

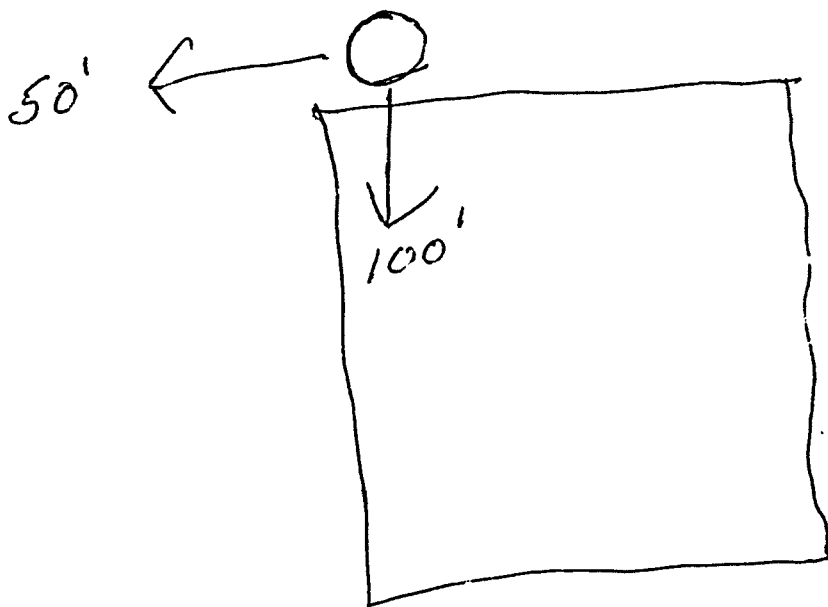
1955-1959 CONGRESS STREET



Full cut #9201 - Part cut #9202R - Third cut #9213R - Fifth cut #9203R

Heberburn Proprietor  
Thompson Point  
Point Mc  
Tom Keith

15'  
↑



Henry Linblum  
1955 - Congress. St  
Point. Mc



## APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, Sept. 16, 1971

PERMIT ISSUED

SEP 17 1971

16

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1955 Congress St. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address Henry Tinkham, 1955 Congress St. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Suburban Propane Gas, Thompsons Point Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets \_\_\_\_\_  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ 3.00

### General Description of New Work

To replace one 100 gal. instead of 2 - one hundred pounds.

To be set on 4 x 4 x 16 blocks.

Sent to Fire Dept. 9/16/71  
Rec'd from Fire Dept. 9/17/71

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO**

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_, Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girders \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

Gene C. O'Neil 9-17-71

### Miscellaneous

Will work require disturbing of any tree on a public street? \_\_\_\_\_  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? \_\_\_\_\_

CS 301

INSPECTION COPY

Signature of owner By: \_\_\_\_\_

Suburban Propane Gas

Permit No. 71/1116  
Location 1955 Congress St  
Owner Henry Starkham  
Date of permit 9/17/71  
Notif. closing-in \_\_\_\_\_  
Insprn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Insprn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_

NOTES

9/20/71

*[Handwritten signature]*

Two large rectangular areas with horizontal lines, each crossed out with a large 'X'.





(RA) RESIDENCE ZONE - A

## APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, May 11, 1953

To the INSPECTOR OF BUILDINGS PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~construct~~ ~~erect~~ the following building ~~structure~~ ~~erect~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1955 Congress St. Within Fire Limits? no Dist. No.       
Owner's name and address Gladys Tinkham, 1955 Congress St. Telephone       
Lessee's name and address      Telephone       
Contractor's name and address Clinton Evans, 1955 Congress St. Telephone       
Architect Henry Tinkham Specifications      Plans no No. of sheets       
Proposed use of building dwelling house No. families 1  
Last use      " " No. families 1  
Material wood No. stories 1 1/2 Heat      Style of roof      Roofing       
Other buildings on same lot       
Estimated cost \$ 300. Fee \$ 2.00

### General Description of New Work

To construct platform on ~~rear~~ ~~right side~~ ~~of building~~ rear of building 11' x 6', no roof.  
To change window to door, ~~rear~~ ~~side~~ rear wall.

### CERTIFICATE OF COMPLIANCE REQUIREMENTS

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Clinton Evans

### Details of New Work

Is any plumbing involved in this work?      Is any electrical work involved in this work?       
Is connection to be made to public sewer?      If not, what is proposed for sewage?       
Height average grade to top of plate      Height average grade to highest point of roof       
Size, front      depth      No. stories      solid or filled land?      earth or rock?       
Material of foundation cedar posts at least 4' below grade Thickness, top      bottom      cellar       
Material of underpinning 5' 6" on centers Height      Thickness       
Kind of roof none Rise per foot      Roof covering       
No. of chimneys      Material of chimneys      of lining      Kind of heat      fuel       
Framing lumber—Kind hemlock Dressed or full size? dressed  
Corner posts      Sills 4x6 Girt or ledger board?      Size       
Girders      Size      Columns under girders      Size      Max. on centers       
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor 2x8, 2nd     , 3rd     , roof none  
On centers: 1st floor 18", 2nd     , 3rd     , roof       
Maximum span: 1st floor 6', 2nd     , 3rd     , roof       
If one story building with masonry walls, thickness of walls?      height?     

### If a Garage

No. cars now accommodated on same lot     , to be accommodated      number commercial cars to be accommodated       
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?     

APPROVED:

O. K. with letter by R. T.

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
Gladys Tinkham

Signature of owner by: Clinton Evans

INSPECTION COPY

Permit No. 53/725  
Location 1955 Congress St.  
Owner Lady & Mikelow  
Date of permit 5/13/53  
Notif. closing-in  
Inspn. closing-in  
Final Notif.  
Final Inspn. 4/12/54 2 pm  
Cert. of Occupancy issued

6/2/53 - Millstream constructed with  
will in that only 4"6" w/ 1/2"  
3/12/54. Break up 2 in place. List  
on cards + replace before  
just a double up 2 1/2" cards for  
1/2" 1/2"  
3/12/54 Work not done yet will notify  
when completed 12/54  
4/12/54 - Work completed 12/54

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or printed text on the paper.

AP 1955 Congress St.

May 13, 1953

Mr. Clinton Evans  
1955 Congress St.

Copy to: Mrs. Gladys C. Tinkham  
1955 Congress St.

Dear Mr. Evans:-

Building permit is issued herewith for construction of a platform 6 feet by 11 feet without roof on the rear of the dwelling at 1955 Congress St. Although the application calls for the platform to be constructed on the right hand side of the building, the building is so close to the side lot line already that there is not room for such a structure to be built.

We understand that the platform is intended on the rear of the building anyway and we have changed the application accordingly. Care will need to be taken to locate the platform on the rear of the building so that no part of it will be closer than five feet to the side lot line, which is the minimum clearance required from that line for any new construction.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

Hand-drawn site plan of a property. The plan shows several buildings and areas labeled with text and numbers. The labels include:

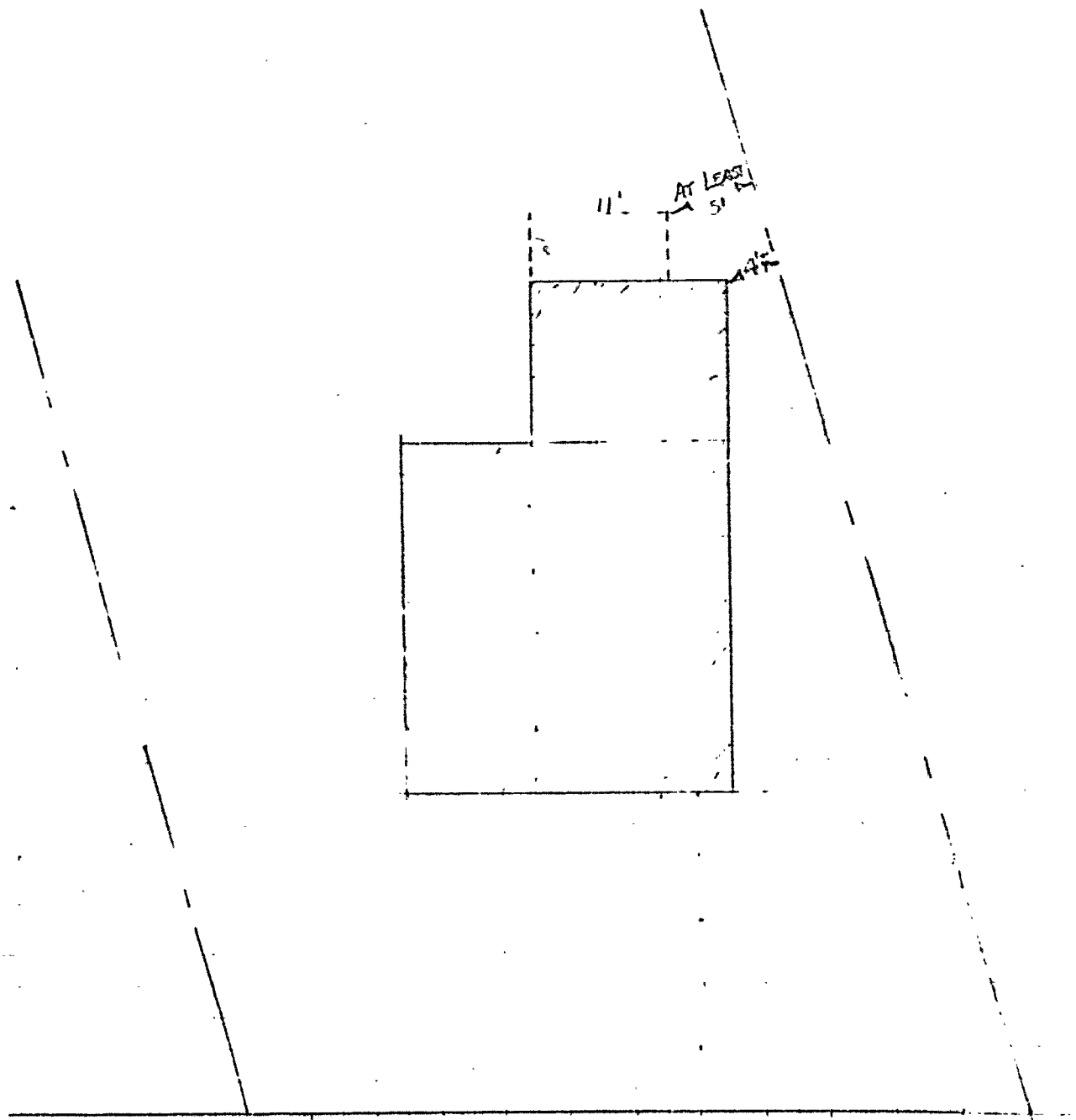
- Top Left:** "916-A16"
- Top Center:** "8/11/10" (with a small "6" above it)
- Top Right:** "2001 A-5, 247-A-5"
- Center:** "215-B, 3-216-A-1"
- Bottom Left:** "A/50"
- Bottom Center:** "216-A/4"
- Bottom Right:** "201 A-3, -216-A/3, 2"
- Right Side:** "3" (near a building labeled "M41")
- Far Right:** "9" (near a building labeled "M41")
- Far Bottom Right:** "1" (near a building labeled "M41")
- Far Bottom Left:** "150" (near a building labeled "M41")
- Far Bottom Center:** "150" (near a building labeled "M41")
- Far Bottom Right:** "150" (near a building labeled "M41")
- Far Bottom Left:** "150" (near a building labeled "M41")
- Far Bottom Center:** "150" (near a building labeled "M41")
- Far Bottom Right:** "150" (near a building labeled "M41")

The plan also includes various other markings and lines indicating boundaries and structures.

1007 2/20/20

45.55216112





#955

CONGRESS STREET



(RA) RESIDENCE ZONE - A

## APPLICATION FOR PERMIT

Class of Building or Type of Structure Single Class

Portland, Maine, AUGUST 15, 1951

RECEIVED  
01540  
AUG 21 1951  
PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair and all the following building structures and equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1955 Congress Street Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's name and address Henry Tinkham, 1955 Congress Street Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address owner, 1955 Congress Street Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
 Proposed use of building dwellings house No. families 1  
 Last use \_\_\_\_\_ " " No. families 1  
 Material wood No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 100. Fee \$ 50.

## General Description of New Work

To remove existing 6' x 6' platform and steps on front of building and to construct 1-story open piazza 6' x 6' on front of building. 30' to street line.

$$3 \times 4 \times 4.5 = 540$$

$$540 \times 4 \times 1.5 = 3240$$

$$\frac{3240}{11.25} = 288 \text{ sq ft}$$

$$3 \text{ of } 4 \times 2 = 1.60$$

Permit Issued with Letter

2-2x4 plate 4' span

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVER

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Henry Tinkham

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate 10' Height average grade to highest point of roof 12'  
 Size, front \_\_\_\_\_ depth cedar posts No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation concrete at least 1' below grade Thickness, top \_\_\_\_\_ bottom 12" cellar \_\_\_\_\_  
 Material of underpinning 4" on centers Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof shed Rise per foot 4" Roof covering Asphalt Class C and Lab  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind hemlock Dressed or full size? dressed  
 Corner posts 4x4 Sills 4x6 4' span Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Column under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor 2x6 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 2x4  
 On centers: 1st floor 20" 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 24"  
 Maximum span: 1st floor 6' 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 24'  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

8-17-51. J. B. L.

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Henry Tinkham

Signature of owner by: Ralph J. Blum

INSPECTION COPY

## NOTES

[illegible]

Permit No. 511, 1540

Location 1955 Cincinnati

Owner Edmund C. Bell

Date of permit 8/21/51

Verif. closing-in

Inspn. closing-in

Signal

Principal

cert. of occupancy issued

AP 1955 Congress Street-I

August 21, 1951

Mr. Ralph Blood  
1555 Congress Street  
Mr. Henry Kirkham  
1955 Congress Street

Gentlemen:

Building permit for removing existing platform and steps in front of the dwelling house at 1955 Congress Street and building a one story open piazza of the same size is issued to Mr. Kirkham, herewith, but subject to the arrangement which Mr. Blood talked over with Mr. Hamilton as follows:

Cedar post foundations are to be used instead of the concrete piers indicated in the application, the posts to be set at the corners and 4' on center in between the corners, thus spacing the 4x6 pilings on a 6-foot span. The cedar posts are to extend no less than 4' below the finished surface of the ground and at least 6" above the finished surface of the ground.

Double 2x4 posts indicated in the application is to be supported center to center (this seems very close but that is apparently what is required—if not, please hair up with this office), and the 2x4's should be with the 4" dimension upright.

The 2x4 roof joists on the 6-foot span across the piazza are to be spaced no more than 18" from center to center instead of 20" shown on the application.

Although apparently not mentioned, the 2x6 floor joists must be spaced no further from center to center than 18" instead of the 20" shown on the application.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMcD/G



City of Portland, Maine

*Appeal sustained*  
*4/5/37 - mrd*

Appeal to the Municipal Officers to Change the Decision of the  
Inspector of Buildings Relating to the Property Owned  
by Mrs. Gladys Tinkham at 1361 Congress Street

March 23, 19 37

To the Municipal Officers

Your appellant, Mrs. Gladys Tinkham

who is the owner of property at 1361 Congress Street

respectfully petitions the Municipal Officers of the City of Portland to change the decision of the Inspector of Buildings relating to this property, as provided by Section 13, Paragraph c, of the Zoning Ordinance, on the ground that the enforcement of the ordinance in this case involves unnecessary hardship and because relief may be granted without substantially derogating from the intent and purpose of the Zoning Ordinance

The decision of the Inspector of Buildings denies a permit to construct a one story all metal addition about 8 feet by 20 feet on the existing repair garage on the ground that the proposed addition exceeds 20% of the volume of the existing garage which is a non-conforming use in the General Residential Zone where the property is located.

The reasons for the appeal are as follows. The original garage was built and the business established by appeal under the Zoning Ordinance and it is now the intention to build this proposed addition merely for the purpose of complying with the requirements of the State Police for garages where legal tests may be made under the State Law. This testing has been going on for several years on these premises by the requirements have been made more severe and it seems evident that a better method of handling the same business cannot possibly be detrimental to surrounding property.



March 30, 1937

Mrs. Gladys Tinzham,  
1955 Congress Street,  
Portland, Maine

Dear Madam:

The Committee on Zoning and Building Ordinance Appeals of the Municipal Officers will hold a public hearing at the Council Chamber, City Hall on Friday, April 2, 1937 at 11:00 o'clock in the forenoon upon your appeal with relation to the construction of an oil tank addition to your garage at 1955 Congress Street.

Please be present or represented at this hearing in support of your appeal.

COMMITTEE ON ZONING AND BUILDING  
ORDINANCE APPEALS

Adam C. Leighton, Chairman

37 27

PUBLIC HEARING ON THE APPEAL OF MRS. GLADYS TINKHAM AT 1961 CONGRESS STREET

April 2, 1937

A public hearing on the above appeal was held before the Committee on Zoning and Building Ordinance Appeals today. Present for the city were Chairman Leighton, Councillors Ward and Eskilson and the Inspector of buildings.

Mrs. Tinkham appeared in support of her appeal and there were no opponents present.

Inspector of Buildings

37/27

To The Municipal Officers:

The Committee on Zoning and Building Ordinance Appeals to whom was referred the appeal of Mrs. Gladys Lindholm with relation to the proposed addition to the repair garage at 1861 Congress Street, reports as follows:

It is the belief of this committee that failure to grant this permit involves unnecessary hardships and that desirable relief may be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

It is recommended, therefore, that the appeal be sustained and that the permit be granted subject to full compliance with all terms of the Building Code.

COMMITTEE ON ZONING AND BUILDING  
ORDINANCE APPEALS

---

Chairman

---

---

ORDERED, that the appeal of Mrs. Gladys Tinkham, 1861 Congress Street from  
the decision of the Inspector of Buildings be sustained and that a  
building permit be granted said Mrs. Gladys Tinkham as prayed for  
in her original appeal, subject to full compliance with all terms  
of the Building Code.

2727  
Piusan George Alfred.

Congress St 1909 to 2001 Includes 217-1-4  
1914 to 2000

Clarence M. H. K. 22 -- 1909 Congress St.  
Anna M. + Dearborn Jackson - 19.3 Congress St.  
Gertrude S. Dearitt - 164 Westview St.  
Gladys C. Furkham - 2087 Congress St.  
Frank G. Johnson - 1956 Congress St.  
Moss Dargim - 1505 Congress St.  
Horatio Mayfield - 1928 Congress St.  
John E. + Eugene B. Skellin - 1532 Congress St.



CITY OF PORTLAND, OREGON  
BOARD OF MUNICIPAL AFFAIRS  
COMMITTEE ON ZONING AND BUILDING ORDINANCES

March 23, 1957

To Whom It May Concern:

The Committee on Zoning and Building Ordinances of the Municipal Affairs will hold a public hearing at the City Council Chamber, City Hall on Friday, April 5, 1957 at 1:30 o'clock in the forenoon upon the appeal of Mrs. Sandy Tinkham with relation to the construction of a proposed one story addition about 8 feet by 20 feet on the existing repair garage at 1361 Congress Street.

The Inspector of Buildings was unable to issue the permit covering this addition because the volume of the proposed addition would exceed 20% of the volume of the existing garage which is in use not conforming with the precise terms of the zoning ordinance in the General Residence zone where the property is located.

COMMITTEE ON ZONING AND BUILDING  
ORDINANCES

Adam P. Laughlin, Chairman

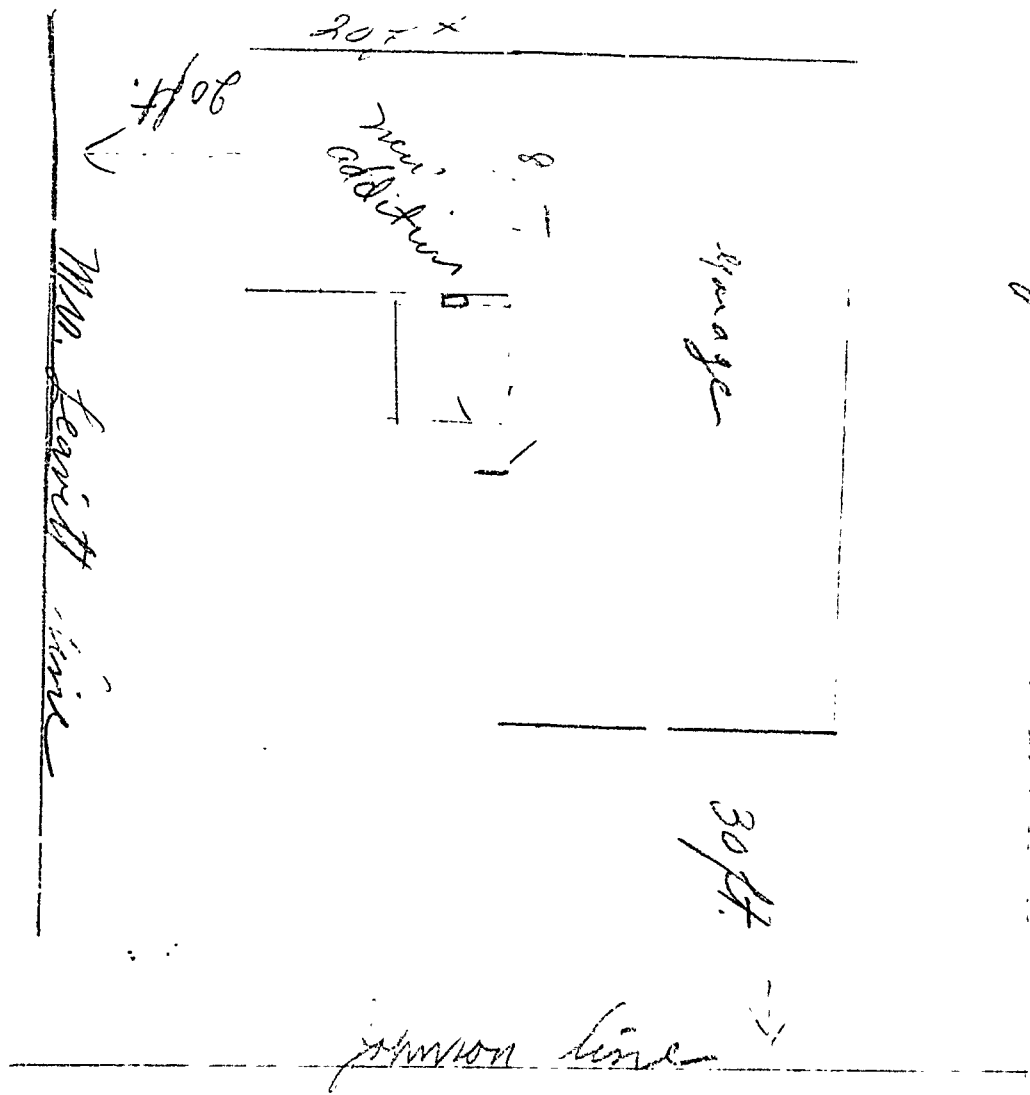
Mr. Gladys Williams

Living Room

Mr. Williams

Spinning Room

1955-1956





## APPLICATION FOR PERMIT

PERMIT ISSUED  
0401Class of Building or Type of Structure First Class

APR 7 1937

Portland, Maine, March 27, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, M.E.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: Congress Street

Location 1281 Congress Street (See 1935-1937) Ward 3 Within Fire Limits? no Dist. No. \_\_\_\_\_Owner's or Lessee's name and address Gladys Linkham, 1955 Congress Street Telephone \_\_\_\_\_Contractor's name and address not let Telephone \_\_\_\_\_

Architect's name and address \_\_\_\_\_

Proposed use of building Garage No. families \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_

Plans filed as part of this application? yes No. of sheets 1Estimated cost \$ 150. Fee \$ .75

## Description of Present Building to be Altered

Material metal No. stories 1 Heat steam Style of roof pitch Roofing \_\_\_\_\_Last use Garage No. families \_\_\_\_\_

## General Description of New Work

To erect one story metal addition 8' x 20', angle iron frame

(This building to be moved from 23 Neal Street. See Ordinance to do moving)

THIS PERMIT DOES NOT INCLUDE THE

RIGHT TO MOVE ANY BUILDING THROUGH

THE PUBLIC STREETS OF THE CITY

Appeal sustained and Permit Granted Special Order of Board of Municipal Officers 4/5/37

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

## Details of New Work

Height average grade to top of plate \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories 1 Height average grade to highest point of roof 7'To be erected on solid or filled land? solid below frost earth or rock? earthMaterial of foundation concrete trench wall Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of Roof flat Rise per foot 8" Roof covering metalNo. of chimneys no Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_Kind of heat no change Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_

C. posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor concrete, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY Chas. E. Linkham Signature of owner Gladys E. Linkham

CHIEF OF FIRE DEPT.

W d 8 Permit No. 37/401<sup>M</sup>

Loc 1961 Congress St.

Owner Gladys Hingham

Date of permit 4/7/37

Notif. closing-in

Inspn. closing-in

Final Noif.

Final Inspn. 4/16/37

Cert. of Occupancy issued None

NOTES

4/16/37 - Building  
moved to new loca-  
tion. Went over  
fastening of insulation  
board to wall frame  
without use of wood.  
Building is 10' x 18'  
instead of 8' x 20' as  
given in application.  
A.G.S.

Leongrass, St

10 Pump 0 Pump

TANKS

TANK

Garage





# APPLICATION FOR PERMIT

Class of Building or Type of Structure Gasoline Installation

Portland, Maine, October 26, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ install the following ~~building structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1505 Congress Street (ex 1955 to 1959 Congress Street) Ward 8 Within Fire Limits? No Dist. No. \_\_\_\_\_  
Owner's or Lessee's name and address R. S. Tinkham, 1505 Congress St. Telephone \_\_\_\_\_  
Contractor's name and address Standard Oil Co. of N. Y. 40 Main St. So. Port Telephone 7700  
Architect's name and address \_\_\_\_\_  
Proposed use of building Garage No. families \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_

## Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_

## General Description of New Work

To replace one -550 gallon tank and put in one additional 550 tank for gasoline with 2- five gallon pumps (only one at present). Public Use. Tanks to be buried underground.

## Details of New Work

550 additional storage

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Distance, heater to chimney \_\_\_\_\_  
If oil burner, name and model \_\_\_\_\_  
Capacity and location of oil tanks \_\_\_\_\_  
Is gas fitting involved? \_\_\_\_\_ Size of service \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_ to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Plans filed as part of this application? no No. sheets \_\_\_\_\_  
Estimated cost \$250. Fee \$ .75  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of owner R. S. Tinkham  
By Standard Oil Co. of N. Y.

CHIEF OF CITY ENGINEER

7949

W# 7 Permit No. 287342  
Location 1500 Congress St.  
Owner R. S. Tinsley  
Date of permit 11/1/28  
Notit. closing-in  
Inspn. closing-in  
Final Notif.  
City PR  
Cert. of Occupancy issued

NOTES

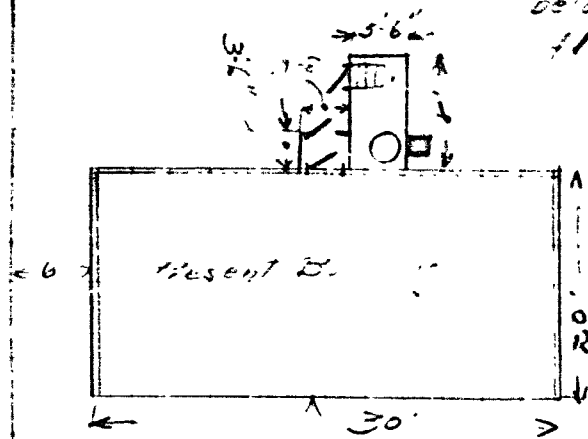
Not closed to traffic 11/27/28

Not installed

Sept 11  
2/23/29  
OKP

Proposed Boiler Room.  
Steel with steel frame.

This level to be 5'-6"  
above present building  
floor level.



W.K. G.  
10/17/77

DEPARTMENT OF BUILDING INSPECTION

October 15, 1927

Chief Sanborn:

You will recall that a permit was given to this party to erect a small public garage without installing a sprinkler system upon an agreement that a sprinkler system would be installed whenever the street main was made of sufficient size. At that time, they did not propose to put in any heat at least for this winter. This application is for a permit to build a small boiler room of sheet metal with the floor of the boiler room about 5 feet 6 inches below the garage floor level, the boiler room to be reached by stairs from the garage. If they put in ordinary steps, it will mean about 7 or 8 risers. I have called his attention to the Ordinance requirement that all stairs in a public garage must be enclosed, with fire door at both ends. He agrees that a fire door at the garage floor level with a raised threshold is reasonable, but feels that providing an enclosure for the stairs with the fire door at the bottom would unnecessarily crowd his boiler room and does not seem necessary on such a small installation. What do you think?

Warren McDonald  
Inspector of Buildings

TLP

*This boiler room should be built  
in accordance with the Ordinance  
requirement.*

*O.C.B.*

October 19, 1927

Mrs. Gladys C. Pinkham  
1507 Congress Street  
Portland, Maine

Dear Madam:

Referring to your application to build an addition to your public garage at 1507 Congress Street for the purpose of providing a boiler room, after conference with the Fire Chief now planned to R. Pinkham, I can see no way out but that you will have to comply with the exact requirements of the ordinance. This means that the stairs leading from the garage floor level to the boiler room must be completely enclosed with a self-closing fire door at the top of the stairs and another at the bottom of the stairs. The enclosing partitions may be a minimum of wooden studs covered on the boiler room side with metal lath and plaster. The fire doors must be at least metal covered doors equipped with a self-closing device acting to keep the doors closed at all times except when persons are actually passing through the doorway, and the threshold at the doorway at the top of the stairs must be raised at least 6 inches above the level of the garage floor.

Please come to this office and indicate upon your application the fact that you intend to enclose the stairs as stated above giving the kind of material to be used in the enclosure.

In the meantime, it is necessary to hold the permit in this office, and it is unlawful for you to proceed with any of the work until the permit card is actually in your possession and posted upon the premises.

Very truly yours,

Inspector of Buildings

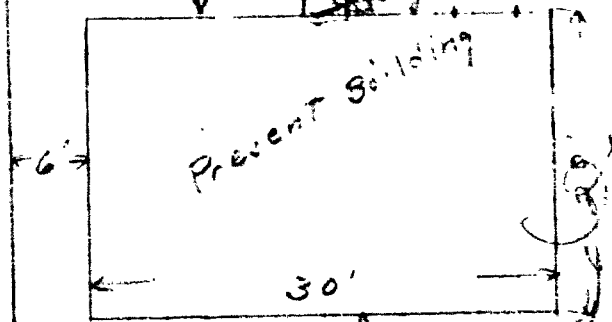
W/P

1927 Inspection



Boiler room to be  
 Steel with steel frame  
 5'-6" below  
 present building  
 steps  
 2 Fine doors

Stairway to be enclosed  
 with steel partition.



30'

40'

*Super*

IN GENERAL, WE RECOMMEND (1)



(R) GENERAL RESIDENCE ZONE

## APPLICATION FOR PERMIT

Class of Building or Type of Structure First Class

Permit No. 510

Portland, Maine, October 15, 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ <sup>and</sup> install the following building ~~structure~~ <sup>and</sup> equipment in accordance with the Law of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1507 Congress Street 17591 Congress Street Ward 8 Within Fire Limits? No Dist. No. \_\_\_\_\_

Owner's or Lessee's name and address Gladys C. Tinkham 1505 Congress St. Telephone 5242 R

Contractor's name and address E. W. Skinner Co. So. Portland Telephone \_\_\_\_\_

Architect's name and address \_\_\_\_\_

Proposed use of building new part for boiler room No. families \_\_\_\_\_

Other buildings on same lot attached to present garage

### Description of Present Building to be Altered

Material Steel No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use Garage No. families \_\_\_\_\_

### General Description of New Work

To build addition 8' x 6' for boiler room  
To build one brick chimney  
To install Steam heating system

### Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
To be erected on solid or filled land? solid earth or rock? earth  
Material of foundation Concrete slab Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof Flat Roof covering Steel  
No. of chimneys 1 Material of chimneys Brick or lining tile  
Kind of heat Steam Type of fuel Coal Distance, heater to chimney 2'  
If oil burner, name and model \_\_\_\_\_  
Capacity and location of oil tanks \_\_\_\_\_  
Is gas fitting involved? \_\_\_\_\_ Size of service \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor Concrete, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? No  
Plans filed as part of this application? yes No. sheets 1  
Estimated cost \$145. Fee \$ .75

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes Gladys C. Tinkham

Signature of owner by

RECEIVED  
INSPECTION COPY

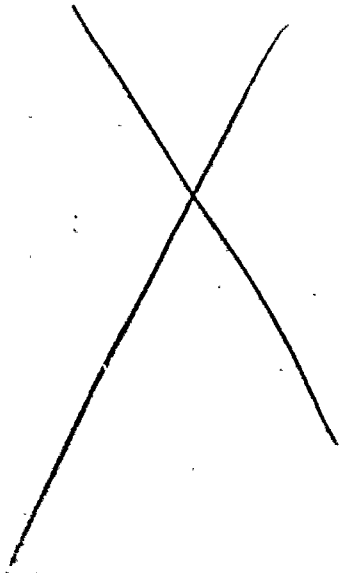
Chas. A. Scahill  
CHIEF OF FIRE DEPT.

4957

8 Permit No. 27/2137 M  
1727/1757  
on 1501 Congress St.  
Owner Gladys C. Trunkham  
Date of permit Oct. 29/29  
Notif. closing-in  
Inson. closing-in  
Final Notif.  
Final Insp.  
Cert. of Occupancy issued

NOTES

1/31/30 - Work has been  
done seems O.K. - 2/2/30



CITY OF PORTLAND  
INSPECTOR OF BUILDINGS OFFICE

Agreement Accompanying Application of Mrs. Gladys J.  
Tinkham for a Building Permit to Cover the Erection  
of a Public Garage at 1507 Congress Street.

In consideration of permit granted to me by the City of Portland  
to occupy the premises at 1507 Congress Street as a public garage, I, for  
myself, my heirs and assigns hereby covenant and agree that in event a wa-  
ter main is installed six inches in diameter or larger in Congress Street  
in front of my premises at any time in the future, that there will be in-  
stalled a complete sprinkler system in said public garage as required by  
the ordinances of the City of Portland, within thirty days of the instal-  
lation of such water main.

Gladys J. Tinkham

NOTARY PUBLIC

Cumberland, ss:

Portland, July 22, 1927

Personally appeared the above named Gladys J. Tinkham  
and made oath that the signing of this agreement was of her own free act  
and will.

R. D. Jenkins  
Notary Public Justice of the Peace



City of Portland, Maine

IN THE CITY COUNCIL

IN BOARD OF MUNICIPAL OFFICERS

June 6, 1927

ORDERED:

That consent be granted to Gladys C. Tinkham to construct a public garage on her property located 1507 Congress Street.

Read twice and passed. Yeas 5.

A true copy of record.

Attest:

*Edward Smith* City Clerk

June 29, 1927

Mrs. Mary L. Pinkham  
1505 Congress Street  
Portland, Maine

Dear Madam:

Referring to your application for a building permit to erect a public garage at 1507 Congress Street and to Mr. Pinkham's notation left at this office, I am unable to issue the permit on the information given.

You should understand that after the permit is given and the building constructed, it is necessary for you to secure from this department a certificate to use the building. This certificate cannot be issued unless all of the requirements have been met at the time of proposed occupancy. In other words, if I were to issue the permit and you were to construct the building, it would not be possible to issue this certificate until the sprinkler system, chimney, and heating plant had all been installed complete, and until all of these things had been installed, you would therefore not be able to use the building either in summer or winter.

Before the permit is issued from this office, the information must be included on the application form to the effect that you will install the brick chimney, the heating system, and the wet pipe sprinkler system in accordance with the ordinance, and I must have the assurance also that you will proceed to complete all of the work at the present time. If you proceed on any other basis, it would mean that this department would be giving you a permit to construct a building that you could not use.

The permit will be held in this office awaiting further information from you.

Yours truly,

Inspector of Buildings

3629 original

11/22  
Copy to:  
Thomas Skinner Co.

Main Street, South Portland



July 8, 1927

Mrs. Gladys Pinkham  
1505 Congress Street  
Portland, Maine

Dear Madam:

Referring to your application for a building permit to erect a public garage at 1507 Congress Street and to my conversation with Mr. Pinkham a day or two ago, this matter has been gone over thoroughly with the Chief of the Fire Department.

I have come to the conclusion that the building permit cannot be given except for a complete installation, that is sprinkler system, heating plant, and all other items required by the ordinance.

The Chief of the Fire Department calls my attention to the fact, also, that the water main in Congress Street at your location is but 2 inches in diameter, and the regulations concerning automatic sprinkler systems require the street main to be in no case less than 6 inches.

It is therefore necessary to deny your permit. If you will return the receipt for the fee paid to this office on or before July 29th, 1927, your money will be refunded.

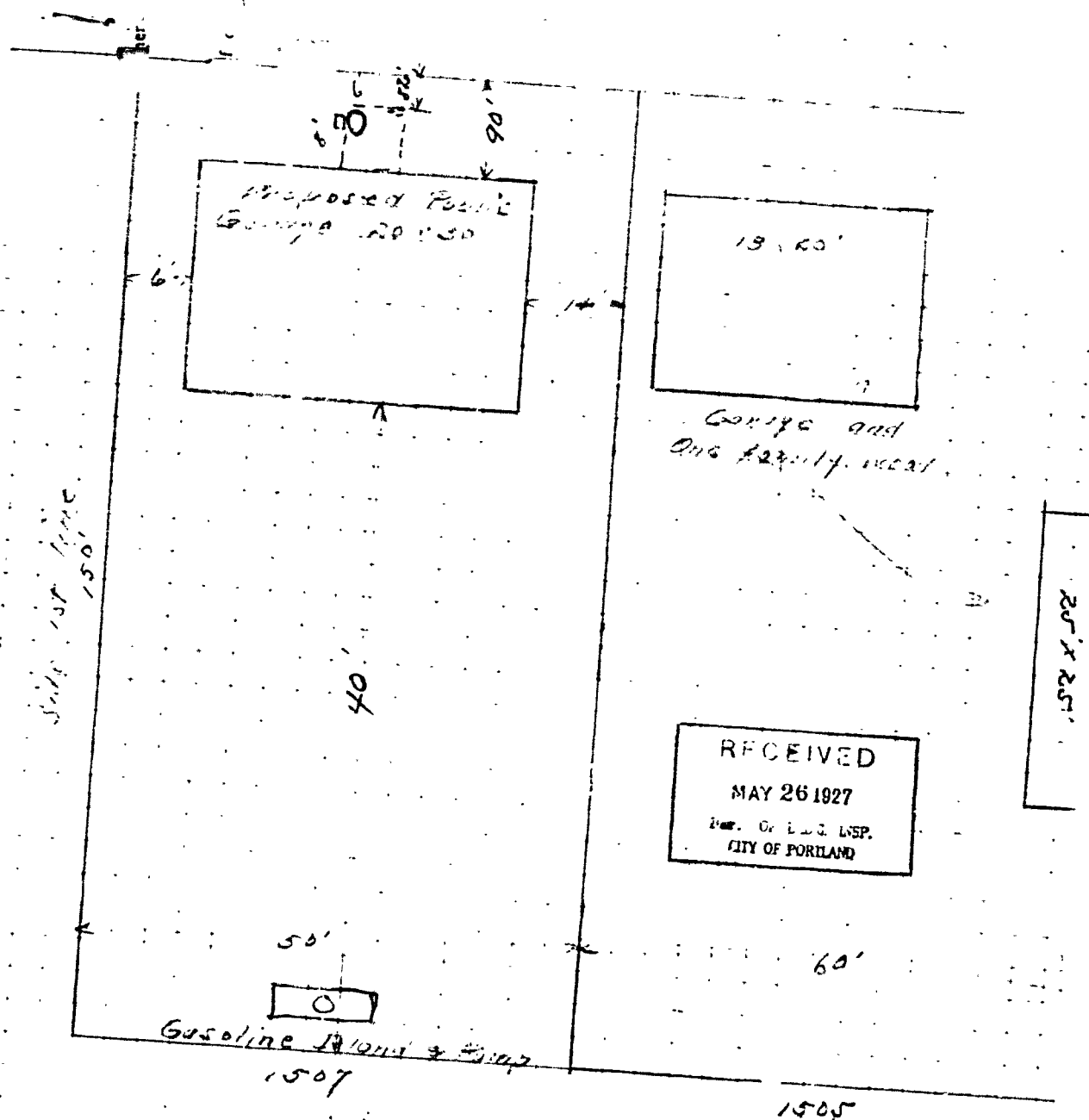
Yours truly,

Inspector of Buildings

Copy to:  
Thomas Skinner Co.  
Main Street, South Portland

3627

41/27



Congress St.

Proposed Public Garage for Gladys C. Tinkham  
at 1507 Congress St.



# APPLICATION FOR PERMIT

Class of Building or Type of Structure 1st

PERMIT ISSUED

Permit No. 1211  
JUL 28 1927

Portland, Maine, May 26 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~and install~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1505 Congress St. (See 1955 to 1957 Congress Street) Ward 2 Within Fire Limits? no Dist. No. -  
Owner's or Lessee's name and address 41 Mrs Gladys C. Tinkham 1505 Congress St. Telephone 77730F5242R  
Contractor's name and address Thomas Skinner Co. So. Portland Telephone 77738  
Architect's name and address \_\_\_\_\_  
Proposed use of building Public Garage (Automobile Repair) No. families \_\_\_\_\_  
Other buildings on same lot none

## Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_

## General Description of New Work

Build Public Garage, Steel, to be used for automobile repair

AUTOMOBILE REPAIR: the installation of sprinkler system in this building is to be deferred on account of the water main in the street being of improper size and because the building is to be in an isolated location. See agreement in regard to future installation of the sprinkler system by Gladys C. Tinkham, which agreement is made as much a part of this application for a permit as the application form itself.

Size, front 20 depth 20 No. stories 1 Height average grade to highest point of roof 12  
To be erected on solid or filled land? Solid earth or rock? earth  
Material of foundation Concrete Slab Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof Fitch Roof covering Steel  
No. of chimneys none Material of chimneys Brick of lining tile 11/12/27  
Kind of heat none Steam Type of fuel Coal Distance, heater to chimney 10'  
If oil burner, name and model Tubemaster addition to a chimney on property  
Capacity and location of oil tanks \_\_\_\_\_  
Is gas fitting involved? no Size of service \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor Concrete, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot no to be accommodated no storage (2)  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? Yes

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Plans filed as part of this application? Yes No. sheets 1  
Estimated cost \$600 60.- Fee \$ 1.00  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED COPY

Walter P. Laubon  
CHIEF OF FIRE DEPT.

Signature of owner Gladys C. Tinkham  
by Robert S. Tinkham

3629H

Ward 8 Permit No. 27/1211 H  
 Location 1507 Congress St  
 Dw Miss Gladys C. Tucker  
 Date of permit July 28/27  
 No.            sing-in  
 Inspn. closing-in  
☐ ind ☐ if.  
 Final Inspn: 11/13/27  
 Cert. of Occupancy issued

NOTES

Glass in front but  
 not used at this date  
 St. + C. + L. + S. + T. + H.  
 FOR BEHIND

General Office of New York