

1994-2020 CONGRESS STREET

Full cut - 0208 - Full cut - 0208 - Full cut - 0208 - Full cut - 0208

City of Portland, Maine
Fire Department

Brooklawn Memorial Park
2002 Congress Street
Portland, Maine 04102

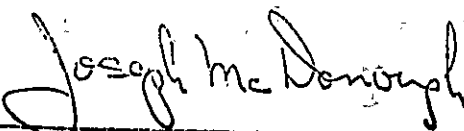
Re: Fire @ 2002 Congress Street

Dear Sir:

On Jan 27, 1983 a fire occurred in the building listed above, of which you are reported to be the owner ().

If permanent repair work is required for this building, you must obtain a permit from the Building & Inspection Dept. in City Hall before starting such work.

Very Truly Yours,



Chief
Portland Fire Department

cc: Building & Inspection Dept.
Corporation Counsel
Health Dept. (Housing Div.)
City Assessor's (Mr. Lucci)

The fire had four distinct points of origin: a woodpile in the basement, papers in the second floor closet of the northeast corner room, a second floor closet in the southeast corner room, and a hallway in the first floor.

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Dec. 16, 1971

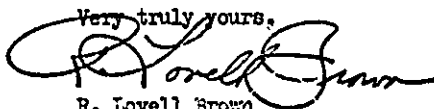
Brooklawn Memorial Park
2002 Congress St.

With relation to permit applied for to demolish a 1 1/2 story frame barn
_____ at 2002 Congress St. it is unlawful
to commence demolition work until a permit has been issued from this
department.

Section 6 of the Ordinance for rodent and vermin control provides:
"It shall be unlawful to demolish any building or structure unless
provision is made for rodent and vermin eradication. No permit for the
demolition of a building or structure shall be issued by the Building
Inspection Department until and unless provisions for rodent and vermin
eradication have been carried out under supervision of a pest control
operator registered with the Health Department.

The building permit for demolition cannot be issued until the
provisions of this section have been satisfied. It is the obligation
of owner or demolition contractor or both to take up with the Health
Department the matter of complying with this section, being prepared
to inform that department what registered pest control operator is to
be employed.

Very truly yours,


R. Lovell Brown
Director

Eradication of this building has been completed.

Inspection this date revealed no rodent activity 12/20/71

Contractor:

Owners - Brooklawn Memorial Park

ADZ

*Sent to Health Dept. 12/16/71
Rec'd from Health Dept. 12/21/71*

Und Barn



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, Dec. 16, 1971

PERMIT ISSUED

DEC 21 1971
1599

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 2002 Congress Street

Owner's name and address Brooklawn Memorial Park, 2002 Congress St. Within Fire Limits? ☐ Dist. No.

Lessee's name and address Telephone

Contractor's name and address owners Telephone

Architect Telephone

Proposed use of building Specifications Plans No. of sheets

Last use No. families

Material Barn No. families

Other buildings on same lot Style of roof Roofing

Estimated cost \$ Fee \$ 5.00

General Description of New Work

To demolish existing 1 1/2 story frame barn - no sewer connection

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owners

Sent to Health Dept. 12/16/71
Rec'd from Health Dept. 12/21/71

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering Kind of heat fuel

No. of chimneys Material of chimneys of lining Corner posts Sills

Framing Lumber-Kind : Dressed or full size? Max. on centers

Size Girder Columns under girders Size Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor , 2nd , 3rd , roof

On centers: 1st floor , 2nd , 3rd , roof

Maximum span: 1st floor , 2nd , 3rd , roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Brooklawn Memorial Park

APPROVED:

O.K. E.B. 12/21/71

INSPECTION COPY

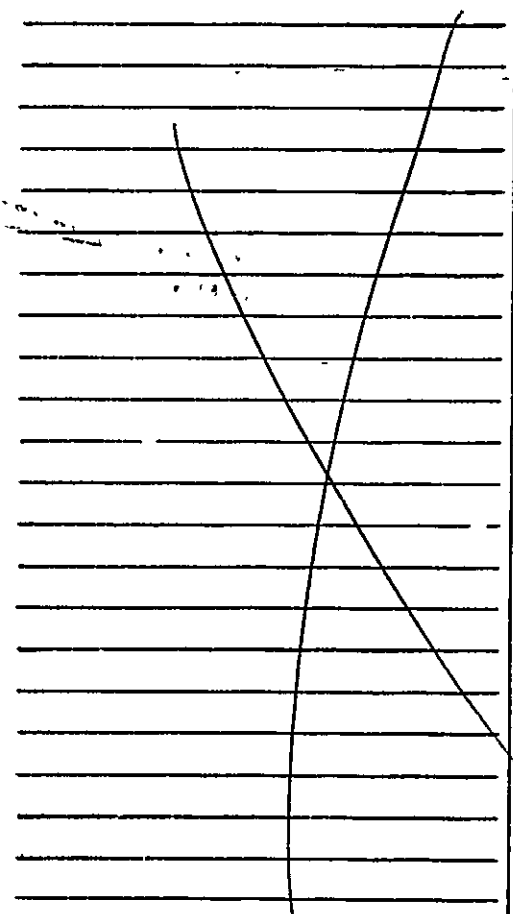
Signature of owner By:

Lana L. Larson

Permit No. 71/1599
 Location 2002 Congress St
 Owner Donaldson General
 Date of permit 12/21/71
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. _____
 Cert. of Occupancy issued _____
 Staking Out Notice IRV
 Form Check Notice _____

NOTES

12/22/71
Job app if done
by 12/22 - roof
is off -
74
1-12-72
Transitioned
74



Date Issued **July 8, 1970**
 Portland Plumbing Inspector
 By **ERNOLD R. GOODWIN**
 App. First Insp.
 Date **JUL 9 - 1970**
 By **ERNOLD R. GOODWIN**
 App. Final Insp.
 Date **JUL 16 1970**
 By **ERNOLD R. GOODWIN**
 CHIEF PLUMBING INSPECTOR
 Type of Bldg.
☐ Commercial
☐ Residential
☐ Single
☐ Multi Family
☐ New Construction
☐ Remodeling

PERMIT TO INSTALL PLUMBING

Address		PERMIT NUMBER 1539	
Installation For		2002 Congress St.	
Owner of Bldg.		Brooklyn Memorial Park - Office	
Owner's Address		B-10	
Plumber		B-10	
NEW	REPL	Date: July 8, 1970	
		NO. 1	
		SINKS	
		LAVATORIES	
		TOILETS	
		BATH TUBS	
		SHOWERS	
		DRAINS	
		FLOOR	SURFACE
		HOT WATER TANKS	
		TANKLESS WATER HEATERS	
		GARBAGE DISPOSALS	
		SEPTIC TANKS	
		HOUSE SEWERS	
		ROOF LEADERS	
		AUTOMATIC WASHERS	
		DISHWASHERS	
		OTHER	
		TOTAL 1 2.00	

Building and Inspection Services Dept.; Plumbing Inspection

CITY OF PORTLAND
DEPARTMENT OF PUBLIC WORKS
DEMOLITION OF BUILDINGS

A building will be demolished at # 2002 Congress St.
Street on _____.
The Contractor is Owners - Brooklawn Memorial Park.

NO PERMIT REQUIRED

PHILIP E. MAXLIN
DEPARTMENT OF PUBLIC WORKS



RI RESIDENCE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class -new add.
 Portland, Maine, June 11, 1970

PERMIT ISSUED
 JUN 15 1970

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 2002 Congress St.
 Owner's name and address Brooklawn Memorial Park Office, 2002 Congress St. Within Fire Limits Dist. No.
 Lessee's name and address Telephone
 Contractor's name and address F. P. & C. H. Murray, Ocean House Road Cape Elizabeth Telephone 789-8126
 Architect Specifications Plans yes No. of sheets 1
 Proposed use of building Office Bldg. No. families
 Last use No. families
 Material frame No. stories 2 1/2 Heat Style of roof Roofing
 Other buildings on same lot
 Estimated cost \$ 2000.00 Fee \$ 6.00

General Description of New Work

To construct 1-story concrete block addition on rear of existing building 10' x 8' as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO contractor**

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent? yes
 Height average grade to top of Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation concrete at least 4" below grade Thickness, top 8" bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber -Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor , 2nd , 3rd , roof
 On centers: 1st floor , 2nd , 3rd , roof
 Maximum span: 1st floor , 2nd , 3rd , roof
 If one story building with masonry walls, thickness of walls? height

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

zoning 03 1/12/70 RICH
 Build Code 215, 6/12/70
 E. S. B.

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner by

Brooklawn Memorial Park Office
 F. P. & C. H. Murray

F. P. & C. H. Murray

77

NOTES

6-17-70 OK. to
pour & back fill

6-22-70 About
done - "B" door.
For Record Vault.

[Handwritten signature]

Permit No. 701637
Location 2003 Cypress St.
Owner Bruce & Pauline H. H. H.
Date of permit 6/15/70
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued
Staking Out Notice
Form Check Notice

[Handwritten signature]



APPLICATION FOR PERMIT

23704

PERMIT ISSUED

01840

NOV 29 1957

CITY of PORTLAND

Class of Building or Type of Structure Second Class

Portland, Maine, November 18, 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alterations on the following building structure equipment specifications, if any, submitted herewith and the following specifications:

Location 2002 Congress Street (1994-2020) Within Fire Limits? Dist. No.
Owner's name and address Brooklawn Memorial Park, Corp., 443 Congress St. Telephone
Lessee's name and address Telephone
Contractor's name and address not let Telephone
Architect Telephone
Proposed use of building Storage of equipment including Plans * yes No. of sheets 4
Last use motor equipment No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 10,000. Fee \$ 10.00

General Description of New Work

To erect 1-story concrete block building 50'x24' for storage of cemetery equipment, as per plans

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owners

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Brooklawn Memorial Park, Inc.

INSPECTION COPY

Signature of owner By:

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SPECIFICATIONS
FOR THE
CONSTRUCTION
OF
A
UTILITY BUILDING
FOR
BROOKLAWN MEMORIAL PARK
AT
PORTLAND, MAINE

BY
WILBUR R. INGALLS, JR.
ARCHITECT



FORM OF PROPOSAL
FOR
UTILITY BUILDING-BROOKLAWN MEMORIAL PARK
AT
PORTLAND, MAINE

THE UNDERSIGNED AS BIDDER, DECLARES THAT HE HAS CAREFULLY EXAMINED THE ATTACHED INSTRUCTIONS TO BIDDERS, GENERAL CONDITIONS, DETAILED SPECIFICATIONS AND DRAWINGS REFERRED TO THEREIN, THAT HE HAS EXAMINED THE SITE OF THE PROPOSED WORK, AND HE PROPOSES, THAT IF THIS PROPOSAL IS ACCEPTED HE WILL CONTRACT WITH THE BROOKLAWN MEMORIAL PARK TO PROVIDE THE NECESSARY EQUIPMENT, MATERIALS AND LABOR CALLED FOR BY SAID SPECIFICATIONS AND DRAWINGS, AS ARE NECESSARY TO COMPLETE THE WORK IN THE MANNER SET FORTH IN SAME FOR THE LUMP SUM OF _____

GENERAL CONDITIONS

A. GENERAL. THE SAID SPECIFICATIONS AND DRAWINGS ARE INTENDED TO SUPPLEMENT EACH OTHER, SO THAT ANY WORK EXHIBITED IN ONE AND NOT IN THE OTHER SHALL BE EXECUTED AS THOUGH IT HAD BEEN SET FORTH IN BOTH. IN PERFORMING THE WORK UNDER THIS AGREEMENT THE CONTRACTOR SHALL CONFORM TO CUSTOMARY GOOD PRACTICE IN BUILDING CONSTRUCTION, AND WHILE THE SPECIFICATIONS ARE INTENDED TO BE FULL AND COMPLETE IN THEMSELVES, THE CONTRACTOR SHALL CONSIDER HIMSELF BOUND BY CUSTOMARY GOOD PRACTICE, WHETHER REFERRED TO SPECIFICALLY OR NOT.

B. INDEPENDENT CONTRACTOR. IT IS STIPULATED THAT THE CONTRACTOR IS AN INDEPENDENT CONTRACTOR AND HAS FULL POWER AND AUTHORITY TO SELECT THE MEANS, METHODS AND MANNER OF PERFORMING THE WORK OF THIS CONTRACT AND IS RESPONSIBLE TO THE OWNER ONLY FOR THE RESULTS HEREIN CONTRACTED FOR.

C. SUBCONTRACTORS. THE LIABILITY OF THE CONTRACTOR IS FULL AND COMPLETE IN ALL RESPECTS AND SUBLETTING ANY PART OF THE WORK SHALL NOT RELIEVE HIM OF ANY PRIMARY RESPONSIBILITY, AND NO PART OF THE WORK SHALL BE SUB-LET WITHOUT THE WRITTEN CONSENT OF THE OWNER.

D. SUPERINTENDENCE. THE CONTRACTOR SHALL KEEP ON THE WORK AT THE BUILDING SITE A COMPETENT SUPERINTENDENT SATISFACTORY TO THE OWNER.

E. CHANGES AND EXTRA WORK. THE OWNER MAY AT ANY TIME MAKE CHANGES IN THE SPECIFICATIONS OR DRAWINGS, OMIT WORK AND/OR REQUIRE ADDITIONAL WORK TO BE PERFORMED BY THE CONTRACTOR. THE CONTRACTOR SHALL MAKE NO ADDITIONS, CHANGES, ALTERATIONS, OMISSIONS, PERFORM NO EXTRA WORK NOR SUPPLY OR USE EXTRA MATERIALS OR EQUIPMENT EXCEPT UPON PRIOR WRITTEN AUTHORIZATION OF THE OWNER.

GENERAL CONDITIONS - CONTINUED

E. CONT'D THE COST CHANGE IN THE CONTRACT SUM WILL BE ADJUSTED ACCORDINGLY AND THE VALUE OF SUCH WORK OR CHANGE MAY BE DETERMINED BY ESTIMATE AND LUMP SUM, BY UNIT PRICES, BY COST AND PERCENTAGE, OR BY COST AND FIXED FEE. IF NONE OF THESE METHODS IS AGREED UPON WITH THE OWNER, THE CONTRACTOR WILL PROCEED WITH THE WORK AND KEEP ACCOUNT OF THE COST.

IF THE CONTRACTOR CLAIMS THAT ANY INSTRUCTIONS HAVE CAUSED EXTRA COST, HE MUST GIVE WRITTEN NOTICE WITHIN THREE DAYS.

F. PAYMENT. THE CONTRACTOR WILL PREPARE BILLS EACH MONTH AGAINST THE OWNER, ITEMIZED IF REQUIRED. THE OWNER WILL MAKE PAYMENT EQUAL TO 90% ON EACH BILL WITHIN SEVEN DAYS. TEN PERCENT (10%) OF THE AMOUNT OF THE CONTRACT WILL BE WITHHELD AT COMPLETION OF THE CONTRACTOR'S WORK ON SAID CONTRACT AT THE OWNER'S OPTION, BUT FOR A PERIOD OF NOT MORE THAN SIXTY DAYS, PENDING SATISFACTION OF ALL WORK DONE UNDER THE CONTRACT, AND A SATISFACTORY SHOWING THAT ALL ACCOUNTS AND CLAIMS INCURRED IN DOING SAID WORK HAVE BEEN PAID AND SATISFIED. THE MAKING AND ACCEPTANCE OF THE FINAL PAYMENT CONSTITUTES A WAIVER OF ALL CLAIMS BY THE OWNER AND THE CONTRACTOR, EXCEPT THAT ANY DEFECTS DUE TO FAULTY WORKMANSHIP OR MATERIALS WHICH MAY BECOME EVIDENT DURING THE 12 MONTHS PERIOD AFTER THE COMPLETION OF THE WORK SHALL BE CORRECTED, OR REPLACED AS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

G. INSURANCE. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER HARMLESS FROM AND AGAINST ALL CLAIMS FOR DAMAGE TO PROPERTY AND FOR INJURY OR DEATH OF PERSONS RESULTANT FROM THE PERFORMANCE OF THE WORK OF THIS CONTRACT.

THE OWNER WILL MAINTAIN FIRE INSURANCE UPON THE STRUCTURE TO 100% OF ITS INSURABLE VALUE INCLUDING ALL MATERIAL AND EQUIPMENT NOT OWNED OR RENTED BY THE CONTRACTOR.

GENERAL CONDITIONS-CONTINUED

G. INSURANCE - CONT'D THE CONTRACTOR SHALL CARRY INSURANCE WHICH WILL PROTECT HIMSELF AS WELL AS THE OWNER AGAINST WILLFUL DAMAGE TO ANY PORTION OF THE WORK UNDER THIS CONTRACT.

THE CONTRACTOR SHALL CARRY INSURANCE WHICH WILL PROTECT HIMSELF AS WELL AS THE OWNER AGAINST ANY SUITS OR CLAIMS ARISING FROM DAMAGES TO SURROUNDING PROPERTIES BY DUST OR OTHERWISE.

H. LIENS. THE CONTRACTOR SHALL PROMPTLY AND SATISFACTORILY SETTLE ALL CLAIMS FOR LABOR PERFORMED AND SUPPLIES OR MATERIALS FURNISHED IN CONNECTION WITH THE WORK OF THIS CONTRACT, AND CAUSE ANY LIENS BASED THEREON TO BE RELEASED, AND IN EVENT THE CONTRACTOR FAILS OR REFUSES TO DO SO, THE OWNER SHALL AFTER SO NOTIFYING THE CONTRACTOR IN WRITING HAVE THE RIGHT TO SETTLE SUCH CLAIMS OR RELEASE SUCH LIENS FOR ACCOUNT OF CONTRACTOR, AND DEDUCT THE AMOUNT THEREOF AND ANY COSTS INVOLVED THEREIN FROM THE CONTRACT PRICE.

I. PERMITS THE CONTRACTOR SHALL PROCURE ALL NECESSARY PERMITS AND LICENSES AT ITS OWN EXPENSE.

DETAILED SPECIFICATIONS

WITH CERTAIN EXCEPTIONS WHICH WILL BE GIVEN IN THE SPECIFICATIONS OR
IN NOTES ON THE DRAWINGS THE WORK OF THIS CONTRACT WILL BE AS DESCRIBED
IN THESE SPECIFICATIONS AND IN THE DRAWINGS AS LISTED BELOW:

LIST OF DRAWINGS

- DWG. #1 PLOT PLAN
- DWG. #2 FLOOR AND FOUNDATION PLANS
- DWG. #3 ELEVATION AND CROSS SECTION
- DWG. #4 WALL SECTION AND DETAILS

EXCAVATION AND BACKFILL

THE CONTRACTOR SHALL DO ALL NECESSARY EXCAVATION OF ANY NATURE WHATSOEVER. THIS INCLUDES EXCAVATION NECESSARY FOR INSTALLATION OF SEPTIC TANK, OIL TANK AND DRY WELL.

LEDGE EXCAVATION

IN THE EVENT THAT LEDGE IS ENCOUNTERED THAT IT IS NECESSARY TO REMOVE AN AGREEMENT AS TO QUANTITY AND PRICE FOR SAME SHALL BE AGREED UPON BETWEEN THE CONTRACTOR, OWNER AND ARCHITECT PRIOR TO REMOVAL OF SAME. ANY SINGLE ROCK OVER $\frac{1}{2}$ CUBIC YARD IN SIZE SHALL BE DEFINED AS LEDGE.

LINES AND GRADES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEASUREMENTS OR LINES REQUIRED TO LOCATE THE BUILDING AND TO SET THE BATTER BOARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING ALL GRADES FOR THE BUILDING SEWERS, DRAINAGE LINES ETC.

CONCRETE

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY CONCRETE AS MAY BE REQUIRED BY THE DRAWINGS. THE CONCRETE SHALL BE READY-MIXED TYPE MIXED AND DELIVERED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE "STANDARD SPECIFICATIONS FOR READY-MIXED CONCRETE." (A.S.T.M. DESIGNATION :C94) THE CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR A PERIOD OF AT LEAST SEVEN DAYS AFTER PLACING. THE SURFACE OF ALL EXPOSED CONCRETE WALLS SHALL BE SMOOTHED BY RUBBING WITH CARBORUNDUM BRICK UNTIL ALL UNEVEN SURFACES ARE REMOVED AND SURFACE IS SMOOTH AND UNIFORM.

CONCRETE FORMS

THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR TO BUILD THE FORMS FOR THE FOOTINGS, PIERS, WALLS, MATS, FLOOR SLABS, AS REQUIRED ON THE DRAWINGS.

REINFORCING STEEL

THE REINFORCING STEEL SHALL BE OF DEFORMED INTERMEDIATE GRADE NEW BILLET STEEL BARS OF THE SIZE AND SPACING IN ACCORDANCE WITH THE DRAWINGS. ALL PLACING AND SECURING OF REINFORCING RODS SHALL BE DONE IN AN APPROVED METHOD.

MASONRY WORK

THE CONTRACTOR SHALL PERFORM ALL MASONRY WORK REQUIRED FOR THE COMPLETION OF THE WORK AS SHOWN ON THE DRAWINGS AND AS SPECIFIED OR DIRECTED.

(A) CONCRETE BLOCKS

THE CONCRETE MASONRY UNITS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HOLLOW LOAD BEARING CONCRETE MASONRY UNITS OF THE AMERICAN SOCIETY FOR TESTING MATERIALS.

(B) MORTAR

THE MORTAR USED FOR MASONRY WALL SHALL BE MIXED IN THE FOLLOWING PROPORTIONS: ONE PART CEMENT, TWO PARTS U.S.G. MORTARSEAL AND NINE PARTS SAND. A PREPARED MORTAR MIX SUCH AS DRAGON, MIXED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS MAY BE USED IF DESIRED. - *See note on sheet 2 of plans*

(C) METAL REINFORCEMENT AND TIES

WALL REINFORCEMENT SHALL BE DUOWALL TYPE 12s FOR ALL MASONRY WALLS. THE DUOWALL REINFORCEMENT SHALL BE PLACED WHERE SHOWN ON THE DRAWINGS. REINFORCEMENT SHALL BE LAPPED SUFFICIENTLY AT SPLICES TO INSURE CONTINUITY AND CORNERS SHALL BE CUT AND BENT.

(D) GENERAL

METAL WALL PLUGS, ANCHORS AND OTHER ACCESSORIES REQUIRED FOR SECURING OTHER WORK, SHALL BE SET AND BUILT IN WITH THE MASONRY. BUCKS, FRAMES AND OTHER BUILT IN WORK SHALL BE MAINTAINED IN THEIR PROPER POSITION AND BRACING SHALL NOT BE REMOVED UNTIL THEY HAVE BEEN SECURELY FASTENED TO THE MASONRY. ALL MASONRY WORK SHALL BE POINTED UP AND THOROUGHLY CLEANED UPON ITS COMPLETION.

THE CONTRACTOR SHALL CONSTRUCT THE CHIMNEY WITH A 8" x 8" FLUE LINING AS INDICATED ON THE DRAWINGS.

CARPENTER WORK

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR AND MATERIAL AND SHALL PERFORM ALL CARPENTER WORK OF EVERY NATURE WHATSOEVER TO BE DONE. HE SHALL LAYOUT ALL WORK AND BE RESPONSIBLE FOR ALL MEASUREMENTS AND KEEP A COMPETENT FOREMAN IN CHARGE. ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER, LEVEL, STRAIGHT, PLUMB AND TRUE, AND STRICTLY IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

(a) FRAMING LUMBER

ALL FRAMING LUMBER SHALL BE NATIVE MERCHANTABLE HEMLOCK OR SPRUCE. ALL FRAMING MATERIAL SHALL BE REASONABLY DRY.

(b) ROOF BOARDING

ROOF BOARDS SHALL BE 1 INCH MATCHED PINE BOARDS

(c) EXTERIOR SIDING

EXTERIOR SIDING SHALL BE 1 x 6 BEVELED EDGE MATCHED PINE.

(d) FINISH

EXTERIOR AND INTERIOR TRIM SHALL BE #2 COMMON DRY PINE OR BETTER.

(e) WALLBOARD

WALLBOARD SHALL BE 3/8" THICK "V" JOINT GYPSUM BOARD WITH ALL NAIL HOLES SPACKLED AND JOINTS EXPOSED. BOTH SIDES OF WALL BETWEEN THE VEHICLE STORAGE AND WORK SPACE SHALL HAVE GOLD BOND 5/8" THICK FIRE SHIELD WALL BOARD FINISH. ALL OUTSIDE CORNERS OF GYPSUM BOARD ARE TO BE COVERED WITH GOLD BOND CORNER BEAD, SPACKLED AND SANDED. ALL INTERIOR CORNERS SHALL BE TAPED, SPACKLED, AND SANDED.

(f) DOORS AND WINDOWS

ALL DOORS SHALL BE AS INDICATED ON THE DRAWINGS.

(g) INSULATION

INSULATION SHALL BE 2" SEMI-THICK BLANKET TYPE PAPER WRAPPED WITH A VAPOR SEAL ON THE WARM SIDE. INSTALL INSULATION WHERE INDICATED ON THE DRAWINGS.

PLUMBING

THE PLUMBING CONTRACTOR SHALL DO ALL PLUMBING WORK CALLED FOR ON THESE DRAWINGS AND SHALL MAKE ALL INSTALLATIONS IN STRICT ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.

ALL HOT AND COLD WATER LINES SHALL BE OF COPPER. ALL SOIL OR WASTE PIPES SHALL BE OF COPPER OR CAST IRON.

THE PLUMBER SHALL RUN COLD WATER SUPPLY TO THE BOILER, FURNISHED AND INSTALLED BY THE HEATING CONTRACTOR, AND SHALL CONNECT THE HOT WATER SUPPLY TO THE TANKLESS HEATER FURNISHED WITH THE BOILER.

ALL EXCAVATION FOR WATER AND DRAINAGE LINES SHALL BE DONE FOR THE PLUMBING CONTRACTOR BY THE GENERAL CONTRACTOR UNDER HIS CONTRACT.

HEATING

THE HEATING CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR NECESSARY TO MAKE A COMPLETE INSTALLATION OF THE HEATING SYSTEM SHOWN ON THE DRAWINGS. ALL WORK AND MATERIALS USED SHALL BE IN ACCORDANCE WITH REGULATIONS OF THE NATIONAL BOARD OF UNDERWRITERS.

ELECTRICAL WORK

THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY LABOR AND MATERIALS FOR A COMPLETE ELECTRICAL INSTALLATION IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE GOVERNED BY THE NATIONAL ELECTRIC CODE AND ANY LOCAL REGULATIONS WHICH MAY APPLY. THE ELECTRICAL CONTRACTOR SHALL CONNECT CIRCUITS TO THE VENTILATING FANS, CIRCULATING PUMPS AND OIL BURNER FURNISHED AND INSTALLED BY OTHERS. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL BULBS. ALL SWITCHES SHALL BE TOGGLE TYPE. MINIMUM WIRE SIZE SHALL BE #12.

BROOKLAWN MEMORIAL PARK



October 9, 1957

R1 RESIDENCE ZONE



Mr. Warren McDonald
Building Inspector
Portland, Maine

Dear Mr. McDonald:

I am writing in accordance with our conversation with you as Building Inspector of the City of Portland, Maine.

Lloyd H. Worth, Realtor, Mrs. Josephine Skillin as owner and myself as President of Brooklawn Memorial Park came to your office October 7, 1957 relative to an appeal for the use of the Skillin's property at 2002 Congress Street, Portland, Maine to be used for burial purposes, new storage building, offices and Superintendent's home.

We wish to demolish the barn used by us for 18 years as a storage house for the Cemetery, and the milkhouse used by us as an office for the same length of time and demolish the garage adjacent to the ell of the dwelling.

You found that the Skillin's property that we are buying on Congress Street showed that, according to the Zoning Law Map, it was delineated as a part of Brooklawn Memorial Park. You felt you could give us a permit for offices and Superintendent's home in the dwelling now located on the property. However, you were not sure that you could give us a permit for a new storage building in which to house our equipment; such as, one truck, tractor for plowing snow, grave digger, power lawn mowers, garden hose, etc. incidental for the operation of a Cemetery. You wanted to have the law interpreted to you by the Corporation Counsel of the City of Portland after writing you just what we wanted to accomplish.

I will set forth the changes we want to make in accordance with a Plan enclosed of the land and buildings on the Skillin property, as follows:

- (1) Part shown on Plan enclosed with dotted line through property marked number 4, for burial purposes to be used for burial purposes only, except for a right-of-way for our new storage house into the Cemetery without going onto Congress Street.
- (2) Dwelling is shown on Plan and shown as building #5 on said Plan, the first floor to be used as offices for our files, plan of graves, purchase of lots and payment of same, information office and a dressing room for the Clergy. Second floor dwelling as shown on Plan to be used for Superintendent's home.

*Asst. Corp. Secy. 1994-2020 S. 211A
at two weeks ago said he
that the town had a
an acc. use for a cemetery
incident to the cemetery
in writing. Lloyd Worth
Coven were notified by time
over the phone.*

(2)

Mr. Warren McDonald

- (3) Demolish all buildings as shown on Plan with dotted lines such as old barn, used for storage, old milkhouse used for an office and garage adjacent to dwelling numbered buildings 1,2 and 3 on Plan.
- (4) Build new storage building as shown on Plan, and numbered 6 on said Plan, on the land in the rear of the dwelling as herein set forth showing distances from lot line and other buildings marked dwelling on said Plan which we will use for offices and Superintendent's home.

I feel this covers everything we will do if we owned the Skillin's property as a part of Brooklawn. Now, if I understand the Zoning Law correctly, buildings can be built for incidental use thereon, - such as a garage with a house and we cannot operate a Cemetery without the incidental use of a storage building for our equipment.

Trusting you will be able to give us a permit without appeal as we would be doing nothing different than we have been doing for the past 18 years except to greatly improve the property as a whole.

Very truly yours,

BROOKLAWN MEMORIAL PARK

By H. H. Corwin
President

RI RESIDENCE ZONE

Brooklawn

New burial
ground # 4

prison office
2 Bldg
with house

New storage
Bldg #6

3 to be demolished

TO BE
demolished

Pass

New offices
and Eupt's home

DWG

Bldg #5

Josephine E. Epton Property to be purchased by Brooklawn

2002 Congress St

RECEIVED

OCT 9 1957

DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Scale: 1" = 50'

Robert W. Donovan, Asst. Corporation Counsel

October 10, 1957

Warren McDonald, Inspector of Buildings

Application of Zoning Ordinance to the property at 1994-2020 Congress St. in view of possible change of ownership and use.

Attached is a letter of inquiry from Brooklawn Memorial Park with sketch attached, which represents the latest of several inquiries, and it appears that some representative of Brooklawn Memorial Park has talked with you about a similar proposal also.

The written inquiry was preceded by conferences with Mr. Cowan of the Cemetery Corporation, Mrs. Josephine Skillin, present owner of the property in question and Mr. Lloyd Worth, agent for one or both of them.

It appears that their inquiry is based on the proposition of the Cemetery Company buying the entire Skillin property with the hope of developing it and using it as indicated on the sketch:

- to demolish the three existing buildings on that part of the property adjoining the present cemetery and set off by a dashed line, with the expectation that the Skillin property in the future will be used as a burying ground, known as new burial ground #4.
- to demolish a part of the ell and the former carriage house at the rear of the dwelling; to convert the first floor of the dwelling to offices for the cemetery; and to provide an apartment for the Superintendent on the second floor of the dwelling.
- to construct a 1-story building (shown in red on the sketch) about 50 feet by 24 feet with a projection about 8 feet by 23 feet for heater room, toilet and small office;--this new building to be used partly as a storage area and partly for repair of equipment. In this building at present he plans to store one truck, one tractor for plowing snow, power lawn mowers and sometime later a power grave digger. The storage would consist of garden hose, fertilizer and the like.

Both the present cemetery and the Skillin property are in an R-1 Residence Zone where, according to Section 2A of the Ordinance, cemeteries and buildings and uses accessory thereto are allowable. They say that some representative has talked with you and you have given them this information. Mr. Cowan has presented two or three different questions to me over the past several weeks; but only now has he indicated that part of the Skillin property would be used as a cemetery or burying ground. It is my impression that it would probably be a long, long time before any burials take place on the Skillin property, but, of course, we cannot challenge the statement in their proposal.

I have no difficulty with saying that the office in the dwelling and that the proposed new building represent buildings and uses accessory to a cemetery; but, turning to Section 17 on Page 48, under Accessory Use the statement is found: "in no case may more than one commercial vehicle be parked on a residential lot; such commercial motor vehicle shall not be larger than 2½ tons gross vehicle weight."

It seems that we must count the truck and the tractor as two commercial vehicles, and Mr. Cowan has indicated that they are likely to purchase at least one more at some future date. The grave digger does not move under its own power and the mowers could hardly be termed vehicles.

October 10, 1957

Will you tell me whether you think in the face of this prohibition of more than one commercial vehicle, we can tell Mr. Cowan that the new building may be allowed without recourse to the Board of Appeals, with the assurance that after he has purchased the land, we can go through with issuing the building permit and later the certificate to occupy?

We have a somewhat parallel situation in connection with the Hamlin property on Riverside Street, although that property is in an I-1 Zone. This property has been used for a gravel pit for a long time and will be so used. Mr. Hamlin proposes to construct a garage for his trucks and other equipment and I believe an office. At first it seemed that his entire proposition as to building and use is clearly accessory to the gravel operation. However, since we could find no allowed use as a garage in the I-1 Zone, we explained the situation to him and he has filed an appeal. In the I-1 Zone, of course, we have no prohibition against more than one commercial vehicle. Perhaps we have been wrong in the Hamlin case.

WMCD/B

Inspector of Buildings

P. S. The sale of the Skillin property to Mr. Cowan has been hanging fire for a long time, and they will appreciate an answer as soon as possible.

8A

November 29, 1957

AP - 1994-2020 Congress Street

Brooklawn Memorial Park Corporation
Att: Mr. Harry H. Cowen
443 Congress Street

cc to: Mr. Wilbur R. Ingalls, Jr.
45 Exchange Street

Gentlemen:

Building permit for construction of a one story wood frame and masonry building approximately 32 feet by 54 feet for use as a service building for cemetery at the above named location is issued herewith based on revised plans filed at this office November 27, 1957, but subject to the following conditions:

1. Before the required notification for check of forms and location by this department is given, name of contractor is to be furnished.
2. A separate permit, issuable only to the actual installer, is required for installation of the heating system.
3. It is necessary that this department be notified for inspection before any wall board is applied to walls, partitions or ceilings.
4. A certificate of occupancy is required from this department before building is put into use. This department should therefore be notified for a "final" inspection as soon as all essential work on the building has been completed.
5. Permit is issued on the basis that a subsurface sand filter constructed to the satisfaction of the Health Department is provided for septic tank, this being the condition under which that department has approved issuance of the permit.
6. Separate permits are also required for demolition of any existing buildings on the lot.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS:H

November 21, 1957
AP - 1994-2020 Congress Street

Brooklawn Memorial Park Corporation
443 Congress Street
Mr. Wilbur E. Ingalls, Jr.
45 Exchange Street

Gentlemen:

Examination of plans filed with application for permit for construction of a one story wood frame and masonry building approximately 32 feet by 54 feet at the above named location for use as service building for cemetery discloses variances from and questions as to compliance with Zoning Ordinance and Building Code requirements as listed below. Before a permit can be issued it is necessary that revised plans indicating compliance with requirements be filed for checking and approval. Details in question are as follows:

1. In order to avoid any question under the Zoning Ordinance as to the lawfulness of the proposed use of the building, it is necessary that there be indicated on the plot plan that part of the lot which is to be set aside for future burial ground use.
2. Door at entrance to heater room is required to be a Class "C" labelled fire door equipped with either automatic or self-closing hardware, and since it is located in a masonry wall, the frame is required to be all metal rather than wood covered with sheet metal. A raised threshold at least six inches high or equivalent construction is required in this doorway. See Section 204-f-4.
3. Partition between the garage area and work space is required to extend to the roof boarding and doors on the opening are required to be Class "C" labelled fire doors equipped with automatic or self-closing hardware. A six inch raised threshold or equivalent is required in this doorway. If the floor of garage were to be made at least six inches lower than that in the heater room and work space, need for raised thresholds in doorways would be eliminated.
4. We suggest that check be made to make sure that heater can be installed in a room of the size indicated, bearing in mind required clearances from combustible material. If an insulated jacketed unit is to be used, clearances of not less than 12 inches are required at sides and rear unless the appliance bears the label of approval by some accredited testing agency for lesser clearances than this. The usual clearance required at the front of the appliance is a minimum of four feet.
5. A statement of design (blank copy enclosed) covering the steel and reinforced concrete lintels is required to be affixed to the plans. In this connection we note that in some cases angle iron lintels are indicated for openings. It appears questionable if it is feasible to use such lintels for support of 12 inch concrete blocks.

Brooklawn Memorial Park Corporation - Mr. Wilbur R. Ingalls, Jr. -- 2

6. Use of 3x4 plate on rake of gable end wall appears questionable as to being wide enough to allow proper anchorage of plate to wall since this plate and fastening of roof boarding to it must be relied upon for furnishing required anchorage of wall to roof framing. - *Changed to 3x6 - OK*

7. Sills for wood frame walls are required to be not less than 4x6, all one piece in cross section instead of the double 2x4's indicated. If desired, the 4x6 may be placed on edge, however. - *OK*

8. What is to be provided for support of roof across opening at recess off work space in front of toilet room? - *OK*

9. Mortar mix in specifications appears not to be in compliance with the requirements of Section 308-a-8.5 of the Code, which stipulates that combination mortar shall be composed of one part of lime, one part of Portland cement and not more than six parts of sand by volume. However, we are not acquainted with the function and characteristics of the "Mortarseal" mentioned in the specifications. - *OK*

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS:M
End: blank statement of design

P.S. You presumably are taking steps to get approval of the Health Department for sewage disposal facilities. We shall be unable to issue a permit until such facilities have been approved. - *OK*

CITY OF PORTLAND, MAINE
Department of Building Inspection
NOTICE RELATING TO SEWAGE DISPOSAL

x means copy sent to the parties

(Date) Nov. 22, 1957

Location 1994-2020 Congress St. Description Service building for cemetery

Owner and Address Brooklawn Memorial Park Corp., 443 Congress St.

Contractor and Address not let

X Architect or Engineer and Address Wilbur R. Ingalls, Jr., 45 Exchange St.

Actual Area of Lot 99,552 sq. ft. Zone R-1

Area required by Zoning Ord. if sewer were available 10,000 sq. ft.

Where septic tank systems are required for sewage disposal the Zoning Ordinance provides that the least allowable area of the lot shall be determined by the Rate of Percolation (this is the capacity of the soil to allow liquids to pass through) of the soil, as determined by tests, the Building Code directs in such a case that the building permit shall not be issued unless the proposed method of sewage disposal has been approved by the Director of Health.

Since application for the above permit indicates no connection possible to a sewer, the next step is for the owner to file with the Health Department a site plan, then explain the proposed method of sewage disposal, and make arrangements for the test to be made by the owner under Health Department supervision.

After the Rate of Percolation is determined, the Director of Health will notify the Building Dept. of the corresponding lot area required. If the actual area of the lot is less than the area required by the tests, the permit cannot issue and the only recourse of the applicant is to the Board of Appeals. If the actual area is equal to or greater than the area required by the tests, the area of lot required will be that stipulated by Zoning Ordinance in cases where connection to sewer is available.

2 copies to Health Director

***** Inspector of Buildings *****
(This space for Health Department use)

Inspector of Buildings:

(Date) November 27, 1957

Rate of Percolation is _____ minutes. On this basis area required by

Zoning Ordinance is _____ sq. ft.

Comments in event zoning appeal is filed: Approval on basis that a

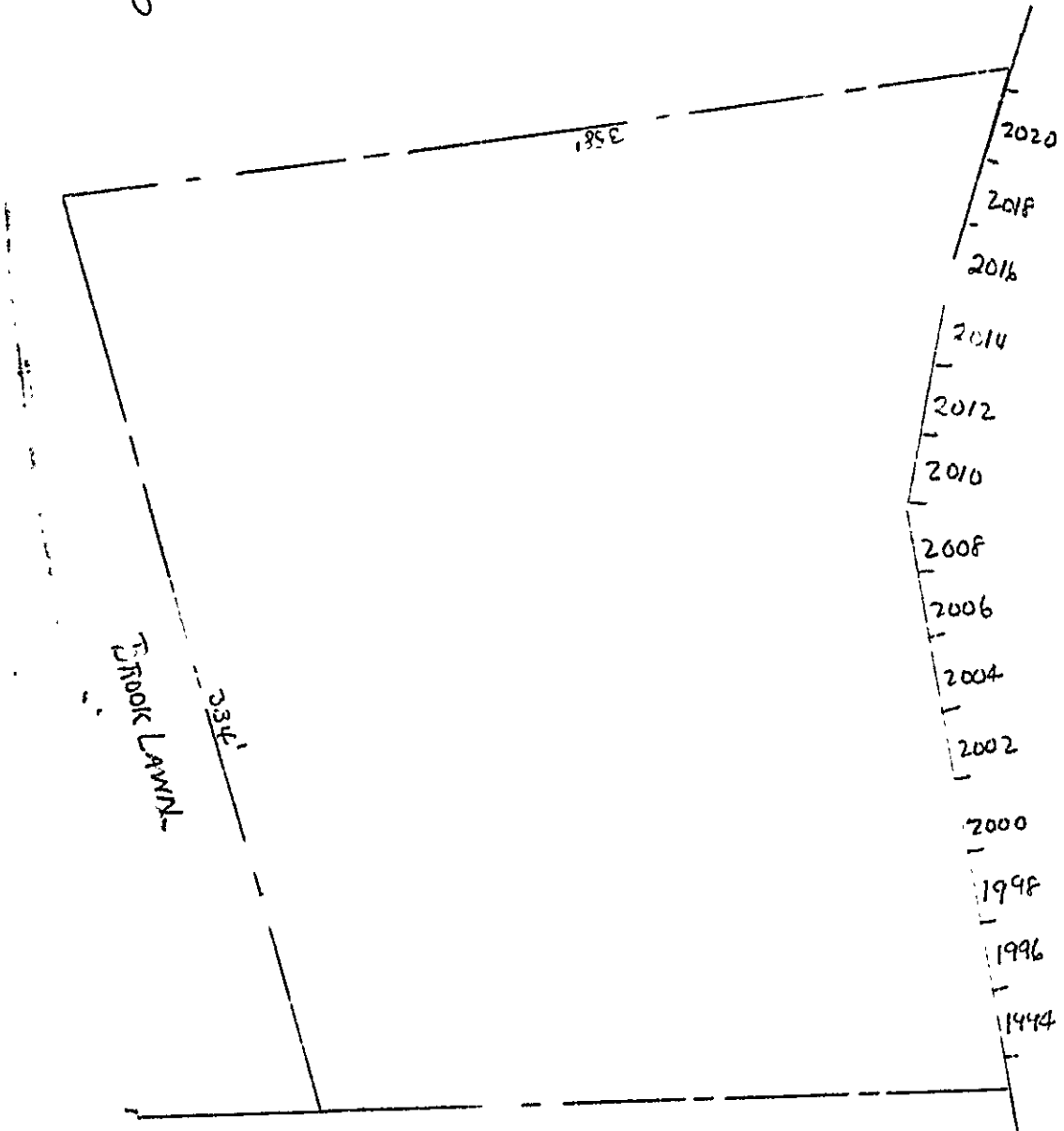
subsurface sand filter is to be constructed.

Edward W. Talley
Director of Health

CLOTH-2

DROOK LAWN

255'bb





(RA) RESIDENCE ZONE - A
APPLICATION FOR PERMIT

Class of Building or Type of Structure. Third

Portland, Maine, July 1, 1946

PERMIT 155020
01164
JUL 2 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 2002 Congress Street Within Fire Limits? no Dist. No.
Owner's name and address John E. Skillin, 2002 Congress Street Telephone
Lessee's name and address L. C. Weeks, Johnson Street Telephone 4-5703
Contractor's name and address Telephone
Architect Specifications Plans No. of sheets
Proposed use of building Dwelling No. families 1
Last use Same No. families
Material wood No. stories 2 Heat Style of roof pitch Roofing
Other buildings on same lot
Estimated cost \$ 300.00 Fee \$ 1.00

General Description of New Work

To remove existing platform 2' x 7' with steps on front of dwelling and replace with open porch supported on brick platform and steps about 5' x 8' in size. At least 35' from street line.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no Is any electrical work involved in this work? no
Height average grade to top of plate 2' 10" 6" Height average grade to highest point of roof 12'
Size, front 8' depth 5' No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation solid block of Thickness, top bottom cellar
Material of underpinning concrete 4' below grade Height Thickness
Kind of roof pitch Rise per foot 5" Roof covering asphalt shingles Class "C"
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber Kind hemlock Dressed or full size? dressed
Corner posts 8" Column Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd 4x6 plate roof 2x4
On centers: 1st floor 2nd 3rd roof 2x4
Maximum span: 1st floor 2nd 3rd roof 4'
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

INSPECTION COPY

Signature of owner John E. Skillin

By

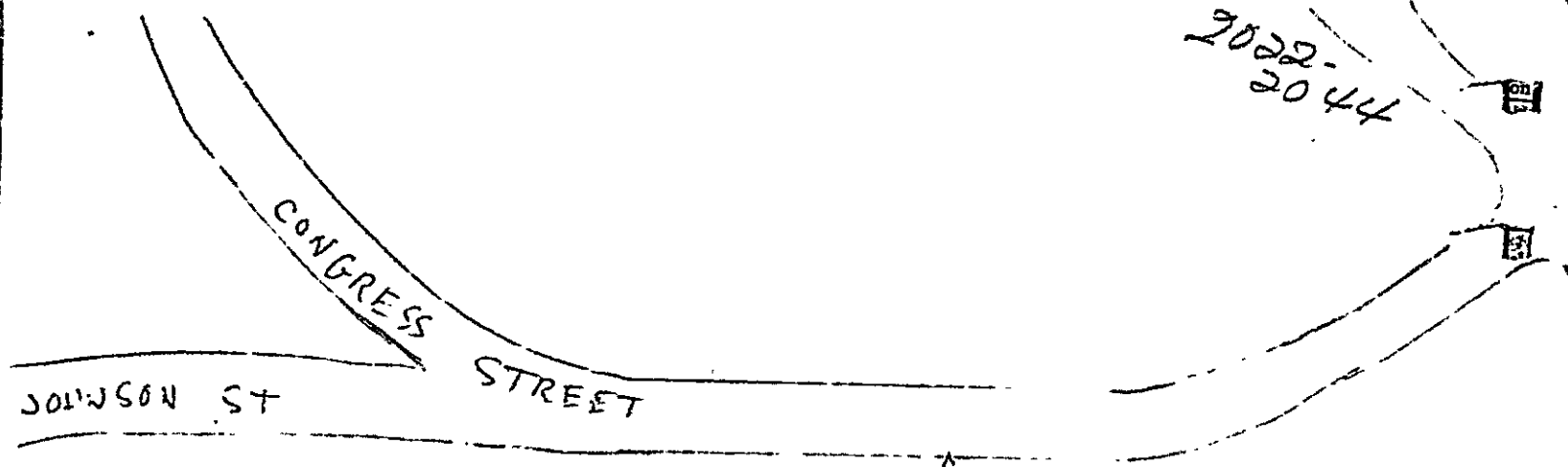
Lewis C. Weeks

Permit No. 46/1164
Location 2002 Congress St
Owner John E. Skellin
Date of permit 7/2/46
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 11/4/46
Cert. of Occupancy issued None

NOTES

7/19/46
Work well under
way E.S.S.
11/4/46 Work done
E.S.S.

2022-2044



SIGN 36'X8'
METAL FACE
WOOD FRAME
ON BROOKLAWN
MEMORIAL PARK PROPERTY

THE KIMBALL SYSTEM
SIGN CONTRACTORS

OWNERS: BROOKLAWN MEMORIAL
PARK INC,
OFFICES 443 CONGRESS ST,

of cars now accommodated on same lot
Total number commercial cars to be accommodated
Total automobile parking spaces other than minor repairs to cars habitually stored in the proposed building
Will above work require removal or dumping of any waste from a public street
Will there be a change of use of the property for a person connected to the lot, the State and City Department of Planning
As observed
Investigation COPY
W. Kimball
1/1/2022

No cars may be accommodated on same lot.

Total number commercial cars to be accommodated.

VIII. automobile repairing to be done other than minor repairs can be habitually stored in the proposed building.

Miscellaneous

VIII. above not require removal or disturbing of any shade tree on a public street.

to be accommodated

JANSON

55'

26 x 7'

GENERAL RESIDENCE ZONING APPLICATION FOR PERMIT

Portland, Maine, May 12, 1928

TO THE INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 2020 Congress Street Ward 8 Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address Brooklawn Memorial Park, Inc. 448 Congress St. Telephone 2-5047
Contractor's name and address Kimball System of Portland 341 Worn St. Telephone _____
Architect's name and address _____ No. families _____
Proposed use of building _____
Other buildings on same lot _____ No. of sheets 1
Plans filed as part of this application? yes Fee \$ 1.00
Estimated cost \$ _____

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To erect billboard 36' x 8', metal face, wood frame, sign will be at least three feet above average grade and not more than 15' to highest point
Appeal sustained and Permit Granted by Special Order of Board of Municipal Officers 5/18/28

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ Height average grade to highest point of roof _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____ of lining _____
No. of chimneys _____ Material of chimneys _____ Is gas fitting involved? _____
Kind of heat _____ Type of fuel _____ Size _____
Corner posts _____ Sills _____ Girt or ledger board? _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, height? _____
If one story building with masonry walls, thickness of walls? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
By Brooklawn Memorial Park, Inc.
By Kimball System of Portland
Signature of owner By 16 B. Mahanagh

INSPECTION COPY

Ward 8 Permit No. 36/642
Location 2020 Congress St.
Owner Berthelmann Commercial
Date of permit 3/19/36
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 6/8/36 C.M.
Cert. of Occupancy issued None

NOTES



City of Portland, Maine

Appeal sustained
5/18/36
30/16

Appeal to the Municipal Officers to Change the Decision of the

Inspector of Buildings Relating to the Property Owned
Park, Inc.
by Brooklawn Memorial / at 2020 Congress St.

May 12, 1936

To the Municipal Officers:

Your appellant, Brooklawn Memorial Park, Inc.

who is the Owner of property at 2020 Congress Street
respectfully petitions the Municipal Officers of the City of Portland to change the decision of
the Inspector of Buildings relating to this property, as provided by Section 13, Paragraph c,
of the Zoning Ordinance, on the ground that the enforcement of the ordinance in this case
involves unnecessary hardship and because relief may be granted without substantially der-
ogating from the intent and purpose of the Zoning Ordinance

The decision of the Inspector of Buildings denies a permit to
construct a metal faced sign 8 feet high by 56 feet long on the above
property on the ground that a sign of this size is not ordinarily
permissible in the General Residence Zone where the property is located.

The reasons for the appeal are as follows: The appellant corporation
is developing on this large tract of land a cemetery for the general
use of the public and is desirous of erecting this sign to acquaint
the public with this new development.

Brooklawn Memorial Park, Inc.

By:

30/18
PUBLIC HEARING ON THE APPEAL OF BROOKLAWN MEMORIAL PARK, INC.
AT 2020 CONGRESS STREET

May 16, 1936

A public hearing on the above appeal was held before the Committee on Zoning and Building Ordinance Appeals today. Present for the city were Councillor Adam P. Leighton and the Inspector of Buildings.

Messrs. William Melaugh, Stewart Marsh, and Franz U. Burkett appeared in support of the appeal and there were no opponents present.

Inspector of Buildings

36/18

May 18, 1936

To the Municipal Officers:

The Committee on Zoning and Building Ordinance Appeals to whom was referred the appeal of Brooklawn Memorial Park, Inc. with relation to the construction of a large sign at 2323 Congress Street which is not ordinarily permissible under the precise terms of the Zoning Ordinance, reports as follows:

It is the belief of this Committee that failure to grant this permit involves unnecessary hardships and that desirable relief may be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

It is recommended, therefore, *the appeal is sustained and that* that the permit be granted subject to full compliance with all terms of the Building Code.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS

Chairman

36/116

2020 Congress Street
Brooklawn Memorial Park, Inc./

sustained

granted

Brooklawn Memorial Park, Inc,

xx their

, subject to full compliance with all terms of the Building

Code.

36/18

To Whom It May Concern:

The Committee on Zoning and Building Ordinance Appeals of the Board of Municipal Officers will hold a public hearing at the Council Office, Room 32, City Hall, Saturday, May 18, 1936 at 11:00 o'clock in the forenoon, Daylight Saving Time, upon the appeal of Brooklawn Memorial Park, Inc. with relation to the construction of a metal faced sign 8 feet high by 36 feet long on the property of the corporation at 2023 Congress Street.

It was not possible for the Inspector of Buildings to issue a permit for this sign because a sign for such a purpose and such a sign is not ordinarily permissible under the precise terms of the Zoning Ordinance in the General Residence Zone where the property is located.

All persons interested either for or against this appeal will be heard at the above time and place.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS

Adam P. Waighton, Chairman

36/16

Brooklawn Memorial Park, Inc.
443 Congress Street,
Portland, Maine

Gentlemen:

The Committee on Zoning and Building Ordinance Appeals of the Board of Municipal Officers will hold a public hearing at the Council Office, Room 32, City Hall, Saturday, May 18, 1938 at 11:00 o'clock in the forenoon, Daylight Saving Time, upon your appeal with relation to the construction of a metal-faced sign 8 feet high by 36 feet long on the property at 2020 Congress Street.

You are expected to be represented at this hearing in support of your appeal.

Very truly yours,

McN/H

Inspector of Buildings



FILL IN COMPLETELY AND SIGN WITH INK

(R) GENERAL RESIDENCE ZON.

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED

APR 10 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine,

April 10, 1936

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 2002 Congress Street Use of Building dwelling house
Name and address of owner John E. Skillins, 2002 Congress St. Ward 8
Contractor's name and address Community Oil Co., 512 Cumberland Ave. Telephone 2-7481

General Description of Work
To install Oil Burning Equipment in connection with hot air furnace
CERTIFICATE OF COMPLETION
REQUIREMENT D

IF HEATER, POWER BOILER OR COOKING DEVICE
Is heater or source of heat to be in cellar? yes If not, which story _____ Kind of Fuel Oil
Material of supports of heater or equipment (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, _____
from top of smoke pipe _____ from front of heater _____ from sides or back of heater _____
Size of chimney flue _____ Other connections to same flue _____

IF OIL BURNER
Name and type of burner Community Labeled and approved by Underwriters' Laboratories? yes
Will operator be always in attendance? basement Type of oil feed (gravity or pressure) pressure
Location oil storage _____ No. and capacity of tanks 1 - 275 gal.
Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of contractor Stanley M. Rice 6481

Ward 8 Permit No. 36/387
Location 2002 Cuyper St
Owner John E. Skellins
Date of permit 4/10/36
Post Card sent 4/10/36

Notif. for insp. 5/4/36
Approval Tag issued 5/7/36. OOK
Oil Burner Check List (date) 4/29/36.

1. Kind of heat Warm Air
2. Label ✓
3. Anti-siphon ✓
4. Oil storage ✓
5. Tank distance ✓
6. Vent pipe ✓
7. Fill pipe ✓
8. Gauge ✓
9. Rigidity ✓
10. Feed safety ✓
11. Pipe sizes and material ✓
12. Control valve ✓
13. Ash pit vent ✓
14. Temp. or pressure safety ✓
15. Instruction card None ✓

16. Shift of stat in smoke pipe
NOTES

4/29/36. Feed line not
protected where it
enters burner.

Burner stand not rigid
Smoke pipe 7" below
floor joists and given
OK.

4/30/36. Mr. McCormack
will check up on this
and report back. OK.
5/7/36. Installation OK.
Mr. McCormack agreed
to lower shield which
has been provided over
smoke pipe so as to give
an air space between
shield and wall above.
OK.

2
L

October 2, 1934

File 27303-1

Mrs. Mary F. Lauritano,
1207 Congress Street,
Portland, Maine.

Dear Madam:

On October 1st, 1934 the Board of Municipal Officers voted to sustain your appeal with relation to establishing a so-called public stable and riding academy and range on the property at 1532 Congress Street.

The building permit covering converting the existing stable from private stable to a public stable is enclosed herewith as is also a portion of the Building Code pertaining to public stables.

As soon as the changes have all been made, please notify this office for final inspection at which time if everything appears to be in compliance with the ordinance a certificate of occupancy will be issued.

Very truly yours,

Inspector of Buildings.

McD/W.

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous _____

Will above work require removal or disturbing of any shade tree on a public street? Yes

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner Mary F. Lauritano

INSPECTION COPY

GENERAL RESIDENCE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 4784
OCT 2 1934

Class of Building or Type of Structure Third Class

Portland, Maine, October 17, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structural equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1307 Congress Street 1994 Ward 9 Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address Mary F. Lauritano 1307 Congress Street Telephone 2-3535

Contractor's name and address Loz909 Telephone _____

Architect's name and address _____

Proposed use of building Public Stable No. families _____

Other buildings on same lot _____

Plans filed as part of this application? no No. of sheets _____

Estimated cost \$ _____ Fee \$ 4.50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use Private Stable No. families _____

General Description of New Work

To build additional horse stalls to the maximum capacity of the building not to exceed twelve horses. All other requirements of the Building Code with relation to public stables will be complied with.

A appeal sustained and Permit Granted by Special Board of Municipal Officers 10/21/34
NOTIFICATION BEFORE
OR CLOSING IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-10" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of Lessee Mary F. Lauritano

INSPECTION COPY

Ward 8 Permit No. 34/1494
Location 1532 Congress St
Owner Mary F. Laminato
Date of permit 10/2/34
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 4/5/35
Cert. of Occupancy issued None

NOTES

Photo 4:00 P.M. 9/25/34
10/12/34 - Nothing
done - A.G.
1/23/34 - Same - A.G.
4/5/35 - This building
was just as proposed
for only a short
while as tenant
could not come to
terms with owner on
matter of lease to A.G.



(COPY)

City of Portland, Maine

Sustained
10/1/34
34/3

1934 2030

Appeal to the Municipal Officers to Change the Decision of the

Inspector of Buildings Relating to the Property ^{Leased} ~~Owned~~

by Mary F. Lauritano at 1532 Congress Street

September 17, 1934

To the Municipal Officers:

Your appellant, Mary F. Lauritano

who is the lessee of property at 1532 Congress Street

respectfully petitions the Municipal Officers of the City of Portland to change the decision of the Inspector of Buildings relating to this property, as provided by Section 13, Paragraph c. of the Zoning Ordinance, on the ground that the enforcement of the ordinance in this case involves unnecessary hardship and because relief may be granted without substantially derogating from the intent and purpose of the Zoning Ordinance.

The decision of the Inspector of Buildings denies permission to convert an existing private stable or use as a public stable in connection with the use of the entire property as a riding academy, and also to expand the stabling quarters to include one or more other existing stables on the same property so as to accommodate a maximum of twenty horses, on the ground that such a use is not ordinarily permissible under the terms of the Zoning Ordinance in the General Residence Zone where the property is located.

The reasons for the appeal are as follows: The appellant having formerly conducted a riding academy in Cape Elizabeth is desirous of establishing a riding academy at this location, has made satisfactory arrangements with the owner of this farm, which comprises about 45 acres, to use practically the entire premises for stabling and a riding ring. It is her belief that this property is so large and so far removed from any other dwelling houses other than that of the owner of the property, and that the establishment itself will be so devoid of objectionable features that there will be no detrimental or objectionable features to it in the neighborhood.

(COPY)

37,3

CITY OF PORTLAND, MAINE
COMMITTEE ON ZONING AND BUILDING ORDINANCE APPEALS

September 20, 1954

To Whom It May Concern:

The Committee on Zoning and Building Ordinance Appeals of the Board of Municipal Officers will hold a public hearing in the City Council Chamber, City Hall, Monday, October 1st, 1954 at 11:00 o'clock A. M., upon the appeal of Mary F. Lauritano with relation to the use of the property at 1552 Congress Street.

This appellant desires permission to convert an existing private stable for use as a public stable in connection with the proposed use of the entire property as a riding academy, and also to expand the stabling quarters to include one or more other existing stables on the same property so as to accommodate a maximum of twenty horses. Such a use of a building or premises is not ordinarily permissible under the terms of the Zoning Ordinance in the General Residence Zone where the property is located.

All persons interested either for or against this appeal will be heard at the above time and place.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS

PHILIP J. DEERING, Chairman

34/23

October 1, 1984

To the Municipal Officers:

The Committee on Zoning and Building Ordinance Appeals to whom was referred the appeal of Mary F. Lauritano with relation to the use of the property at 1582 Congress Street, for a riding Academy, reports as follows:

It is the belief of this committee that failure to grant this permit involves unnecessary hardship, and that desirable relief may be given without substantially derogating from the intent and purpose of the Zoning Ordinance.

It is recommended that the appeal be sustained and the permit granted subject to full compliance with all terms of the Code.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS.

Chairman

34/63

PUBLIC HEARING ON THE APPEAL OF MARY F. LAURITANO
AT 1532 CONGRESS STREET

October 1, 1934

A public hearing upon the above appeal was held before the Committee on Zoning and Building Ordinance Appeals today. Present for the city were Chairman Deering, Councillor Ward and the Inspector of Buildings.

Mary F. Lauritano appeared in support of her appeal. There were no opponents present.

Inspector of Buildings.

34/3

Appt of Mary P. Lauritano, 1532 Congress
Inferior owned by Skellin - 209-A-13
add 20 acres. 211-A-1
214-A-1

Frontage on Congress St.

211-A-2 - Frank G. Johnson -

215-A-1 R.P.G. Est.

215-B-2 R. S. Trubham, Trustee

215-B-3 Nora Durgin

216-A-1 R. S. Trubham, Trustee

216-A-2 Frank G. Johnson

216-A-9

216-A-3

209-A-14 Frank G. Johnson

Frontage on Johnson St.

214-A-2 James G. Johnson

214-A-3 Bernie Clifford Weeks

214-B-1 Frank P. Cummings Est. Trustee

(8)

Frank G. Johnson - 1506 Congress St.

Frank P. Cummings Est. Trustee - 124 Pleasant St.

Robert S. Trubham, Trustee - 1533 Congress St.

Nora Durgin - 1505 Congress St.

James G. Johnson - 7 Johnson St.

Bernie Clifford Weeks - 5 Johnson St.

Notes 12

Gladys Trubham - 1505 Congress St.

Mary P. Lauritano - 1307 Congress St.

34/23

CITY OF PORTLAND, MAINE
COMMITTEE ON ZONING AND BUILDING ORDINANCE APPEALS

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This appellant desires permission to convert an existing private stable for use as a public stable in connection with the proposed use of the entire property as a riding academy, and also to expand the stabling quarters to include one or more other existing stables on the same property so as to accommodate a maximum of twenty horses. Such a use of a building or premises is not ordinarily permissible under the terms of the Zoning Ordinance in the General Residence Zone where the property is located.

All persons interested either for or against this appeal will be heard at the above time and place.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS.

PHILIP J. DEERING, Chairman



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the

Portland, Me., May 23, 1924 10

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 1532 Congress Street Ward 8 in fire limits? no
Name of Owner or Lessee, J E Skillin Address 1532 Congress
" " Contractor, Weeks & Miliken " 1477 Congress
" " Architect, _____ " _____

Descrip-
tion of
Present
Bldg.

Material of Building is wood Style of Roof, pitch Material of Roofing, shingle
Size of Building is 36ft feet long; 28ft feet wide. No. of Stories, 2
Cellar Wall is constructed of stone is _____ inches wide on bottom and batters to _____ inches on top.
Underpinning is brick is _____ inches thick; is _____ feet in height.
Height of Building 28ft Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th, _____
What was Building last used for? dwelling No. of Families? 1
What will Building now be used for? dwelling 1 family

Detail of Proposed Work

Build dormer window, install bathroom and put in partitions
all to comply with the building ordinance

Estimated Cost \$ 1,000

If Extended On Any Side

Size of Extension, No. of feet long? _____; No. of feet wide? _____; No. of feet high above sidewalk? _____
No. of Stories high? _____; Style of Roof? _____; Material of Roofing? _____
Of what material will the Extension be built? _____ Foundation? _____
If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
How will the extension be occupied? _____ How connected with Main Building? _____

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations _____
No. of feet high from level of ground to highest part of Roof to be? _____
How many feet will the External Walls be increased in height? _____ Party Walls _____

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? _____ in _____ Story.
Size of the opening? _____ How protected? _____
How will the remaining portion of the wall be supported? _____

Signature of Owner or
Authorized Representative

Address

L. P. Weeks
1477 Congress St.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

175

✓
1532 Congress
May 23, 1924

1994-2020

PERMIT GRANTED

Permit filled out by
Permit number
Location

FINAL REPORT

Has the work been completed in accordance with this application and plans filed and approved?

Law been violated? Doc. No. of 192.....

Nature of violation?

Violation removed, when? 192.....
Estimated cost of alterations, etc. \$.....

Inspector of Buildings.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

RECEIVED BY THE CITY OF NEW YORK



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date March 24 1983
Receipt and Permit number B-09672

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 2002 Congress Street -

OWNER'S NAME: Brooklawn Memorial Cemetery ADDRESS: same

OUTLETS: Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____ FEES

FIXTURES: (number of) Incandescent _____ Fluorescent _____ (not strip) TOTAL _____
Strip Fluorescent _____ ft. _____

SERVICES: Overhead ☒ Underground _____ Temporary _____ TOTAL amperes 200 3.00

METERS: (number of) 1 _____

MOTORS: (number of) Fractional _____
1 HP or over _____

RESIDENTIAL HEATING: Oil or Gas (number of units) _____
Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____
Oil or Gas (by separate units) _____

Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES: (number of) Ranges _____ Water Heaters _____
Cook Tops _____ Disposals _____
Wall Ovens _____ Dishwashers _____
Dryers _____ Compactors _____
Fans _____ Others (denote) _____

MISCELLANEOUS: (number of) _____

Branch Panels _____

Transformers _____

Air Conditioners Central Unit _____

Separate Units (windows) _____

Signs 20 sq. ft. and under _____

Over 20 sq. ft. _____

Swimming Pools Above Ground _____

In Ground _____

Fire/Burglar Alarms Residential _____

Commercial _____

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____

over 30 amps _____

Circus, Fairs, etc. _____

Alterations to wires _____

Repairs after fire _____

Emergency Lights, battery _____

Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE: _____
FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: _____

TOTAL AMOUNT DUE: 3.50

INSPECTION:

Will be ready on ready, 1983; or Will Call _____

CONTRACTOR'S NAME: Mancini Electric

ADDRESS: 179 Sheridan St.

TEL.: _____

MASTER LICENSE NO.: 2436

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR: C. Mancini

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN

1994-2020 CONGRESS STREET

[illegible]