

1963-1967 CONGRESS STREET

SHAW-WALKER

Full cut #820R - Half cut #8202R - Third cut #8203R - Fifth cut #8205R



FILL IN AND SIGN WITH INK

00784

PERMIT ISSUED

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine,

Sept. 14, 1982

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Law of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1967 Congress St Use of Building dwelling No Stories 1 New Building Existing "
Name and address of owner of appliance Rita Anderson - same
Installer's name and address Richard J Hoover - P. O. Box 23 Old Orchard Telephone 934-4769

General Description of Work

To install Burner - forced hot water - replacement

IF HEATER, OR POWER BOILER

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Kind of fuel?
Minimum distance to burnable material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Beckett - gun Labelled by underwriters' laboratories? yes
Will operator be always in attendance? no Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 1/2
Location of oil storage concrete Number and capacity of tanks 1-275 gal.
Low water shut off Make No
Will all tanks be more than five feet from any flame? yes How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners 275 gal.

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of legs, if any
Sitting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 15.00

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

15 303

Signature of Installer

Olinckand Hoover #740

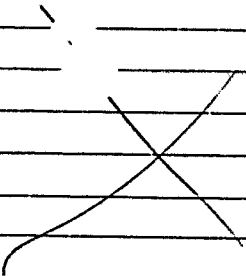
INSPECTION COPY

G. M. Schuchman

NOTES

10-7-87 in 81AP (cont) - for
 GTPA present in S. - not The owner
 About The Small Amount. 1000000. That could
 become in real (it says that would be
 back & sent directly in the path of
 that fire -

Permit No. 82/984
 Location 1967 (Singapore St.)
 Owner (P) for C. Chandra
 Date of permit 9-14-82
 Approved 9-14-82 [Signature]





APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Feb. 8, 19 82
Receipt and Permit Number A 88111

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 1967 Congress Street

OWNER'S NAME Reita Andren

ADDRESS: Lives there

FEES

OUTLETS:

Receptacles Switches Plugmold ft. TOTAL

FIXTURES (number of)

Incandescent Fluorescent (not strip) TOTAL

Strip Fluorescent ft.

SERVICES

Overhead ☒ Underground Temporary TOTAL amperes 100

METERS (number of) 1

MOTORS (number of)

Fractional

1 HP or over

RESIDENTIAL HEATING:

Oil or Gas (number of units)

Electric (number of rooms)

COMMERCIAL OR INDUSTRIAL HEATING:

Oil (by a main boiler)

Oil (by separate units)

Electric Under 20 kva

Over 20 kva

APPLIANCES (number of)

Ranges

Cook Tops

Wall Ovens

Dryers

Fans

Water Heaters

Disposals

Dishwashers

Compactors

Others (denote)

TOTAL

MISCELLANEOUS (number of)

Branch Panels

Transformers

Air Conditioners Central Unit

Separate Units (windows)

Signs 20 sq. ft. and under

Over 20 sq. ft.

Swimming Pools Above Ground

In Ground

Fire/Burglar Alarms Residential

Commercial

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under

over 30 amps

Circus, Fairs, etc.

Alterations to wires

Repairs after fire

Emergency Lights, battery

Emergency Generators

INSTALLATION FEE DUE:

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ... DOUBLE FEE DUE:

FOR REMOVAL OF A "STOP ORDER" (304-16.b) ...

TOTAL AMOUNT DUE:

3.50

INSPECTION:

Will be ready on _____, 19__; or Will Call XX

CONTRACTOR'S NAME: Caron & Waltz

ADDRESS: 617 Broadway, So. Portland

TEL.: _____

MASTER LICENSE NO.: on file

SIGNATURE OF CONTRACTOR:

LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — _____

OFFICE COPY — _____

CONTRACTOR'S COPY — GREEN

INSPECTIONS: Service _____
Service called in _____
Crossing-in _____

by *Rilly*
2-11-82

Permit Application Register Page No. *110*

By Inspector

Final Inspection

Date of Permit

Owner

Location

Permit Number

ELECTRICAL INSTALLATIONS —

88111

1967 Lexington St.

R. Cudde

2-8-82

2-11-82

Rilly

PROCESS INSPECTIONS:

CODE
COMPLIANCE
COMPLETED

DATE *2-11-82*

REMARKS:



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, April 7, 1953

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repairs demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1963 Congress Street Within Fire Limits? no Dist. No. _____
Owner's name and address Rita Andren, 412 Brighton Ave. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Herman Combes, Casco, Maine Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building Dwelling and 2 car garage No. families 1
Last use Dwelling No. families 1
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 1,400. Fee \$ 2.00

General Description of New Work

To construct 12' b- way between house and garage - garage to be moved forward on lot.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **CERTIFICATE OF OCCUPANCY REQUIREMENT** PERMIT TO BE ISSUED TO Herman Combes

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ if not, what is proposed for sewage? _____
Height average grade to top of plate 7' Height average grade to highest point of roof 10'
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation concrete piers Thickness, top 8" bottom 2" cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof pitchable Rise per foot _____ Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 2-2x4 Sills 1x8 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor Tar, 2nd _____, 3rd _____, roof 2x4
On centers: 1st floor _____, 2nd _____, roof 16"
Maximum span: 1st floor _____, 2nd _____, roof 8'-10" 4'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 2, to be accommodated 2 number commercial cars to be accommodated none
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Rita Andren

INSPECTION COPY

Signature of owner

By:

Herman Combes Casco

Permit No. 253

Location 1963 Congress st.

Owner P. J. Chubbuck

Date of permit 1/53

Notif. closing-in

Inspir. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

4/1/53 Sun. out to sea
Tide 15.00 - 1.00

AP 1963 Congress St.,

April 8, 1953

Mr. Herman Combes
Casco, Maine

Copy to: Mrs. Reita M. Andren
415 Brighton Ave.,

Dear Mr. Combes:

We are unable to issue a building permit for moving an existing two car garage located on the lot with the dwelling at 1963 Congress St., towards the street and to connect it with the dwelling by an open breezeway 8 feet by 12 feet, because the application and plan filed therewith does not show compliance with Building Code requirements. The following details are in question:

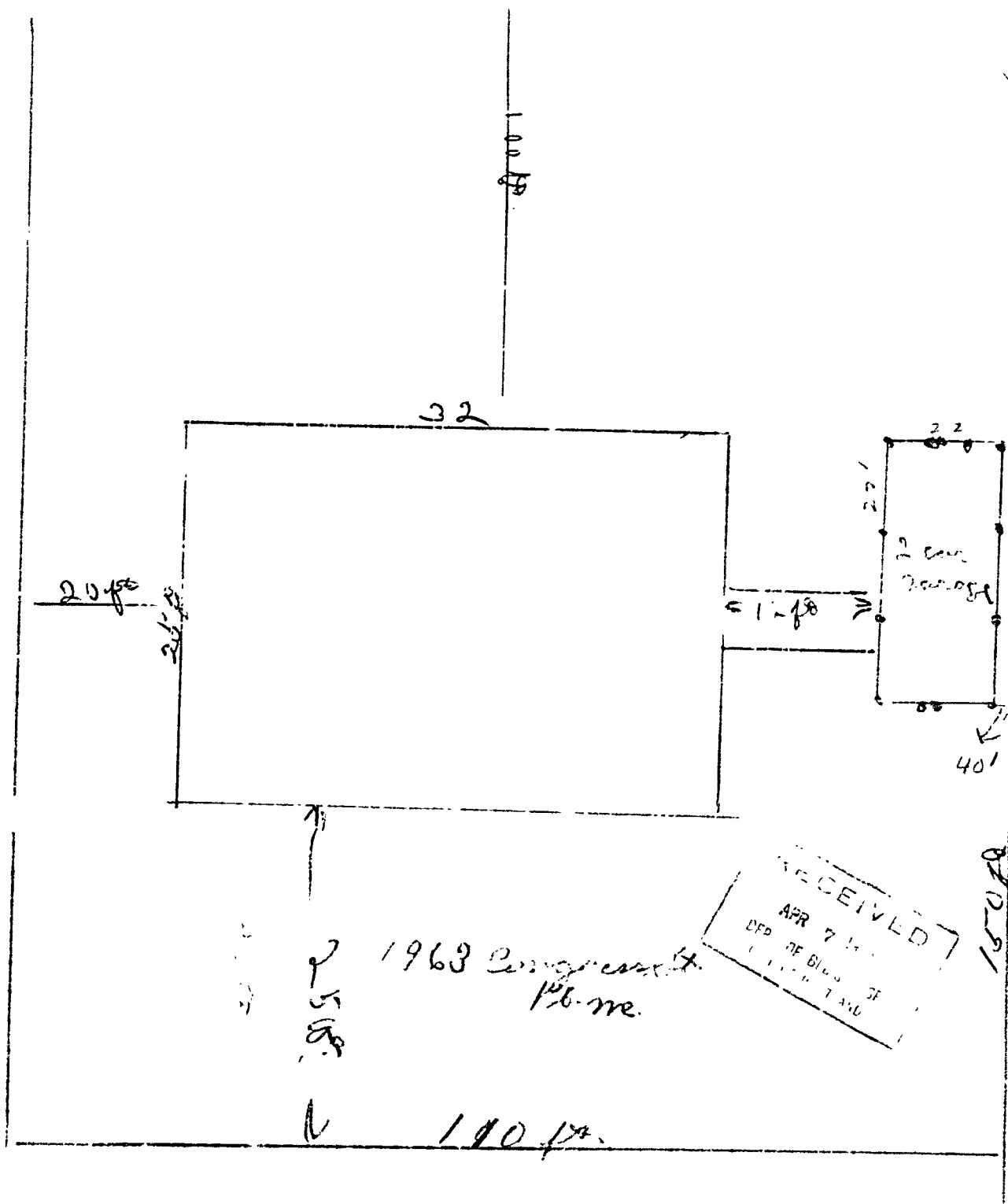
1. Use of 8 inch diameter Sonotubes for forms for concrete piers supporting the garage is not permissible. If Sonotubes are used, they are required to be not less than 9 inches in diameter, and unless the diameter is to be greater than 10 inches, concrete footings at least 8 inches deep and 12 inches square are required for the piers. Concrete piers at least 8 inches square at the top and 10 inches square at the bottom are permissible. Which will you use?

2. Since the garage is required to have foundations extending at least four feet below grade because it is to be attached to the dwelling by a breezeway, if piers are to be used for support of the garage as indicated, they will need to extend at least six inches above the ground and construction will need to be provided so that neither dirt fill or asphalt floor will run under the sills of the garage between the concrete piers in such a manner as to allow lifting frost action to take place on the sills. How will you provide construction to meet this requirement?

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/B



To construct breezeway and change location of garage. 4/8/53. 1963 Census

?	<p><u>Zoning</u></p> <p>According to records and <u>E 22</u> - house is only 22' from st.</p> <p>How does height of 24' - from garage to sidewalk. $(6' + 32' + 2 + 24) + 110' = 24'$</p>	$\begin{array}{r} 24 \\ 32 \\ 12 \\ \hline 22 \\ 26 \\ \hline 24 \end{array}$ $\begin{array}{r} 24 \\ 32 \\ \hline 24 \end{array}$
?	<p><u>Construction</u></p> <p>1. What about details of breezeway platform.</p>	$\begin{array}{r} 44 \\ 24 \\ \hline 24 \end{array}$
X	<p><u>Piers</u></p> <p>He proposes 8" x 8" sandpiles.</p>	$\begin{array}{r} 11' \\ 2 \\ \hline 22' \end{array}$
OK	<p><u>Sill</u>. To be at least 1" off ground.</p> <p>4 x 8 - 7' span good for 3560 lb</p> <p>load on = $7' \times 7' \times 50' = 245'$</p> <p>= $7' \times 11' \times 32' = 2464'$</p> <p>$3709$</p>	$\begin{array}{r} 221 \\ 2464 \\ \hline 2685 \end{array}$ $\begin{array}{r} 42 \text{ lb} \\ 22 \\ 9 \\ \hline 144 \\ 1536 \end{array}$
OK	<p><u>breezeway feet</u>.</p> <p>4 x 8 - 12' span - good for 2,832 lb</p> <p>load on = $4' \times 12' \times 32' = 1536'$</p>	



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, January 11, 1950

PERMIT ISSUED
JAN 12 1950
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 190 Congress Street Use of Building Dwelling House No. Stories 1 New Building
Name and address of owner of appliance J. A. Johnson, 190 Congress Street, Portland, Me. Existing
Installer's name and address Johnson Automatic Heat, 11 Brackett St. Telephone 2-7602

General Description of Work

To install oil burning equipment in connection with existing system.

IF HEATER, OR POWER BOILER

Location of appliance or source of heat _____ Type of floor beneath appliance _____
If wood, how protected? _____ Kind of fuel _____
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace _____
From top of smoke pipe _____ From front of appliance _____ From sides or back of appliance _____
Size of chimney flue _____ Other connections to same flue _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

IF OIL BURNER

Name and type of burner _____ quiet heat _____ Labelled by underwriter's laboratories? yes _____
Will operator be always in attendance? _____ Does oil supply line feed from top or bottom of tank? bottom _____
Type of floor beneath burner _____ concrete _____
Location of oil storage _____ basement _____ Number and capacity of tanks 2-42 gal. _____
If two 375-gallon tanks, will three-way valve be provided? _____
Will all tanks be more than five feet from any flame? yes _____ How many tanks fire proofed? _____
Total capacity of any existing storage tanks for furnace burners none _____

IF COOKING APPLIANCE

Location of appliance _____ Kind of fuel _____ Type of floor beneath appliance _____
If wood, how protected? _____
Minimum distance to wood or combustible material from _____ appliance _____
From front of appliance _____ From sides and back _____ From top of smokepipe _____
Size of chimney flue _____ Other connections to same flue _____
Is hood to be provided? _____ If so, how vented? _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

C.R. - 1/11/50 - ags

Will there be in charge of the job a person competent to see that the State and City requirements pertaining thereto are observed? yes

Johnson Automatic Heat

Signature of Installer by: Everett H. Johnson

INSPECTION COPY

Permit No. 50,37

Location 17 Congress St

Owner Commercial Pacific Co.

Date of permit 1/12/50

Approved 2/2/50 F.H.

NOTES

1 Fill Pipe.....

2 Vent Pipe.....

3 Kind of Heat 30.....

4 Burner Rating & Support.....

5 Name & Label.....

6 Stack Connection.....

7 High Limit Control.....

8 Remote Control.....

9 Piping Support & Protection.....

10 Valve or Supply Line.....

11 Capacity of Gas.....

12 Tank Rating & Support.....

13 Tank Distance.....

14 Oil Gauge.....

15 Annotated Gas Chart.....

16.....

2/2/50 - all passed

Net work



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, December 22, 1949

RECEIVED
02179
DEC 23 1949

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1963 Congress Street Use of Building 1-family Dwelling No. Stories 1 New Building
Name and address of owner of appliance Arlo Jordan, 1552 Congress Street Existing "
Installer's name and address Maurice Colton, 70 Wellington Road Telephone K-3766

General Description of Work

To install steam heating system

IF HEATER, OR POWER BOILER

Location of appliance or source of heat basement Type of floor beneath appliance concrete
If wood, how protected? Kind of fuel oil
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace 3'
From top of smoke pipe 2' From front of appliance over 4' From sides or back of appliance over 3'
Size of chimney flue 8x10 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Labeled by underwriter's laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner
Location of oil storage Number and capacity of tanks
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? How many tanks fire provided?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$200 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

O.K. E.S.S. 12/22/49

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Installer

Maurice Colton

INSPECTION COPY

[illegible][illegible]



RESIDENCE ZONE - A
APPLICATION FOR PERMIT

Class of Building or Type of Structure Foundation
Portland, Maine, November 25, 1949

029132
5 1949

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~and construct~~ ^{the following building structure} ~~in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:~~

Location 1943 Congress Street Within Fire Limits? no Dist. No.
Owner's name and address Arlo G. Jordan, 1552 Congress Street Telephone
Lessee's name and address Telephone
Contractor's name and address Walter E. Cooper, 240 Broadway, Portland Telephone 3-9727
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Dwelling house No. families 1
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot Fee \$ 1.00
Estimated cost \$

General Description of New Work

To excavate and construct foundation only for 1-story frame dwelling house.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Walter Cooper

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front 32' depth 25' No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation concrete at least 1' below grade Thickness, top 12" bottom 12" cellar yes
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd height?
If one story building with masonry walls, thickness of walls?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Arlo G. Jordan

Signature of owner

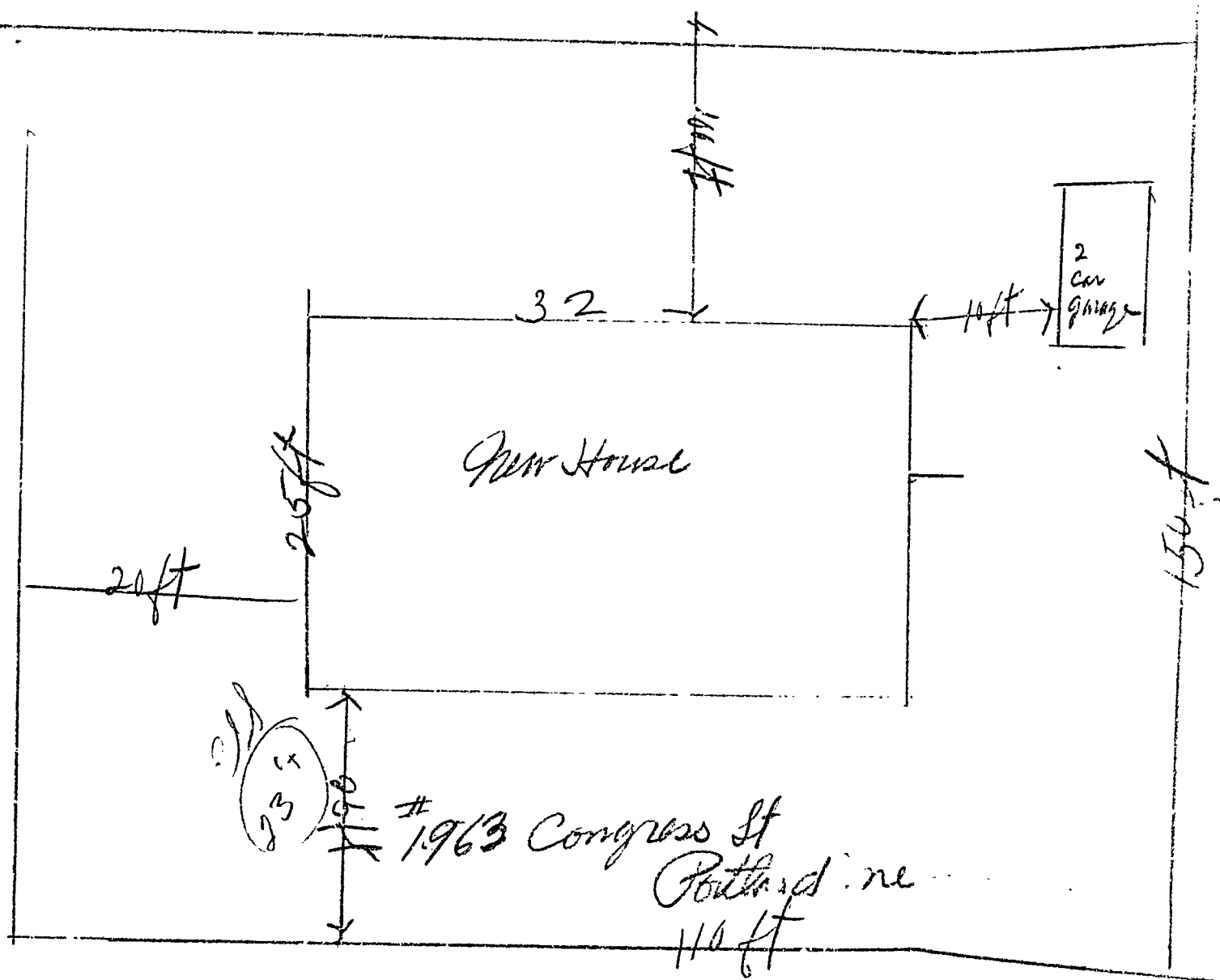
APPROVED:

INSPECTION COPY

NOTES

11/29/49: *Marked location of forms.*
P.M. D. As met street lines. Re-located
on basis of these lines 2/3" back
from street. 288

Permit No. *49/2023*
 Location *1943 Congress St*
 Owner *W. L. C. McPherson*
 Date of permit *11/28/49*
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. *11/29/49*
 Cert. of Occupancy issued *none*



STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for dwelling Date 11/17/49
at 1963 Congress St.

1. In whose name is the title of the property now recorded? Arlo C. Jordan
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? stakes
3. Is the outline of the proposed work now staked out upon the ground? yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? _____
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Arlo C. Jordan

WARNING !!!

THIS BUILDING PERMIT IS ISSUED
SUBJECT TO SEPCIAL CONDITION:

THAT NO CONCRETE SHALL BE POURED IN FOUNDATION FORMS AND NO
LAYING OF UNIT MASONRY IN FOUNDATION WALLS SHALL BE STARTED UNTIL
NOTICE HAS BEEN GIVEN AT THE DEPARTMENT OF BUILDING INSPECTION OF
READINESS TO START ACTUAL MASONRY WORK, AND UNTIL RE-CHECK OF
LOCATION HAS BEEN MADE BY INSPECTOR.

* * *

Original markings of corners of lot and especially stakes on
street line set by Dept. of Public Works must be kept intact and
easily accessible for re-check-- not covered by excavated earth
or building materials. Otherwise the "go-ahead" cannot be given.
Dept. of Public Works cannot re-set their stakes.

Obviously the notice for re-check must be given at such a time
as to allow reasonable opportunity to make re-check.

Warren McDonald
Inspector of Buildings

Not
with
copy.

AP 1963 Congress St.

November 3, 1949

Mr. Walter Cooper,
348 Broadway,
South Portland, Maine

Subject: Application for permit for
construction of dwelling house at
1963 Congress St.

Mr. Arlo Jordan
1552 Congress St.
Portland, Maine

Gentlemen:

After going over the details of these plans with Inspector Hamilton, I have come to the conclusion that my duty will not allow me to issue the permit until at least the important discrepancies in the plans have been cleared up by revisions on the original and furnishing prints for a re-check.

On account of the season of the year if you do not while this work of revision is being done, we can issue an advance permit for excavation and construction of the outlying foundation only, if you will file an application for this advance permit and pay the fee of \$1.00 stipulated by the Building Code.

The following matters should be cleared up on the plans:

1. Where the width of the house is increased at the kitchen the plan shows a 6x8 girder in first floor with lally columns under it—that is the section on the plan shows that, but the plan view does not, and Mr. Cooper says that it is not the intention to put this girder and column in. The plan should show in both views what is intended, and it is suggested that you put in the girder and the column otherwise the 2x8 floor joists for a space of about six feet in the kitchen would be on spans of about 15 feet. Such an arrangement will just barely figure out as to strength and I am sure will not prove satisfactory to the owner as to stiffness.

2. Over this girder on the section is shown a 4x8 on a span of about 14 feet to support the ends of the main rafters and the second floor joists. This timber is very much too light. While no second floor boards are shown, a stairway to the attic is shown and it is evident we must assume that there will be loads there in the future. This must be worked out and shown on the plan and also what is to support this beam in the outside walls.

3. Show masonry foundation beneath both front and side exterior platforms and steps, to extend no less than four feet below the finished grade of the ground. Walls are indicated beneath front platform but not the depth. These walls are to be shown no less than 3 inches thick at the finished grade and no less than 10 inches thick at the bottom of the walls.

4. It should be made clear how the fireplace is to be supported upon the foundation and the usual protection provided between chimney and exterior wall in the chimney is to be outside. Depth of hearth from face of fireplace should be shown in figures as no less than 18 inches.

Very truly yours,

Walter Cooper for
Mr. Wheelock

CC:

Warren McDonald
Inspector of Buildings



RESIDENCE ZONE - A
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, November 17, 1949

02092

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~and repair~~ ^{install} the following building ~~structure~~ ^{work} in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1963 Congress Street Within Fire Limits? no Dist. No.
Owner's name and address Arlo C. Jordan, 1552 Congress Street Telephone
Lessee's name and address Telephone
Contractor's name and address Walter E. Cooper, 348 Broadway, So. Portland Telephone 3-6797
Architect Specifications Plans yes No. of sheets 3
Proposed use of g dwelling house No. families 1
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 7,800. Fee \$ 8.00

General Description of New Work

To construct 1-story frame dwelling house 25' x 32'.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Walter E. Cooper

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Height average grade to top of plate 10' Height average grade to highest point of roof 16'
Size, front 32' depth 25' No. stories 1 1/2 solid or filled land? solid earth or rock? earth
Material of foundation concrete at least 4' below grade Thickness, top 10" bottom 12" cellar yes
Material of underpinning " to sill Height Thickness
Kind of roof Kitch-gable Rise per foot 8" Roof covering Asphalt Class C Und Lab
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat steam fuel oil
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x6 Sills 4x8 Girt or ledger board? Size
Girders yes Size 6x8 Columns under girders Lally Size 3 1/2" Max. on centers 8'
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x8 2nd 2x8 3rd , roof 2x8
On centers: 1st floor 16" 2nd 16" 3rd , roof 24"
Maximum span: 1st floor 12' 2nd 12' 3rd , roof 12 1/2'
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Arlo C. Jordan

Signature of owner by:

INSPECTION COPY

NOTES

11/7/49 - ...

... P.W.D. ...

12/7/49 - ...

... foundation ...

12/29/49 - ...

... C.

... under sill

Callon gets to ...

1/31/50 - ...

... fire ...

2/2/50 - Heating permits ...

2/6/50 work completed

Permit No. 49/2003

Location 1963 ...

Owner ...

Date of permit 2/6/49

Notif. closing-in 1/29/49

Inspn. closing-in 2/3/49

Final Notif. 2/3/49

Final Inspn. 2/6/50

Cert. of Occupancy issued 2/6/50

WARNING !!!

THIS BUILDING PERMIT IS ISSUED
SUBJECT TO SEPCIAL CONDITION:

THAT NO CONCRETE SHALL BE POURED IN FOUNDATION FORMS AND NO
LAYING OF UNIT MASONRY IN FOUNDATION WALLS SEALL BE STARTED UNTIL
NOTICE HAS BEEN GIVEN AT THE DEPARTMENT OF BUILDING INSPECTION OF
READINESS TO START ACTUAL MASONRY WORK, AND UNT'L RE-CHECK OF
LOCATION HAS BEEN MADE BY INSPECTOR.

* * *

Original markings of corners of lot and especially stakes on
street line set by Dept. of Public Works must be kept intact and
easily accessible for re-check-- not covered by excavated earth
or building materials. Otherwise the "go-ah id" cannot be given.
Dept. of Public Works cannot re-set their stakes.

Obviously the notice for re-check must be given at such a time
as to allow reasonable opportunity to make re-check.

Warren McDonald
Inspector of Buildings

AP 1963 Congress Street-I

December 5, 1949

Mr. Walter Cooper
348 Broadway
South Portland, Maine
Mr. Arlo Jordan
1553 Congress Street

Subject: Building permit for construction
of dwelling house at 1963 Congress Street

Gentlemen:

Building permit for the construction of this dwelling is issued subject to the following, but if you are unable or unwilling to abide by these conditions, it is important that you refrain from proceeding farther with the work and return the permit for adjustment:

To clear up paragraph numbered 1 in my letter of November 23, Mr. Cooper phoned me that he now plans to use the 6x8 girder with a genuine Lilly column under the center of it and footer in the cellar where the kitchen widens out thus to break up the span of floor joists which would otherwise be 16'-this as shown on the section detail on the plan but omitted on the plan view.

To clear up paragraph numbered 2 in my letter of November 23, as I remember it Mr. Cooper said that he used a 4x14 genuine Douglas Fir timber on the 14-foot span over the kitchen to support the rafters and first story ceiling instead of the 4x8 indicated on the plan which would be altogether too weak to do the work. This is rather an odd sized timber and a 6x12 Douglas Fir would be as satisfactory. These are large timbers to use in this small house, but the arrangement is such that the strength is needed. Many designers would prefer to use a light steel beam at this location, and if you should decide to change, it is necessary that Mr. Cooper file application for amendment and furnish a detail of the new proposal with the signed statement of design of the designer. He said he was to use no less than 4x6 posts built into the walls of the building beneath either end of this girder, the posts to go down to a bearing on the sill.

To clear up paragraph numbered 3 in my letter, Mr. Cooper says that the plan is in error as to a rear platform, that there will be none but only a slight step-down to grade from the threshold of the side door. He is to use concrete walls around the front brick platform no less than 8" thick at the grade of the ground and no less than 10" thick at the bottom of the wall, and to extend no less than 1' below the finished grade of the ground. Within this wall he intends to fill in heavy stone and on top of that a suitable concrete slab with mesh in it to support the brick of the platform.

To clear up paragraph numbered 4 in my letter, Mr. Cooper says that he intends to make the fire place hearth no less than 20" deep measured from the face of the fire place opening.

Very truly yours,

Warren McDonald
Inspector of Buildings

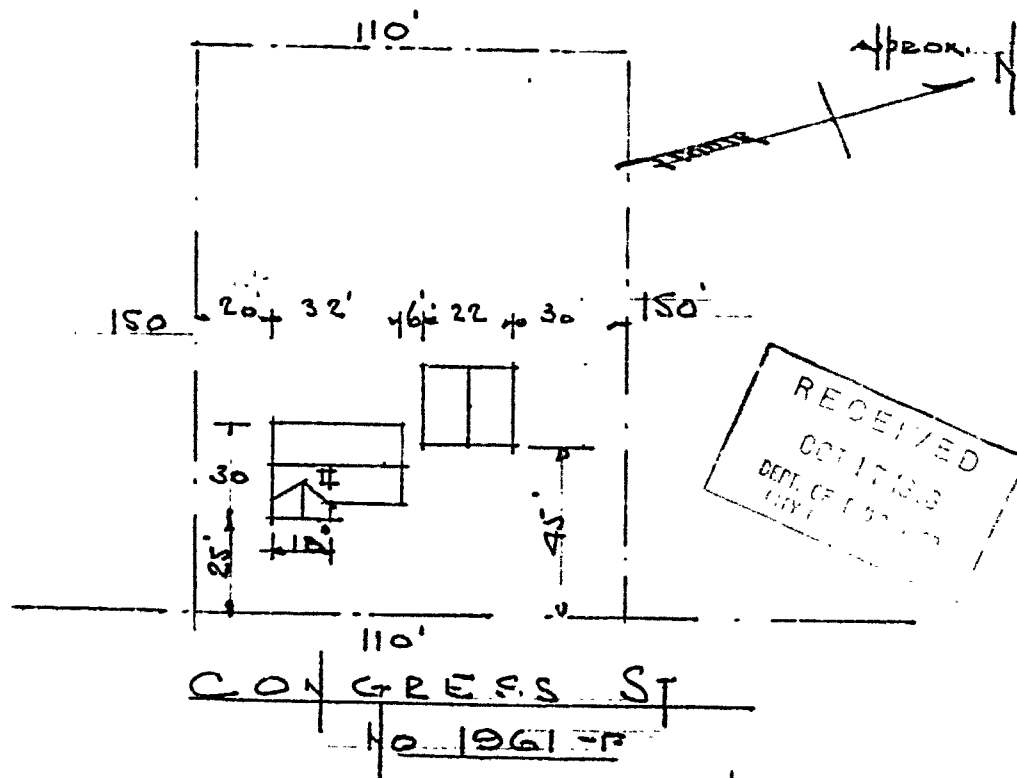
WMCD/3

PLOT PLAN

1961 CONGRESS ST
PORTLAND ME.

FOR ARLO JORDAN

1552 CONGRESS ST
PORTLAND ME



RECEIVED
OCT 17 1963
DEPT. OF LANDS
CITY OF PORTLAND

JOB NO. 1777-F
L.C. ALDEN
SOWHAM ME

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for DWELLING HOUSE
at 1963 CONGRESS ST CITY Date 10/17/46

1. In whose name is the title of the property now recorded? A.C. & B.P. JORDAN.
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? yes - stakes
3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? 0
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Arlo C. Jordan

BP 46/2079-1

May 12, 1947

Mr. Arlo Jordan
1552 Congress Street Subject: Lapsing of permit 46/2079
Porter-Burton for new dwelling at 1962 Congress
1552 Congress Street Street

Gentlemen:

No work having been started on the above dwelling for a period exceeding three months duration since issuance of permit, the permit has lapsed or become void. Before any work is started on building, a new permit must be applied for, the fee paid and the permit issued in the same manner as provided for the original permit, all as specified by Section 1006 of the Building Code. Until such a time as a dwelling to which it may become accessory is built upon the lot, the 2-car garage built under permit issued at same time as that for dwelling is a non-conforming use in the Residence A Zone where property is located.

Very truly yours,

Inspector of Buildings

AJS/S



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Permit No. _____

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, October 17, 1916 1920/13

The undersigned hereby applies for a permit to erect ~~alter~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1701 Congress Street

Within Fire Limits? NO Dist. No. _____

Owner's or Lessee's name and address Arlo Jordan, 1552 Congress St.

Telephone _____

Contractor's name and address Porter-Burnham, 1552 Congress Street

Telephone 4-3206

Architect _____

Proposed use of building Dwelling

Plans filed YES No. of sheets 3

Other buildings on same lot _____

No. families 1

Estimated cost \$ 6500.

Fee \$ 4.00

Description of Present Building to be Altered

Material _____

No. stories _____

Heat _____

Style of roof _____

Roofing _____

Last use _____

No. families _____

General Description of New Work

To construct 1 1/2 story frame dwelling 32'x30'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes

Is any electrical work involved in this work? yes

Height average grade to top of plate 10'

Size, front 32' depth 30'

No. stories 1 1/2

Height average grade to highest point of roof 17'

To be erected on solid or filled land? solid

at least 4' below grade

earth or rock? earth

Material of foundation concrete

Thickness, top 11"

bottom 12"

cellar yes

Material of underpinning " to sill

Height _____

Thickness _____

Kind of roof pitch-gable

Rise per foot 8"

Roof covering asphalt roofing Class C Und. Lab.

No. of chimneys 1

Material of chimneys brick

of lining tile

Kind of heat warm air heat

Type of fuel coal

Is gas fitting involved? _____

Framing lumber—Kind hemlock

Dressed or full size? dressed

Corner posts 4x6

Sills 4x6

Girt or ledger board: _____

Size _____

Material columns under girders 4x4

columns

Size _____

Max. on centers 8'

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters:

1st floor 2x8

2nd 2x8

3rd _____

roof 2x6

On centers:

1st floor 16"

2nd 16"

3rd _____

roof 16"

Maximum span:

1st floor 11'

2nd 12'

3rd _____

roof 15'

If one story building with masonry walls, thickness of walls? 6x10 girder

height? _____

If a Garage

No. cars now accommodated on same lot _____

to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining

are observed? yes

Porter-Burnham

Signature

owner

Porter-Burnham

ORIGINAL

Permit No 44 2079

Location 1963 Congress St.

Owner Carlo Jordan

Date of permit 10/22/46

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

10/19/46

11/1/46

11/1/46

11/1/46

11/1/46

11/1/46

11/1/46

7/13/47 - R. D. D.

- Culvert closing

2442



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____ District Class _____

Portland, Maine, November 3, 1949

PERMIT ISSUED
NOV 4 1949
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~and repair~~ the following building ~~in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:~~

Location 1903 Congress Street Within Fire Limits? no Dist. No. _____
Owner's name and address Arlo C. Jordan, 1552 Congress Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address E. G. Johnson Co., 1 Cliff St. Telephone 1-1630
Architect _____ Specifications _____ Plans yes No. of sheets 3
Proposed use of building dwelling house No. families 1
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$6,500. Fee \$ 7.00

General Description of New Work

To construct 1 1/2-story frame dwelling house 20' x 32'.

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO E. G. Johnson Co.**

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Height average grade to top of plate 12' Height average grade to highest point of roof 20'
Size, front 32' depth 20' No. stories 1 1/2 solid or filled land? solid earth or rock? earth
Material of foundation concrete at least 1' below grade Thickness, top 10" bottom 12" cellar yes
Material of underpinning " to sill Height _____ Thickness _____
Kind of roof Pitch-gable Rise per foot 5' Roof covering Asphalt Class C and Lab _____
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat for w air (fuel) oil
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x6 Sills 4x6 Cirt or ledger board? _____ Size _____
Girders yes Size 6x8 Columns under girders Lally Size 3" Max. on centers 8'
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x8 2nd 2x8 3rd _____ roof 2x8
On centers: 1st floor 16" 2nd 16" 3rd _____ roof 24"
Maximum span: 1st floor 13 1/2' 2nd 13 1/2' 3rd _____ roof 13'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

with memo by CJS

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Arlo C. Jordan
E. G. Johnson Co.

Signature of owner by: E. G. Johnson

INSPECTION COPY

NOTES

11/3/47. In a room 215 E. 88
 11/11/47. In a room 215 E. 88
 11/11/47. In a room 215 E. 88
 11/11/47. In a room 215 E. 88

Permit No. 49/1917
 Location 1963 Chicago, Ill.
 Owner 1800 S. Wabash
 Date of permit 11/14/49
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final To go
 Cert. of Occupancy issued

11/14/49

11/14/49

11/14/49

WARNING !!!

THIS BUILDING PERMIT IS ISSUED
SUBJECT TO SPECIAL CONDITION:

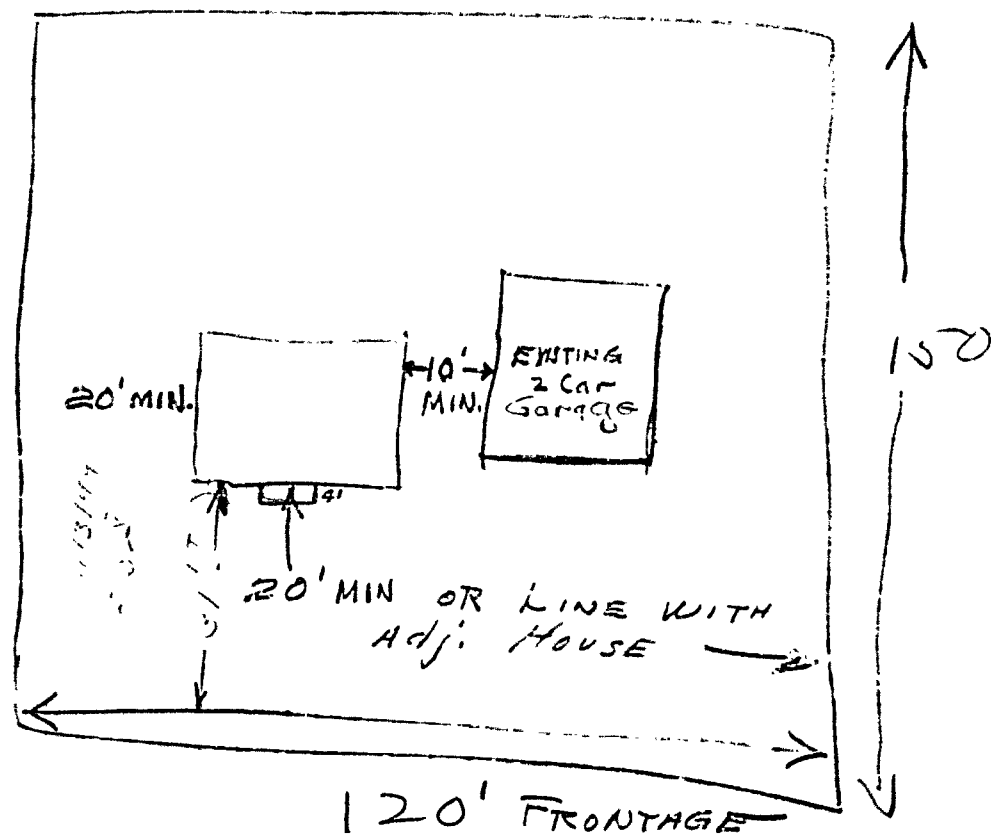
THAT NO CONCRETE SHALL BE POURED IN FOUNDATION FORMS AND NO
LAYING OF UNIT MASONRY IN FOUNDATION WALLS SHALL BE STARTED UNTIL
NOTICE HAS BEEN GIVEN AT THE DEPARTMENT OF BUILDING INSPECTION OF
READINESS TO START ACTUAL MASONRY WORK, AND UNTIL RE-CHECK OF
LOCATION HAS BEEN MADE BY INSPECTOR.

* * *

Original markings of corners of lot and especially stakes on
street line set by Dept. of Public Works must be kept intact and
easily accessible for re-check-- not covered by excavated earth
or building materials. Otherwise the "go-ahead" cannot be given.
Dept. of Public Works cannot re-set their stakes.

Obviously the notice for re-check must be given at such a time
as to allow reasonable opportunity to make re-check.

Warren McDonald
Inspector of Buildings



1963 CONG. ST.
PLOT PLAN.

Memorandum from Department of Building Inspection, Portland, Maine

1963 Congress Street--Construction of 1½ story frame dwelling for Arlo C.
Jordan by L. G. Johnson Company--11/4/49

Permit for new dwelling is issued herewith subject to the following:

1. The 6x8 girder in the eight foot span will not figure out and a 6x10 is to be used instead.

2. Nothing is shown as regards the framing and supports of front and side entrance platforms. Foundations by way of cedar posts, pipe columns or concrete piers extending at least 4' below grade are required. Pipe columns must have an outside diameter of at least 3". Sills are required to be at least 4x6 with floor joists resting on top of them or notched over no less than 4x3 nailing strips spiked to the side of them.

When permits have been issued on plans not showing details of porches, difficulties have arisen because contractor did not take seriously such a note as this. If you are unable or unwilling to abide by these conditions it is important that you refrain from starting the work and return permit for adjustment.

CC: Mr. Arlo C. Jordan
1552 Congress Street

(Signed) Warren McDonald
Inspector of Buildings

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for dwelling
at 1963 Congress Street Date 11/7/49

1. In whose name is the title of the property now recorded? Arlo C. Jordan
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? no
3. Is the outline of the proposed work now staked out upon the ground? yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? _____
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

WMB Johnson

INQUIRY BLANK

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

ZONE RA
FIRE DIST. no

Date 8/1/49

Verbal
By-Telephone

LOCATION 1963-1967 Congress. OWNER Arlo Jordan
MADE BY George TEL. none
ADDRESS 201 Congress St.
PRESENT USE OF BUILDING 2 car garage NO. OF STORIES 1
CLASS OF CONSTRUCTION frame
REMARKS:

INQUIRY: Can the garage be converted into
dwelling? Would it meet fire, build
chims, etc. standards?

ANSWER: It could be converted

DATE OF REPLY 8/4/49 REPLY BY ajs

Inquiry 1963-1967 Congress Street

August 4, 1949

Mr. George A. Ballum
312 Congress Street
Portland, Maine

Subject: Inquiry in regard to conversion
of two car garage at 1963-1967 Congress
Street to dwelling house.

Dear Sir:

According to our records the location of the above building on the lot is such as to meet the requirements of the Zoning Ordinance for yard spaces for dwelling house use if the lot lines are the same as when the permit for the building was erected. However, the building is supported on 6x6 sills on concrete piers and the spacing is such that additional piers would be necessary to bring the carrying capacity of the sills up enough to take care of the additional load to be placed upon them by the new wood floor. It is likely a center girder would also be necessary.

Since the studs in the walls are spaced 24" on centers, enough additional studs to provide spacing of not over 16" on centers would be required to bring the construction up to dwelling house standards. Double headers and jack studs would be required around all door and window openings if openings are not already framed in that manner. A masonry chimney will also be needed for venting of heating and cooking appliances. Sewerage disposal arrangements and running water in the building would also be required.

If these details are taken care of in compliance with Building Code requirements, there appears to be no reason why the building may not be converted to dwelling house use. Before any work is started a permit is required from this department and with the application for this permit must be filed information to show that the building is to be brought up to dwelling house standards. A location plan showing the building in its present position on the lot or in a new location if it is to be re-located on the same or another lot will be required. If the building were to be moved to a new location in the City, you would need to secure permission from the Department of Public Works for moving the building through the public streets.

Very truly yours,

AJS/B

Inspector of Buildings.

P. S. Where reference is made to adding framing members such as studs in outside walls, the timbers would have to be built into the structure in such manner as to be an integral part of it; not just fitted in merely to satisfy some rule of spacing.

AP 1963-67 Congress St.-1

ATH
ESS
BMT
AJS
PH
DJ
HD
BS

October 22, 1946

Mr. Arlo Jordan
1552 Congress Street
Portland, Maine

Subject: Permit for minor garage at 1963-67
Congress Street

Dear Sir:

Permit for above work is issued subject to the following:

1. Instead of the concrete slab foundation originally shown on plan, it is understood that concrete piers 8" square on top and 12" square on the bottom spaced no more than 7' on centers extending at least 4' below grade and surmounted by a 6x6 sill, all as indicated in pencil on plan, are to be used.

2. Although on application height of building from grade to top of plate is given as 7', plan shows a height of 7' from bottom of sill to under side of header over large doors. Thus it is evident that height from grade to plate cannot be less than 8'. With a pitch of 8" in 12" as given the height from plate to ridge will be about 7' 6" so that height at ridge will exceed 15'. It is important that these heights be not exceeded, because in the case of an accessory building such as this garage, it is not permissible to have the height at a point midway between the ridge and the plate exceed 12' from the grade of the ground at the front of the building.

Very truly yours,

Inspector of Buildings

AJS/J

CC: Porter-Burnham Company
1552 Congress Street

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for 2 CAR GARAGE
at 1963 CONGRESS ST. CITY Date 10/17/46

1. In whose name is the title of the property now recorded? A.C. & B.P. JORDAN
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? yes - stakes
3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? yes
4. What is to be maximum projection or overhang of eaves or drip? 0
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

A.C. Jordan



(RA) RESIDENCE ZONE A
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Permit No. 02078

Portland, Maine, October 17, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1963-1967 Congress Street

Within Fire Limits? no Dist. No.

Owner's or lessee's name and address Arlo Jordan, 1552 Congress Street

Telephone

Contractor's name and address Porter-Burnham Co., 1552 Congress Street

Telephone

Architect L. C. Andrew

see dwelling

Plans filed yes No. of sheets 1

Proposed use of building 2 car garage

No. families

Other buildings on same lot Dwelling

Estimated cost \$ 500.

Fee \$ 1.00

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing

Last use No. families

General Description of New Work

To construct 22'x228 garage (2 car)

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

PERMIT REQUIRED BEFORE LATHING
& CLOSING-IN IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no

Is any electrical work involved in this work? no

Height average grade to top of plate 7'

Size, front 22' depth 22' No. stories 1 Height average grade to highest point of roof 15'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation concrete piers Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof pitch-gable Rise per foot 8" Roof covering asphalt roofing Class C Und. Lab.

No. of chimneys Material of chimneys of lining

Kind of heat none Type of fuel Is gas fitting involved?

Framing lumber—Kind hemlock 6" upright Dressed or full size? dressed

Corner posts 4x4 Sills 6x6 Girt or ledger board? Size

Material columns under girders 6x6 Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor concrete, 2nd , 3rd , roof 2x6

On centers: 1st floor , 2nd , 3rd , roof 24"

Maximum span: 1st floor , 2nd , 3rd , roof 11'

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot none to be accommodated 2

Total number commercial cars to be accommodated none

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Porter-Burnham

By: H. Jordan

ORIGINAL

Permit No. 46/ 2076

Location 1963-1967 Congress St

Owner Arlo Jordan

Date of permit 10/22/46

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 5/7/47

Cert. of Occupancy issued

NOTES

10/19/46 - Location marked
by concrete markers in
are nearby of the lot.

4/1/46 - Bldg. and lot

12/6/46 - 25' garage built
(see ?)

5/7/47 - NW 1/4 lot
Chp