Estimated contractual cost \$ 175,000.00

FIELD INSPECTOR—Mr. .. Appeal Fees \$ ..

@ 775-5451 .. Base Fee ..

To construct approx. 3300 sq. ft. single family house with .. Late Fee ..

attached 2-car garage, as per plans. .. TOTAL \$895.00 ..

Stamp of Special Conditions

ISSUE PERMIT TO #1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

### DETAILS OF NEW WORK

Is any plumbing involved in this work? .. yes .. Is any electrical work involved in this work? .. yes ..

Is connection to be made to public sewer? .. yes .. If not, what is proposed for sewage? ..

Has septic tank notice been sent? .. Form notice sent? ..

Height average grade to top of plate .. Height average grade to highest point of roof ..

Size, front .. depth .. No. stories .. solid or filled land? .. earth or rock? ..

Material of foundation .. Thickness, top .. bottom .. cellar ..

Kind of roof .. Rise per foot .. Roof covering ..

No. of chimneys .. Material of chimneys .. of lining .. Kind of heat .. fuel ..

Framing Lumber—Kind .. Dressed or full size? .. Corner posts .. Sills ..

Size Girder .. Columns under girders .. Size .. Max. on centers ..

Joists and rafters: 1st floor .. 2nd .. 3rd .. roof ..

On centers: 1st floor .. 2nd .. 3rd .. roof ..

Maximum span: 1st floor .. 2nd .. 3rd .. roof ..

If one story building with masonry walls, thickness of walls? .. height? ..

### IF A GARAGE

No. cars now accommodated on same lot .. to be accommodated .. number commercial cars to be accommodated ..

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ..

APPROVALS BY: .. DATE ..

### MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER .. Will work require disturbing of any tree on a public street? .. no ..

ZONING: .. Will there be in charge of the above work a person competent

BUILDING CODE: .. to see that the State and City requirements pertaining thereto

Fire Dept.: .. are observed? .. yes ..

Health Dept.: ..

Others: ..

Signature of Applicant .. Antonio DiMillo .. Phone # ..

Type Name of above .. Antonio DiMillo .. 1  2  3  4

Other .. and Address ..

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



# APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED

JAN 27 1986

Amendment No. # 1

Portland, Maine, ~~May 20, 1986~~

City Of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. ... pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 271 Capisic Street Within Fire Limits? ..... Dist. No. ....  
 Owner's name and address ~~xxxx~~ Antonio DiMillo - same Telephone .....  
 Lessee's name and address ..... Telephone .....  
 Contractor's name and address Earl Brown - Brown Homes, Rte # 1 Scarborough Telephone 883-6305  
 Architect ..... Plans filed ..... No. of sheets .....  
 Proposed use of building dwelling No. families 1  
 Last use same No. families .....  
 Increased cost of work none Additional fee none

### Description of Proposed Work

This is increase size of kit chen and living room area ~~from~~ 2 ft. in width

### Details of New Work

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....  
 Height average grade to top of plate ..... Height average grade to highest point of roof .....  
 Size front ..... depth ..... No. stories ..... solid or filled land? .. earth or rock? .....  
 Material of foundation ..... Thickness, top ..... bottom ..... cellar .....  
 Material of underpinning .. Height ..... Thickness .....  
 Kind of roof ..... Rise per foot ..... Roof covering .....  
 No. of chimneys ..... Material of chimneys ..... of lining .....  
 Framing lumber—Kind ..... Dressed or full size? .....  
 Corner posts ..... Sills ..... Girt or ledger board? ..... Size .....  
 Girders .. Size ..... Columns under girders .. Size ..... Max. on centers .....  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor....., 2nd ....., 3rd ....., roof .....  
 On centers: 1st floor....., 2nd ....., 3rd....., roof .....  
 Maximum span: 1st floor... .., 2nd ....., 3rd....., roof .....

Approved:

Signature of Owner Tony C. DiMillo

Approved: .....

Inspector of Buildings

INSPECTION COPY

FILE COPY

APPLICANT'S COPY

ASSESSOR'S COPY

OB

# APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP .....  
B.O.C.A. TYPE OF CONSTRUCTION ..... 1247

SEP 9 1936

ZONING LOCATION ..... PORTLAND, MAINE ..... Only in Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications.

LOCATION ..... 271. CAPITOL STREET ..... Fire District #1  #2

1. Owner's name and address ..... Telephone .. 774-0124

2. Lessee's name and address ..... Telephone .. 04102

3. Contractor's name and address .. Suburban Propane .. Thorpeons Point, Telephone .. 774-3387

Proposed use of building ... install propane tank underground ..... No. of sheets .....

Last use ... same ..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot ..... Appeal Fees \$ .....

Estimated contractual cost \$ ..... Base Fee .....

FIELD INSPECTOR—Mr. .... @ 775-5451 ..... Late Fee .....

TOTAL \$ 55.00 .....

To install one (1) 1,000 gal. water capacity propane under-ground storage tank, as per plan.

Stamp of Special Conditions

ISSUE PERMIT TO #3

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

### DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... knot covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4 16" O. C Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....

On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....

Maximum sp ..... 1st floor ..... 2nd ..... 3rd ..... roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

### IF A GARAGE

No. cars now accommodated on same lot ..... to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: ..... DATE .....

BUILDING INSPECTION—PLAN EXAMINER .....

ZONING: .....

BUILDING CODE: .....

Fire Dept.: .....

Health Dept.: .....

Others: .....

### MISCELLANEOUS

Will work require disturbing of any tree on a public street? .. NO.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .. YES

Signature of Applicant ..... Phone # .....

Type Name of above Dwight Smith for Suburban ..... 1  2  3  4

and Anthony DiMillo ..... Other .....

and Address .....

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



# APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. # 1  
Portland, Maine, Nov. 10, 1986

*NOT*

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 86-371 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specification, if any, submitted herewith, and the following specifications:

Location 271 Capisic St. Within Fire Limits? ..... Dist. No. ....  
 Owner's name and address Antonio DiMillo - Same Telephone 774-0924  
 Lessee's name and address BROWN Telephone .....  
 Contractor's name and address Brown Homes, Inc. - 26 Springwink Rd. Scarborough Telephone 883-6305  
 Architect POX 358 Plans filed ..... No. of sheets .....  
 Proposed use of building garage No. families .....  
 Last use same No. families .....  
 Increased cost of work 5,000 Additional fee 25.00

### Description of Proposed Work

To add 1 bay to approved garage.

### Details of New Work

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....  
 Height average grade to top of plate .. Height average grade to highest point of roof .....  
 Size, front ..... depth ..... No. stories .. solid or filled land? .. earth or rock? .....  
 Material of foundation .. Thickness, top .. bottom .. cellar .....  
 Material of underpinning .. Height .. Thickness ..  
 Kind of roof .. Rise per foot .. Roof covering .....  
 No. of chimneys .. Material of chimneys .. of lining ..  
 Framing lumber—Kind ..... Dressed or full size? .....  
 Corner posts ..... Sills ..... Girt or ledger board? ..... Size .....  
 Girders ..... Size ..... Columns under girders ..... Size ..... Max. on centers ..  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor .. 2nd .. 3rd .. roof .....  
 On centers: 1st floor .. 2nd .. 3rd .. roof .....  
 Maximum span: 1st floor .. 2nd .. 3rd .. roof ..

Approved:

Signature of Owner *Antonio DiMillo*

INSPECTION COPY

Approved: \_\_\_\_\_

Inspector of Buildings

FILE COPY

APPLICANT'S COPY

ASSESSOR'S COPY



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date July 14, 19 86  
 Receipt and Permit number D 24312

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:  
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of  
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 271 Capisic Street  
 OWNER'S NAME: Tony DiMillo ADDRESS: same

	FEES
OUTLETS: Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL <u>160</u> .....	<u>15.00</u>
FIXTURES: (number of) Incandescent _____ Fluorescent _____ (not strip) TOTAL .....	
Strip Fluorescent _____ ft. ....	
SERVICES: Overhead _____ Underground <u>1</u> Temporary _____ TOTAL amperes <u>400</u> ..	<u>6.00</u>
METERS: (number of) <u>1</u> .....	<u>.50</u>
MOTORS: (number of) Fractional <u>8</u> .....	<u>4.00</u>
1 HP or over .....	
RESIDENTIAL HEATING: Oil or Gas (number of units) _____ .....	
Electric (number of rooms) <u>1</u> .....	<u>1.00</u>
COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____ .....	
Oil or Gas (by separate units) _____ .....	
Electric Under 20 kws _____ Over 20 kws _____ .....	
APPLIANCES: (number of)	
Ranges _____ <u>1</u> _____ Water Heaters _____	
Cook Tops _____ Disposals _____ <u>1</u> _____	
Wall Ovens _____ <u>1</u> _____ Dishwashers _____ <u>1</u> _____	
Dryers _____ Compactors _____	
Fans _____ Others (denote) _____	
TOTAL .....	<u>6.00</u>
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground <u>1</u> .....	<u>10.00</u>
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... INSTALLATION FEE DUE:  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) ..... DOUBLE FEE DUE:  
 TOTAL AMOUNT DUE: 42.50

INSPECTION:  
 Will be ready on July 14, 19 86 or Will Call \_\_\_\_\_  
 CONTRACTOR'S NAME: Young's Electric  
 ADDRESS: 987 Riverside St.  
 TEL.: 797-0593  
 MASTER LICENSE NO.: 03288  
 LIMITED LICENSE NO.: \_\_\_\_\_

SIGNATURE OF CONTRACTOR:

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN







APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED

Amendment No. # 1

JUN 27 1986

Portland, Maine, ~~May 20, 1986~~

City of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. ... pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location ... 271 Capisic Street ... Within Fire Limits? ... Dist. No. ...
Owner's name and address ... Antonio DiMillo - same ... Telephone ...
Lessee's name and address ... Telephone ...
Contractor's name and address ... Earl Brown - Brown Homes, Rte # 1, Scarborough ... Telephone 883-6305
Architect ... Plans filed ... No. of sheets ...
Proposed use of building ... dwelling ... No. families 1
Last use ... same ... No. families ...
Increased cost of work ... none ... Additional fee ... none

Description of Proposed Work

This is increase size of kit chen and living room area ~~6~~ 2 ft. in width

#3 04074

Details of New Work

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Material of underpinning ... Height ... Thickness ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ...
Framing lumber—Kind ... Dressed or full size? ...
Corner posts ... Sills ... Girt or ledger board? ... Size ...
Girders ... Size ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...

Approved:

Signature of Owner [Signature]

Approved: [Signature] Inspector of Buildings

INSPECTION COPY

FILE COPY

APPLICANT'S COPY

ASSESSOR'S COPY

[Signature] Mr. Carroll

GAWRON ARCHITECTS  
 P O Box 1304  
 SCARBOROUGH, ME 04074

LETTER OF TRANSMITTAL

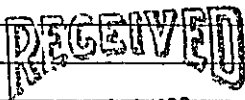
(207) 883-6307

TO BUILDING INSPECTION DEPT.  
PORTLAND, MAINE 04103

DATE	5-20-86	JOB NO	791285
ATTENTION	KEVIN CARROLL		
RE	ANTONIO DIMILLO RES.		
	CAPISIC STREET (271)		
	PORTLAND, MAINE		
	04103		
	BUILDING PERMIT # 00371		

WE ARE SENDING YOU  Attached  Under separate cover via \_\_\_\_\_ the following items:

- Shop drawings     Prints     Plans     Samples     Specifications  
 Copy of letter     Change order     \_\_\_\_\_

COPIES	DATE	NO	DESCRIPTION
			 MAY 20 1986 DEPT. OF BUILDING INSPECTIONS CITY OF PORTLAND

THESE ARE TRANSMITTED as checked below:

- For approval     Approved as submitted     Resubmit \_\_\_\_\_ copies for approval  
 For your use     Approved as noted     Submit \_\_\_\_\_ copies for distribution  
 As requested     Returned for corrections     Return \_\_\_\_\_ corrected prints  
 For review and comment     \_\_\_\_\_  
 FOR BIDS DUE \_\_\_\_\_ 19 \_\_\_\_\_     PRINTS RETURNED AFTER LOAN TO US

REMARKS WE WERE REQUESTED TO CANTILEVER THE FIRST FLOOR  
OUT 24" (2'-0") TO ENLARGE THE KITCHEN / LIVING ROOM. SO  
IN TURN CALCULATING THE LIVE, DEAD LOADS WE DESIGNED  
THE FLOOR STRUCTURES TO SAFE SPECIFICATIONS FROM IN-  
FORMATION GIVEN FROM AISC STEEL MANUAL (8TH EDITION)  
AND THE WOOD STRUCTURAL DESIGN DATA MANUAL.

(NO ADDITIONAL COST) INTERIOR COSMETICS REDUCED TO  
KEEP OVERALL COST OF PROJECT THE SAME.

COPY TO \_\_\_\_\_

SIGNED: Jerry C. Brown

PROJECT NO. 2288 INC. DATE: 05/21/86

If enclosures are not as noted, kindly notify us at once.

SUBURBAN PROPANE  
THOMPSONS POINT  
PORTLAND, MAINE 04102  
TEL. 774-0387

RECEIVED

SEP 10 1986

DEPT. OF BUILDING INSPECTIONS  
CITY OF PORTLAND

Water

# 271

1000 W/C  
UG-TANK

CAPISIC ST

Application To install (1) 1000 gal water capacity  
propane underground storage TANK at:

Antonio DiWillo  
271 Capisic St  
Portland Me 04102

774-0924

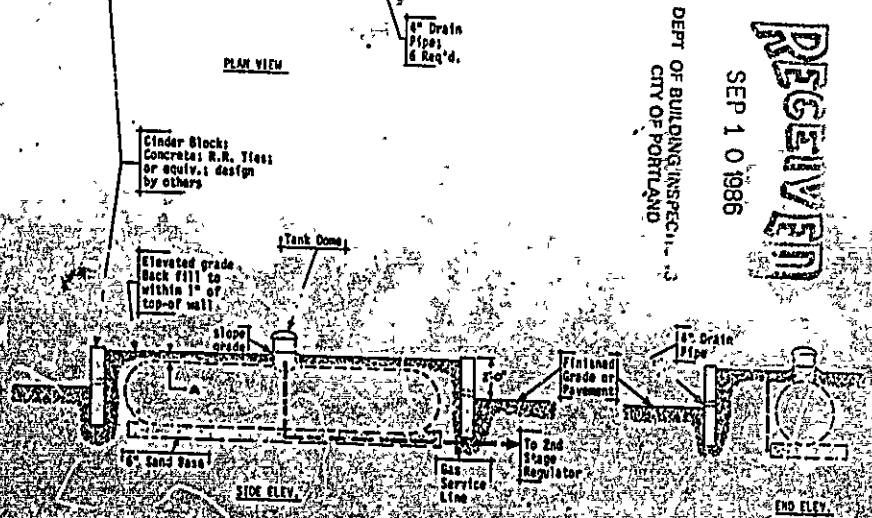
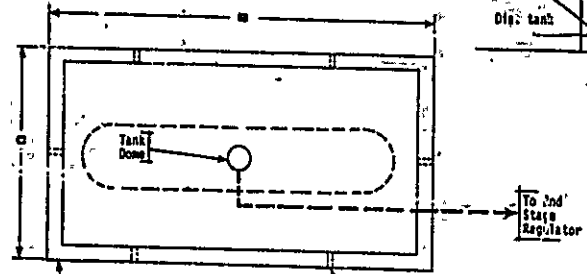
SECTION **SS** DATE **12-81**  
 PAGE **02.11** SUPERSEDES

**S.P.G.C. - EASTERN DIVISION**  
**PROPANE SYSTEMS ENGINEERING**  
 WHIPPANY, N.J.

PROPERTY OF  
 PROPANE CO.  
 SHALL NOT  
 BE DUPLICATED  
 OR REPRODUCED  
 WITHOUT PERMISSION

*271 Cond*

Riser Type	TANK SIZE	
	500 Gals	1000 Gals
Min. 'A'	6"	24"
Min. 'B'	14"	14"
Min. 'C'	7"	7"
Length Tank	10"	16'-2"
Dig. tank	37"	41"



DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND  
 SEP 1 0 1986  
**RECEIVED**

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP ..... B.O.C.A. TYPE OF CONSTRUCTION ..... 01247 ZONING LOCATION R-3 ... PORTLAND, MAINE .. Sept. 10, 1986 City of Portland

SEP 10 1986

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ..... 271 Capisic Street ..... Fire District #1 , #2  1 Owner's name and address Antonio DiMillo - same Telephone 774-0924 2 Lessee's name and address Telephone 04102 3 Contractor's name and address Suburban Propane - Thompsons Point, Portland, ME Telephone 774-0387

Proposed use of building .. install propane tank (underground) No. of sheets ..... Last use ... same No. families ... 1 Material .. No. stories ..... Heat ..... Style of roof ..... Roofing ..... Other buildings on same lot ..... Estimated contractual cost \$ .....

FIELD INSPECTOR-Mr. @ 775-5451 Appeal Fees \$ Base Fee Late Fee TOTAL \$ .35.00

Stamp of Special Conditions

ISSUE PERMIT TO #3

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work? Is connection to be made to public sewer? If not, what is proposed for sewage? Has septic tank notice been sent? Form notice sent? Height average grade to top of plate Height average grade to highest point of roof Size, front depth No. stories solid or tiled land? earth or rock? Material of foundation Thickness, top bottom cellar Kind of roof Rise per foot Roof covering No. of chimneys Material of chimneys of lining Kind of heat fuel Framing Lumber-Kind Dressed or full size? Corner posts Sills Size Girder Columns under girders Size Max. on centers Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Joists and rafters: 1st floor 2nd 3rd roof On centers. 1st floor 2nd 3rd roof Maximum span: 1st floor 2nd 3rd roof If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodate 1 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS BUILDING INSPECTION - PLAN EXAMINER Will work require disturbing of any tree on a public street? NO ZONING: R-3, Sept 10, 1986 BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes. Fire Dept.: James Health Dept.: Others:

Signature of Applicant Dwight Smith Phone # Type Name of above Dwight Smith for Suburban and Anthony DiMillo Other and Address



**APPLICATION FOR PERMIT**

B.O.C.A. USE GROUP ..... 00871  
 B.O.C.A. TYPE OF CONSTRUCTION .....  
 ZONING LOCATION ... R-3 ..... PORTLAND, MAINE April 3, 1986.

**PERMIT ISSUED**  
 APR 8 1986  
 City of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE  
 The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION .. 271 Capisic Street ..... Fire District #1 , #2   
 1. Owner's name and address Antonio DiMillo, same, 04102 ..... Telephone 772-2216 ....  
 2. Lessee's name and address ..... Telephone .....  
 3. Contractor's name and address Brown Homes, State Rd., Scar., Me. .... Telephone .....  
 Proposed use of building .. Single Family ..... No of sheets .....  
 Last use ..... No families .....  
 Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....  
 Other buildings on same lot .....  
 Estimated contractual cost \$ 175,000.00.

FIELD INSPECTOR—Mr. ....  
 @ 775-5451  
 To construct approx. 3300 sq. ft. single family house with attached 2-car garage, as per plans.  
 Appeal Fees \$ .....  
 Base Fee .....  
 Late Fee .....  
 TOTAL \$895.00

Stamp of Special Conditions

**PERMIT ISSUED WITH LETTER**

ISSUE PERMIT TO #1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

**DETAILS OF NEW WORK**

Is any plumbing involved in this work? ... yes ..... Is any electrical work involved in this work? ... yes .....  
 Is connection to be made to public sewer? ... yes ..... If not, what is proposed for sewage? .....  
 Has septic tank notice been sent? ..... Form notice sent? .....  
 Height average grade to top of plate ..... Height average grade to highest point of roof .....  
 Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....  
 Material of foundation ..... Thickness, top ..... bottom ..... cellar .....  
 Kind of roof ..... Rise per foot ..... Roof covering .....  
 No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....  
 Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....  
 Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joist and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....  
 On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....  
 Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....  
 If one story building with masonry walls, thickness of walls? ..... height? .....

**IF A GARAGE**

Ne cars now accommodated on same lot ..... , to be accommodated ..... number commercial cars to be accommodated .....  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

**APPROVALS BY:** DATE  
 BUILDING INSPECTION—PLAN EXAMINER .....  
 ZONING: G.R. M.D.F. 4/3/86 .....  
 BUILDING CODE: .....  
 Fire Dept.: .....  
 Health Dept.: .....  
 Others: .....

**MISCELLANEOUS**

Will work require disturbing of any tree on a public street? no ..  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .. yes ..

Signature of Applicant *Antonio DiMillo* ..... Phone # .....  
 Type Name of above Antonio DiMillo ..... 1  2  3  4

**PERMIT ISSUED WITH LETTER**

Other .....  
 and Address .....

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

*12 M.A. Carroll*