

January 8, 1949  
39 E 11th Street,  
New York City 3, N. Y.

Dear Don:

We are returning herewith correspondence regarding permits for alterations to our house at 1928 Congress Street, as written by Mr. Warren McDonald, Inspector of Buildings.

These letters are very clear and show that Mr. McDonald has given us earnest consideration and has been very thoughtful as to our interests as far as he can go within the law.

We realize, of course, that we have spent a good deal of money and work on the house, with the idea of bringing it back to the shape of a substantial structure; also with the intention of making it an asset in appearance to the neighborhood, almost to the extent of a show place if possible.

However, any farm or set of buildings the size that we have, has to be carried on so as to be economically sound. The cost of the house originally and repair cost makes it unsound financially to operate it as one or two family house. The income would not be sufficient to pay the cost of fuel for our central heating system, taxes, insurance, maintenance, depreciation, and allow any revenue whatever. In fact, I can only see that under the above two-family plan it would be carried on at a financial loss and that means that the maintenance and repairs will be neglected and the general exterior appearance would necessarily become unsightly and could naturally develop into an eyesore for the neighborhood. It is not natural for anyone to carry on any project that is not financially successful, and as I see it, for this house to be successful it will be necessary to operate it as a four family house.

The plans which we have made together have developed into delightful two and four room apartments of such quality as would command the tenancy of selective people who would in themselves be an asset to the neighborhood as well as support the house so it can be maintained to be an asset to the neighborhood.

RECEIVED

JAN 10 1949

SUP. OF BLDGS.  
CITY OF N.Y.

As you know, this house and farm was my birth-place and home, and carries with it great sentimental value to me. However, I doubt if I could be expected to carry it on forever as a burden.

If, during our appeal, the City Fathers or Committee will give the issue of this house the sympathetic consideration that Mr. Warren McDonald has, understanding that these large houses are very difficult to break financially even on, I do believe that they will allow us to alter the structure so it would command income enough to defray the expense of proper maintenance and grooming of lawns, shrubbery, etc.

We do desire to reconstruct the place so we will be very proud of it.

Yours truly,

HMM/I

AP 1928 Congress Street-I  
(Proposed apartment house)

December 24, 1948

Mr. H. W. Maxfield  
Attn: Mr. L. H. Lovejoy  
1928 Congress Street  
Portland, Maine

Subject: Application for building permit to make  
alterations in the single family dwelling house  
at 1928 Congress Street for the purpose of provid-  
ing there an apartment house for four families, and  
proposed zoning appeal relating thereto

Dear Sir:

Building permit for the above work and change of use is not issuable under the Zoning Ordinance because the property is located in a Residence A Zone in which Section 12A of the Ordinance prohibits use as an apartment house.

Mr. Lovejoy has indicated your desire to seek an exception from the Board of Appeals for this non-conforming use. There is enclosed, therefore, an outline of the appeal procedure.

I have explained to him that there is great doubt that the Board of Appeals has power to permit such an exception unless it can be established to the satisfaction of the members of the Board that the exception is necessary to avoid confiscation and that it may be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

While the Building Code contains many provisions for an apartment house, and Mr. Lovejoy has indicated in his letter that these will all be taken care of, should the appeal be successful, the attention of both of you is called to what seems like a defect, difficult to remedy, as to means of egress from apartment number 3, proposed on the second floor. As I understand the plan, the occupants of apartment number 3 would not be able to reach the proposed new rear stairway except by passing through the living room of apartment number 4. Section 212e says that means of egress shall lead to outside exit doors without intervening private quarters. Should you propose something in the way of an outside fire escape (merely counting the roof of the bay windows or the porch as a means of egress is not allowable), it should be included in your plans, as such outside structures are important for consideration of the Board of Appeals.

Very truly yours,

WNE/G

Inspector of Buildings

Enclosure: Outline of appeal procedure and carbon copy for owner

CC: Edward T. Gignoux  
Assistant Corporation Counsel

1928 Congress Street  
Portland, Maine

Inspector of Buildings  
City of Portland  
Portland, Maine

Dear Mr. McDonald:

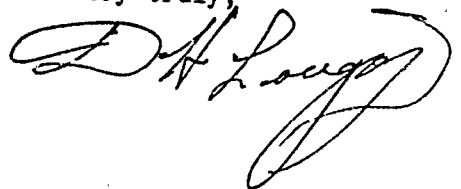
The attached application for a four apartment alteration to the house at 1928 Congress Street, owned by Mr. H. W. Maxfield, is filed with the understanding that the application will have to go to the Appeal Board, due to the existing Zoning Ordinance.

I understand personally, of course, that this appeal is handled by another office, and this letter is simply an explanation to express the owner's intent.

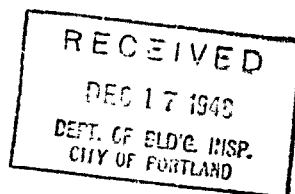
Mr. Maxfield, in the past two years, has spent a great deal of money repairing and painting the outside of the house. With a heating system installed last year it seems fundamental and logical that he be able to proceed with a development that will pay revenue, as would be acquired from the four apartments.

Of course, with the acceptance of the permit further details as required will be furnished to cover all phases of the building code.

Yours very truly,



T-1. 2-8/38





AP 1928 Congress Street

October 22, 1947

Mr. H. E. Maxfield  
1928 Congress Street  
Portland, Maine

Subject: Occupancy of one of new apartments in building at 1928 Congress Street.

Dear Sir:

You may consider this letter as authorization for occupancy of Apartment #1 in the first story of the building at the above address. Since other parts of the building are being occupied as living quarters for one family, this will make a total of two apartments in the building. It will be necessary that all safety features required by the Building Code where there is to be more than one apartment on any floor above the first be provided before we can give authorization for use of either of proposed apartments in the second story. These include enclosure of cellar stairs and arrangement of lights in public halls so that they will burn continuously during the hours of darkness and will be on the owner's meter controlled by a time switch. There must, of course, also be two legal means of egress available for each apartment.

Very truly yours,

Warren McDonald  
Inspector of Buildings.

AJS/B

CC Mr. Donald H. Lovejoy  
1928 Congress Street



(R-1) RESIDENCE ZONE - A

## APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, August 26, 1949

PERMIT ISSUED  
OCT 17 1949  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1928 Congress Street Within Fire Limits? No Dist. No. \_\_\_\_\_  
Owner's name and address H. W. Maxfield, 1928 Congress Street Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Maine Metals, Inc., 169 Front St., So. Portland Telephone 4-6442  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans Yes No. of sheets 1  
Proposed use of building Apartment house No. families 4  
Last use Dwelling house No. families 1  
Material frame \_\_\_\_\_ No. stories 2 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_ Fee \$ 2.00  
Estimated cost \$ 125

### General Description of New Work

To construct metal fire escape on rear of building from second floor to ground as per plan.

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Maine Metals, Inc.

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

*with memo by AJS.*

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

H. W. Maxfield  
Maine Metals, Inc.

Signature of owner by: *J. Leroy Cramer*

INSPECTION COPY

NOTES

11/10/49. The inside measurement  
of the ventral lobe is  
20" instead of 24" as specified  
in letter PG 100 one side  
The same measurement  
according to other letter 100  
inside of the lobe is specified  
in letter 100  
11/16/49 - 11/17/49 Road, plus  
OK. to proceed

Permit No. 49/1728  
Location 1928  
Owner J. H. M. M. M.  
Date of permit 10 13 1949  
Notif. closing in  
Inspr. closing in  
Final Notif. 11/9/49  
Final Inspn.  
Cert. of Occupancy issued

AP 1922 Congress St.

September 2, 1949

Maine Metals, Inc.,  
169 Front Street,  
South Portland, Maine

Subject: Application for permit for  
erection of metal fire escape at  
1922 Congress Street

Gentlemen:

The type of stationary ladder shown from the platform to the ground is of a rather unusual type. After considerable study as to the intent of the requirements of the Building Code covering the construction of standard fire escapes, we feel that we can accept the construction shown only if the ladder is at least 24" wide between handrails and that a hinged bar be provided at the top of the ladder that would have to be operated to gain access to the ladder. We can also accept a hinged drop ladder that will be hooked up when not in use and thus effectively close off the opening. Such a ladder need not be a 24" width, but may be constructed as is usually done in the case of such ladders. Of course a standard fire escape stairway with a pitch not exceeding 12" vertical to 8" horizontal may be used if desired. Please revise plan to indicate which method will be followed.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/H  
CC: H. W. Paxfield  
1922 Congress St.

Memorandum from Department of Building Inspection, Portland, Maine

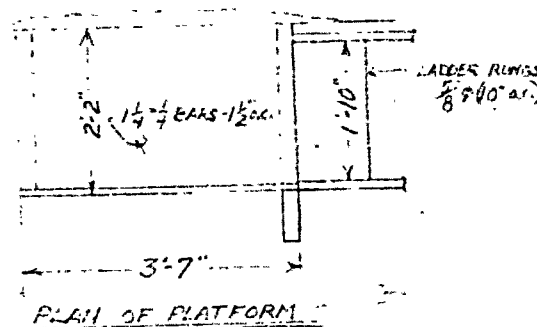
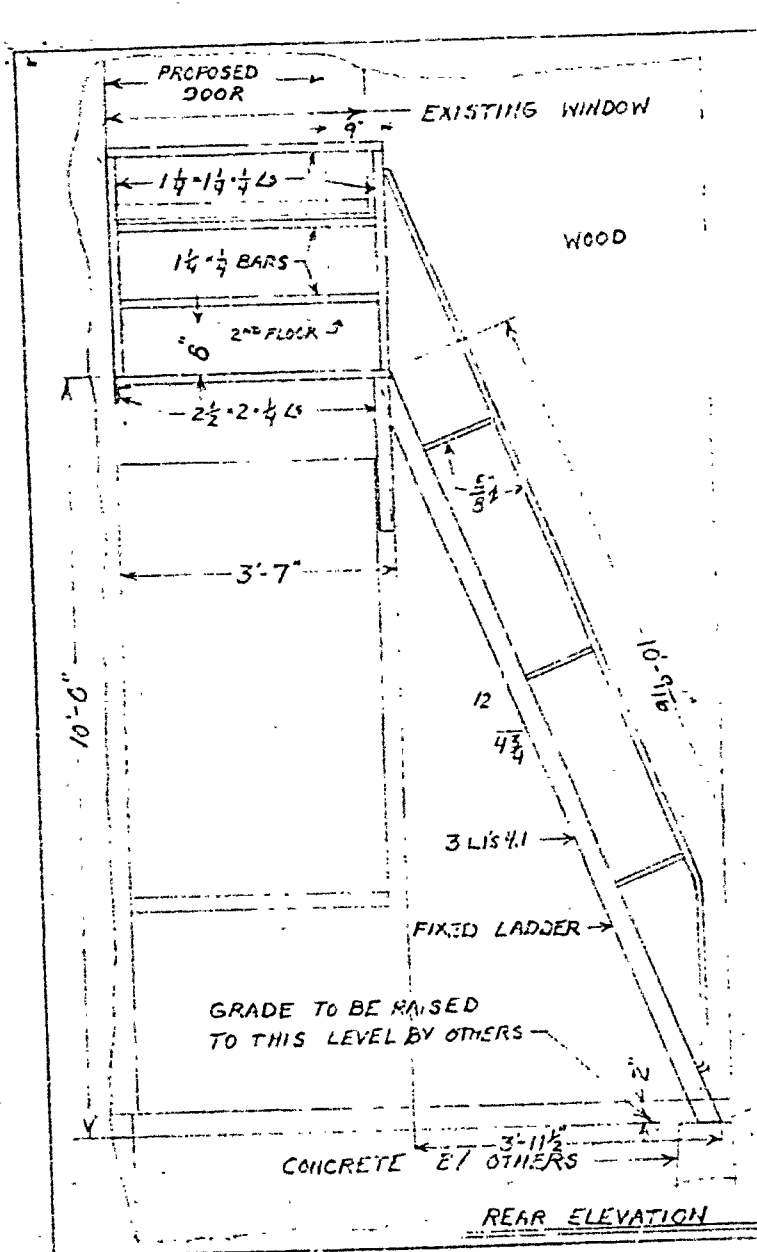
1928 Congress Street—Erection of metal fire escape on proposed apartment house for H. W. Maxfield by Maine Metals, Inc.—10/13/49

Permit for erection of fire escape is issued herewith without prejudice to the issuance of a permit for change of use of the building and on the basis that the grade at the foot of the ladder will be not more than 10" below the floor of balcony.

The window giving access to the fire escape is required to afford an opening at least 24" wide and 28" high for a double hung window and at least 24" wide and 36" high if window is swinging. It is understood a chain or other protection is to be provided across the opening giving access to the ladder and the permit is issued on the basis that this will be done.

AJS/G

CC: Mr. Horatio W. Maxfield  
1928 Congress Street



These plans ( 1 sheet ) and the specifications accompanying the same, covering construction work on  
Fire Escape - 1928 Congress St.  
 have been designed and drawn up by the undersigned according to the latest rules of engineering practice and to comply with the allowable working stresses, floor loads, etc. required by the Building Code of the City of Portland.

(Signature) Maine Metals, Inc.

By F. Leroy Cramer

(This statement is to be signed by the individual responsible for the design, and he should indicate in the blank provided the particular work to which the statement applies.)

TITLE FIRE ESCAPE  
1928 CONGRESS ST.  
 LOCATION PORTLAND, ME.  
 NAME H.W. MAXFIELD

BLACK FLC  
 SCALE 1/2" = 12" DATE 8-26-49

**MAINE METALS, INC.**

105 FORT STREET, PORTLAND, MAINE



City of Portland, Maine  
Board of Appeals  
—ZONING—

January 13, 1949

To the Board of Appeals:

Your appellant, H. W. Maxfield, who is the owner of property at 1928 Congress Street, respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 17 Paragraph E of the Zoning Ordinance,

Building permit to make alterations in the single family dwelling house at 1928 Congress Street for the purpose of providing there an apartment house for four families is not issuable under the Zoning Ordinance because the property is located in a Residential Zone in which Section 12A of the Ordinance prohibits use as an apartment house.

The facts and conditions which make this exception legal and permissible are as follows:—

An exception is necessary in this case to avoid hardship and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

*Horatio W. Maxfield*  
Appellant  
By: *George R. [Signature]*

*Sustained  
Conditionally  
2/4/49  
47/13*



47/3

City of Portland, Maine  
Board of Appeals

—ZONING—

Decision

Public hearing was held on the 4th day of February, 1949,  
on petition of H. W. Maxfield, owner of property at  
1928 Congress Street, seeking to be permitted exception to the regulations of  
the Zoning Ordinance relating to this property.

Building permit to make alterations in the single family dwelling house at  
1928 Congress Street for the purpose of providing there an apartment house  
for four families is not issuable under the Zoning Ordinance because the  
property is located in a Residence A Zone in which Section 121 of the  
Ordinance prohibits use as an Apartment House.

The Board finds that an exception is necessary in this case to avoid con-  
fiscation and can be granted without departing from the intent and purpose  
of the Zoning Ordinance, provided that proper arrangements are made for  
sewerage disposal.

It is, therefore, determined that exception to the Zoning Ordinance may be permitted  
in this specific case, provided that proper arrangements are made for sewerage disposal.

*John W. Lake*  
*Edward J. Colley*  
*W. W. Williams*

*William F. O'Brien*

Board of Appeals

49/3

February 4, 1949

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF H. W. MAXFIELD  
AT 1928 Congress Street

Public hearing on above  
appeal was held before  
the Board of Appeals  
today.

Present for City  
Board of Zoning Appeals members:-

VOTE

	Yes	No
Mr. Getchell	(x)	( )
Mr. O'Brien	(x)	( )
Mr. Holbrook	(x)	( )
Mr. Lake	(x)	( )
Mr. Colley	(x)	( )
	( )	( )
	( )	( )
	( )	( )
	( )	( )

Municipal Officers:-

Ray C. Oakes, Esq. for Maxfield

16-room house too large for one family to keep up.  
No change in exterior

City officials:-

NO OPPOSITION - Mr. Johnson owning land behind present  
and expressed concern only about sewerage.

49/3

January 1, 1949  
1028 Congress Street,  
Portland, Maine.

Corporation Counsel,  
City of Portland,

Attention Edward T. Gignoux, Asst.

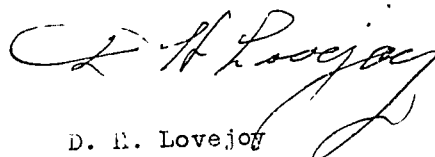
Dear Sir:

Re Mr. McDonald's File No. AP 1928  
Congress Street - I  
(Proposed apartment house)

In reference to the attached Appeal  
Application for permit for H. W. Maxfield, 1928  
Congress Street, dated December 24, 1948, I  
also include a copy of my letter to Mr. McDonald  
as well as a letter from Mr. Maxfield to me.

The latter letter is more or less of a  
personal nature and I believe will convey the  
owner's feeling to the Appeal Board, and of  
course I will defend these statements at the  
hearing.

Respectfully yours,



D. R. Lovejoy

DHL/I

Copy to Mr. McDonald  
Enc. 2 letters

49/13

1928 Congress Street  
Portland, Maine

Inspector of Buildings  
City of Portland  
Portland, Maine

Dear Mr. McDonald:

The attached application for a four apartment alteration to the house at 1928 Congress Street, owned by Mr. H. W. Maxfield, is filed with the understanding that the application will have to go to the Appeal Board, due to the existing Zoning Ordinance.

I understand personally, of course, that this appeal is handled by another office, and this letter is simply an explanation to express the owner's intent.

Mr. Maxfield, in the past two years, has spent a great deal of money repairing and painting the outside of the house. With a heating system installed last year it seems fundamental and logical that he be able to proceed with a development that will pay revenue, as would be acquired from the four apartments.

Of course, with the acceptance of the permit further details as required will be furnished to cover all phases of the building code.

Yours very truly,

49/3

January 8, 1949  
39 E 11th Street,  
New York City 3, N. Y

Dear Don:

We are returning herewith correspondence regarding permits for alterations to our house at 1928 Congress Street, as written by Mr. Warren McDonald, Inspector of Buildings.

These letters are very clear and show that Mr. McDonald has given us earnest consideration and has been very thoughtful as to our interests as far as he can go within the law.

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49/3

As you know, this house and farm was my birth-place and home, and carries with it great sentimental value to me. However, I doubt if I could be expected to carry it on forever as a burden.

If, during our Appeal, the City Fathers or Committee will give the issue of this house the sympathetic consideration that Mr. Warren Colson has, understanding that these large houses are very difficult to break financially even on, I do believe that they will allow us to alter the structure so it would command income enough to defray the expense of proper maintenance and grooming of lawns, shrubbery, etc.

We do desire to reconstruct the place so we will be very proud of it.

Yours truly,

*Win.*

H. W. Maxfield

HMM/I



49/3

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

January 31, 1949

Mr. W. W. Maxfield  
1928 Congress Str  
Portland, Maine

Dear Mr. Maxfield:

The Board of Appeals will hold a public hearing  
in the Council Chamber, City Hall, Portland, Maine on  
Friday, February 4, 1949 at ten-thirty o'clock in the  
forenoon to hear your appeal under the Zoning Ordinance  
relating to the above premises.

Please be present or be represented at this hearing  
in support of your appeal.

Very truly yours,

Robert L. Getchell

Chairman

M



49/3

CITY OF PORTLAND, MAINE

BOARD OF APPEALS

January 25, 1949

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, February 4, 1949 at ten-thirty o'clock in the forenoon to hear the appeal of H. W. Maxfield requesting exception to the Zoning Ordinance to permit alterations in single family dwelling house at 1928 Congress Street for the purpose of providing there an apartment house for four families.

This permit is not issuable because this property is located in a Residence A Zone, in which Section 12A of the Ordinance prohibits use as an apartment house.

This appeal is taken under Section 17E of the Zoning Ordinance which provides that the board of appeals, by unanimous vote of its members, may permit exceptions in specific cases so as to grant reasonable use of property where necessary to avoid confiscation and without substantially departing from the intent and purpose of the Zoning Ordinance, subject always to the rule that said board shall give due consideration to promoting public health, safety, convenience and welfare, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, noxious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in each case.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in question as required by law.

BOARD OF APPEALS

Robert L. Getchell

Chairman

M

WARREN McDONALD  
INSPECTOR OF BUILDINGS

On reply refer  
to File

CITY OF PORTLAND, MAINE  
Department of Building Inspection

FU AP 1928 Congress Street-I  
(Proposed apartment house)

December 24, 1948

Mr. H. W. Maxfield  
Attn: Mr. L. H. Lovejoy  
1928 Congress Street  
Portland, Maine

Subject: Application for building permit to make  
alterations in the single family dwelling house  
at 1928 Congress Street for the purpose of provid-  
ing there an apartment house for four families, and  
proposed zoning appeal relating thereto

Dear Sir:

Building permit for the above work and change of use is not issuable under  
the Zoning Ordinance because the property is located in a Residence A Zone in which  
Section 12A of the Ordinance prohibits use as an apartment house.

Mr. Lovejoy has indicated your desire to seek an exception from the Board  
of Appeals for this non-conforming use. There is enclosed, therefore, an outline  
of the appeal procedure.

I have explained to him that there is great doubt that the Board of Appeals  
has power to permit such an exception unless it can be established to the satisfac-  
tion of the members of the Board that the exception is necessary to avoid confisca-  
tion and that it may be granted without substantially departing from the intent and  
purpose of the Zoning Ordinance.

While the Building Code contains many provisions for an apartment house, and  
Mr. Lovejoy has indicated in his letter that these will all be taken care of, should  
the appeal be successful, the attention of both of you is called to what seems like  
a defect, difficult to remedy, as to means of egress from apartment number 3, pro-  
posed on the second floor. As I understand the plan, the occupants of apartment  
number 3 would not be able to reach the proposed new rear stairway except by passing  
through the living room of apartment number 4. Section 212e says that means of egress  
shall lead to outside exit doors without intervening private quarters. Should you  
propose something in the way of an outside fire escape (merely counting the roof of  
the bay windows or the porch as a means of egress is not allowable), it should be  
included in your plans, as such outside structures are important for consideration  
of the Board of Appeals.

Very truly yours,

W McD/G

Inspector of Buildings

Enclosure: Outline of appeal procedure and carbon copy for owner

CC: Edward F. Gignoux  
Assistant Corporation Counsel

47/3

C  
O  
P  
Y

49/13

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

January 25, 1949

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, February 4, 1949 at ten-thirty o'clock in the forenoon to hear the appeal of W. W. Exfield requesting exception to the Zoning Ordinance to permit alterations in single family dwelling house at 1928 Congress Street for the purpose of providing there an apartment house for four families.

This permit is issuable because this property is located in a Residence A Zone, in which section 12A of the Ordinance prohibits use as an apartment house.

This appeal is taken under Section 17E of the Zoning Ordinance which provides that the board of appeals, by unanimous vote of its members, may permit exceptions in specific cases so as to grant reasonable use of property where necessary to avoid confiscation and without substantially departing from the intent and purpose of the Zoning Ordinance, subject always to the rule that said Board shall give due consideration to promoting public health, safety, convenience and welfare, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, noxious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in each case.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in question as required by law.

BOARD OF APPEALS

Robert L. Getchell

Chairman

M

49/3

We, the undersigned, owners of property in the vicinity of a proposed  
do, hereby, give our written consents to this proposed use

Signature of Owner or Authorized Agent  
Printed signature not accepted.

LOCATION OF PROPERTY  
Street and Number

Appraisal of H W Maxfield at 1928 Congress Street

Congress Street - 1875 to 1995  
- 1876 to 1996

15 Copies

Office of H. W. Maffield at <sup>Page 1</sup>  
1928 Congress S. 49/13

1867-1875	Strange, Clifford	1871 Congress St
1877-1891	Sanigam, Robert D + Eulalie	1889 Congress St
1893-1901	Batts, Carrie J. N.R.	222 Rawson Road Brockline, Mass.
1903-1905	Right of Way	
R1903-1905	Slup	
R1903-1905	Blanchard, Harold W.	95 Murfield Road
R1903-1905	Zachary, Serena	R1709 Congress
R1903-1905	Haskins, Clarence M.	1909 Congress St
1907-1911	Slup	
1913-1915	Maffield, Horatio	1928 Congress St
1917-1947	Leahy, R. A.	382 Westbrook St
1947-1953	Tinkham, John C.	1955 Congress
1955-1959	Slup	
1961-1967	Gordon, Arlo C + Blanche F.	1552 Congress St
1969-1975	Gordon, Frank G.	1956 Congress St
1876-1884	Maffield, Arthur F.	335 Westbrook St
1886-1900	Slup	
1902-1918	Maffield, Harold F.	1928 Congress St
1920-1952	Slup	
1954-1972	Slup	
1974-2020	Shilkin, John E.	2022 Congress





(PA) PERMITS ZONE - A  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class  
Portland, Maine, December 17, 1948

PERMIT ISSUED

DEC 24 1948

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~maintain~~ install the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1928 Congress Street Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's name and address H. W. Maxfield, 1928 Congress Street Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Not let \_\_\_\_\_ Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 2  
Proposed use of building Dwelling house No. families 1  
Last use \_\_\_\_\_ " " \_\_\_\_\_ No. families 1  
Material wood No. stories 2 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot garage & barn \_\_\_\_\_ Fee \$ 5.00  
Estimated cost \$ 1500

General Description of New Work

To erect nonx-bearing partitions to provide new bathroom on first floor and one on second floor as shown on plan by "X". or fibreboard  
2x3 and 2x4 studs, 16" on centers, covered with plaster/both sides.

*Mr. Boyer says there are no finished rooms on 3rd floor - not headroom enough.*

Permit Issued with Letter CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO H. W. Maxfield

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over: 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will auto mobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
H. W. Maxfield

APPROVED:

INSPECTION COPY

Signature of owner

by

*H. W. Maxfield*

NOTES

2/4/47 Summary in House  
on motion to withdraw inq.  
and to move to discharge  
committee and to be closed  
E.S.

4/28/49 Committee on  
the Judiciary report on  
the case of the  
House on the  
floor to be closed with  
discussion and report. E.S.

6/2/49 Committee on  
the Judiciary report on  
the case of the  
House on the  
floor to be closed with  
discussion and report. E.S.

101-201  
Date of 12/2/47  
Location 1928 Congress  
Chairman J. M. McPherson  
Date of report 12/24/48  
Date of closing in 2/1/49  
Date of closing in 2/2/49  
Final Notice 4/2/49  
Final Notice 4/2/49  
Date of (Discharge) issued 4/2/49

Red Tag to  
the  
by the proper authority. E.S.



At 1928 Congress Street-I  
(single family.)

December 24, 1938

Mr. F. W. Marshall  
Attn: Mr. L. H. Lovejoy  
1928 Congress Street  
Portland, Maine

Subject: Building permit for alterations in single  
family dwelling house at 1928 Congress Street

Dear Sir:

Permit for the above work is issued herewith, subject to the following:

Despite the facts that there is one existing bathroom and two new bathrooms proposed—new bathrooms on each floor—proposing three bathrooms in the building under the current permit, the building is still to be maintained as a single family dwelling house, only; and this permit is issued without prejudice to possible future zoning appeals to change the use to a two family dwelling house or a multiple family apartment house.

Since neither of the proposed bathrooms is to have an exterior window, the rooms will be vented in a manner complying with City and State health and plumbing regulations as administered by the Plumbing Inspector.

In event any part of the new partitions of the new bathrooms would corner public or stair halls, later to be used as public halls for an apartment house if granted by exception by Board of Appeals, such partitions or portions thereof as are involved with public halls should be plastered on non-burnable lath instead of on fibreboard as indicated on application.

To also have an application for a permit at the same building to make additional alterations and to change the use of the single family dwelling house to an apartment house of four dwelling units—a use not allowable in the Residence A Zone where the property is located. Also, a request that the latter application be certified to the Board of Appeals, asking an exception so that the new center lot use may be established. This appeal is the subject of a separate letter.

Mr. Lovejoy says that something has to be done with the building different from the present use, and if the Board of Appeals find themselves unable to grant the four unit apartment house, authority for a two family dwelling house will be sought.

Should the latter condition be finally established, it appears that there would be three bathrooms in a two family dwelling house, unless one were dismantled. This of course is allowable.

Very truly yours,

WHEP/G

Inspector of Buildings

Enclosure: Carbon copy for the owner

1928 Congress Street  
Portland, Maine

Inspector of Buildings  
City of Portland  
Portland, Maine

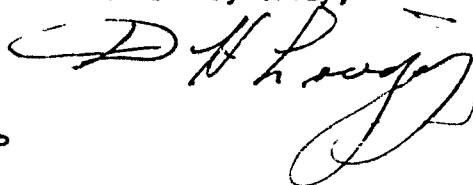
Dear Mr. McDonald:

In reference to the attached application for alterations to the house at 1928 Congress Street, for Mr. H. W. Maxfield, the plans are marked showing the changes desired, and, of course, leaves the house as a single residence.

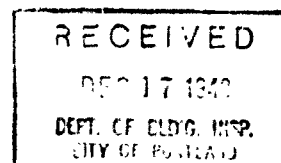
The rooms indicated as "ell room" and "wash room" on the plan at the present time are unfinished and will require a good deal of carpenter work before plastering.

Therefore, it would be desirable to proceed with the intent of using these areas for some purpose regardless of whether or not four apartments are acceptable.

Yours very truly,



Tel. 2-8138



INQUIRY BLANK

ZONE DA

FIRE DIST. 1

CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

Date 11/18/48

Verbal  
By Telephone

LOCATION 1918 Congress St OWNER W. W. Mayhew

SEE BY W. W. Mayhew TEL.

ADDRESS 1928 Congress St

PRESENT USE OF BUILDING Home

CLASS OF CONSTRUCTION  NO. OF STORIES

REMARKS:

INQUIRY: Owner has disallowed the proposed  
new small apartment building.

ANSWER: No. Explained also about the  
term to avoid confusion  
in case of future fire.

DATE OF REPLY 11/18/48 REPLY BY W. W. Mayhew



FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine

RECEIVED

STANDARD

PERMIT

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install heating, cooking or power equipment in a building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1110 Congress St. 2nd Fl.

Name and address of owner of appliance Ed. J. ...

Installer's name and address ...

New Building  
Existing

No Stories

Telephone

## General Description of Work

To install

### IF HEATER, OR POWER BOILER

Location of appliance or source of heat

If wood, how protected?

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace

From top of smoke pipe

Size of chimney flue

If gas fired, how vented?

Type of floor beneath appliance

Kind of fuel

From sides or back of appliance

From sides or back of appliance

Rated maximum demand per hour

### IF OIL BURNER

Name and type of burner

Will operator be always in attendance?

Type of floor beneath burner

Location of oil storage

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame?

Total capacity of any existing storage tanks for furnace burners

Labelled by underwriter's laboratories?

Does oil supply line feed from top or bottom of tank?

Number and capacity of tanks

How many tanks fire proofed?

### IF COOKING APPLIANCE

Location of appliance

If wood, how protected?

Minimum distance to wood or combustible material from top of appliance

From front of appliance

Size of chimney flue

Is hood to be provided?

If gas fired, how vented?

Kind of fuel

Type of floor beneath appliance

From top of smokepipe

Rated maximum demand per hour

### MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR  
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine

RECEIVED

SEP 29 1948

PERMIT ISSUED

01755

SEP 30 1948

CITY OF PORTLAND

800708

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1928 Congress St. Use of Building Dwelling No. Stories 2 New Building Existing  
Name and address of owner of appliance H. W. Gifford  
Installer's name and address Ballard Electric Telephone 2-1991

General Description of Work

To install one fully automatic oil burner for operating  
steam boiler

IF HEATER, OR POWER BOILER

Location of appliance or source of heat \_\_\_\_\_ Type of floor beneath appliance \_\_\_\_\_  
If wood, how protected? \_\_\_\_\_ Kind of fuel \_\_\_\_\_  
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace \_\_\_\_\_  
From top of smoke pipe \_\_\_\_\_ From front of appliance \_\_\_\_\_ From sides or back of appliance \_\_\_\_\_  
Size of chimney flue \_\_\_\_\_ Other connections to same flue \_\_\_\_\_  
If gas fired, how vented? \_\_\_\_\_ Rated maximum demand per hour \_\_\_\_\_

IF OIL BURNER

Name and type of burner 1- ESSO L-C-S-1 Labelled by underwriter's laboratories? Yes  
Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? Bottom  
Type of floor beneath burner Cement  
Location of oil storage Basement Number and capacity of tanks 1- 275 gals  
If two 275-gallon tanks, will three-way valve be provided? \_\_\_\_\_  
Will all tanks be more than five feet from any flame? Yes How many tanks fire proofed? None  
Total capacity of any existing storage tanks for furnace burners None

IF COOKING APPLIANCE

Location of appliance \_\_\_\_\_ Kind of fuel \_\_\_\_\_ Type of floor beneath appliance \_\_\_\_\_  
If wood, how protected? \_\_\_\_\_  
Minimum distance to wood or combustible material from top of appliance \_\_\_\_\_  
From front of appliance \_\_\_\_\_ From sides and back \_\_\_\_\_ From top of smokepipe \_\_\_\_\_  
Size of chimney flue \_\_\_\_\_ Other connections to same flue \_\_\_\_\_  
Is hood to be provided? \_\_\_\_\_ If so, how vented? \_\_\_\_\_  
If gas fired, how vented? \_\_\_\_\_ Rated maximum demand per hour \_\_\_\_\_

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED

OK 9-29-48. FMS

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of Installer

Ballard Electric

Permit No. 481 1756

Location 1928 Congress St

Owner H. V. Indefred

Date of permit 9/30/46

Approved \_\_\_\_\_

NOTES

1 Fuel Pipe

2 Vent Pipe

3 Kind of Heat

4 Burner Rating & Supports

5 Name & Title

6 Stock & Fuel

7 Heat Exchanger

8 Heat Loss

9 Piping

10 Valves

11 Cap & Check

12 Tank

13 To & From

14 Oil Gauge

15 Instruction Card

16





FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED  
02554  
SEP 30 1947

Portland, Maine, Sept. 29, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking, or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1228 Congress Street Use of Building Dwelling house No. Stories 1 1/2 Building  
Name and address of owner of appliance H. W. Marfield, 1228 Congress St. -2-8138 Existing  
Installer's name and address John Owens, 1228 Congress Street Telephone

## General Description of Work

To install steam heating system (one pipe) in place of stove heat

## IF HEATER, OR POWER BOILER

Location of appliance or source of heat cellar Type of floor beneath appliance concrete  
If wood, how protected? Kind of fuel coal  
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace 24"  
From top of smoke pipe 11" shield to be provided From front of appliance over 4" From sides or back of appliance over 3"  
Size of chimney flue 8x12 Other connections to same flue none  
If gas fired, how vented? Rated maximum demand per hour

## IF OIL BURNER

Name and type of burner Labelled by underwriter's laboratories?  
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?  
Type of floor beneath burner  
Location of oil storage Number and capacity of tanks  
If two 275-gallon tanks, will three-way valve be provided?  
Will all tanks be more than five feet from any flame? How many tanks fire proofed?  
Total capacity of any existing storage tanks for furnace burners

## IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance  
If wood, how protected?  
Minimum distance to wood or combustible material from top of appliance  
From front of appliance From sides and back From top of smokepipe  
Size of chimney flue Other connections to same flue  
Is hood to be provided? If so, how vented?  
If gas fired, how vented? Rated maximum demand per hour

## MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? \$1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

OK. 9-29-47. P.M.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of Installer

John B. Owens



building at same time.)

APPROVED:

OK 9-29-47 J. H. H.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ☒ Yes

INSPECTION COPY

Signature of Installer

John B. Harris

Permit No. 47/ 2554

Location 1928 Congress St.

Owner H. W. Mayfield

Date of permit 9/ 30 1947

Approved J. H. H.

NOTES 5 of 11



# APPLICATION FOR PERMIT TO REPAIR BUILDING

Third Class Building

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, Jan. 27, 1924

The undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Rear 192<sup>nd</sup> Congress Street Within fire limits? no Dist. No. \_\_\_\_\_  
Owner's name and address Horatio Maxfield, 192<sup>nd</sup> Congress Street Telephone \_\_\_\_\_  
Contractor's name and address Owner Telephone \_\_\_\_\_  
Use of building 1 family dwelling  
No. stories 1<sup>1</sup> Style of roof pitch Type of present roof covering asphalt shingles

## General Description of New Work

To repair after fire to former condition with no alterations. Rubbish fire in first story.

INSPECTION NOT COMPLETED

O.K. 1/27/24.000

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

## If Roof Covering is to be Repaired or Renewed

Is any plumbing work involved in this work? no Is any electrical work involved in this work? yes  
Are repairs or renewal due to damage by fire? yes If so, what area damaged? \_\_\_\_\_ sq. ft.  
Area of roof to be repaired now? hole in roof cut by firemen \_\_\_\_\_ sq. ft.  
Type of roofing to be used asphalt shingles class "C" No. plies \_\_\_\_\_  
Trade name and grade of roof covering to be used \_\_\_\_\_  
Estimated cost \$ 250.00 Fee \$ 1.00

INSPECTION COPY

Signature of owner Horatio Maxfield

By Arthur F. Maxfield

Permit No. 43/121  
Location Rear 1828 Congress St.  
Owner Horatio Mayfield  
Date of permit 1/29/43  
Notif. closing-in  
Inspn. closing-in  
Final Notif.  
Final Inspn.  
Cert. of Occupancy issued

NOTES

1/27/43 Inspected and  
floor joists removed with  
damage to bath plaster  
and finish. OK  
2/10/43 Work not started.

December 3, 1928

Mr. H. Marfield  
1492 Congress St.  
Portland, Maine.

Dear Sir:

Enclosed is a building permit covering the erection of a milk house at the rear of your property 1492 Congress Street.

I have gone over the construction of this building with your son on the premises and the permit is issued subject to your complying with the following specifications as well as all other requirements of the Building Ordinance.

The foundation of the building is to be posts made of iron pipe with plates upon the top supporting the sill, the posts to extend at least four feet (4 ft.) below the final grade of the ground and to be protected with larger pipe to prevent heaving by frost. These posts are to be no more than five (5) feet center to center.

This work has proceeded without a permit and the plate at the top of the stud has been laid with a single 2x4. This is required by law to be a double 2 x 4 and your son has agreed to make this change.

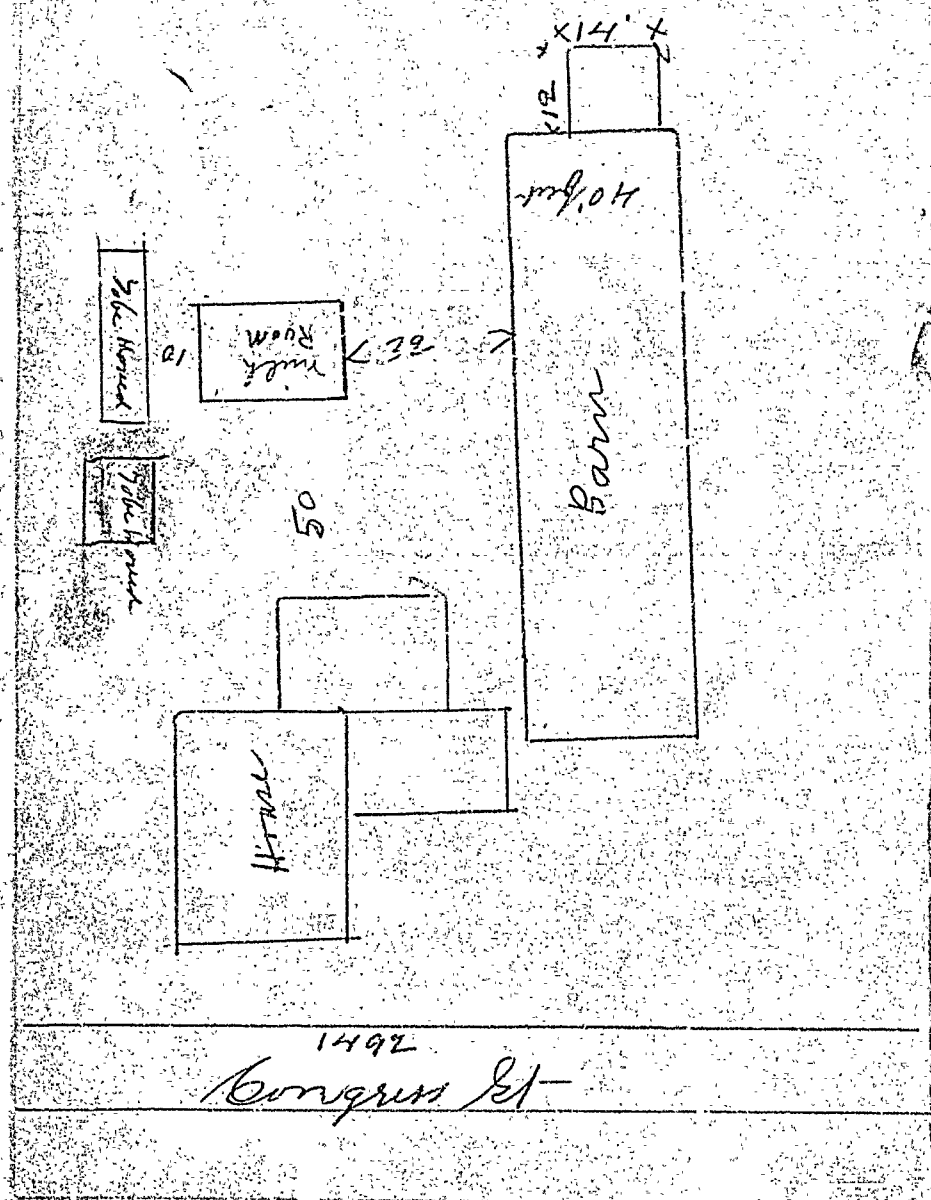
If the pressure on this boiler is to be more than fifteen (15) pounds, the chimney is required by law to have a brick wall at least eight (8) inches in thickness and the inside four (4) inches of these walls from a point not less than two (2) feet below the smoke pipe to a point not less than fifteen (15) feet above the smoke pipe is to be of fire brick laid in fireclay, and no woodwork is to be less than one inch removed from any part of the chimney.

There seems to be some uncertainty as to the amount and location of the oil storage for the fuel oil burner. It is stated that your oil burner is to be a Ballard burner approved by the Underwriters' Laboratories. Before the oil storage is definitely installed it will be necessary for you to get in touch with this office and indicate upon your application the location of the tank and the capacity of the same.

Very truly yours,

1/8  
Inspector of Buildings.

(R) GENERAL RESIDENCE ZONE







## APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, December 1, 1928

Permit No. 2506

PERMIT ISSUED

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1492 1492 Congress Street Ward 8 Within Fire Limits? No Dist. No.     

Owner's ~~owner's~~ name and address H. Maxfield, 1492 Congress Street Telephone     

Contractor's name and address Owner Telephone     

Architect's name and address     

Proposed use of building Milk Room No. families     

Other buildings on same lot Dwell. Barn, sheds

### Description of Present Building to be Altered

Material      No. stories      Heat      Style of roof      Roofing     

Last use      No. families     

### General Description of New Work

To erect frame one story building 12' x 16'

### Details of New Work

Size, front 12' depth 16' No. stories 1 Height average grade to top of plate 7' 8"  
Height average grade to highest point of roof 12'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation Concrete Thickness, top      bottom     

Material of underpinning      Height      Thickness     

Kind of roof mansard Roof covering Asphalt shingles Class C Und. Lab.

No. of chimneys 1 yes Material of chimneys brick of lining tile

Kind of heat steam Type of fuel oil Distance, heater to chimney 2-3'

If oil burner, name and model     

Capacity and location of oil tanks     

Is gas fitting involved? no Size of service     

Corner posts 4x4 Sills 6x3 Girt or ledger board?      Size     

Material columns under girders      Size      Max. on centers     

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor Concrete, 2nd     , 3rd     , roof 2x4

On centers: 1st floor     , 2nd     , 3rd     , roof 2'

Maximum span: 1st floor     , 2nd     , 3rd     , roof     

If one story building with masonry walls, thickness of walls?      height?     

### If a Garage

No. cars now accommodated on same lot     , to be accommodated     

Total number commercial cars to be accommodated     

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?     

### Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets 1

Estimated cost \$ 100. Fee \$ .50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto

be observed? Yes

Signature of owner H. Maxfield

INSPECTION COPY



SEE VIOLATIONS FILE

Ward 8 Permit No. 283606M

1712 742  
L. 442 Congress St.

Owner H. Maxfield

Date of permit 12/3/28

Notif. closing-in

Final closing-in

Final Notif

Final Inspn.

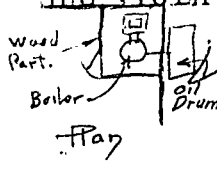
Cert. of Occupancy issued

NOTES

Mr. Maxfield said you  
have covered this job  
during construction,  
work closed in so  
can not check  
framing, 3 loose  
bricks for cleanout  
to be replaced by  
cleanout door also  
Cement around and 12/4/29 etc.

Little Giant Boiler, has  
drum of oil against  
building outside

SEE VIOLATIONS FILE



6

# APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

0 229.6

ZONING LOCATION

PORTLAND, MAINE

Dec. 7, 1983

DEC 8 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

CITY OF PORTLAND

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications.

LOCATION 1914 Congress Street

1. Owner's name and address United Pentecostal Church - same Fire District #1 ☐ #2 ☐  
2. Lessee's name and address Telephone 773-6334  
3. Contractor's name and address Owner Telephone same

Proposed use of building church No. of sheets

Last use same No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 15,000

FIELD INSPECTOR—Mr.

@ 775-5451

Appeal Fees \$

Base Fee \$ 85.00

Late Fee

TOTAL \$ 85.00

To construct 1 story addition to already existing basement area of church, 60' x 60' addition as per plans.

Stamp of Special Conditions

send permit to # 1 - 04102

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

## DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?  
Is connection to be made to public sewer? If not, what is proposed for sewage?  
Has septic tank notice been sent? Form notice sent?  
Height average grade to top of plate Height average grade to highest point of roof  
Size, front depth No. stories solid or filled land? earth or rock?  
Material of foundation Thickness, top bottom cellar  
Kind of roof Rise per foot Roof covering  
No. of chimneys Material of chimneys of lining Kind of heat fuel  
Framing Lumber—Kind Dressed or full size? Corner posts Sills  
Size Girder Columns under girders Size Max. on centers  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor 2nd 3rd roof  
On centers: 1st floor 2nd 3rd roof  
Maximum span: 1st floor 2nd 3rd roof  
If one story building with masonry walls, thickness of walls? height?

## IF A GARAGE

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

## APPROVALS BY:

DATE

## MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

Will work require disturbing of any tree on a public street?

ZONING:

BUILDING CODE:

Fire Dept.:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Health Dept.:

Others:

Signature of Applicant

Type Name of above

Rev. Phillip J Stearns for  
United Pentecostal Church

Phone # same

1 ☐ 2 ☐ 3 ☐ 4 ☐

Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



APPLICATION FOR PERMIT  
DEPARTMENT OF BUILDING INSPECTIONS SERVICES  
ELECTRICAL INSTALLATIONS

Date May 26, 1983  
Receipt and Permit number B09957

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine.  
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of  
Maine, the Portland Electrical Ordinance the National Electrical Code and the following specifications:

LOCATION OF WORK: 1914 Congress St.  
OWNER'S NAME: United Pentecostal Church ADDRESS: same

OUTLETS: Receptacles \_\_\_\_\_ Switches \_\_\_\_\_ Plugmold \_\_\_\_\_ ft. TOTAL \_\_\_\_\_ FEES \_\_\_\_\_

FIXTURES: (number of) Incandescent \_\_\_\_\_ Fluorescent \_\_\_\_\_ (not strip) TOTAL \_\_\_\_\_  
Strip Fluorescent \_\_\_\_\_ ft. \_\_\_\_\_

SERVICES: Overhead \_\_\_\_\_ Underground \_\_\_\_\_ Temporary \_\_\_\_\_ TOTAL amperes \_\_\_\_\_

METERS: (number of) 1 \_\_\_\_\_ TOTAL amperes 1 .50

MOTORS: (number of) Fractional \_\_\_\_\_  
1 HP or over \_\_\_\_\_

RESIDENTIAL HEATING: Oil or Gas (number of units) \_\_\_\_\_  
Electric (number of rooms) \_\_\_\_\_

COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) \_\_\_\_\_  
Oil or Gas (by separate units) \_\_\_\_\_

Electric Under 20 kws \_\_\_\_\_ Over 20 kws \_\_\_\_\_

APPLIANCES: (number of) Ranges \_\_\_\_\_  
Cook Tops \_\_\_\_\_ Water Heaters \_\_\_\_\_  
Wall Ovens \_\_\_\_\_ Disposals \_\_\_\_\_  
Dryers \_\_\_\_\_ Dishwashers \_\_\_\_\_  
Fans \_\_\_\_\_ Compactors \_\_\_\_\_  
Others (denote) \_\_\_\_\_

TOTAL \_\_\_\_\_

MISCELLANEOUS: (number of) Branch Panels 1 \_\_\_\_\_ 1.00

Transformers \_\_\_\_\_

Air Conditioners Central Unit \_\_\_\_\_  
Separate Units (windows) \_\_\_\_\_

Signs 20 sq. ft. and under \_\_\_\_\_  
Over 20 sq. ft. \_\_\_\_\_

Swimming Pools Above Ground \_\_\_\_\_  
In Ground \_\_\_\_\_

Fir / burglar Alarms Residential \_\_\_\_\_  
Commercial \_\_\_\_\_

Heavy Duty Outlets 220 Volt (such as welders) 30 amps and under \_\_\_\_\_  
over 30 amps \_\_\_\_\_

Circus, Firs, etc. \_\_\_\_\_

Alterations to wires \_\_\_\_\_

Repair after fire \_\_\_\_\_

Emergency Lights, battery \_\_\_\_\_

Emergency Generators \_\_\_\_\_

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE: \_\_\_\_\_  
FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: \_\_\_\_\_

INSPECTION: Tomorrow noon 5/27/83 TOTAL AMOUNT DUE: 3.00  
Minimum Fee

Will be ready on May 26, 1983; or Will Call \_\_\_\_\_

CONTRACTOR'S NAME: Michael LaPlante

ADDRESS: 22 Preble St., Portland

TEL.: 772-5994

MASTER LICENSE NO.: 3714

LIMITED LICENSE NO.: \_\_\_\_\_

SIGNATURE OF CONTRACTOR  
Michael LaPlante

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN





APPLICATION FOR PERMIT  
DEPARTMENT OF BUILDING INSPECTIONS SERVICES  
ELECTRICAL INSTALLATIONS

Date November 9, 1932  
Receipt and Permit number A92374

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:  
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of

Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specification:  
LOCATION OF WORK: Pentecostal Church, 1914 Congress Street  
OWNER'S NAME: above ADDRESS: same

OUTLETS:

Receptacles \_\_\_\_\_ Switches \_\_\_\_\_ Plugmold \_\_\_\_\_ ft. TOTAL 1-30 \_\_\_\_\_

FIXTURES: (number of) \_\_\_\_\_  
Incandescent 1-10 \_\_\_\_\_ Fluorescent \_\_\_\_\_ (not strip) TOTAL 1-10 \_\_\_\_\_  
Strip Fluorescent \_\_\_\_\_ ft. \_\_\_\_\_

SERVICES:

Overhead \_\_\_\_\_ Underground x Temporary \_\_\_\_\_ TOTAL amperes 200

METERS: (number of) 1

MOTORS: (number of) \_\_\_\_\_

Fractional \_\_\_\_\_

1 HP or over \_\_\_\_\_

RESIDENTIAL HEATING:

Oil or Gas (number of units) \_\_\_\_\_

Electric (number of rooms) 5

COMMERCIAL OR INDUSTRIAL HEATING:

Oil or Gas (by a main boiler) \_\_\_\_\_

Oil or Gas (by separate units) \_\_\_\_\_

Electric Under 20 kws \_\_\_\_\_ Over 20 kws \_\_\_\_\_

APPLIANCES: (number of)

Ranges \_\_\_\_\_

Cook Tops \_\_\_\_\_

Wall Ovens \_\_\_\_\_

Dryers \_\_\_\_\_

Fans \_\_\_\_\_

TOTAL 3

Water Heaters \_\_\_\_\_

Disposals \_\_\_\_\_

Dishwashers \_\_\_\_\_

Compactors \_\_\_\_\_

Others (denote) \_\_\_\_\_

MISCELLANEOUS: (number of)

Branch Panels \_\_\_\_\_

Transformers \_\_\_\_\_

Air Conditioners Central Unit \_\_\_\_\_

Separate Units (windows) \_\_\_\_\_

Signs 20 sq. ft. and under \_\_\_\_\_

Over 20 sq. ft. \_\_\_\_\_

Swimming Pools Above Ground \_\_\_\_\_

In Ground \_\_\_\_\_

Fire/Burglar Alarms Residential \_\_\_\_\_

Commercial \_\_\_\_\_

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under \_\_\_\_\_

over 30 amps \_\_\_\_\_

Circus, Fairs, etc. \_\_\_\_\_

Alterations to wires \_\_\_\_\_

Repairs after fire \_\_\_\_\_

Emergency Lights, battery \_\_\_\_\_

Emergency Generators \_\_\_\_\_

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT \_\_\_\_\_  
FOR REMOVAL OF A "STOP ORDER" (304-16.b) \_\_\_\_\_

INSTALLATION FEE DUE: \_\_\_\_\_  
DOUBLE FEE DUE: \_\_\_\_\_

TOTAL AMOUNT DUE: \_\_\_\_\_

INSPECTION:

Will be ready on \_\_\_\_\_ is done \_\_\_\_\_, 19\_\_\_\_; or Will Call \_\_\_\_\_

CONTRACTOR'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

TEL.: \_\_\_\_\_

MASTER LICENSE NO.: \_\_\_\_\_

LIMITED LICENSE NO.: \_\_\_\_\_

SIGNATURE OF CONTRACTOR: \_\_\_\_\_

Michael LaPlante

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN



ELECTRICAL INSTALLATIONS —

Permit Number 92374  
 Location 1914 Congress St.  
 Owner Cent. Church  
 Date of Permit 11-9-82  
 Final Inspection 12-27-82  
 By Inspector Tully  
 Permit Application Register Page No. 132

INSPECTIONS: Service ✓ by Tully  
 Service called in OK  
 Closing-in OK by Tully

PROGRESS INSPECTIONS:  
12-27-82  
 /  
 /  
 /  
 /  
 /  
 /

CODE  
 COMPLIANCE  
 COMPLETED  
 DATE 12-27-82

REMARKS:  
 DATE:

Done before permit taken in Oct.

12-27-82 OK - Final





# APPLICATION FOR AMENDMENT TO PERMIT **PERMIT ISSUED**

Amendment No. # 1

SEP 21 1984

Portland, Maine, Sept. 20, 1984

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

**CITY of PORTLAND**

The undersigned hereby applies for amendment to Permit No.                      pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1914 Congress Street Within Fire Limits?                      Dist. No.                       
Owner's name and address First United Pentecostal Church - same Telephone 773-6334  
Lessee's name and address                      Telephone                       
Contractor's name and address Owner Telephone                       
Architect                      Plans filed                      No. of sheets                       
Proposed use of building main auditorium of church No. families                       
Last use                      No. families                       
Increased cost of work none Additional fee                     

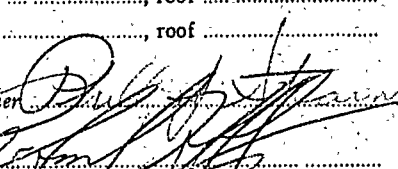
## Description of Proposed Work

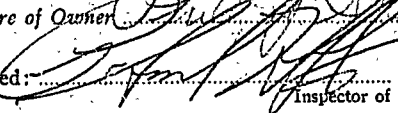
~~To~~ to change floor plan of main auditorium of church  
1 sheet of plans.

## Details of New Work

Is any plumbing involved in this work?                      Is any electrical work involved in this work?                       
Height average grade to top of plate                      Height average grade to highest point of roof                       
Size, front                      depth                      No. stories                      solid or filled land?                      earth or rock?                       
Material of foundation                      Thickness, top                      bottom                      cellar                       
Material of underpinning                      Height                      Thickness                       
Kind of roof                      Rise per foot                      Roof covering                       
No. of chimneys                      Material of chimneys                      of lining                       
Framing lumber—Kind                      Dressed or full size?                       
Corner posts                      Sills                      Girt or ledger board?                      Size                       
Girders                      Size                      Columns under girders                      Size                      Max on centers                       
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor                     , 2nd                     , 3rd                     , roof                       
On centers: 1st floor                     , 2nd                     , 3rd                     , roof                       
Maximum span: 1st floor                     , 2nd                     , 3rd                     , roof                     

Approved:                     

Signature of Owner 

Approved: 

Inspector of Buildings

FILE COPY



CITY OF PORTLAND, MAINE  
Department of Building Inspection

## Certificate of Occupancy

LOCATION 1914 Congress Street

Issued to United Pentecostal Church

Date of Issue April 12, 1985

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 83-2296, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Church

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawfully existing building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

## Certificate of Occupancy

LOCATION

1914 Congress Street

Issued to United Pentecostal Church

Date of Issue April 12, 1985

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 83-2296, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Church

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

## APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION ..... 0 2296

DEC 8 1983

ZONING LOCATION ..... PORTLAND, MAINE ... Dec. 7, 1983

CITY OF PORTLAND

To the CHIEF OF BUILDING &amp; INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ..... 1914 Congress Street ..... Fire District #1 ☐ #2 ☐

1. Owner's name and address ..... United Pentecostal Church - same ..... Telephone ..... 773-6334 ..

2. Lessee's name and address ..... Telephone .....

3. Contractor's name and address ..... Owner ..... Telephone ..... same .....

..... No. of sheets .....

Proposed use of building ..... church ..... No. families .....

Last use ..... same ..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractual cost \$ ..... 15,000 ..

FIELDINSPECTOR—Mr. .... Appeal Fees \$ .....

@ 775-5451 Base Fee ..... 85.00 .....

Late Fee .....

TOTAL \$ ..... 85.00 .....

To construct 1 story addition to already existing  
basement area of church, 60' x 60' addition as  
per plans.

Stamp of Special Conditions

send permit to # 1 - 04102

**NOTE TO APPLICANT:** Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

## DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....  
Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....  
Has septic tank notice been sent? ..... Form notice sent? .....  
Height average grade to top of plate ..... Height average grade to highest point of roof .....  
Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....  
Material of foundation ..... Thickness, top ..... bottom ..... cellar .....  
Kind of roof ..... Rise perfect ..... Roof covering .....  
No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....  
Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....  
Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....  
On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....  
Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....  
If one story building with masonry walls, thickness of walls? ..... height? .....

## IF A GARAGE

No. cars now accommodated on same lot ..... to be accommodated ..... number commercial cars to be accommodated .....  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

**APPROVALS BY:** ..... **DATE** ..... **MISCELLANEOUS** .....  
**BUILDING INSPECTION—PLAN EXAMINER** ..... Will work require disturbing of any tree on a public street? .....  
**ZONING:** .....  
**BUILDING CODE:** ..... Will there be in charge of the above work a person competent  
Fire Dept.: ..... to see that the State and City requirements pertaining thereto  
Health Dept.: ..... are observed? .....  
Others: .....

Signature of Applicant ..... *Phillip J. Stearns* ..... Phone # ..... same .....  
Type Name of above ..... Rev. Phillip J. Stearns for ..... 1 ☒ 2 ☐ 3 ☐ 4 ☐  
United Pentecostal Church Other .....  
and Address .....

FIELD INSPECTOR COPY

APPLICANT'S COPY

OFFICE FILE COPY

[8] MM, Rowe,

---

1914 Contract 27

Chief of the Executive Council

12-7-83

178-83

$$12 = 0 \quad 0$$

Waggoner, the

---

---

trip

19/13/84  
2/12/10 almost

2/25/85

4/11/85. Completed.

100

\_\_\_\_\_ 6 \_\_\_\_\_





# APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. # 1  
Portland, Maine, Sept. 20, 1984

PERMIT ISSUED

SEP 21 1984

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. . . . pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1914 Congress Street Within Fire Limits? Dist. No. . . .  
Owner's name and address First United Pentecostal Church - same Telephone 773-6334  
Lessee's name and address Telephone . . .  
Contractor's name and address Owner Telephone . . .  
Architect Plans filed No. of sheets . . .  
Proposed use of building main auditorium of church No. families . . .  
Last use No. families . . .  
Increased cost of work none Additional fee . . .

## Description of Proposed Work

To change floor plan of main auditorium of church  
1 sheet of plans.

## Details of New Work

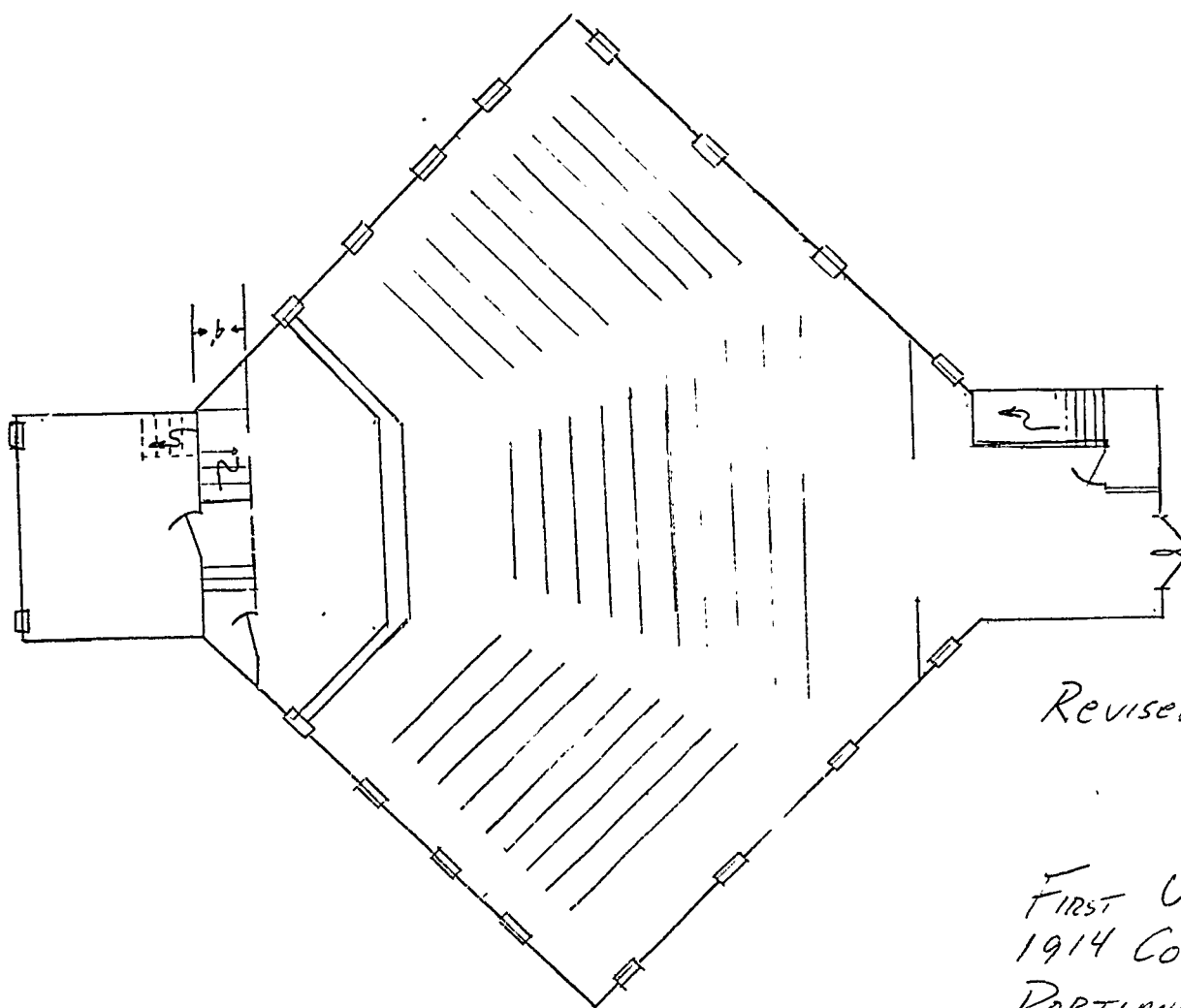
Is any plumbing involved in this work? Is any electrical work involved in this work? . . .  
Height average grade to top of plate Height average grade to highest point of roof . . .  
Size, front depth No. stories solid or filled land? earth or rock? . . .  
Material of foundation Thickness, top bottom cellar . . .  
Material of underpinning Height Thickness . . .  
Kind of roof Rise per foot Roof covering . . .  
No. of chimneys Material of chimneys of lining . . .  
Framing lumber—Kind Dressed or full size? . . .  
Corner posts Sills Girt or ledger board? Size . . .  
Girders Size Columns under girders Size Max. on centers . . .  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor, 2nd, 3rd, roof . . .  
On centers: 1st floor, 2nd, 3rd, roof . . .  
Maximum span: 1st floor, 2nd, 3rd, roof . . .

Approved:

Signature of Owner *Paul J. Stearns*  
Approved: *[Signature]* Inspector of Buildings

INSPECTION COPY





RECEIVED  
SEP 20 1984  
DEPT OF BLDG INSP.  
CITY OF PORTLAND

*Revised Floor Plan*

*FIRST UNITED PENTECOSTAL Church  
1914 Congress St  
Portland, Me.*

CITY OF PORTLAND, MAINE  
MEMORANDUM

TO: Joseph E. Gray, Jr., Director of Planning & Urban Development  
FROM: P. Samuel Hoffses, Chief of Inspection Services *PH*  
SUBJECT: 1914-1918 Congress Street (First United Pentacostal Church)  
1888-1904 Congress Street (Christ Church)

DATE: 5/17/83

As per your inquiry on the status of the two subject churches, I had Code Enforcement Officer Rowe do an on site investigation, and Mr. Vandoloski and myself also did a follow-up inspection on May 16, 1983.

As you know, and is shown on the site plan, both of these buildings are located approximately 1000' from the public way (Congress Street) and required major site work before any paving could be started.

At present, both buildings are occupied - Christ Church full occupancy and First United Pentacostal basement only (living quarters with limited assembly under 50).

Both of these projects have started landscaping and preparing to pave.

Please find attached copies of permits and requirements.

*See:*  
PSH/mlb *we should detail how many times*  
ENCS. *inspected during construction. Plans for*  
*completing United Church as well as*  
*timetable for completing project*  
*J.E.G.*



## APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

BUILDING LOCATION R-2 PORTLAND, MAINE, June 9, 1981

PERMIT ISSUED

Aug 31 1981

CITY of PORTLAND

THE DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and the Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 1914 Congress St. Fire District #1 ☐ #2 ☐  
Owner's name and address First United Pentecostal Church Telephone 797-2377  
Lessee's name and address Telephone  
Contractor's name and address owner Telephone  
Architect Specifications Plans No. of sheets  
Proposed use of building church No. families  
Land No. stories Heat Style of roof Roofing  
Buildings on same lot Fee \$ 16.00  
Estimated structural cost \$ 10,000

INSPECTOR: Mr. GENERAL DESCRIPTION  
Application is for (a 775-5451 Ext 234) to construct foundation only as per plan  
SEND PERMIT TO 58 HOMESTEAD AVENUE 04103  
C/O PHILLIP STEARNS Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☒ 2 ☐ 3 ☐ 4 ☐

Other:

### DETAILS OF NEW WORK

Any plumbing involved in this work? Is any electrical work involved in this work?  
Connection to be made to public sewer? If not, what is proposed for sewage?  
Is a septic tank notice been sent? Form notice sent?  
Height average grade to top of plate Height average grade to highest point of roof  
Solid or filled land? earth or rock?  
Thickness, top bottom cellar  
Roof covering  
Kind of heat fuel  
Sills  
Max. span of chimneys  
Dressed or full size? Corner posts  
Columns under girders Size Max. on centers  
Joists and rafters: 1st floor 2nd 3rd roof  
On centers: 1st floor 2nd 3rd roof  
Maximum span: 1st floor 2nd 3rd roof  
one story building with masonry walls, thickness of walls? height?

### IF A GARAGE

cars now accommodated on same lot to be accommodated number commercial cars to be accommodated  
In addition, a parking lot other than number of cars to be stored in the proposed building?

August 26, 1981

First United Pentecostal Church  
1914-1918 Congress St.  
Assessors Map #212-A-20 & 212-A-5

Building permit to construct foundation only for above named church is issued  
subject to the following conditions.

Planning Dept.  
Driveways, parking and loading areas must be paved

Public Works

Traffic Circulation - 24' aisle in parking lot

Road Width - 24' minimum "crowned" roadway

Sewers - requires Plumbing Inspector's approval

Drainage - should the installation of the Type A chambers create a change in  
existing contours, we would recommend that the existing ditch shown  
on Burns' property be relocated onto church property above Burns'  
properly sized.

SITE PLAN REVIEW

Processing Form

Applicant First United Pentecostal Church Date \_\_\_\_\_

Mailing Address \_\_\_\_\_ Address of Proposed Site \_\_\_\_\_

Proposed Use of Site \_\_\_\_\_ Site Identifier(s) from Assessors Maps \_\_\_\_\_

Acreage of Site \_\_\_\_\_ Ground Floor Coverage \_\_\_\_\_ Zoning of Proposed Site \_\_\_\_\_

Site Location Review (DEP) Required: ( ) Yes ( ) No Proposed Number of Floors \_\_\_\_\_

Board of Appeals Action Required: ( ) Yes ( ) No Total Floor Area \_\_\_\_\_

Planning Board Action Required: (X) Yes ( ) No

Other Comments: Planning Board approved site plan, (subject to below conditions)

Date Dept. Review Due: on July 14, 1981.

PLANNING DEPARTMENT REVIEW

(Date Received) \_\_\_\_\_

☒ Major Development — Requires Planning Board Approval: Review Initiated

☐ Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED			✓	✓	✓	✓	✓	✓	✓	✓	✓	
APPROVED CONDITIONALLY	✓	✓										
DISAPPROVED												

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: Driveways, parking and loading areas must be paved.

(Attach Separate Sheet if Necessary)

Alexander Jaegerman / July 20, 1981

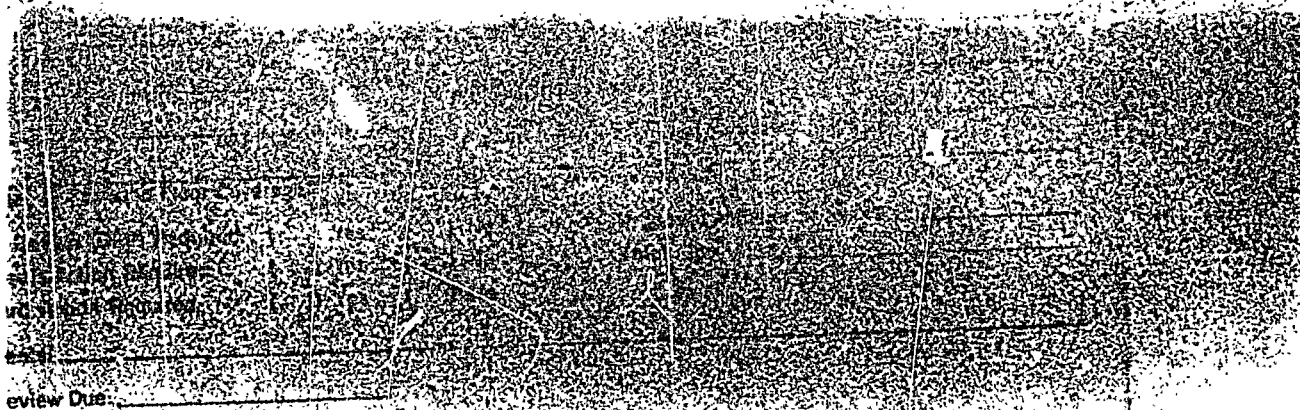
SIGNATURE OF REVIEWING STAFF / DATE

DEPARTMENT COPY

*Permit*



CITY OF PORTLAND, MAINE  
SITE PLAN REVIEW



Review Due:

PUBLIC WORKS DEPARTMENT REVIEW

6-10-91  
(Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
RECEIVED		✓	✓		✓	✓	✓	✓	✓		✓		✓	✓	✓	CONDITIONS SPECIFIED BELOW
RECEIVED ADDITIONALLY	✓			✓						✓		✓				REASONS SPECIFIED BELOW
APPROVED																

REMARKS: TRAFFIC CIRCULATION - 24' AISLE IN PARKING LOT  
 ROAD WIDTH - 24' MINIMUM "CROWNED" ROADWAY  
 SEWERS - REQ'D PLUMBING INSPECTOR'S APPROVAL  
 DRAINAGE - SHOULD THE INSTALLATION OF THE TYPE A  
 (Attach Separate Sheet if Necessary)  
 CHAMBERS CREATE A CHANGE IN EXISTING CONTOURS,  
 WE WOULD RECOMMEND THAT THE EXISTING DITCH  
 SHOWN ON BURNS' PROPERTY BE RELOCATED ONTO  
 CHURCH PROPERTY ABOVE BURNS'  
 PROPERTY AS BE  
 PROPERTY LTD. CITY OF PORTLAND DEPARTMENT COPY

SIGNATURE OF REVIEWING STAFF DATE

John S. Riggs 6/10/91



Christ Christ

Site  
Ground Floor Coverage  
Review (DEP) Required: ☐ Yes ☒ No  
Public Action Required: ☐ Yes ☒ No  
Additional Action Required: ☒ Yes ☐ No  
Proposed Number of Floors  
Total Floor Area  
View Due

PLANNING DEPARTMENT REVIEW

(Date Received)

Development — Requires Planning Board Approval: Review Initiated

Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
IDEALLY	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
DEVED												

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

Christ

775-1900

772-2192

\*M.A. Downs-

774-9060

772-8406

883-2461

The Planning Board voted unanimously to approve the site plan on June 9, 1981. The Board required that Christchurch pave all driveway and parking areas during the first phase of construction.



Patricia Hammett

SIGNATURE OF REVIEWING STAFF

PLANNING DEPARTMENT COPY

Road was placed but due to topo condition major reconstruction had to be made.

Applicant \_\_\_\_\_  
 Proposing Address \_\_\_\_\_  
 Proposed Use of Site \_\_\_\_\_  
 Age of Site \_\_\_\_\_ Ground Floor Coverage \_\_\_\_\_  
 Location Review (DEP) Required: ( ) Yes ( ) No  
 Dept. of Appeals Action Required: ( ) Yes ( ) No  
 Planning Board Action Required: ( ) Yes ( ) No  
 Comments: \_\_\_\_\_  
 Dept. Review Due: \_\_\_\_\_

(City, Town, or County) from Assessors Maps

Zoning of Proposed Site \_\_\_\_\_

Proposed Number of Floors \_\_\_\_\_

Total Floor Area \_\_\_\_\_

### PUBLIC WORKS DEPARTMENT REVIEW

5/15/81  
(Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	✓	✓			✓	✓	✓	✓	✓		✓		✓	✓		
APPROVED CONDITIONALLY				✓						✓		✓				CONDITIONS SPECIFIED BELOW
DISAPPROVED										✓		✓				REASONS SPECIFIED BELOW

REASONS: ROAD WIDTH = 24 FT. MINIMUM.

DRAINAGE \* WHAT IS PROPOSED POND, HOW DEEP, ETC.

SEWERAGE SYSTEM = MUST BE APPROVED BY PLUMBING INSP.

(Attach Separate Sheet if Necessary)

John P. Riquie 5/15/81  
 SIGNATURE OF REVIEWING STAFF DATE  
 PUBLIC WORKS DEPARTMENT COPY

5/23/83

Pent. Church

Rev. Philip Sterns told again to  
call PSH. Also his number was  
obtained so PSH could call him.

773-6334

FROM THE DESK OF  
SAMUEL HOFFSES  
Chief of Inspection Services  
Ext. 346

MR. ROWE

Please

see

Thank  
you