Jamery 6, 1949 39 N 19th Street, New York Sity S, N. Y

Wear Don:

We are returning languith correspondence regarding permits for alterations to our house at 1928 Congress attrect, as written by are marren Echonal', Inspector of Buildings.

These letters are any clear and show that ir. We longld has given us expost consideration and has been very thoughtful as to our interests as far as he can go within the law.

We realize, of course, that we have spent a good leak of money and work on the 'ouse, sith the idea of bringing it back to the shape of a substantial structure; also with the intention of making it an asset in appearance to the reighborhood, almost to the extent of a show place if possible.

However, any farm or set of buildings the size that we have, has to be carried on so ca to be economically sound. The cost of the house originally and remain cost makes it unsoun! I'mancially to onerate it as . one or two family house. The income would not be mufficient to may the cost of fuel for our central hacting system, texes, insurance, maintenance, depreciation, and allow any revenue whatever. In fact, I can only see that under the above two-family plan it would be carried on at a financial loss and that means that the maintenance and ropeirs will be neglected an the general exterior appearance would necessarily become unsightly on' coul) naturally develor into an eyesore for the neighborhood. It is not notural for enyone to carry on any project that is not financially succossful, and as I see it, for this house to be anc-RECEIVE) four family nouse. SIET, OF A. Market

The plans which we have maje together have devaloped into delightful two and four room apartments of such quality as would command the tenancy of selective people who would in themselves be an action to be maintained to be an asset to the neight

high-place are hous, this house and form the by birth-place are hous, and carries with it great sentimental value to me. However, I doubt if I coul be expected to carry it on forever as a burlen.

If, During our AD sel, the City Pathers or Committee will give the issue of this house the sympathetic consideration that Mr. marron McConal has, understanding that there large houses are very difficult to break financially even on, I so believe that they will allow us to alter the structure so it woul communitations enough to lefray the expense of proper maintenance and growning of large, chrisbery, one.

%3 lo 'estre to reconstruct the place so we will be very roul of it.

Yours truly,

H.H/I

AP 1928 Congress Street-I (Proposed apartment house)

legester 24, 1948

Mr. H. W. Waxfield Attn: Er. 1. H. Lovejoy 1928 Congress Street Portland, Caine subject: Application for suitding permit to make alterations in the single family dwelling house at 1928 Congress street for the purpose of providing there an apartment house for four families, and projosed sching appeal relating thereto

Pear Sir:

Building permit for the above work and trange of use is not issuable under the Zoning Ordinance because the property is located in a Besiconce & Zon in which Section 12A of the Ordinance prohibits use as an apartment house.

Er. Lovejoy has indicated your desire to seek an exception from the Board of Appeals for this non-combining use. There is enclosed, therefore, an outline of the appeal procedure.

I have explained to him that there is great doubt that the Board of Appeals has power to permit such an exception unless it can be established to the satisfaction of the members of the Board that the exception is necessary to avoid confiscation and that it may be gree i without substantially departing from the intent and purpose of the Zoning Ordina

while the Building Code contains many provisions for an apartment nouse, and Mr. Lovejoyhas indicated in his letter that these will all be taken care of, should the appeal be successful, the attention of tota of you is called to what some like a defect, difficult to resedy, as to means of agress from apartment number 3, proposed on the second floor. As I understand the plan, the occupants of spartment number 3 would not be able to reach the proposed new rear stairway except by passing through the living room of apartment number 4. Section 212e says that, means of egress shall lead to outside exit doors without intervening private quarters. Should you propose something in the way of an autside fire escape (merely counting the roof of the bay windows or the porch as a means of egress is not allowable), it should be included in your plans, as such outside structures are important for consideration of the Soard of Appends.

Very truly yours,

WMcF/G

. Inspector of buildings

Enclosure: Cutline of appeal procedure and carbon copy for owner

CU: Edward T. Gignoux Assistant Corporation Counsel 1928 Congress Street Portland, Maine

Inspector of Buildings City of Portland Portland, Maine

Dear Mr. McDonald:

The attached application for a four apartment alteration to the house at 1928 Congress Street, owned by Mr. H. W. Maxfield, is filed with the understanding that the application will have to go to the Appeal Board, due to the existing Zoning Ordinance.

I understand personally, of course, that this appeal is handled by another office, and this letter is simply an explanation to express the owner's intent.

Mr. Maxfield, in the past two years, has spent a great deal of money repairing and painting the outside of the house. With a heating system installed last year it seems fundamental and logical that he be able to proceed with a development that will pay revenue, as would be acquired from the four apartments.

Of course, with the acceptance of the permit further details as required will be furnished to cover all phases of the building code.

Yours very truly.

J. 2.8138

PECTIVED

DECTOR ELD'E MISP.

CHY OF FORTLAND

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pW - - - - Mag

in head of

e & Const. Victorian

1911

AP 1928 Congress Street

October 20, 1947

Mr. H. F. Maxfield 1928 longress Street Portland, Kaine

Subject: Occupancy of one of new a.mrtments in building at 1928 Congress Street.

Dear Sir:

You may consider this letter as authorization for occupancy of Apertment #1 in the first story of the building at the above address. Since other parts of the building are being occupied as living quarters for one faily, this will make a total of two apartments in the building. It will be recovered that all extent features required by the Building Code where by. nacersary that all safety features required by the Building Code where there is to be more than one apartment on any floor above the first be revided before we can give authorization for use of either of proposed partments in the second story. These include enclosure of cellar stairs and arrangement of lights in public halls so that they will burn continuous and arrangement of derivage and will be on the content of the bourge of derivage and will be on the content. The arrangement of lights in public mails so that they will ourn continuous. Y during the hours of darkness and will be on the owner's mater controlled by a time switch. There must, of course, also be two legal means of egress would have for each appropriate. available for each epartment.

Very truly yours,

Warren McDonald Inspector of Buildings.

AJS/B

CC Mr. Donald H. Lovejoy 1928 Congress Street

(KA) RESIDENCE ZONE - A

APPLICATION FOR PERMIT



PERMIT ISSUED

	Class of Bullating or Type of Structure		CHY of LOWITHIN
TATION		August 26, 1949	
To the INSPE	CTOR OF BUILDINGS, PORTLAND, 1	MAINE	1x
in accordance :	dersigned hereby applies for a permit to ere with the Laws of the Slate of Maine, the l if any, submitted herewith and the followin	suluing Code and Zoning Ordinance	wing building structure equipment of the City of Portland, plans and
specifications,	1928 Congress Street	Within Fire Limits	? Dist. No
Location	and address H. W. Maxfield, 1	028 Congress Street	Telephone
Owner's name	and addressHMHTXTTETU,	72.13.13.11.63.3.11	Telephone
Lessee's name	and address	Inc., 169 Front St., So. Po	ortland Telephone 1-6112
Contractor's	name and address	Specifications Plans	Yes No. of sheets 1
			No. families
Propostd use	of buildingApartment_nouse		No families 1
Last use	ne No. stories 2 ¹ Heat	State of moof	Roofing
Materialfray	No. stories 42. Heat	Style of root	
	gs on same lot	dente de la companya	Fce \$2.00
Estimated co	st \$_125	taken of New Work	
	General De	scription of New Work	cor to ground as per plan.
To const	ruct metal fire escape on rear	of building from second	
	•		•
-		Permit Issued wit	h Memo
		1 CIMIL ROOM S	,
	Det	ails of New Work	
T educe	hing involved in this work?	Is any electrical work invol	ved in this work?
Is any intin	age grade to top of plate	Height average grade to higher	st point of roof
Cina front	depthNo. stories	solid or filled land?	earth or rock?
Material of	foundationTI	nickness, topbottom	cellar
Material of	underpinning	Height	Thickness
777-3 -6	t Rise per foot	Roof covering	
	Material of chimner	of lining Kit	nd of heat tuel
No. of Chin	mber—Kind	Dressed or full size?	- Charles and the contribution of the contribu
Framing Iu	sSillsGirt o	r ledger board?	Size
Corner pos	SizeColumns und	ler girders Size	Max. on centers
Girders	side walls and carrying partitions) 2x4-1	6" O. C. Bridging in every floor and	d flat roof span over 8 feet.
	and reference to floor	, 2nd, 3rd	, roof
•	and rafters: 1st floor	, 2nd, 3rd	, roof
On ce		, 2nd , 3rd	roof
Maxir	num span: 1st floory y building with masonry walls, thicknes	s of walls?	height?
If one stor	y building with masonry walls, thicknes		
		If a Garage	
No. cars ii	ow accommodated on same lot, to b	e accommodatednumber comm	ercial cars to be accommodated
Will au .or	nobile repairing be done other than mind	or repairs to cars habitually stored in	the proposed building?
			ellaneous
P <i>PROVED:</i>	0 000	Will work require disturbing of	any tree on a public street? no
with	memoby aft.		above work a person competent to
	0 0		equirements pertaining thereto are
		I see must me seem and step a	

H. M. Maxfield
Haine Netals, Inc.

Signature of owner by: F. Leroy Cramer

INSPECTION COPY

NOTES 15 10 10 10 10 10 10 10 10 10 10 10 10 10	Permit No. 49/72 8 Location /975 L

AP 1928 Congress St.

Se; tember 2, 1949

Maine Metals, Inc., 169 Pront Street, South Portland, Paine Subject: Application for paral for erection of setal fire escape st 1920 Congress Street

Gentlemen:

The type of stationary ladder shown from the platform to the ground is of a rather unusual type. After considerable study as to the intent of the requirements of the Fullding Code covering the construction of standard fire escapes, we feel that we can accept the construction shown only if the ladder is at least CL wide between handrails and that a hinged bar be provided at the top of the ledder that would have to be operated to gain acress to the ladder. He can also accept a hinged drop ludder that will be hooked up when not in use and thus effectively close off the opening. Such a ladder need not in a 24" width, but may be constructed as is usually done in the case of such ladders. Of course a standard fire escape stairway with a pitch not exceeding 12" vertical to 8" horizontal may be used if desired. Flease revise plan to indicate which method will be followed.

er; truly yours,

CC: H. W. Waxfield 1928 Congress Ct.

Warren McDonald Inspector of Fulldings

. Memorandum from Department of Building Inspection, Portland, Maine

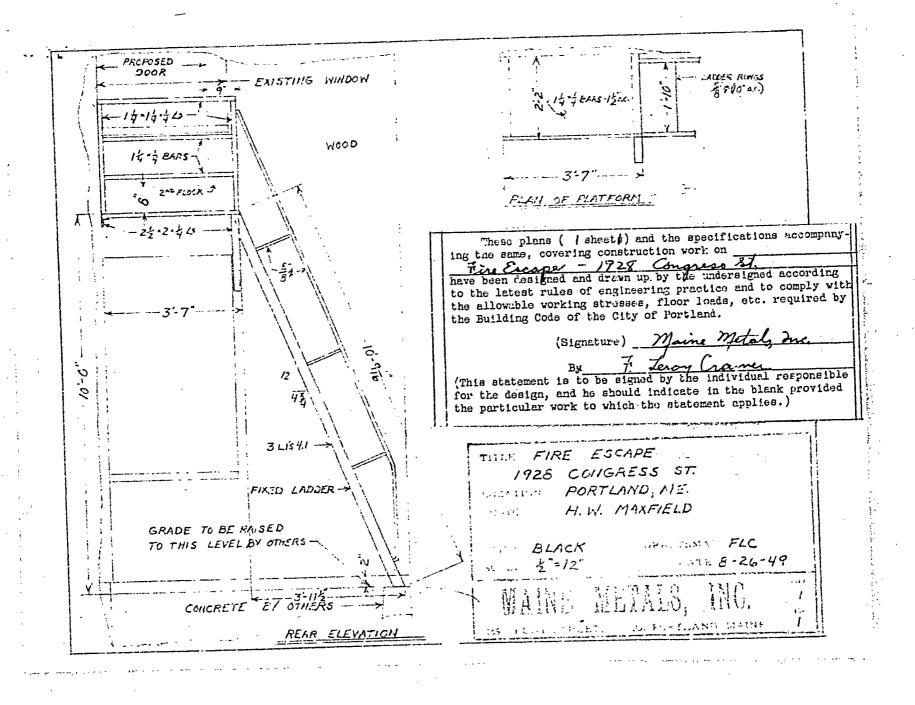
1928 Compress Street—Erection of metal fire escape on proposed apartment house for N. M. Maxfield by Maine Metals, Inc.-10/13/49

permit for erection of fire escape is issued herewith sincout prejudice to the insurance of a permit for change of use of the billion and on the basis that the grade at the foot of the ladder will be not more than 10% below the floor of balcony.

The window giving access to the fire escape is required to afford an opening at least 24" wide and 26" high for a nomble hung window and at least 24" wide and 36" high if win on is sminging. It is understood a chain or other protection is to be provided across the opening giving access to the ladder and the possit as issued on the basis that this will be done.

AJB/G

CC: Mr. Horasso W. Maxfield 1928 Congress Street



ž,

Sustained by Conditionally 49/13

City of Portland, Maine Board of Appeals

-ZONING-

January 18, ,19 49

To the Board of Appeals:

Your appellant, E. W. Maxfield , who is the owner of property at 1928 Congress Street , respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 17 Paragraph E of the Zoning Ordinance,

Building permit to make alterations in the single family dwelling house at 1928 Congress Street for the purpose of providing there an apartment tuse for four families is not issuable under the Loning Ordinance because the property is located in a Residen of a Zone in which Section 12A of the Ordinance prohibits use as an apartment house.

The facts and conditions which make this excep on legal' comissible are as follows:-

An exception is necessary in this case to avoid a section and can be granted without substantially departing from the intent and purpose a the Zoning Ordinance.

Horatio Magke D Appellunt By: Singe & Magke D

City of Portland, Maine Board of Appeals -ZONING-

Decision

, 19 49 , day of fettuary Public hearing was held on the 4th of property as owner on petition of H. K. Maxfield 1928 Consress Street , seeking to be permitted exception to the regulations of the Zoning Crdinance relating to this property.

Building permit to make alterations in the single remily dwelling house at 1928 Congress Street for the purpose of previous there an went house for four families is not issuable under the Zoning Ordinance accause the property is located in a Residence A Zone in which Section 124 of the Ordinance prohibics use as an Apartment House.

The Board finds that an exception is necessary in this case to avoid confiscation and can be granted without detarting from the intent and purpose of the Zoning Ordinance, provided that proper errangements are made for sewerege disposal.

It is, therefore, determined that exception to the Zoning Ordinance may be permitted in this specific case: provided that proper arrangements are made for severage disposal.

Roard of Appeals

February 4, 1949

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF H. W. MAXFIELD AT 1928 Congress Street

Public hearing on above

Present for City

appeal was held before

the Board of Appeals

Board of Zoning Appeals members:-

teday.

VOTE

	Yes	No	
Mr. Getche Mr. O'Bric Mr. Holbro Mr. Lake Mr. Colley	on (x) ook (x)	() () () () ()	Municip≈1 Officers:~

Ray C. Oakes, Esq. for Maxfield

16-room house too large for one family to keep up.
No change in exterior City officials:-

NO OPPOSITION - Mr. Johnson owning land behind present and expressed concern only about sewerage.

January 1, 1949 1328 Congress Street, Fortland, a re.

Cornoration Counsel, City of Portland,

Attention Edward T. Hignork, Asst.

Dear Sir:

Re kr. Acbonald's File No. AP 1928 Congress Street - I (Proposed apartment house)

In reference to the attached Appeal Application for permit for H. w. Laxfield, 1928 Congress Street, dated December 24, 1948, I also include a copy of my letter to Lar. Laborate as well as a letter from Lar. Laxfield to me.

The latter letter is core or less of a personal nature and I believe will convey the owner's feeling to the Appeal Board, and of course I will defend these statements at the hearing.

Respectfully yours,

D. R. Lovejoy

DHI/I

Copy to Mr. LeDonala Mnc. 2 letters

1928 Congress Street Portland, Maine

Inspector of Buildings City of Portland Portland, Mains

Dear Mr. McDonald:

The attached application for a four apartment alteration to the house at 1928 Congress Street, owned by Mr. H. W. Maxfield, is filed with the understanding that the application will have to go to the Appeal Board, due to the existing Zoning Ordinance.

I understand personally, of course, that this appeal is handled by another office, and this letter is simply an explanation to express the owner's intent.

Mr. Maxfield, in the past two years, has spent a great deal of money repairing and painting the outside of the house. With a heating system installed last year it seems fundamental and logical that he be able to proceed with a development that will pay revenue, as would be acquired from the four apartments.

Of course, with the acceptance of the permit further details as required will be furnished to cover all phases of the building code.

Yours very truly,

Jenuary 8, 1949 39 & 1 tn Street, New York City 8, N. Y

Dear Don:

We are returning herewith correspondence regarding permits for alterations to our house at 1928 Congress street, as written by Ir. Larren No Ponald, Inspector of Buildings.

There letters are very clear and show that fr. cooral has given us earnest consideration and has been very thoughtful as to our interests as far as he can go within the law.

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However, any farm or set of buildings the size that we have, has to be carried on so at to be economically sound. The cost of the house originally and repair cost makes it unsound financially to operate it as a one or two facily house. The income would not be sufficient to buy the cost of finel for our central hanting system, taxes, insurance, maintenance, herreciation, and allow any revenue whatever. In fact, I can only see that under the above two-family plan it would be carried on at a financial loss and that means that the maintenance and repairs will be neglected and the general extenior appearance would necessarily become unsighting and could naturally develop into an evesore for the neutrophoricod. It is not notural for anyone to carry on any project that is not financially successful, and as I see it, for this house to be successful it will be necessary to operate it as a four family house.

The plans which we have made together hars developed into delightful two and four room apartments of such quality as would command the tenancy of selective meable who would in themselves be an esset to the neighborhood as well as support the house so it can be maintained to be an asset to the neighborhood.

_

As you know, this house are farm was to birth-place and home, are carries with it areat sentimental value to me. However, I doubt if I could it expects to carry it on Forever as a burden.

If, during our Anneal, the City Fathers or Committee will give the issue of this house the sympathetic consideration that Lr. arrent conal has, understanding that these large houses are very difficult to break financially even on, I so believe that they will allow us to alter the stricture so it woull commant income enough to defray the expense of proper maintenance are grooming of lawns, shrubery, etc.

We do des re to reconstruct the place so we will be very provious of it.

Year, bruly,

Win.

H. ... Maxfield

H.m/I

.19/13

CITY OF PORTLAND, MAINE BOARD OF APPEALS

January 31, 1949

1928 Congress Str Portland, Maine

Dear Mr. Maxfield:

The board of appeals will hold a public hearing in the Connacil Chamber, City Hall, Portland, Maine on Friday, February 4, 1949 at ten-thirty o'clock in the forenoon to hear jour appeal under the Zoning Ordinance relating to the above premises.

Phease be present or be represented at this hearing in support of your appeal.

Very truly yours, Robert L. Getchell Chairman

CITY OF PORTLEME, MAINE BOARD OF APPEALS

January 25, 1949

TO WHOM IT MAY CONCLAN:

The Board of appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, February 4, 1949 at ten-thirty o'clock in the forenoon to hear the appeal of H. W. Maxfield requesting exception to the Zoning Ordinance to permit alterations in single family dwelling house at 1928 Congress Street for the purpose of providing there an apartment house for four families.

This permit is not issuable because this property is located in a Residence A Zone, in which Section 12% of the Ordinance prohibits use as an apartment house.

This appeal is taken under Section 17% of the Zoning Ordinance which provides that the board of appeals, by unanimous vote of its members, may permit exceptions in specific cases so as to grant reasonable use of property where necessary to avoid confiscation and without substantially departing from the intent and purpose of the Zoning Ordinance, subject always to the rule that said board shall give due consideration to promoting public health, safety, convenience and helfare, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, notious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safegues in each case.

All persons interested either for or a ainst this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in question as required by law.

BOARL OF APPEALS

Robert L. Getchell

Chairman

47/3

On reply refer to File

CITY OF PORTLAND, MAINE

Department of Building Inspection

FU AP 1928 Congress Street-I (Proposed apartment house)

December 24, 1948

Mr. H. W. Maxfield Attn: Mr. L. H. Lovejoy 1928 Digress Street Portland, Maine oubject: Application for aloin fermit to make alterations in the single family dwelling house at 1928 Congress street for the purpose of providing there an apartment house for four families, and projected zoning appeal relation to orate

Dear Sir:

Building permit for the above work and change of use is not issuable under the Zoning Ordinance because the property is located in a Residence A Zone in which dection 12A of the Ordinance prohibits use as an apartment house.

Er. Lovejoy has indicated your desire to seek an exception from the Board of Appeals for this non-conforming use. There is enclosed, therefore, an outline of the appeal procedure.

I have explained to him that there is great double that the board of Appends has power to permit such an exception unless it can be used to the satisfaction of the members of the Board that the exception is need to avoid confiscation and that it may be granted without substantially depand on the intent and purpose of the Zoning Ordinance.

While the Building Code contains many provisions for _____artment house, and Mr. Lovejoyhas indicated in his letter that these will all be taken care of, should the appeal be successful, the attention of noth of you is called to what seems like a defect, difficult to remedy, as to means of a mass from apartment number 3, proposed on the second floor. As I understand the place, the occupants of apartment number 3 would not be able to reach the proposed new that stairway except by passing through the living room of apartment number 4. Section 212e says that means of egress shall lead to outside exit doors without intervening private quarters. hould you propose something in the way of an outside fire escape (morely counting the roof of the bay windows or the porch as a means of egress is not allowable), it should be included in your plans, as such outside structures are important for consideration of the Board of Appeals.

Very truly yours,

WheD/G

Inspector of wildings

Anchosure: Cutline of appeal procedure and carbon copy for owner

CG: /dward f. Gignoux Assistant Corporation Counsel

49/13

CITY OF PORTLAND, MAINE

BUT hi UL TATEALS

January 25, 1949

TO WHOM AT MAY CONCERN:

The Board of appeals will hold a public hearing in the Council Chember, City Hall, Portland, maine on Friday, February 4, 1949 at ten-thirty o'clock in the forenoon to hear the appeal of a W. Exfield requesting exception to the Zoning Ordinance to jermit iterations in single family dwellin, house at 1928 Congress Street for the purpose of providing there an apartment house for four families.

This permit is — issuable because this property is located in a Residence A Zone, in which Section 124 of the Ordinance prohibits use as an apartment house.

This appear is taken under Section 17% of the Zoning Ordinance which provides that the pourd of appeals, by unanabous vote of its members, may permit exceptions in specific cases as as to grant reasonable use of property where necessary to avoid confiscation and without substantially departing from the intent and purpose of the Zoning Ordinance, subject liverys to the rule to to id board shall give due consideration to promoting public health, safety, convenience and welfare, encourating the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, notious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in each case.

All persons interested either for or a ainst this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the precises in question as required by law.

BOAR OF MYDALS

Robert L. Getchell

Chairman

N.

49/3

We, the undersigned, where of property in the vicinity of a proposed do, hereby, give our written consents to this propose Signature of Owner or Authorized Agent.
Printed signature not accepted. LOCATION OF PROPERTY
Street and Number

Oppial of H W Marfield at 1928 Congress Street

Congress eltreet - 1875 to 1995

- 1876 to 1996

15 Copies

Opport of 7.20. 71/4/1925 Conquer 5.01 Strange Chiffed 1871 Over fun st.
Sanigan, Robert D+ Enfalie 1889 Congres st.
Balts, Cavie J. NR. 222 Rawson Roof
Robert of Way
List of Way 1867-1875 18.77-1891 1893-1901 1903-1905 Blanchard, Hand W. R1903-1905 95 Murfiel Road R1709 Low Guese P1903-1905 Haskin, Carriem. R1903-1905 1909 Con fire 34 R1903-1905 may field, Heatra 11 1928 Congress to St. Leave to the a. 382 Euros brook St. 1907-1911. 1913-1915 382 West-bunk St. 1917-1947 1955 Com Green Tinham, Thomas C, 1949-1953 grafier Cerlo 2 + Blandet 1552 Congress 57

January Frank 9, 1956 Congress 57

Frank 1, 335 m. Aberra 57 1955 - 1959 1961-1967 mappield arthur 4. 1969-1995 1876. 1884 1886-1900 1928 Conquer st maxfre & Hancel +, 1902-11,52 1954-1952 selles 1994-2020 Skilling, John C. 1902-1918

(PA) PESED ETCL ZOILE - A

APPLICATION FOR PERMIT

Class of Building or Type of Structure ... Inird Class...

PERMIT LISTEL DEC 24 1948

CITY of PORTLAND Portland, Maine, __Docember_17, 1948___ To the INSPECTOR OF BUILDINGS, FORTLAND, MAINE The undersigned hereby applies for a permit to recut alter repair demotts hinstell the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: Within Fire Limits? _____ Dist. No.____ Location 1928 Conpress Street Owner's name and address H. W. HaxCield, 1928 Congress Street Telephone Lessee's name and address ______ Telephone______ Contractor's name and address __Not_let____ Specifications Plans res No. of sheets 2 Proposed use of building ________ No. families ______ No. families ______ No. n 1. No. families 1. Material_wood____ivo. stories ____21 Heat ____Style of roof _____Roofing _____ Other buildings on same lot _____garage & barn____ Estimated cost \$___1500____ General Description of New Work To crect nonz-bearing partitions to provide new bathroom on first floor and one on second floor as shown on plan by "X". or fibreboard 2x3 and 2x4 stude, 16" on centers, covered with plaster/both bides. Permit Issued with Letter CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO H. W. haxfield Details of New Work Is any plumbing involved in this work? ______Is any electrical work involved in this work? ______ Height average grade to top of plate ______ Height average grade to highest point of roof _____ depth _____No. stories _____solid or filled land?_____earth or rock? ____ Material of foundation ______ Thickness, top _____ bottom____ cellar _____ Material of underpinning Kind of roof _____Rise per foot _____Roof covering ____ No. of chimneys ______ Material of chimneys _____ of lining ____ Kind of heat _____ fuel _____ Framing lumber—Kind _____Dressed or full size? Corner posts ______Sills _____Girt or ledger bc~rd? ______Size _____ Girders Size Columns under girders Size Max. on centers Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. 1st floor......, 2nd....., 3rd, roof, 1st floor....., 2nd...., 3rd ..., roof ..., roof ... Joists and rafters: 1st floor....., 2nd....., 3rd, roof On centers: If one story building with malonry walls, thickness of walls? _____height? _____height? _____ If a Garage No. cars now accommodated on same lot_____, to be accommodated____number commercial cars to be accommodated_____ Will auto nobile repairing be done other than minor repairs to cars habitually stored in the proposed building?..... Miscellancous Will work require disturbing of any tree on a public street? no Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? __ves H. W. haxfield

Signoture of owner by

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Al 1926 longr so street-I (ingle famil.)

Lecemour 24, 1968

Ar. F. W. Lawfild Attn: Ar. L. H. Lovejoy 1748 Congress cirect Fortica, I diss

implet: Bulling permit for altirations in single family coulding house at 1724 loweress threat

lear .ir:

Permit for the above work is issued herewith, subject to the following:

lespite the facts that there is one evicting tathrow and two discussions proposed—now bethrown on each floor—an proposing three tethrowns in the building dwelling home, only; and this pereit is issued without projected to possible future zoning a peaks to change the use to a two ladly unclaims house.

lines medither of the proposed pathrooms II to have an exterior whileow, the rooms will be verted in a manner complying with City and caste health and plumbing to disting as administered by the Flumbing Inspector.

In event any part of the new parcitions of the new publications would corner public or stair halls, later to be used as public calls for an against the hall all granted by exception by Board of Appeals, such partitions or postion thereof as an involved with public calls should be plus ored on non-burnaily lath instead of on fibreboard as indicated on application.

to also have an application for a persit at the same unlining to take additional alteration, are to characteristic use of the single finity or elling notice to an apartment house of our dwelling units—a use not allocable in the Residence A Tone where the property is located. Also, a request that the letter applie tion be certified to the Dourd of Appeals, a sking an exception so that the non-containing use may be established. This appeal is the subject of a separate 1 tier.

Hr. Lovejor mays that something has to be done with the building different from the present use, and if the Board of Appeals find themselves unable to grant the four unit apartment house, authority for a two family swelling name will be cought.

include the latter condition be finally established, it appears that there would be three bathrages in a two family exelling hours, unless one were dismutied. This of course is allowable.

Very truly yours,

Wher/G

Inspector of Buildings

Enclosure: Cardon copy for the owner

1928 Congress Street Portland, Maine

Inspector of Buildings City of Portland Portland, Maine

Dear Mr. McDonald:

In reference to the attached application for alterations to the house at 1928 Congress Street, for Mr. H. W. Maxfield, the plans are marked showing the changes desired, and, of course, leaves the house as a single residence.

The rooms indicated as "ell room" and "wash room" on the plan at the present time are unfinished and will require a good deal of carpenter work before plastering.

Therefore, it would be desirable to proceed with the intent of using these areas for some purpose regardless of whether or not four apartments are acceptable.

Yours very truly,

Tel, 2-8138

RECEIVED

P50 17 1340

DEFT. OF ELDIG. 1979.

STY OF POSITARY

		2016 DA
INSTIBA BYWK		FIRE DIST.
	CITY OF PORTLAND, MAIN DEPARTMENT OF BUILDING INSP	ne Pectica
		Dete
Yorial B; Telephone		
LOCATION 19	TE CANTON ORDER	rei.
052 BY 1	1 -/	I E L
ADLREUS /	UNIDING A	···
CLASS OF CONSTRU		NO. OF STORIES
PEYARKS:		
	and his dire	Man die propositi
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	100 deal ve	1 2000
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	11/18/48 RE	

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING. COOKING OR POWER ECHIPMENT Portland, Maine. REDE VED

	10.34	3	LATOT DOMET LEWIS	, (
o nett	DINGS, PORILAND, MAINE	the following and the following	Cabic Lacottons.	Yew Building
The understand herely a	pplies for a permit to the City of	Porta d. a. w. he	No Stories	I'm ye
The understand Maine, the	Berline		سبب ه ۱۰۰ ایم ت ام	
take with the source of	gen a Card Manager	1.14 7	Teiephore .	•
The understand hereby a major with the Laws of Music, the Louis of Music, the Louis and address of owner of Installer's name and address	appliance	大學 许人		
Name and address to address	1 Desc	ription of Work	y *	/ W ;
Installer's name and	General Desc	1.1-4	* * * * * * * * * * * * * * * * * * * *	

aller's name and address	General Descriptio	n of Work		
install See See	General Descriptio	OWER BOILER	eneath appliance.	,
ocation of appliance or source	combustible material, from top From from of appliance Other connections to sa	c appliance or casing to From sides or	op of furnace back of appliance	\(\frac{1}{2}\)
	From front of appliance Other connections to su	me flue Rated maximum	demand per hour	
Size of chimney thre	IF OIL	BURNER Labelled by und	lerwriter's laboratories?	Col

Name and type of burner

Name and type of burner

Will operator be always in attendance:

The soft and burner be always in attendance: Number and capacity of tanks Type of floor beneath burner
Location of oil storage If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five text from any flame? If two 275-gallon tanks, will three-way valve be provided? Total capacity of any existing storage tanks for furnace burners

Type of floor beneath appliance Kind of fuel Minimum distance to wood or combustible material from top of appliance Location of appliance From top of smokepipe If wood, how protected? Size of chin:ney flue Is houd to be rovided? If gus fired, how vented? MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

FALL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED .0175528

RECEIVED Portland, Main

SEP 2 9 1943 To the INSPECTOR OF BUILDINGS, PORTLAND, NAINE The undersigned hereby applies for a permit to install the following Robing or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications: Lucation 1928 Conquere of Use of Building Dresland No. Stories Z New Building Name and address of owner of appliance ___ General Description of Work IF HEATER, OR POWER BOILER Location of appliance or source of heat______ Type of floor beneath appliance If wood, how protected? Minimum distance to wood or combustible material, from top of appliance or rasing top of furnace. From top of smoke pipe _____ From front of appliance _____ From sides or back of appliance Size of chimney flue _____Other connections to same flue ____ If gas fired, how wented? Rated maximum demand per hour IF OIL BURNER Name and type of barner 1- ESSO 1- C5-/ Labelled by underwriter's laboratories? Will operator be always in attendance? Agr Does oil supply line feed from top or bottom of tank? College Type of floor beneath burner Number and capacity of tanks /- 275 Location of oil storage If two 275-gallon tanks, will three-way valve be provided? Will all tanks be more than fave feet from any flame? _____ How many tanks fire proofed? ______ Total capacity of any existing storage tanks for furnace burners IF COOKING APPLIANCE Kind of fuel ____ Type of floor beneath appliance ____ Location of appliance. If wood, how protected? Minimum distance to wood or combustible material from top of appliance From front of appliance _____From sides and back ____ From top of smokepipe Size of chimney flue ... Other connections to same flue Is hood to be provided?____ ____If so, how vented? ____ If gas fired, how vented? _____ Rated maximum demand per hour ___ MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION Amount of fee enclosed? 2 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.) Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are INSPECTION COPY.

101 1-1-	
Permit No 48/ 1756	
arion 1928 Congress St	
Owner H I indefeeld -	
Date of permit 9/ 30 146	
Approved SOTES	
NOTES	
· Trust	
I MIME	
- Very day of the second	
8 Kind of Heat	
4 Burner & grainy & Supports	
5 Name of Vallati	
g stank to a tip k	
7 High La count	
8 hot 1 x 4	
5 Physics - Carl Control	
In Asire II	
31. Cajorando de Santidas.	
18 Total C. 1 (20 m) (15)	
18 To E . District	
14 tul tuser	
15 Institution tari	
16	
property and the second	



FILL IN AND SIGN WITH HE

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PAURUT ISSUUM OZZS SO 1841

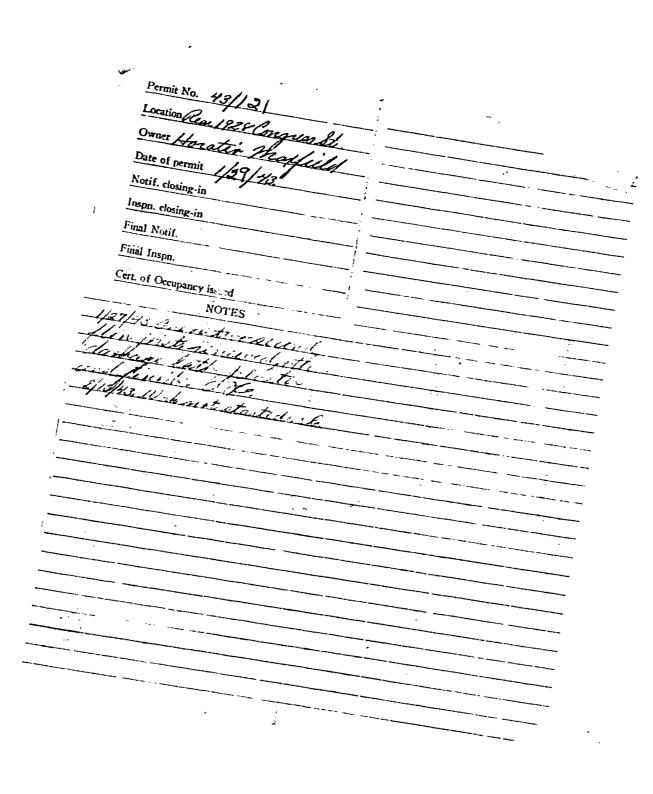
Partle	nd, Maine, Sopt, 29, 1947
To the INSPECTOR OF BUILDINGS, PORTLAND	D. WAINE
The undersigned hereby applies for a permit ance with the Laws of Maine, the Building Code of L.	to suitell the fallowing to
	Suilding Dielling house No. Stories Year Building
Name and address of owner of appliance H. W.	Marriell,/928 Congress St2-8/38 Existing
Installer's name and address John Owing 102	28 Congress Street Telephone
General General	1 Description of Work
To install steam heating system lone	pipe) in place of stove heat
	plpe/ in place of stove heat
	The state of the s
Location of appliance or source of heat	ER, OR POWER BOILER
If wood, how protected?	Type of floor beneath appliance concrete
Minimum distance to wood or combine \$1.5	Kind of fuel coel
From top of smoke pipe 11 ^m From front of a	from top of appliance or casing top of furnace 24stoppliance over 4. From sides or back of appliance over 3.
Other connecti	ons to same flue none
it gas ared, now vented?	Rated maximum demand per hour
e de la companya del companya de la companya de la companya del companya de la co	OIL BURNER
Name and type of burner	Labelled by underwriter's laboratories? Does oil supply line feed from top or bottom of tank?
Will operator be always in attendance:	Does oil supply line feed from top or bottom of and a
Type of floor beneath burner	roes on supply line feed from top or bottom of tank?
Location of oil storage	Number and capacity of tanks
If two 275-gallon tanks, will three-way valve be pro-	vided?
Will all tanks be more than five feet from any flum	e? How many tanks fire proofed?
Total capacity of any existing storage tanks for furn	tage burgers
in the contract of the contrac	
IF COC	OKING APPLIANCE
Location of appliance Kind of for	uel Type of floor beneath appliance
II wood, how protected?	market former and reserve for some or an extension range or an extension or an
and a second of completible material li	rom ton of audiance
From ont of appliance From sides ar	ad back
is nood to be how ded?	ed?
If gas fired, how vented?	. Fated maximum demand per hour
	MENT OR SPECIAL INFORMATION
design applies to the form and a souther confined by the form the southern and the southern the	
The state of the s	and the control of th
and the second s	The state of the s
Manufacture description of the contraction of the c	The state of the s
	A CONTROL OF THE PROPERTY OF T
and the second section of the second	The state of the properties and the state of
State Management and the first	The state of the s
Amount of fee enclosed? 1.90 (\$1.00 for one he building at same time.)	ater, etc., 50 cents additional for each additional heater, etc., in same
ROVED:	
OK 9-22-47. 1 mm	Will there be in charge of the above work a person competent to
	see that the State and City requirements pertaining thereto are
and the second	observed? yes
the state of the s	
	John B Owns
Signature of Install	The second secon

١.



APPLICATION FOR PERMIT TO REPAIR BUILDING Talrel Class Building

The undersigned hereby applies for a permit to repair the following described Laws of Maine, the Building Code of the City of Postland, and the following specifical Location Rear 192* Congress Street	tions:
Congress Street	Telephone
A THE PARTY OF THE PROPERTY OF THE PARTY OF	Telephone
and an individual and an indiv	
No. stories 14 Style of roof pitch Type of present roof	covering sanhall abirgina
General Description of New Work To repair after fire to former condition with no alteration first story.	ione. Rubbish fire
IESPI	ECTION NOT COMPLETED.
0.K. 1/2	ECTION NOT COMPLETED AS WAITE COMPLETED AS WAITE COMPLETED TO COMPLETE OF OCCUPANTS WAITE COMPLETED AS WAITED AS WAI
If Roof Covering is to be Repaired or Rene	wed
is any plumbing work involved in this work? no Is any electrical work involved	strad in this most.
If so what area dam	aged 2
Area of roof to be repaired now? hole in roof cut by firemen	ageur sq. it.
Type of roofing to be usedasphalt shinglez class oc=	sq. ft.
Trade name and grade of roof covering to be used	No. plies
Estimated cost \$ 250.00	Fee \$ 1.00
INSPECTION COPY Signature of owner Horatio Merfield	**
INSPECTION COPY ET Cuthur I. May	efield



Dogember 3, 1928

Yr. H. Maxfield 1492 Congress St. Portland, Mains.

Dear Sir

Enclosed is a building permit covering the erection of a milk house at the rear of your property 149% Congress Street.

I have none over the construction of this building with your son on the premises and the permit is issued subject to your complying with the following specifications as well as all other requirements of the Euilding Ordinams.

The foundation of the building is to be posts nade of iron pipe with plates upon the top supporting the sill, the posts to extend at least four feet (4 ft.) below the final grade of the ground and to be protected with larger pipe to prevent heaving by frost. These posts are to be no more than five (5) feet center to center.

This work has proceeded without a permit and the plate at the top of the stud has been leid with a single 2x4. This is required by law to be a double 2 x 4 and your son has agreed to make this charge.

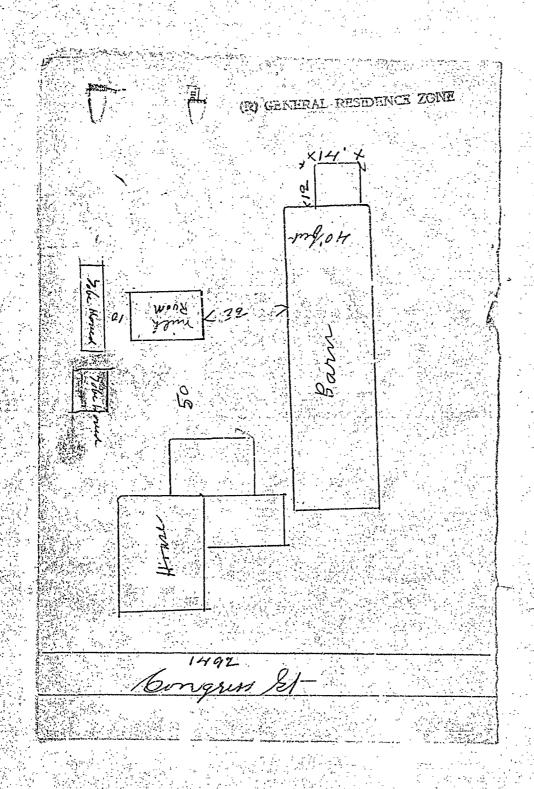
If the pressure on this boiler is to be more than fifteen (15) pounds, the chimney is required by less to have a brick wall at joint eight (8) inches in thickness and the inside four (4) inches of these walls from a point not less than two (2) feet below the smoke pipe to a point not less than fifteen (15) feet above the smoke pipe is to be of fire brick laid in fireciay, and no woodwork is to be less than one inch removed from any part of the chimney.

Thereseems to be some uncertainty as to the amount and location of the oil storage for the fuel oil burner. It is stated that your oil burner is to be a Ballard burner approved by the Undersriters' Laboratories. Before the oil storage is definitely imstalled it will be necessary for you to get in touch with this effice and indicate upon your application the location of the tank and the capacity of the same.

Very truly yours,

inspector of Buildings.

Y/





APPLICATION FOR PERMIT

Permit No. 15515

Class of Building or Type of Structure Third Class

Portland, Maine, December 1, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, MB.

10 the Hast Ector of Buildings, Portland, ME.
The undersignd hereby applies for a permit to erect after install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:
Location 3489 1492 Congress Street Ward 8 Within Fire Limits? 80 Dist. No
Owner's en Leseco's name and address H. Knxfleld. 1492 Congross Street Telephone
Contractor's name and address. Comer - Telephone - Tel
Architect's name and address
Proposed use of building Kilk RocaNo. families
Other buildings on same lot Droll. Barn, sheds
Description of Present Building to be Altered
MaterialNo. storiesHeat Style of roof Roofing
Last useNo. families
General Description of New Work

To eract frame one story building 12' x 18'

•		Details o	f New Worl	le		
Size, front	depth 18*	No. stories	Height av	avernge grade erage grade to hig	e to top of phest point of roo	12 8"
To be erected on solid of	or filled fand?	rolid	ea	orth or rock?	earti	<u>a</u>
Material of foundation						
Material of underpinning	ıg		Height		Thickness	
Kind of roof	anna de la compa		_Roof coverir	ig Apphalt shi	ngles Class	C Und. Lab.
No. of chimneys _1 y	Material o	f chimneys	brick.	<u>.</u>	of lining . 🙎	ile
Kind of heat						
If oil burner, name and						
Capacity and location of	f oil tanks			·		. <u> </u>
Is gas fitting involved?	no		Size of	f service		
Corner posts. 4x4	Sills 6x3	Girt or ledger	board?		Size	
Material columns unde	r girders		Size	Max	. on centers	
Studs (outside walls ar span over 8 feet. Sills	and corner posts	all one piece in c	ross section.			
Joists and rafters:	1st floor	Concrete , 2	nd	, 3rd	, roof _	214
On centers:	1st floor	, 2	nd	, 3rd	, roof_	2'
Maximum span:	1st floor	, 2	nd	, 3rd	, roof _	
If one story building w	ith masonry walls	, thickness of wa	lls?		height? _	
			Garage			
No. cars now accommo						
Total number commerci						
Will automobile repair	ing be done other		rs to cars habit cellaneous	ually stored in th	e proposed builds	ng?
Will above work requir	re removal or disti	irbing of any sha	de tree on a pu	blic street?	no	
Plans filed as part of	this application? _	уев		No. sheets	_1	
Estimated cost \$ 100	L				Fee \$.	.50
Will . ere be in charge	of the above wo	rk a person comp	etent to see that	the State and Cit	y requirements po	ertaining there
re observed? Yes _				ratur 10		•
SPECTION COPY						4,7

Ward 8 Permit No. 28/260618
L. +492 Congress St Owner H. Max Giel Date of permit 12/9/9 Notif. closing-in 'asing-in Final Notif Final Inspn. Cert. of Occupancy issued In Marfield said you fine about this & Little Giant Boiler, has drum of oil against SEE VIOLATIONS FILE Boilor Pan

SEE YIULATIONS . LA

	•	
APPLICATION FOR PERMIT	Т	L
B.O.C.A. USE GROUP	PI	RMIT ISSUED
B.O.C.A. USE GROUP B.O.C.A. TYPE OF CONSTRUCTION D. 229 ZONING LOCATION	6	
PORTLAND, MAINE	Dec. 7, 1983	DEC 8 1983
To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINI The undersigned hereby applies for a permit to erect, alter, repair, demolish, move equipment or change use in accordance with the Laws of the State of Maine, the D	~	Y of PORTLAND
equipment or change use in accordance with the Laws of the State of Maine, the Port Ordinance of the City of Portland with plans and specifications if any or the inter-	or install the follow tland B.O.C.A. Ruil	ing building, structure,
Ordinance of the City of Portland with plans and specifications, if any, submitted LOCATION 1914 Congress Street	herewith and the fo	uing Code and Zoning llowing specifications.
1. Owner's name and address United Pentecostal Church - same	···· Fire D	istric: #1 [], #2 []
2. Lessee's name and address 3. Contractor's name and address Owner	····· Telep ···· Telep	hone
Proposed use of building Church	····· Telep	hone some
Last use 8809	No	. families
Material	Poofin	families
Other buildings on same lot	***************************************	***************************************
FIELD INSPECTOR—Mr.	Appeal Fees	
@ 775-5451	Basc Fee	E5.00
	Late Fee	••••••
To construct 1 story addition to already existing basement area of church, 60° x 60° addition as	TOTAL	s 85.00
per plans.	Stamp of Sp	ecial Conditions
send point to 41 - 04102	•	,
NOTE TO A PRINTED AND		
NOTE TO APPLICANT: Separate permits are required by the instalters and subcorand mechanicals.	ntractors of heating	plumbing, electrical
Is any plumbing evolved in this work? Is any electrical work involved in this work? Is any electrical work involved in this work? Is any electrical work involved in this work? If not, what is proposed for the proposed form of the propos	or sewage? ighest point of roc carth o cellar Kind of heat Max. on cent d flat roof span ove roc heig	frock?fuelillserser 8 feetoofoofoofoofoof
No. cars now accommodated on same lot to be accommodated.	mercial ages to be	
in the repairs to tais nabitually stored in	n the proposed bui	commodated
BUILDING INSPECTION OF BUILDING INSPECTION	CELLANEOUS	
ZONING:	ing of any tree on a p	ablicstreet?
BUILDING CODE:	f the above work a	Dercon competent
Health Dont.	City requirements	pertaining thereto
Others:		•
Signature of Applicant	=-tnul	Seme
Type Name of house . Phillip J Stemmer	for Phone #	M.
Other		2 0 3 0 4 0
and Addre	ess	• • • • • • • • • • • • • • • • • • • •
FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE		T,



APPLICATION FOR PERMIT

DEPARTMENT OF BUILDING INSPECTIONS SERVICES ELECTRICAL INSTALLATIONS

.	DateMay 26
To the CHIEF ELECTRICAL INSPECTOR, Port a d Maine	Pagaint, 18 0
The ndersig ed hereby applies for a perm, to m ke electrical instead LOCATION OF WORK: 1914 COURSES St.	<u> </u>
Maine, the Portland Electrical Ordinance the National Electrical Code LOCATION OF WORK: 1914 Congress St. OWNER'S NAME: United Pentecostal Code	Illati ns in accordance with the
LOCATION OF WORK: 1914 Congress St. OWNER'S NAME: United Pentecostal Church	and he following engifers:
OWNER'S NAME: United Pentecostal Church	
OWNER'S NAME: United Pentecostal Church ADDRESS: Philip Steams	same
Receptacles Switches Plusmeld	FEES
Receptables Switches Plugmold ft. TO Incandescent Flourescent	TAL
Incandescent Flourescent (not strip) TOTAL SERVICES:	
Strip Flourescent (not strip) TOTAL SERVICES: Overhead Underground	***********
i IVAThana	
Overhead Underground Temporary TOT METERS: (number of) 1 MOTORS: (number of) Fractional	
MOTORS: (number of) 1	AL amperes
Fractional	50
1 HP or over	
RESIDENTIAL HEATING:	
Oil or Gas (must	
Electric (number of units)	
COMMERCIAL OR INDUSTRIAL HEATING:	
Ull or Goe Charter and A	
[/] Or Con /2	
Electric Under 20 kws Over 20 kws APPLIANCES: (number of) Ranges	
APPLIANCES: (number of) Over 20 kws	
Ranges	
Cook Tops Water Heaters	
Wall Ovens Disposals	
Dryers — Dishwashers	
Fans Compactors	
Branch Panels 1 Transformers Air Conditioners Central Unit	<i></i>
Transformers Air Conditioners Central Unit	
Air Conditioners Central Unit Separate Units (windows) Signs 20 sq. ft. and under	
Separate Units (windows) Signs 20 sq. ft. and under Over 20 sq. ft.	
Signs 20 sq. ft. and under	***************************************
Signs 20 sq. ft. and under Over 20 sq. ft. Swimming Pools Above Ground In Ground	
O " DOW INDOVE CALUINA	
In Ground Fir / urglar Aiarms Residential	
Heaves Day Commercial	***************************************
Commercial Heavy Duty Outlers 220 Volt (such as welders) 30 amps and under Circus, F irs etc. over 30 amps	***************************************
Circus E in a cycle 20 and under	
Circus, F irs etc. over 30 amps Alterations to wines	
Alterations to wines Rep in after fire Emangement Lights, battery	
Emergency Concerns	
Emergency Lights, battery Emergency Generators	
Emergency Generators INSTALLATION	
FOR ADDITIONAL TO THE PROPERTY OF THE PROPERTY	**********
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT FOR REVOVA OF A "STOP ORDER" (304-16.b) Tomorrow Hoop, 5-07-03 TOTAL AM	N FEE DUE:
304-16.b)	FEE DUE:
Tomorrow noon 5 nm to TOTAL AM	OTTATO
INSPECTION TOTAL AM	3.707 3.707
Will be ready an Mars 20	Minimum Fee
CON TACTOR'S NAME: Michael LaPlante	
ADDRESS: 22 Preble St. P. 13	
The St., Portland	
MASTER LICENSE NO.: 3714 SIGNATURE OF CONTACT LIMITED LICENSE NO.:	
LIMITED LICENSE NO.: SIGNATURE OF COMP	TPACTORY
SIGNATURE OF CONT	
The world	LO D

INSPECTOR'S COPY - WHITE OFFICE COPY -- CANARY CONTRACTOR'S COPY --- GREEN Final Inspection By Inspector Permit Application Register Page No. 148 Service called in PROGRESS INSPECTIONS: CODE COMPLIANCE COMPLETED



APPLICATION FOR PERMIT

DEPARTMENT OF B'JILDING INSPECTIONS SERVICES ELECTRICAL INSTALLATIONS

To the CHIEF ELECTRICA	Date November o , 1982 Receipt and Permit - , 1982
To the CHIEF ELECTRICAL INS The undersigned hereby applie	Receipt and Permit number A9237 s for a permit to make electrical installations in accordance with the laws of the National Electrical Code and the following specifical forms.
Maine the Postly applie	is for a permit to make electrical installations in accordance with the laws of operations in the National Electrical Code and the following specification: ADDRESS Street
LOCATION OF WORLD	linance, the Mating electrical installations in account
OWNER'S MARK: Penteo	Ostal Church Valional Electrical Code and the della with the laws of
above_	linance, the National Electrical Code and the following specification: ADDRESS: same
OUTLETS:	TOTTEON: Come
Receptacles - Switch	PERC !
FIXTURES: (number of)	Plugmold ft romer 1-20
Incandescent 1-10 Flour	Plugmold ft. TOTAL 1-30 3.00
Strip Flourescent	escent (not strip) TOTAL
GERVICES:	escent (not strip) TOTAL 1-30 3.00 ; t
Overhead	und x Temporary TOTAL amperes 200 3.00
METERS: (number of)	and x Temporary 3.00
MOTORS: (TOTAL amnon-
Fractional	3.00
1 HP or over	.50
RESIDENTIAL HEATING:	3.00
Oil or Gos ()
F' ctric (number of units)_
COMMERCIAL, OR INDUSTRIAL I	5
Oil or G	IEATING.
Oil or Gas (by a main boiler	5.00
Floridas (by separate units	***************************************
APPLIANCES Under 20 kws	#EATING: 5.00 Over 20 kws
APPLIANCES: (number of)	Over 20 kws
-4411BG2	
SOR TODS	Water Wast
Wall Ovens	Disposals
Dryers	
Fans	
TOTAL 3	Others (denc.e)
MISCELLANEOUS: (number of)	······ (deinc.e)
Branch Panels	4.50
Air Conditioners Cont	*** *********
Signs 20 co & Separate Unit	(windows)
Over 20	- · · · · · · · · · · · · · · · · · · ·
Swimming De 1	s (windows)
Fire (B	ch as welders) 20
The Dargiar Alarms Rocarda	***************************************
Hommercia Commercia	ch as welders) 30 amps and under over : 0 amps
Cinary	ch as welders) 30 amps and under over (0 amps
Circus, Fairs, etc.	over : 0 amps
Afterations to wires	
Repairs after fire	
Emergency Generators	***************************************
EVOT A TOTAL	***************************************
FOR THE TOTAL WORK NOT ON OTHER	GINAL PERMIT DOUBLE FEE DUE: 22.00
FOR REMOVAL OF A "STOP OPPORT	GINAL PERMIT DOUBLE 22.00
2101 CADER" (304-16.b) DOURLE FEE DUE:
	GINAL PERMIT DOUBLE FEE DUE: 22.60 TOTAL AMOVED.
INSPECTION:	TOTAL AMOUNT DUE: 22.00
Will be ready on in down	
OUVIRACTORS NATURE TO USE	, 19 : or Will Gan
ADDRESS: Michael Lat	, 19_; or Will Call
Church s	t., Gorram
	· ·
LIMITED LICENSF NO.: 3714	
TICENST NO.:	SIGNATURE OF CONTRACTOR
	- Halan VTI
	Michael Transfer and Michael T
IN.	PECTOR'S COPYWHITE
	OFFICE COPY CANARY
	CHYAKY

CONTRACTOR'S COPY - GREEN

Entrance of Section 1.

Control on the Mandach Mandach Control of the Control of Mandach Control of Section 1.

A section of the Mandach Mandach Control of the Control of Mandach Control of the Control



FILE COPY

APPLICATION FOR AMENDMENT TO PERMIT ISSUED

Portland, Maine, ...

1 Amendment No ...

Sept. 20, 1984

TINA TRONG 1.

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE	CILI OI EUDITHUN	
The undersigned hereby applies for amendment to Permit No. in the original application in accordance with the Laws of the Stathe City of Portland, plans and specifications, if any, submitted her		ľ.
Location 1914 Congress Street	Within Fire Limits? Dist. No.	
Owner's name and address First United Pentecostal	Church - save Telephone773-6334	i
Lessee's name and address	Telephone	
Contractor's name and addressOwner		
Architect		
Proposed use of buildingmain audit orium of church	h	·• .
Last use		
Increased cost of work PODE	Additional fee	

Description of Proposed Work

To to change floor plan of main auditorium of church 1 sheet of plans.

Details of New Work Is any plumbing involved in this work? ls any electrical work involved in this work? Height average grade to top of plate Height average grade to highest point of roof Thickness Height Ma, real of underpinning Kind of roof Rise per foot Roof covering No. of chimneys Material of chimneys Framing lumber—Kind Dressed or full size? Corner posts Sills Girt or ledger board? Size Studs (outside walls and carrying partitions) 2x4-16" O C. Bridging in every floor and flat roof span over 8 feet. 1st floor....., 2nd...., 3rd...., 162f Joists and rafters: On centers: 1st floor...., 2nd..., 3rd... Maximum span: Approved:



CITY OF PORTLAND, MAINE Department of Building Inspection

Certificate of Occupancy

LOCATION

1914 Congress Street

Issued to . United Pirtecostal Church

Date of IssueApril 12, 1985

This is to rertify that the building permits, or part thereof, at the above location, built—alcored—changed as to use under Building Permit No.83-2296, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire Limiting Conditions:

Church

*

This certificate supersedes certificate issued
Approved:

(Date)

Inspector

Notice: This certificate identifier lawfu ... where to owner when properly changes ha ?

building or premises, and ought to be transferred from Copr will be included to owner or respect for one dollar

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CITY OF PORTLAND, MAINE Department of Building Inspection

Certificate of Occupancy

LOCATION

1914 Congress Street

United Pentecostal Church

Date of Issue April 12, 1985

This is to certify that the building, premises, or part thereof, at the above location, built-altered -changed as to use under Building fermit No. 83-2296, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building de of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire Limiting Conditions:

Church

This certificate supersedes certificate issued

Approved: (Date)

Inspector

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lesses for one dollar.

APPLICATION		PERMIT ISSUED
B.O.C.A. USE GROUP	0.9996	• • • •
B.O.C.A. TYPE OF CONSTRUCTION ZONING LOCATION	TLAND, MAINEDog71	1 0 130.3
To the CHIEF OF BUILDING & INSPECTION SERVIC The undersigned hereby applies for a permit to erect, alter equipment or change use in accordance with the Laws of the Ordinance of the City of Portland with plans and specifican LOCATION1914 Congress Street. 1. Owner's name and addressUnited Pentscostal 2. Lessee's name and address 3. Contractor's name and addressOwner. Proposed use of building	ES, PORTI AND, MAINE repair, demolish, move or install the State of Maine, the Portland B.O.C. ions, if any, submitted verewith and . Church same	following building, structure, A. Building Code and Zoning the following specifications: Fire District #1 \(\Bar{1} \), #2 \(\Bar{2} \) Telephone
Last use	• • • • • • • • • • • • • • • • • • • •	No. families
Other juildings on same lot	• • • • • • • • • • • • • • • • • • • •	
Estimaed contractural cost S15,000	Appeal Fo	ecs' \$
FIELDINSPECTOR—Mr	Base Fee	8500
1	Late Fee	•• ••••••
To costruct 1 story addition to already ex	TOTAL cisting	\$85400
basement area of church, 60' x 60' additional per plans.	on as	p of Special Conditions
send pamit to # 1 - 04102		·-
NOTE TOAPPLICANT: Separate permits are required by and mechaicals. DETAILS O	the installers and subcontractors of F NEW WORK	heating, plumbing, electrical
Is any pluming involved in this work? I	s any electrical work involved in thi	is work?
Is connected to be made to public sewer?	not, what is proposed for sewage? form notice sent? Height average grade to highest poi Solid or filled land?	at of roof
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FIELD MISPECTOR COPY



INSPECTION COPY

APPLICATION FOR AMENDMENT TO PERMIT

Amendment No.

Pertland, Maine, Sept. 20, 1984

PERMIT ISSUED

SEP 21 1984

of PURTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

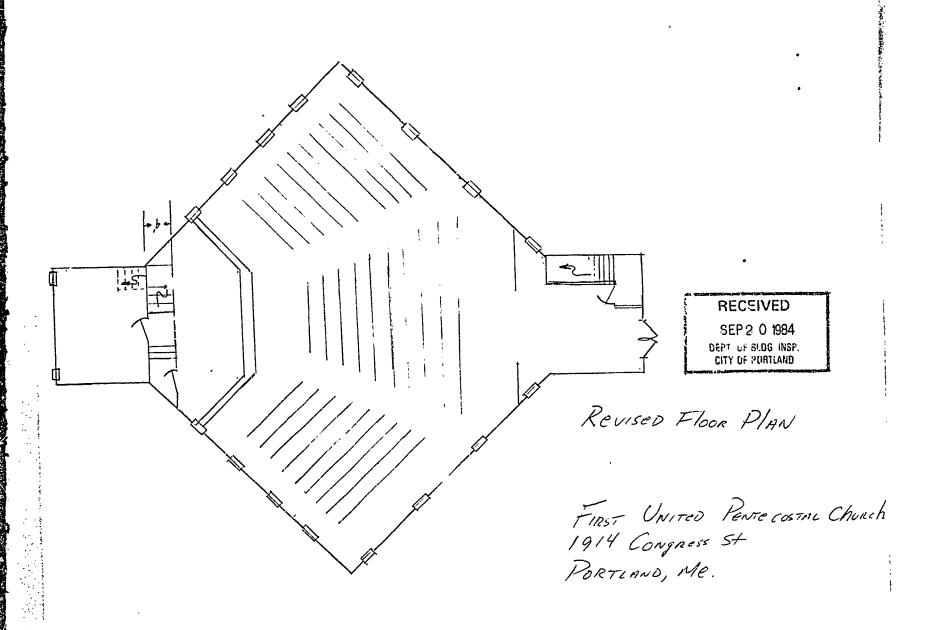
The undersigned hereby applies for amendment to Permit No. pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications: Location 1914 Congress Street Within Fire Limits? Dist. No. Owner's name and address First United Pentecostal Church - same Telephone 773-6334 Proposed use of building _____main_audit_orium_of_church_________No. families ______ Additional fee Increased cost of work none

Description of Proposed Work

To change floor plan of main auditorium of church 1 sheet of plans.

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Approved:			mature of Owner	1 6 (1/1)	and the same
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CITY OF PORTLAND, MAINE **MEMORANDUM**

Joseph E. Gray, Jr., Director of Planning & Urban Development

DATE: 5/17/83

P. Samuel Hoffses Chief of Inspection Services

SUBJECT:

1914-1918 form is Street (First United Pentacostal Church) 1888-1904 \log is Street (Christ Church)

As per your inquiry on the status of the two subject churches, I had Code Enforcement Office: Rowe co an on site investigation, and Mr. Vandoloski and myself also did a follow-up inspection on May 16, 1985.

As you know, and is shown on the site plan. both of these buildings are located approximately 1000' from the public way (Congress Street) and required major site work before any paving could be started.

At present, both buildings are occupied - Christ Church full occupancy and First United Pentacostal pasement only (living quarters' with limited assembly under 50).

Both of these projects have started landscaping and preparing to pave.

Please find attached copies of permits and requirements.

PSH/mIb We should dolor how may two the should be perfected during construction. Plans for complety youland church as well as timelable for complety Angel

APPLICATION FOR PERMIT

PERMIT ISSUED

400 BI 1991

B.O.C.A. TYPE OF CONSTRUCTION June 9, 1981

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he DIRECTOR OF BUILL	ING & INSPECTION SERVICES, I lies for a permit to erect, alter, repair a accordance with the Laws of the St ! Portland with plans and specificatio	PORTLAND, MAINE	tall the following building, struc- and B.O.C.A. Building Code and
ATION 1914 .	Congress St	stal Church	Fire District #1 [], #2 [] Telephone . 797-2377
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August 26, 1981

First United Pentacostal Church 1914-1918 Congress St. Assessors Map #212-A-20 & 212-A-5

Building pendit to construct foundation only for above named church is issued subject to the following conditions.

Planning Dept. Oriveways, parking and loading areas sust be paved

Public vorks

Traffic Circulation - 24° aisle in parking lot

Road Width - 24° minimum "crowned" readway

Sewers - requires Plumbing Inspector's approval

Drainage - should the installation of the Type A chambers create a change in

existing contours, we would recommend that the existing ditch shown
on Burns' property be responsed onto church property above Turns'

properly sized.

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Site Identifier(s) from Assessors Maps Zoning of Proposed Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors Ind of Ap, eals Action Required: () Yes () No Total Floor Area Inning Board Action Required: () Yes () No Per Comments: Planning Board Approved Site PLANNING DEPARTMENT REVIEW [Date Received] Major Development — Requires Planning Board Approval: Review Initiated Minor Development — Staff Review Below APPROVED APPROVED APPROVED APPROVED APPROVED APPROVED APPROVED APPROVED APPROVED CONDITIONALLY CONDITIONALY CONDITIONALLY CONDITIONALY CONDIT	Site Identifier(s) from Assessors Maps Frage of Site Ground Floor Coverage Zoning of Proposed Site a Location Review (DEP) Required: () Yes () No Proposed Number of Floors	lling Address							f	Date	
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S/23/83 Pent. Climich

Nov. Philip Sterns told again to

Call PSH. Also his number was

obtained so PSH could call him.

773-6334

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FROM THE DESK OF
SAMUEL-HOFFSES
Chief of Inspection Services
Ext: 346

MA, Almas & Sell
Manyanan