

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Arthur Drapley & Susan Shorey

Sept. 18, 1964

Applicant _____

Date _____

Mailing Address _____

65 Cobb Avenue
 Address of Proposed Site

Proposed Use of Site _____

Site Identifier(s) from Assessors Maps _____

Area of Site / Ground Floor Coverage _____

Zoning of Proposed Site _____

Site Location Review (DEP) Required () Yes () No

Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No

Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received)

	TRANSITION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SEWER/TRENCH	TRENCH LOCATIONS	LANDING	CONTACT WITH CITY	CONFLICT WITH	ADDITIONAL	REMARKS
APPROVED	✓	✓	NA	NA	✓	NA	✓	NA	✓	✓	✓	NA
APPROVED CONDITIONAL												REASONS SPECIFIED BELOW
DISAPPROVED												REASONS SPECIFIED BELOW

REASONS: Foundation and/or roof drains shall not be tied into the city sanitary sewer.

NA: Not Applicable

(Attach Separate Sheet if Necessary)

Robert W. [Signature] 9/24/64

SIGNATURE OF REVIEWING STAFF / DATE

PUBLIC WORKS DEPARTMENT COM

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Arthur Dingley & Susan Huxley

Sept. 18, 1984

Applicant _____ Date _____
 Mailing Address 52 Park Avenue Address of Proposed Site 65 Cobb Avenue
 Proposed Use of Site _____ Site Identifier(s) from Assessors Maps _____
 Acreage of Site / Ground Coverage 2.5 ft. Zoning of Proposed Site _____
 Site Location Review (C' () Yes () No Proposed Number of Floors 3
 Board of Appeals Action () Yes () No Total Floor Area _____
 Planning Board Action () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received) _____

- Major Development — Requires Planning Board Approval: Review Initiated
- Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	✓	✓	✓	✓	✓	✓	NA	✓	✓	NA	NA	✓
APPROVED CONDITIONALLY												
DISAPPROVED												

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

Barbara Barrett 9/25/84
 SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

CITY OF PORTLAND, MAINE

395

SITE PLAN REVIEW

Processing Form

Arthur Dingley & Susan Shorey

Sept. 18, 1984

Applicant: 82 Park Avenue Mailing Address
65 Cobb Avenue Address of Proposed Site
single family dwelling Proposed Use of Site
20,039 sq ft. Acreage of Site / Ground Floor Coverage
R-2 Site Identifier(s) from Assessors Maps
2 Zoning of Proposed Site
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors
 Board of Appeals Action Required: () Yes () No Total Floor Area
 Planning Board Action Required: () Yes () No
 Other Comments:
 Date Dept. Review Due:

BUILDING DEPARTMENT SITE PLAN REVIEW

(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 - Requires Board of Appeals Action
 - Requires Planning Board/City Council Action

Explanation

- Use complies with Zoning Ordinance — Staff Review Below

Zoning SPACE & BULK, as applicable

COMPLIES

COMPLIES CONDITIONALLY

DOES NOT COMPLY

DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS:

[Signature]
 SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT - ORIGINAL

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form

395

Arthur Dingley & Susan Stora

Sept. 18, 1984

Applicant _____

Date _____

Mailing Address _____

05 Cobb Avenue
 Address of Proposed Site

Proposed Use of Site _____

Site Identifier(s) from Assessors Maps _____

2,034 sq ft.
 Acreage of Site / Ground Floor Coverage

Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No

Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

FIRE DEPARTMENT REVIEW

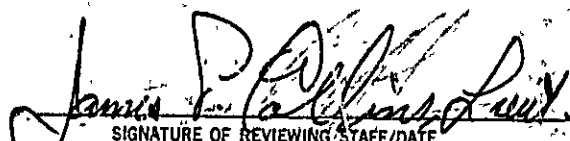
(Date Received) _____

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMISE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED									
APPROVED CONDITIONALLY									CONDITIONS SPECIFIED BELOW
DISAPPROVED									REASONS SPECIFIED BELOW

REASONS:

I have no authority in single family zoning.

(Attach Separate Sheet if Necessary)


 SIGNATURE OF REVIEWING STAFF/DATE
 FIRE DEPARTMENT COPY
 9-19-84

12

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 01191

ZONING LOCATION PORTLAND, MAINE Sept. 17, 1984

SEP 26 1984

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 65 Cobb Avenue Fire District #1 , #2

1. Owner's name and address Arthur Dingley & Susan Shoroy - 82 Park Ave., Telephone 775-4086

2. Lessee's name and address

3. Contractor's name and address Raymond Shoroy Br. Black Point Rd. Scarborough Telephone 883-3885

Proposed use of building Dwelling No. of sheets No families 1

Last use No families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 48,000 Appeal Fees \$

FIELD INSPECTOR—Mr Base Fee 250.00

@ 775-5451 Late Fee

Minor Site Plan Review 50.00 pd 9-26-84 TOTAL \$ 250.00

To construct 26' x 36' single family dwelling, no garage as per plans. 6 sheets of plans.

Stamp of Special Conditions

send permit to # 1 04101

NOTE TO APPLICANT: Separate permits are required by the installer and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? existing If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to high point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Steel Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 8 feet.
Joists and rafters. 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span. 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant Susan Shoroy Phone # same
Type Name of above 1 2 3 4

Other and Address:

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Arthur Dingley & Susan Storey

395
Sept. 18, 1984

Applicant _____

Date _____

12 Park Avenue _____

55 COLLEGE AVENUE _____

Mailing Address _____

Address of Proposed Site _____

Proposed Use of Site _____

Site Identifier(s) from Assessors Maps _____

Acres of Site / Ground Floor Coverage _____

Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No

Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER
APPROVED	✓	✓	NA	NA	✓	NA	✓	NA	✓	✓	✓	NA	NA		
APPROVED CONDITIONALLY												✓			
DISAPPROVED															

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: Foundation and/or roof drains shall not be tied into the city sanitary sewer.

NA: Not Applicable

(Attach Separate Sheet if Necessary)

Robert J. Ray 9/29/84

SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COM

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Arthur Langley & Susan Langley

Sept. 18, 1984

Applicant _____ Date _____
 62 Park Avenue _____ 65 Cross Avenue _____
 Mailing Address _____ Address of Proposed Site _____
 Proposed Use of Site _____ Site Identifier(s) from Assessors Maps _____
 21,634 sq. ft. _____
 Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors 2
 Board of Appeals Action Required: () Yes () No Total Floor Area _____
 Planning Board Action Required: () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received) _____

- Major Development — Requires Planning Board Approval: Review Initiated
 Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	✓	✓	✓	✓	✓	✓	NA	✓	✓	NA	NA	✓
APPROVED CONDITIONALLY												
DISAPPROVED												

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

Barbara Bonhart 9/25/84
 SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

395

Arthur Dingley & Susan Shorey

Sept. 18, 1984

Applicant 82 Park Avenue Date 65 Cobb Avenue
 Mailing Address single family dwelling Address of Proposed Site
 Proposed Use of Site 20,039 sq ft. Site Identifier(s) from Assessors Maps
 Acreage of Site / Ground Floor Coverage 2 Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors 2
 Board of Appeals Action Required: () Yes () No Total Floor Area
 Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
- Requires Board of Appeals Action
- Requires Planning Board/City Council Action

Explanation _____

- Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK, as applicable

COMPLIES

COMPLIES CONDITIONALLY

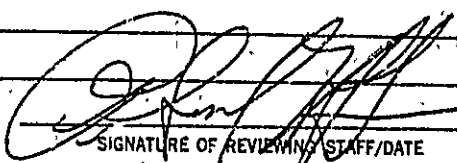
DOES NOT COMPLY

DATE	ZONE OCCUPY	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 31)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	MF TH	REA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: _____


 SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT - ORIGINAL

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

395

Applicant Dr. J. H. Haskley & Susan Haskley

Date Sept 10, 1984

Mailing Address 62 Park Avenue

Address of Proposed Site 65 Crab Avenue

Proposed Use of Site office to 11w drilling

Site Identifier(s) from Assessors Maps

Acreage of Site / Ground Floor Coverage 20,09 sq. ft.

Zoning of Proposed Site R-2

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors 2

Board of Appeals Action Required: () Yes () No

Total Floor Area

Planning Board Action Required: () Yes () No

Other Comments:

Date Dept. Review Due:

FIRE DEPARTMENT REVIEW

(Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMISE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED									CONDITIONS SPECIFIED BELOW
APPROVED CONDITIONALLY									
DISAPPROVED									

REASONS:

I have no authority in single family zoning.

(Attach Separate Sheet if Necessary)

James P. Collins
SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

9-19-84

10

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 01191

SEP 28 1984

ZONING LOCATION PORTLAND, MAINE Sept. 27, 1984

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 65 Cobb Avenue Fire District #1 #2

1. Owner's name and address Arthur Dingloy & Susan Shorey - 82 Park Ave Telephone 775-4086

2. Lessee's name and address

3. Contractor's name and address Raymond Shorey, Jr., Black Point Rd., Scarborough Telephone 843-3885

Proposed use of building dwelling No. of sheets

Last use

Material

Other buildings on same lot

Estimated contractual cost \$ 48,000

FIELD INSPECTOR—Mr.

@ 775-5451

Minor Site Plan Review 50.00 pd 9-26-84

To construct 26' x 36' single family dwelling, no garage as per plans, 6 sheets of plans.

Appeal Fees	\$
Base Fee	250.00
Late Fee	
TOTAL	\$ 250.00

Stamp of Special Conditions

send permit to # 1 04101

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ^{yes} Is any electrical work involved in this work? ^{yes}

Is connection to be made to public sewer? ^{existing} If not, what is proposed for sewage?

Has septic tank notice been sent?

Height average grade to top of plate

Size, front

No. stories

solid or filled land?

earth or rock?

Thickness, top

bolton

cellar

Kind of roof

Rise per foot

Roof covering

Material of chimneys

of lining

Kind of heat

fuel

Dressed or full size?

Corner posts

Sills

Columns under girders

Size

Max. on centers

2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor

2nd

3rd

roof

On centers: 1st floor

2nd

3rd

roof

Maximum span: 1st floor

2nd

3rd

roof

If one story building with masonry walls, thickness of walls?

height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

BUILDING INSPECTION EXAMINER

ZONING

BUILDING CODE

Fire Dept.

Health Dept.

Others

MISCELLANEOUS

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Susan Shorey Phone # same

Type Name of above

Other

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Oct. 11, 1984
 Receipt and Permit number C 05429

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:
 LOCATION OF WORK: 65 Cobb Avenue
 OWNER'S NAME: Arthur Dingley ADDRESS: lives there

OUTLETS:	Receptacles _____	Switches _____	Plugmold _____	ft. TOTAL <u>31-60</u>	FEE
FIXTURES: (number of)	Incandescent <u>8</u>	Flourescent _____	(not strip) TOTAL <u>8</u>		<u>3.00</u>
	Strip Flourescent _____	ft. _____			
SERVICES:	Overhead <u>X</u>	Underground _____	Temporary _____	TOTAL amperes <u>200</u>	<u>3.00</u>
METERS: (number of)	<u>1</u>				<u>.50</u>
MOTORS: (number of)	Fractional _____	1 HP or over _____			
RESIDENTIAL HEATING:	Oil or Gas (number of units) _____	Electric (number of rooms) <u>6</u>			<u>6.00</u>
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler) _____	Oil or Gas (by separate units) _____	Electric Under 20 kws _____	Over 20 kws _____	
APPLIANCES: (number of)	Ranges _____	Cook Tops _____	Wall Ovens _____	Dryers <u>1</u>	Fans _____
	Water Heaters _____	Disposals _____	Dishwashers _____	Compactors _____	Others (denote) <u>hood</u>
					<u>7.50</u>
MISCELLANEOUS: (number of)	Branch Panels _____	Transformers _____	Air Conditioners Central Unit _____	Separate Units (windows) _____	
	Signs 20 sq. ft. and under _____	Over 20 sq. ft. _____	Swimming Pools Above Ground _____	In Ground _____	
	Fire/Burglar Alarms Residential _____	Commercial _____	Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	over 30 amps _____	
	Circus, Fairs, etc. _____	Alterations to wires _____	Repairs after fire _____	Emergency Lights, battery _____	Emergency Generators _____
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	INSTALLATION FEE DUE:				
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	DOUBLE FEE DUE:				
	TOTAL AMOUNT DUE:				<u>25.00</u>

INSPECTION: service is ready
 Will be ready on _____, 1984; or Will Call X
 CONTRACTOR'S NAME: Bennett L Stanford
 ADDRESS: 12 Sawyer Rd. Cape Elizabeth
 TEL: 767-2438
 MASTER LICENSE NO.: 2439
 LIMITED LICENSE NO.: _____
 SIGNATURE OF CONTRACTOR: Bennett L Stanford

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION 65 Cobb Avenue

Issued to Arthur Dingley & Susan Shorey Date of Issue Oct. 3, 1985

This is to certify that the building, premises, or part thereof, at the above location, built--altered--changed as to use under Building Permit No. 84-1191, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Limiting Conditions: Entire

Single family dwelling
no garage

This certificate supersedes
certificate issued

Approved:

10/3/85

A. Rowe

Inspector

32

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION **65 Cobb Avenue**

Issued to **Arthur Dingley & Susan Shorey** Date of Issue **Oct. 3, 1985**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. **84-1191**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Limiting Conditions: **Entire**

**Single family dwelling
no garage**

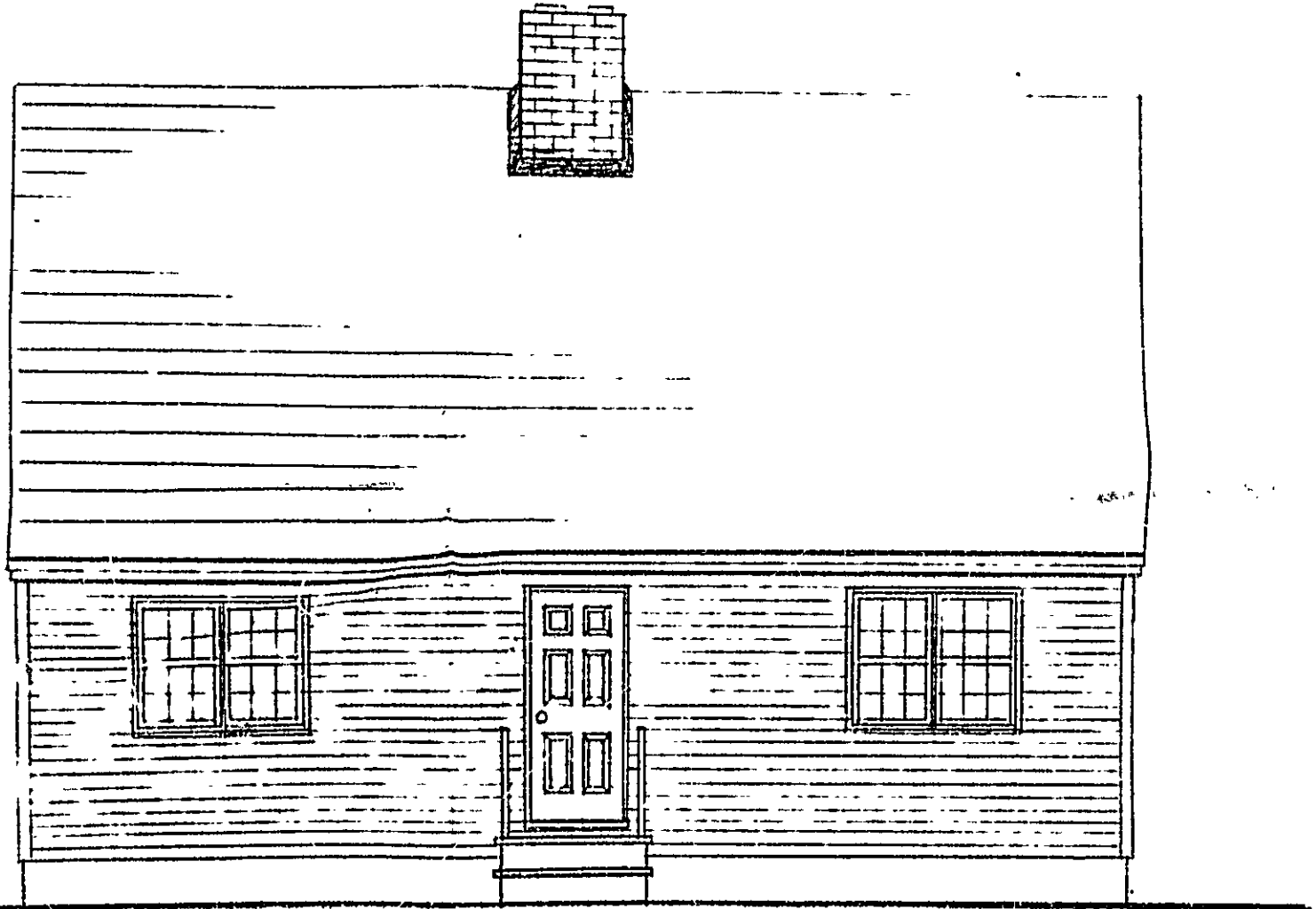
This certificate supersedes
certificate issued

Approved:

10/3/85 AR
(Date) Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



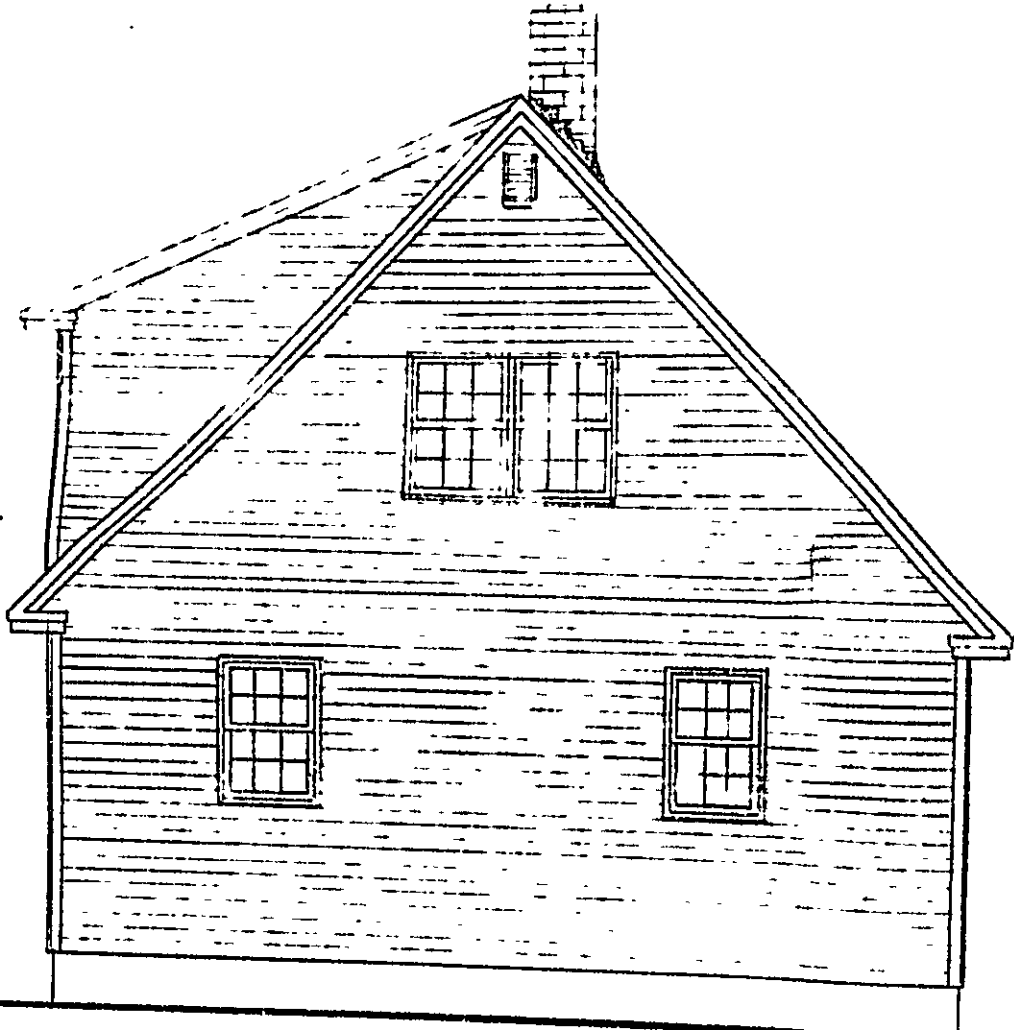
FRONT ELEVATION

RECEIVED
SEP 17 1984
DEPT OF BLDG. INSP.
CITY OF PORTLAND



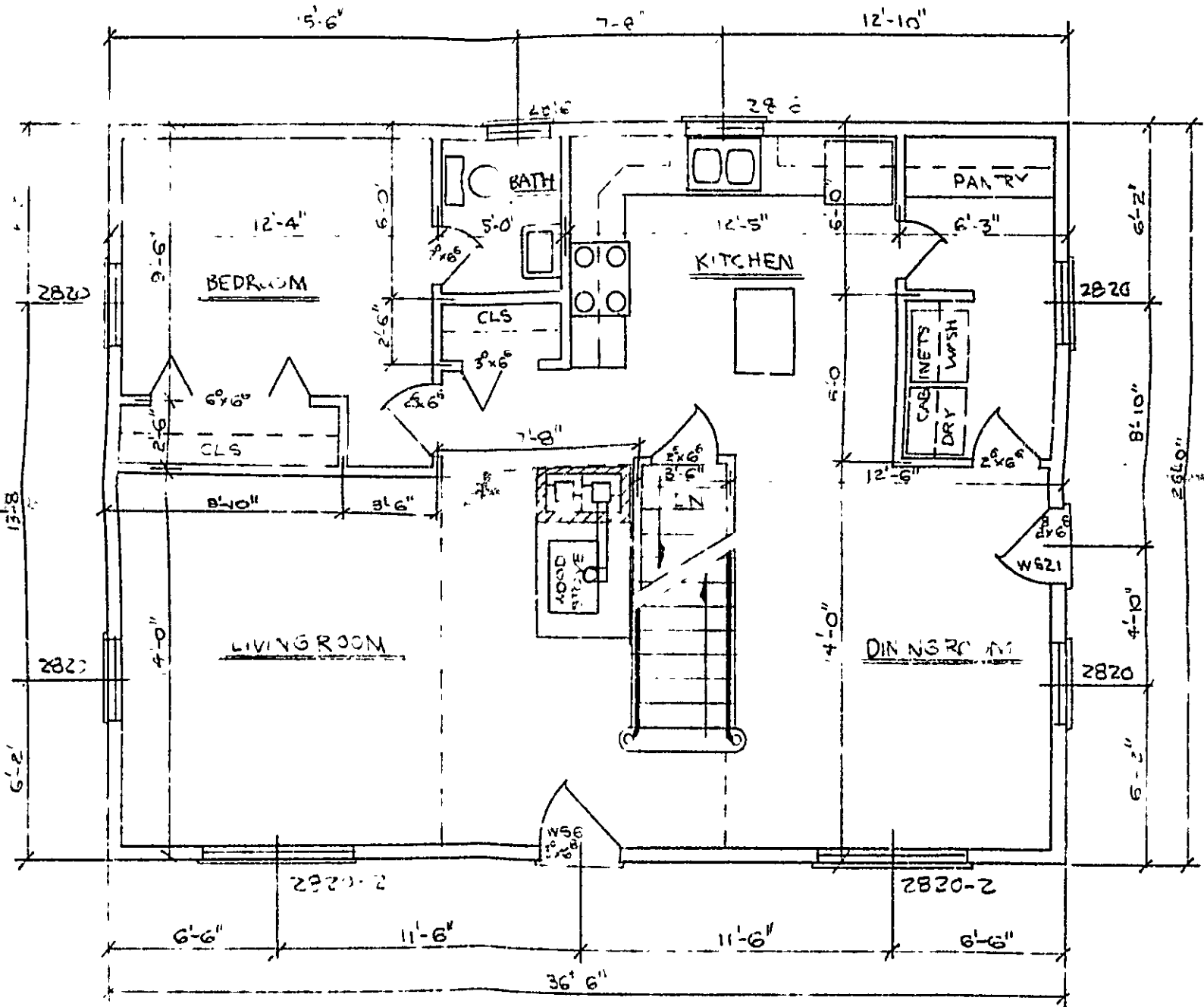
SCALE: 1/4" = 1'-0"	CASCO, ME.	DRAWN BY: MEJ
DATE:		REVISED:
CAPE 26X36		APPROVED BY:
		DRAWING NUMBER 306

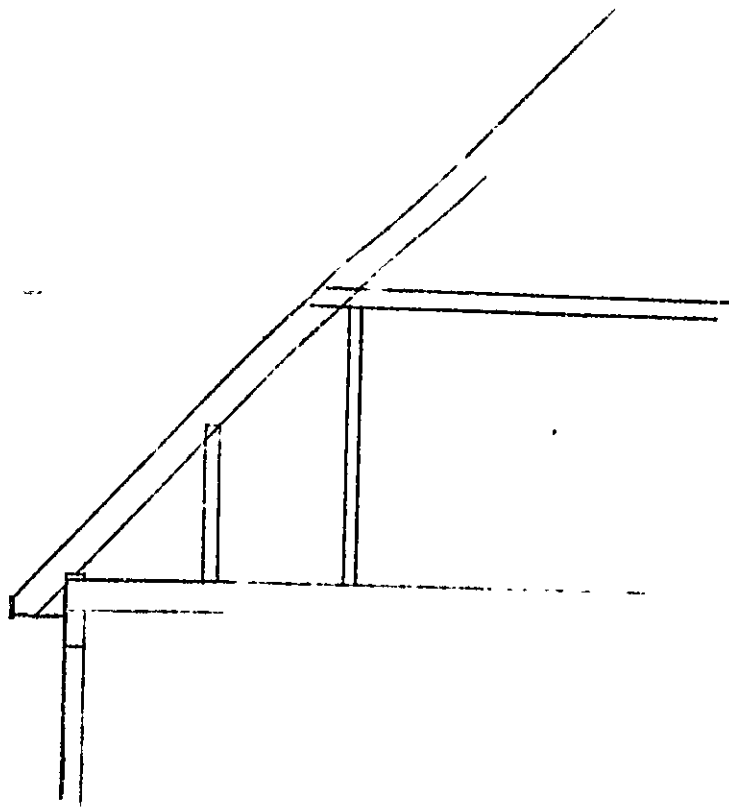
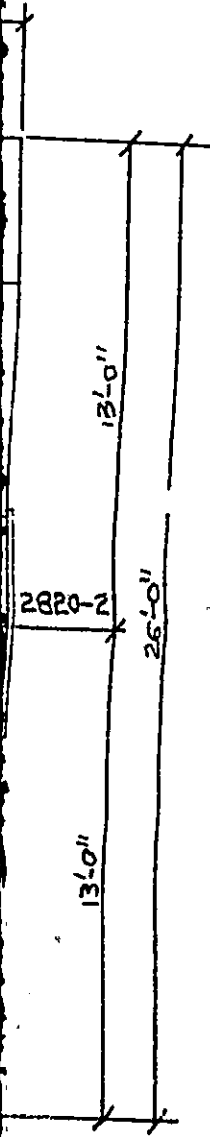
SHOULD APPRECIATE. HOWEVER, THAT THIS INFORMATION IS NOT THE WORK PRODUCT OF ANY ARCHITECT. NEITHER HANCOCK LUMBER OR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PROVIDING YOU WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF CUSTOMER



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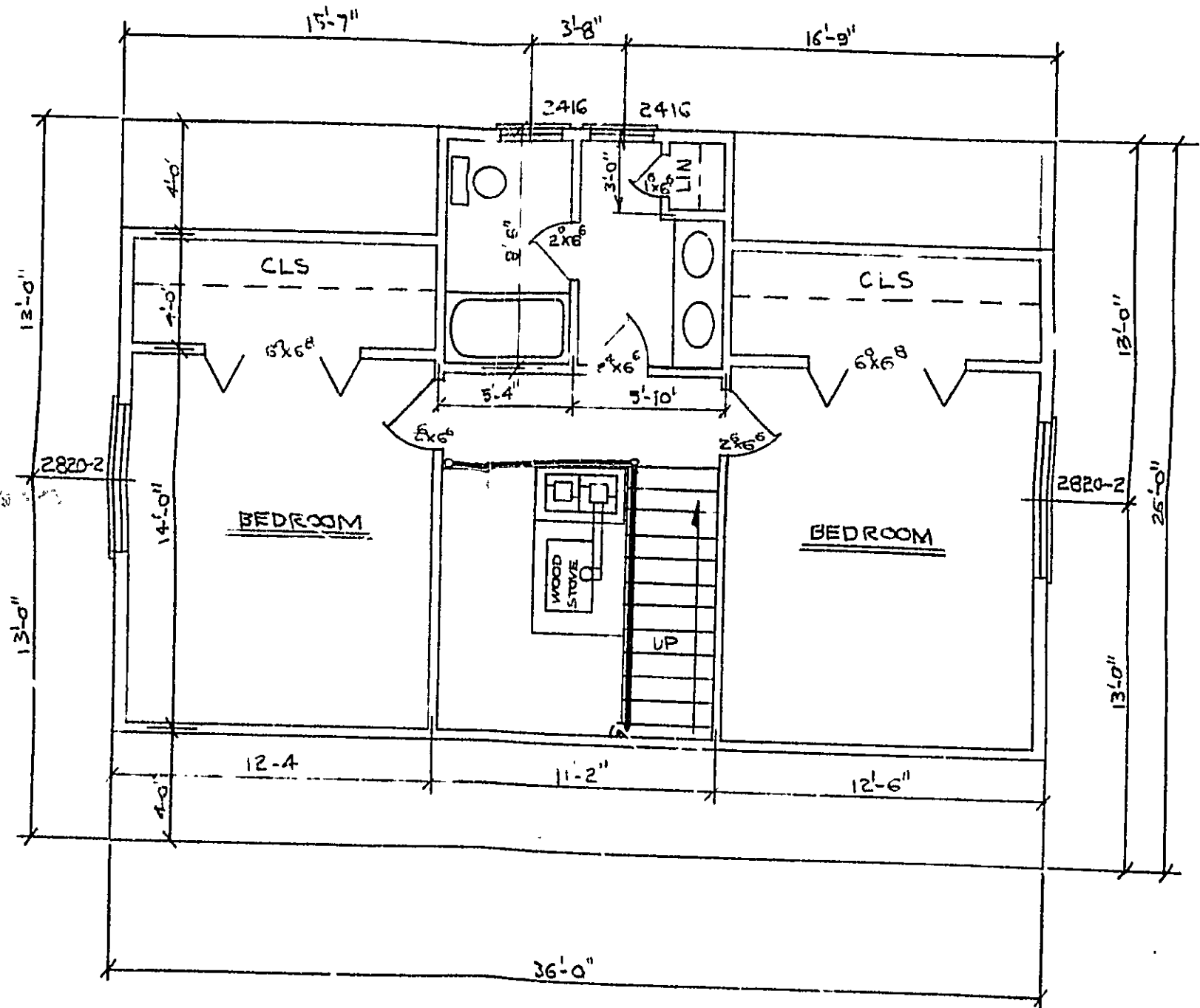


RECEIVED
 SEP 17 1984
 DEPT OF BLDG INSP.
 CITY OF PORTLAND

HANCOCK LUMBER

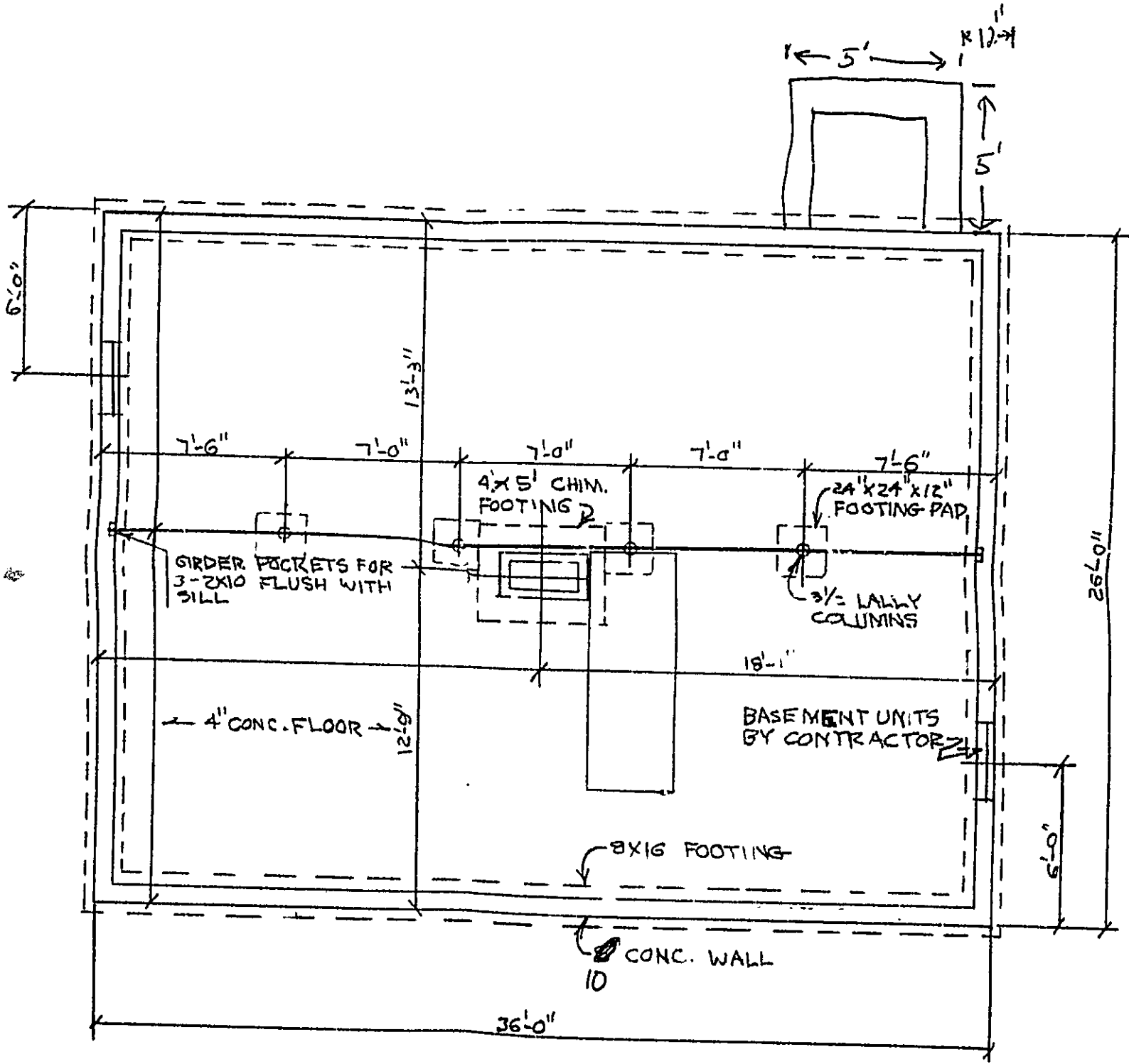
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DATE:		REVISED:
CAPE 26 X 36		APPROVED BY:
		DRAWING NUMBER
		306

DED TO OUR CUSTOMERS
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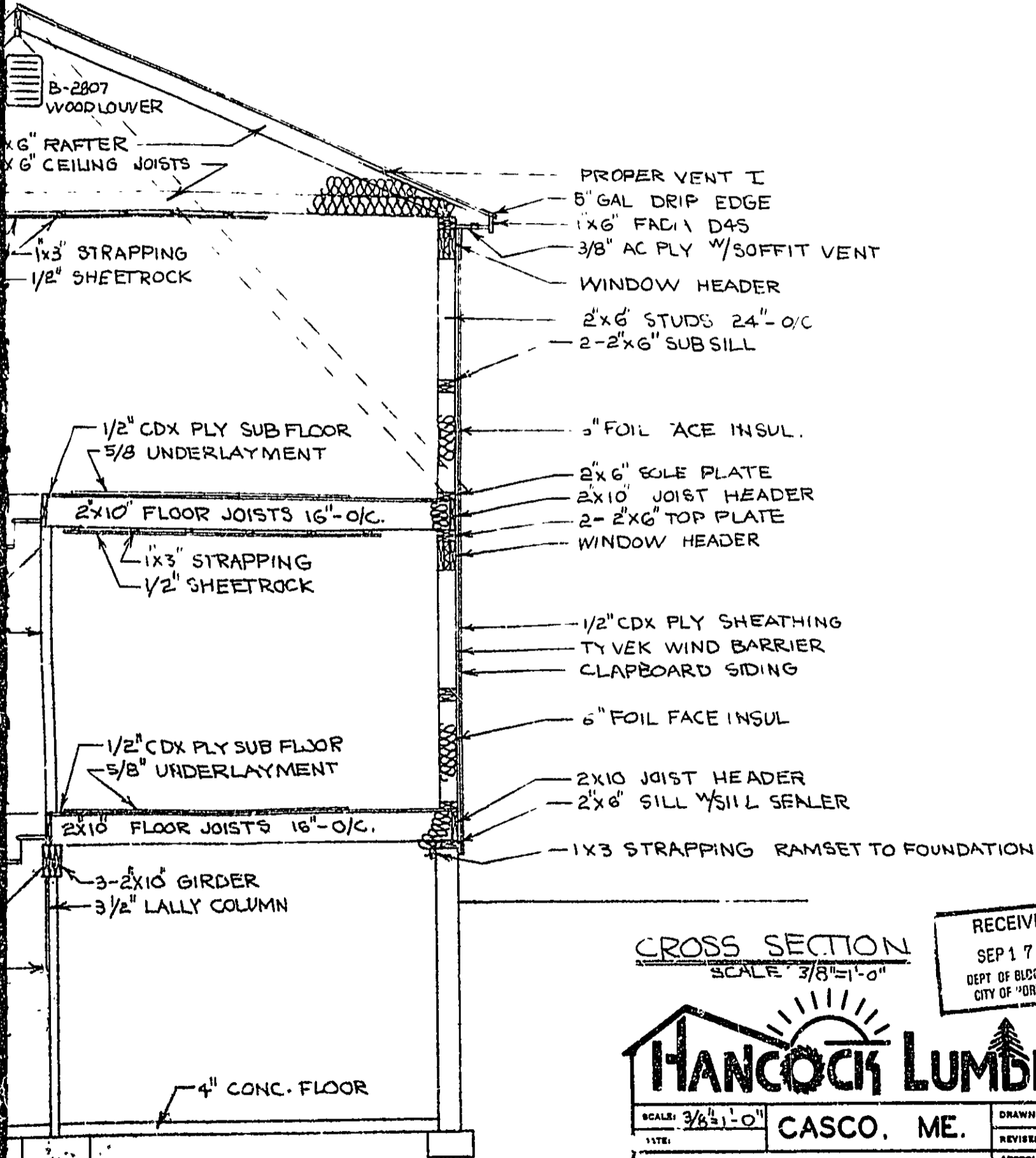


SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DED TO OUR CUSTOMERS
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 HOWEVER, THAT THIS
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FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

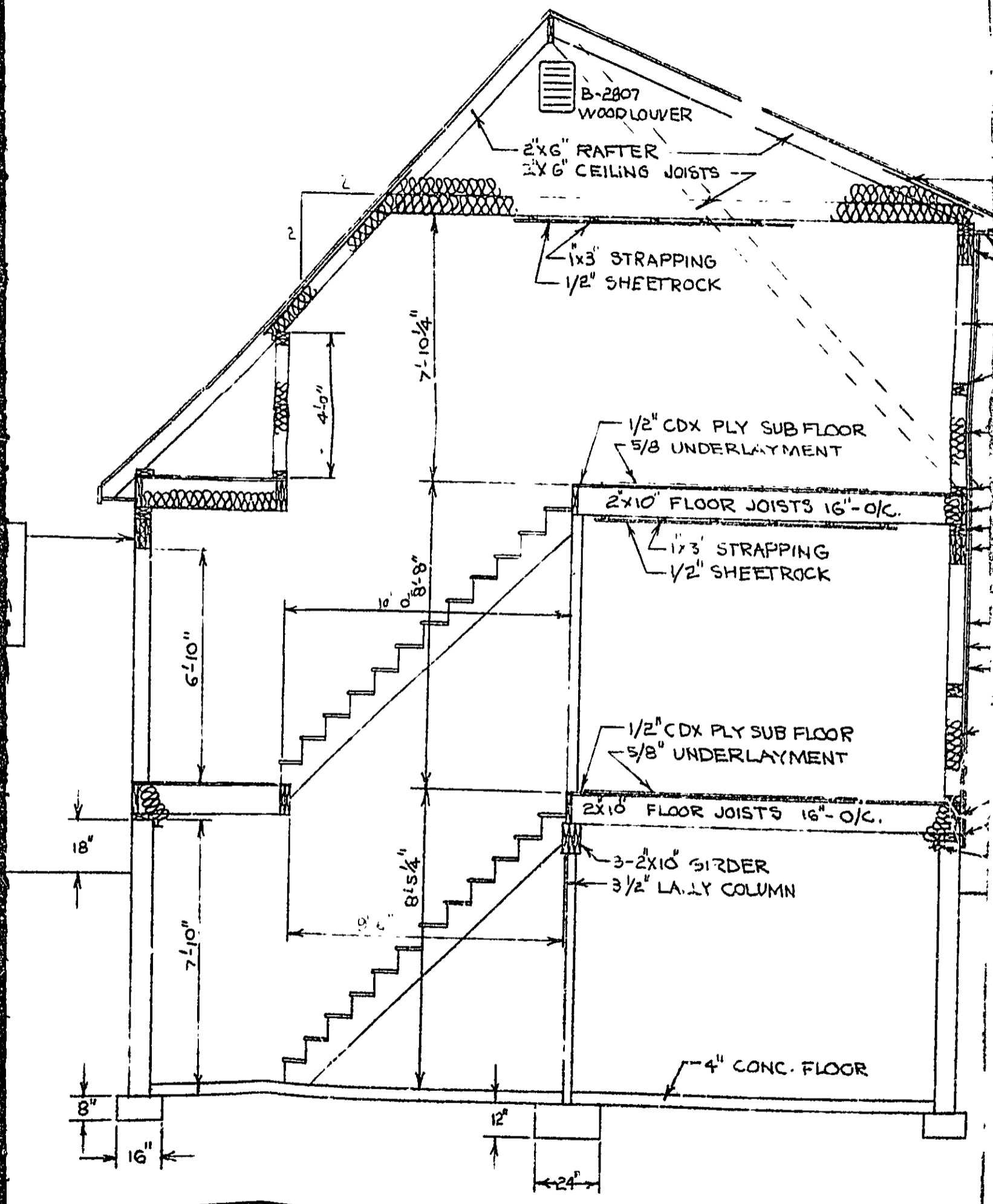


CROSS SECTION
SCALE: 3/8"=1'-0"

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CITY OF PORTLAND

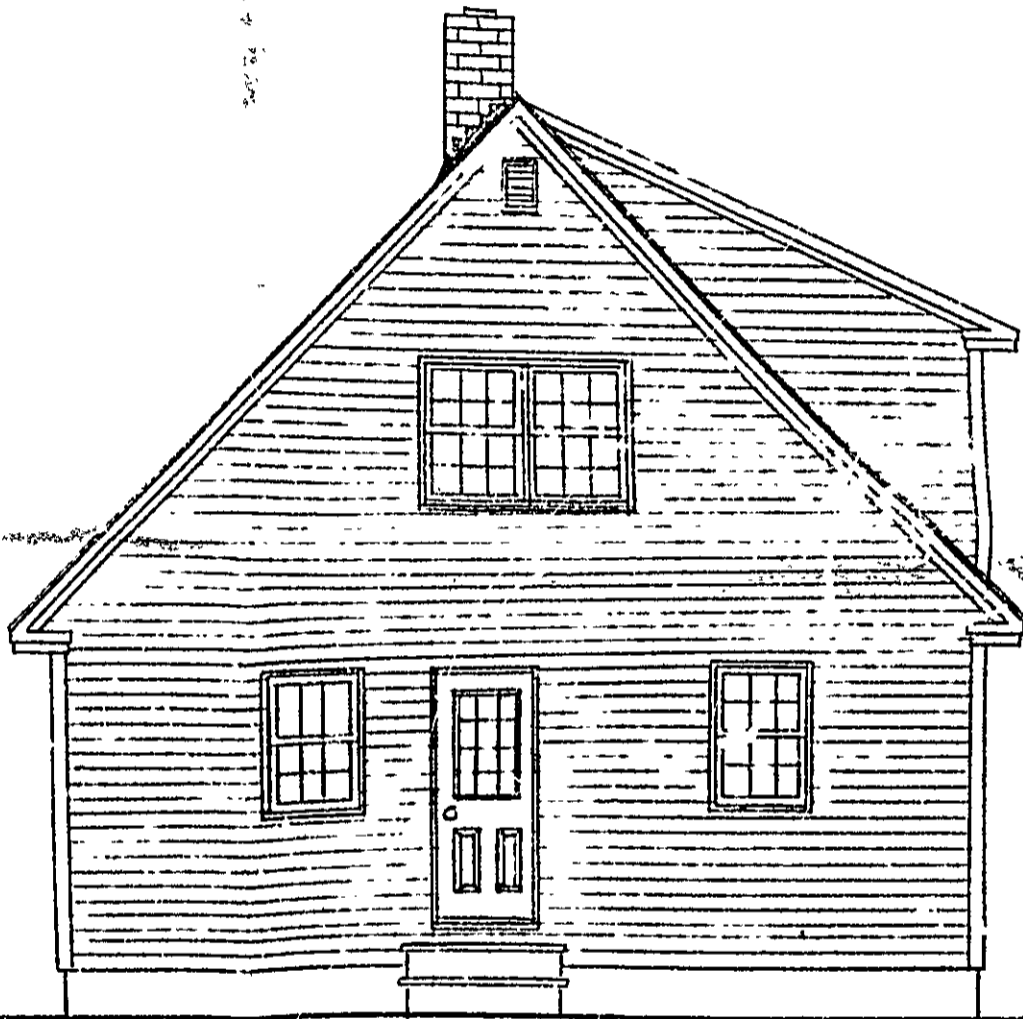


SCALE: 3/8"=1'-0"	CASCO, ME.	DRAWN BY MEJ.
DATE:	CAPE 26. x 36	REVISED
		APPROVED BY:
		DRAWING NUMBER 306



Fall

17/84



RIGHT ELEVATION

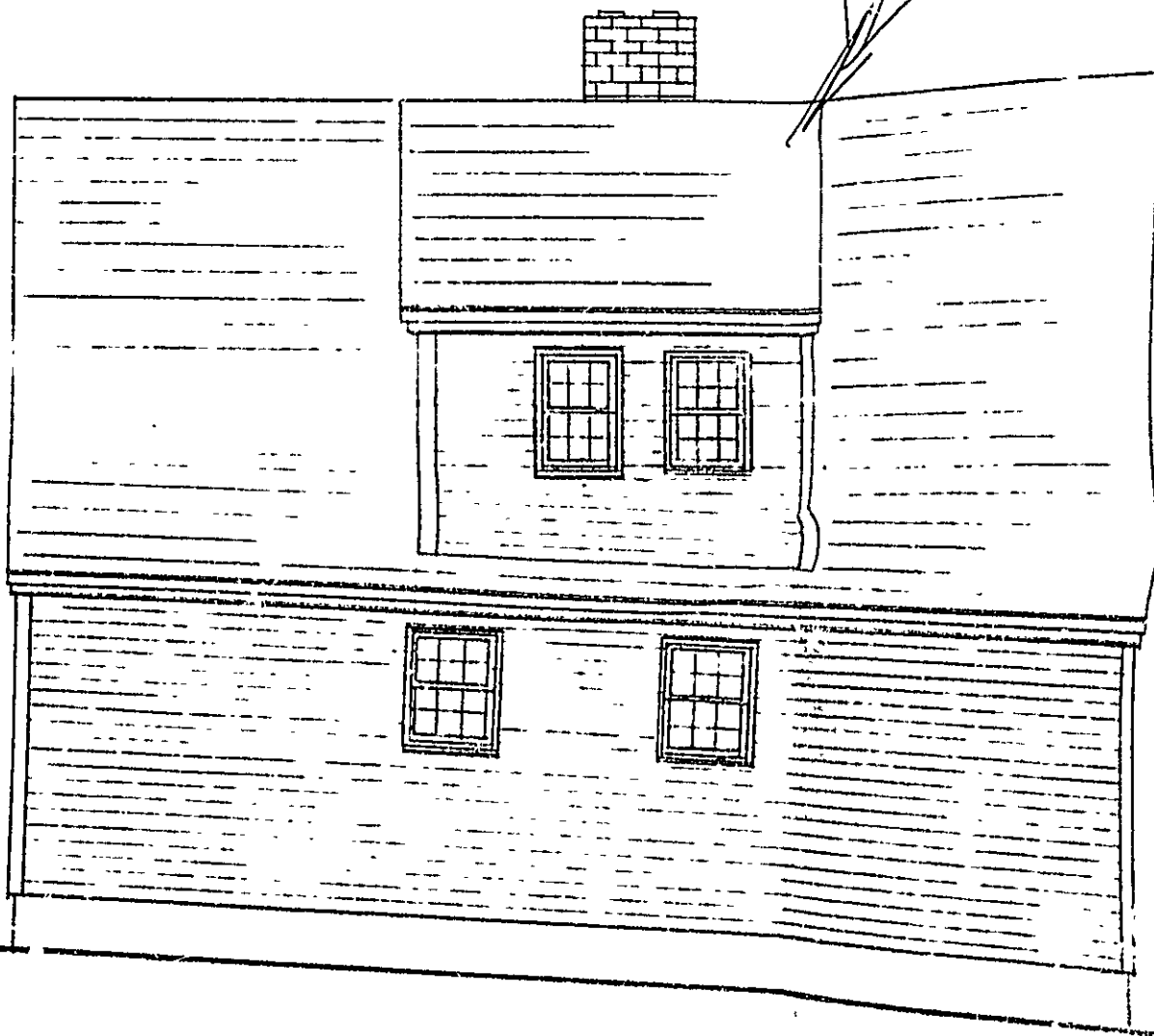
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HANCOCK LUMBER

SCALE: 1/4" = 1'-0"	CASCO, ME.	DRAWN BY MEJ
DATE:		REVISED
CAPE 26X36		APPROVED BY:
		DRAWING NUMBER 306

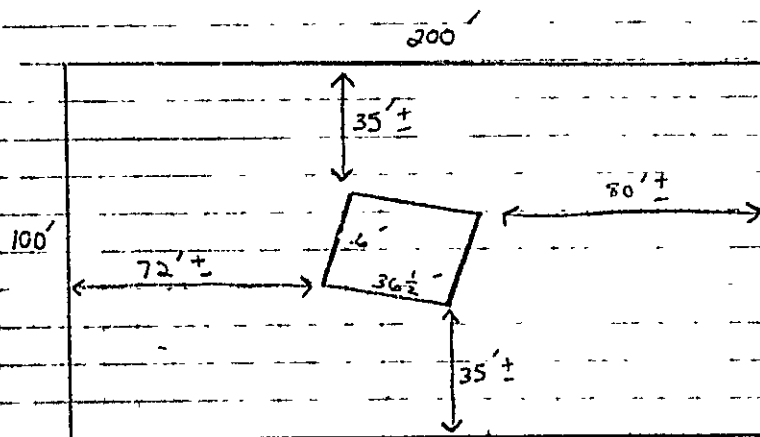
THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMER SHOULD APPRECIATE HOWEVER, THAT THIS INFORMATION IS NOT THE WORK PRODUCT OF ANY ARCHITECT NEITHER HANCOCK LUMBER OR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE AND CUSTOMER'S MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PROVIDING YOU WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF CUSTOMER.

will be
done
H 9/17



BACK ELEVATION

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CITY OF PORTLAND



57 - 71 Cobb Avenue

"65 Cobb Avenue"

1 square = 10 feet

Arthur Dinsley/Susan Shorey 82 Park Ave Portland

Cape Cod CT

5 Cobb Ave

tel. 773 8081 / 774 2899 / 775 4086



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

September 25, 1984

Arthur Dingley & Susan Shorey
82 Park Ave.,
Portland, Maine

RE: 65 Cobb Ave.

Dear Mr. Dingley & Ms. Shorey:

Your application to construct a single family dwelling 26' x 36' has been reviewed and a building permit is herewith issued subject to the following requirements.

Sit Plan Review #395

Inspection Services
Fire Dept.
Public Works

None
None
Foundation and/or roof drains shall not be tied into the City sanitary sewer.
Mr. Roy 9/24/84

P.S. Hoffses 9/19/84
Lt. Collins 9/19/84

Planning Div.

None

Ms. Barhydt 9/25/84

Building Code Requirements

- 809.4 Emergency escape: Every sleeping room below the fourth story in buildings of Use Group R shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms must have a minimum net clear opening of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm). Bars, grilles or screens placed over emergency escape windows shall be releasable or removable from the inside without the use of a key, tool or excessive force.

Exceptions

- Grade floor windows may have a minimum net clear opening of 5 square feet (0.47m²).
- In buildings of Use Group R-3, where the sleeping room is provided with a door to a corridor having access to two remote exits in opposite directions, then an outside window or an exterior door for emergency escape from each such sleeping room is not required.



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

2. 1716.3.4 Dwelling units: A minimum of one single station smoke detector shall be installed in each guest room suite or sleeping area in buildings of Use Group R-1 and in dwelling units within buildings of Use Groups R-2 or R-3. It shall be installed in a manner and location approved by the authority having jurisdiction. When actuated, the detector shall provide an alarm suitable to warn the occupants within the individual unit (see Section 1717.3.1). In buildings having basements or cellars an additional smoke detector shall be installed in the basement or cellar in a location approved by the authority having jurisdiction.

If you have any questions on these requirements, please call me at this office.

Sincerely,

A handwritten signature in black ink, appearing to read 'P. Saunderson'.

P. Saunderson
Chief of Insp. Services

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 01191

ZONING LOCATION PORTLAND, MAINE . Sept. 17, 1984

PERMIT ISSUED

SEP. 26 1984

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 55 Cobb Avenue Fire District #1 [], #2 []
1. Owner's name and address Arthur Dingley & Susan Shorey, 82 Park Ave., Telephone 775-4086...
2. Lessee's name and address Telephone ...
3. Contractor's name and address Raymond Shorey Jr., Black Point Rd., Scarborough Telephone ... 883-38885
Proposed use of building dwelling No. of sheets ...
Last use No. families ...
Material No. stories Heat Style of roof Roofing ...
Other buildings on same lot
Estimated contractual cost \$ 48,000 Appeal Fee \$
Base Fee \$ 250.00
Late Fee
TOTAL \$ 250.00

FIELD INSPECTOR—Mr. @ 775-5451

Minor Site Plan Review 50.00 pd 9-26-84

To construct 26' x 36' single family dwelling, no garage as per plans. 6 sheets of plans.

Stamp of Special Conditions

send permit to # 1 04101

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes...
Is connection to be made to public sewer? existing If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street? NO
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of Applicant Susan Shorey Phone # same
Type Name of above 1 2 3 4
Other and Address

NOTES

10/10/84 a.k. for framing.
2/13/85 Completed except for
steps, handrails.
Re-inspect 6/11/85

9/30/85. Completed.
C J O.

Permit No. 84/1191
Location 651 1/2 St. Cape
Owner Carter, Doreen & Susan
Date of permit 9-17-84
Approved 9-26-84
Leveling Single Family
Garage
Alteration

~~[Large section of the page is crossed out with a large X.]~~