

Huberban Rupune Hougstone - Found Hout Me Town Reith Henry Fenklam 1955- Conquexi. It Dont. Me



APPLICATION FOR PERMIT

Class of Malding or Type of Structure

Portland, Maine, Sept. 16, 1971

PERMIT ISSUEL

SEP 17 1971

3 16

CITY of PURILAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

in accordance with the Laws of the S. of A	permit to erect alter repair demolish install the following building structur faine, the Building Code and Zoning Ordinance of the City of Portlan	d blans and
specifications, if any, submitted herewith and	the following specifications:	o, promo uno
	Within Fire Limits? Dist. N	
Owner's name and address . Henry Tin	kham, 1955 Corgress St. Telephone	No
Lessee's name and address	Telephone	
Contractor's Lame and address Suburba	n Propane Gas, Thompsons Point Telephone	
Architect		heets
Proposed use of Luilding	. No. families	5
ast use	No. families	3
MaterialNo. stories	Heat Roofing	
Other buildings on same lot	The same of the sa	
Estimated cost \$	Fee \$	3.00
Ges	neral Description of New Work	
To replace one 100 gal. instead	of 2 - one hundred pounds	
	or 2 - one name ea pomas.	
To be set on 4 x 4 x 16 locks.		
	Switt to Fire Box	9/16/7
	Sent to FRE Day	040. 9/11/
It is understood that this permit does not inc	tide installation of healing apparatus which is to be taken out separate	l) by and in
he name of the heating contractor. PERMI.	T TO BE ISSUED TO	
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	Details of New Work	
Is any plumbing involved in this work?		
is any plumbing involved in this work? Is connection to be made to public sewer?	Details of New Work Is any electrical work involved in this work? If not, what is proposed for sewage?	
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Final Inspn. Staking Out Notice Form Check Notice Final Notif. Cert. of Occupancy issued Inspn. closing-in Notif. closing-in Date of permit

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(RA) RESIDENCE CORE-A

MAINELL,

APPLICATION FOR PERMIT Class of Building or Type of Structure Third Class Portland, Maine, May 11, 1953 To the INSPECTOR OF BUILDINGS PORTLAND, MAINE The undersigned hereby applies for a permit to execultery pocuade colicient with the following building stocoor expoperate in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and $specifications, if any, submitted \ hr-ewith \ and \ the following \ specifications:$ Location ___ 1955 Congress St. ____ Within Fire Limits' ____ Dist. No. ____ Owner's name and address Gladys Tinkham, 1955 Congress St. Telephone _____ Lessee's name and address ____ Telephone ____ Contractor's name and address Clinton Cans. 1955 Congress St.

Architect Specifications Plans no No. of sheets Proposed use of building discussion discussi Last use ______ No. families 1 Material wood No. stories 12 Heat Style of root Roofing Roofing Other buildings on same lot Fee \$ _2.00____ Estimated cost \$ 300 rear General Description of New Work with the construct platform on rear of building 11' x 6', no roof. To change window to door, xear wall. 1 mayof Temple REQUIREMENT OF ON CONTINUE REQUIREMENT OF THE CONTINUE OF T It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Clinton Evans

			ils of New Wor			
Is any plumbing involved	in this work?				ed in this work?	
Is connection to be made	to public sewer?		If not, wha	t is proposed for	tewage?	
Height average grade to t	op of plate		Height average	grade to highest	t point of roof	
Size, front dep	thN	o. stories	solid or fille	:d land?	earth or rock	.?
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Size, front dep Material of foundationc Material of underpinning	>' C	on cer	Height		_ Thickness	
Kind of roof none	Rise per	!uot	Roof cover	ing		
No. of chimneys	Material of	f chimneys	of lining	Kin	d of heat	_ fuel
Framing lumber—Kind	bemlock		Dressed or	full size?	iressed	
Corner posts						
Girders Size		ımns unde	r girders	Size	Max. on cent	ers
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Joists and rafters:					, roof	
On centers:	1st floor.	18"	, 2nd	, 3rd	, roof	
Maximum span:	1st floor	_61	, 2nd	, 3rd	, roof	
If one story building with	masonry walls,	thickness o	of walls?		height?	
-			If a Garage			
No. cars now accommoda Will automobile repairing			accommodated			
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ROVED:	<u> atlency</u>	Z	Will there	charge of the alute and City rec	ry tree on a public st bove work a person quirement: pertainin	competent to
			Gladys Tinkham	i		
	Sinuature of com	by:	12.16.20	on f	Elans_	

INSPECTION COPY

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AP 1955 Congress St.

Kay 13, 1953

Kr. Clinton Evena 1955 Congress St. Copy to: Mrs. Gledys C. Tinkhan 1955 Congress St.

Dear Hr. Evans:-

Building permit is issued herewith for construction of a platform 6 feet by 11 feet without roof on the rear of the dwelling at 1955 Congress St. Although the application calls for the platform to be constructed on the right hand side of the building, the building is so close to the side lot line already that there is not room for such a structure to be built.

We understand that the platform is interded on the rear of the building anyway and we have changes the application accordingly. Care will need to be taken to locate the platform on the rear of the building so that no part of it will be closer than five feet to the side localine, which is the minimum closurance required from that time for any new construction.

Very truly yours,

Warren Eclonald Inspector of Buildings

MS/G

M.W.L

·914-916 ξ 15.4- Chz 5- 11077 1-4-717-88-516 10 H = - 1/04 - 116 - 11 10 07 of Tost

II. AT ST ¥955 CONGRESS STRELT

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(RA) RESIDENCE ZONE - A APPLICATION FOR PERMIT

Class of Building or Type of Struc	turei, latelik	255	and the state of t
Fatland, Ma	ine, allusiste la		(بالألام الميل المارية
To the INSPECTOR OF BUILDINGS, POPPLANT	D, MAINE		
The undersigned hereby applies for a pervision accordance with the Laws of the State of Maine, the specifications, if any, submitted berewith and the follow	te Building Code and .		building stekzture อรูนส์อุทยะประ City of Portland, plans and
Location _ 1955 Courress street			
Owner's name and addresslienry .rinkr.ar.,			
Lessee's name and address			
Contractor's name and address ovnes and dil	pr. bou, luch Co	Ongress treet	elephone
Architect			
Proposed use of building Csellir 2 f	ones		No. families
Last use n Material woodNo. stories1';Heat	11		No. families
		roof(Roofing gnileon.
Other buildings on same lot			The substituted associates of the second supposes that second state decreases
Estimated cost \$ 100.	(J	,	Fee \$50
To remove existing 6' x 8' platform a for construct 1-story open pressua of .	Cos on reduce or	n. of building an	d to street line.
3×4×45= 500 540×4×1.5= 32 32.40=2.94~ 3 = 4×2=	; .	ermit Issued with	Lette:
\ ,	~ \\\	C. True	TIFICATE OF OCCUPANCY
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INSPECTION COPY

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AP 1955 Congress Street-I

August 21, 1951

Mr. balpr Blood

15-1 Congress Street

Mr. Henry Mikham

195, Congress Serect

Contiemen:

the deling permit for removing emisting plan and steps in front of the deling house at 1955 Congress stront and building a one story open planza of the same size is issued to hr. If when, nerewith, but a bject to a strongement which Mr. Blood tailed over with a headless llower

Order post foundations are to thused instead of the construct piets indicated in the application, the posts to be set at the cumors and At on center in active the corners, thus special the 4x6 sill on a 4-1 act span. The cedar posts are to intime up less than At below the fit i ned surface of the ground and at least to above the finished surface of the ground.

ported to enter to center (this seems very clare but that is apparent—ly what red—if not, please hair up with this office), and the 2741 about the La discussion upright.

The 2x4 roof joints on the 6-fect span across the plasma are to be used no more than 18^n from center to center instead of 20^n skewn on the 3.

Although apparently not mentioned, the 2.6 floor joints count be spaced no further from center to center that TSM instead of the 20% whose on the

Very truly your.,

Warren McDonald Inspector of Buildings

WECD/G

r



City of Portland, Maine

affect pustamed

Apreal to the Municipal Officers to Change the Decision of the

Inspector of Buildings Relating to the Property Owned

by Mrs. Gradys Tinkham at 1361 Congress Street

March 23, 19 87

To the Municipal Officers

Your appellant, Mrs. Gladys Tinkham

who is the Owner of property at 1961 Congress Street

respectfully petitions the Municipal Officers of the City of Portland to change the decision of the Inspector of Buildings relating to this property, as provided by Section 13. Paragraph c, of the Zoning Ordinance, on the ground that the enforcement of the ordinance in this case involves unnecessary hardship and because relief may be granted without substantially derogating from the intent and purpose of the Zoning Ordinance.

The decision of the Inspector of Building, denies a permit to construct a one story all metal addition about 8 feet by 20 feet on the exteting repair the existing garage which is a non-conforming use in the General Residence

The reasons for the appeal are as follow. The original garage was built and the business established by appeal under the Zoning Ordinance and it is now the intention to build this proposed addition merely for the purpose of complying with the requirements of the State Police for garages where legal tests may be made under the State Law. This testing has been going on for several years on these premises by the requirements have been made more several and it seems evident that a better method of handling the same Business cannot possibly be detrimental to surrounding property.

March 30, 1937

ara. Gladys Tinznam, 1955 Compress Street, Fortiana, Maino

bett meden:

The Committee on woming and barroing ordinance Appeals of the familiar Officers will hold a public mooring at the consect doesdar, Cly hill on triday, april o, 1907 at tirbo of clock in the formach upon your appear with relation to the construction of an arl material addition to your garage at 1901 congruent correct.

Please by present or represented at this hearing in support of your appear.

COLLAITES ON BONING WAS BOULDING ONDERWICE WASTERS

Adam c. Leighton, Chairman

PUBLIC HEARING ON THE APPEAL OF MRS. GLADYS TINKHAM AT 1961 CONGRESS STREET

April 2, 1937

A public hearing on the above appeal was held before the Committee on Loning and Building Ordinance Appeals today. Present for the city were Chairman Leighton, Councillors Ward and Eskilson and the Inspector of buildings.

Mrs. Tinkham appeared in support of her appeal and there were no opponents present.

Inspector of Buildings

To The Municipal officers:

The Committee on Loning and Mulicing Ordinance Appeals to whom was referred the appear of tre. Gredys Trackes with relation to the proposed addition to the repair garage at 1961 Congress street, reports as follows:

It is the besief of this commettee that failure to great this pormit involves unnocessary hardenings and that desirable relief may be granted without substantially departing from the intent and purpose of the Coming Ordinance.

It is recommended, therefore, that the appear be sustained and that the permit be granted subject to full compaisnes with an terms of the Building Code.

> COMMITTEE ON LONING AND BULLDING URDIAMOS APPRALS

Cheirmn

OMERRED, that the appear of drs. Gradys Tinches, 1861 Congress Stract From too decision of the Inspector of Burgings to sustained and that a building permit be granted sold drs. Gladys Tinkown as proyed for in her original appeal, subject to full compliance with all terms of the Building Code.

37127 1 Parisan gruge affant. Conquero St 1909 to 2001 loucher 217-11-4 blacence M. H B 2? - 1909 hongress Lt. - Gertnede in Dear itt - 164 Westfront St. glady 6. Turkham - 2087 bongress St.

Frank g Johnson - 1956 bongress St.

Mora Durgin - 1501 Bongress St.

Horatio Marfield - 1928 Congress St.

John Ex Cuyene B. Shillin 1532 Congress St.

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Arch .8, 1957

for whom it day to mostor

The Committee on Coming and building ordinance of apid of the Mimicipal of lears will boad a public hearing of the City Council Charber, City Hall in Fridey, A, Fil a, 1357 at 11133 of 2100k in the forensin up in the no. 301 of 127 are. Wildys Tinkhar with relation to the construction of a proposed and story all natal addition about 8 feet by 23 feet on the existing repair garage at 1361 Congress Stroot.

The Inspector of Dulidings was unable to easie the profession covering this addition because the volume of the professionable and sould exceed 20% of the volume of the existing garage which is a use not conforming with the procise terms of the unling ordinance in the General assidence were where the property as contacted.

Condition of Louisia and Bolimado ordinado

Adam d. ogigh in, Chalman

1110. Hadys inhaham

Hoto Standard of the standard Ling on johnson line



APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure First Glass APR ? 1937

Portland, Maine, March 27, 1957

To the INSPECTOR OF	BUILDINGS, FORTLAND, N	v.E.		
accordance with the Laws	of the State of Maine, th	w Building Code of the G	City of Portland	ding structure equipment in d, plans and specifications, if
Location 1981 Contra	<u> 4.85 Stroet (Au 1955</u>	Ward 3 Withi	n Fire Limits?	RO Dist. No.
				Telephone
Contractor , nam and add	ress not let			Telephone
Architect's and ddr	259			
Proposed use of building_	Grrage	·····		No. families
				
-				L
Estimated cost \$ 150.	-			Fee \$
·		resent Building to b	e Altered	•
Material Katal No. s	tories 1 Heat ste	Style of roof	pitch	Roofing
Last use	Garage			No. families
	اران (d'y) General Do	escription of New V	Jork	
To erect one story	metal nabbleka of m	. MAL court a description		
(Phis buildin	TIME THE LET	BOUS NOT I CH	o Dresser to	(gillten ob o
4	RIGHT TO NOVE	ANY BULLING	rhhough	
•		iceta of the ci		
Appeal sustained an	d Permit Granted	Special Order of	Board of Nu	cicipal Officers 4/5/5
It is understood that this permi	t does no include installation	of heating apparatus which is	s to be taken out	separately by and in the name of
the heating contractor.	Deta	ails of New Work		
		Height averag		f plate
Size, frontde	pthNo. stori	iesiHeight averag	e grade to highe	est point of roof 7
To be erected on solid or fi	lled land? aolid	balow frontearth	or rock?ea	rth
Material of foundation Co	ncrete treach vaily	hickness, top	bo	rth
Material of underpinning_		Height	T1	nickness
Kind of Roof fla	t Rise per foot	Roof covering_	netal	
No. of chimneys no	Material of chimneys.		of	lining
Kind of heat no chi	mgeTy	pe of fue!	Is gas fitt	ing involved?
				ze
Material columns under gi	rders	Size	Max. or	ı centers
	arrying partitions) 2::4-16	" O. C. Girders 6x8 or		ng in every floor and flat roof
Joists and rafters:			_, 3rd	, root
On centers:	1st floor	, 2nd	_, 3rd	, roof
Maximum span:				, roof
If one story building with	masonry walls, thickness of	of walls?	····	height?
Ť		If a Garage		-
No. cars now accommodate	d on same lot	-	accommodated_	
	ars to be accommodated			
· ·				opored building?
· ·		Miscellaneous	stored in the pr	opor su bunding (
Will above work require r	emoval or disturbing of an	y shade tree on a public s	treet?	no .
1745.0	the above work a person of	competent to see that the	State and City r	equirements pertaining thereto
are observed?	Signature of from	er-Gladys	& Lin	Schain !
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W d 8 Permit No. 37/40/							
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Owner Stady Angham			,	. 1.	i		
Date of perhit V7/1/31	`			F 1. "			1 1 3 4 4
Notif. ing-in					· · · · · · · · · · · · · · · · · · ·	<u> </u>	
Inspn. closing-in		-		-i	<u> </u>		<u> </u>
Final No:if.				<u> </u>		- 3	
Final Inspn. 4/16/37		3		- 1 - 2 - 1	<u> </u>	to the	17.12.2
Cert. of Occupancy issued			<u> </u>	4,			1 3 768
14/16/37-Building	: · .						
moved tonew Boca-			<u> </u>	- 1 1 1		1 -1	F 2.38
trow Went over			<u> </u>	7	1 1 1		
Pastering of sulation					5 • 3		201212
Groad to wall frame			<u> </u>				
without use of wood						5.	
Bulding is Do'XIE'				737			Y SWE
instead of 8'x26' as							17.14
given in upplication			7	1	3 1 7 -		8 365
4.90	3 3		, , , , , , ,	- 35)			3 3 3
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Secretary Secretary	-		u 1902 U Naba			مل علماً دارد (سال ما مارد) علماً دارد (سال مارد)	

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APPLICATION FOR PERMIT

Class of Building or Type of Structure Casoline Installation

Permit No.

To the INSPECTOR (OF BUILDINGS. P	OPTI IND NO	Portland, M	laine, Ustoba	r 26, 1928
The undersignd accordance with the Lo	hereby applies for	a permit to seest	wher install the	following-build	ing structure equipment in plans and specifications, i
any, submitted herewit	h and the followin	maine, the Building specifications:	ig Coile of the C	ity of Portland, G289)	plans and specifications, i
Cocation Apply Cont	Tress Struct (1)	1985 Ward	Within	Fire Limits?_	Dist. No
	and address	LA NA TITIET SIT.	J 505 Con mai	pa C+	m
Contractor's name and	ac aress_Scanon	OII Co. of N.	T. 48 Knin !	St. Sc. Bont	m
- 4. Cinteet a maine and add	ii ess				
					M. C. 111
Other buildings on same	e lot				
	Description	on of Present I	Building to be	Altered	
MaterialN	o. storiesH	Ieat	_Style of roof		Roofing
Last use					No. families
	Ger	neral Description	n of New Wo	,-1 ₂	
To replace or with 2- fir buried unde	te Erlion pumps	tank and put i	n one additi	Aublic Use.	
		Details of N	ew Work		ional storage
Size, front	depth	No. stories	Height average g	rade to highest	point of roof
to be elected ou sould of	niied landr		earth or	rock?	
raterial of foundation		Thickness., t	00	hattar	
raterial of underprining		Heig	ht	This.	
ing of root		Ro	of covering		
o. or cinnings	Material of ch	imneys		of lim	:
ind of heat		Type of fuel	Dis	tanca hactar to	chinney
on burner, name and n	100001	_			
apacity and location of o	oil tanks				
gas fitting involved?			Size of service	•	
orner posts	SillsG	irt or ledger board	?	C:	
aterial columns under g	irders	C:			
uds (outside walls and o an over 8 feet. Sills an	carrying partitions) d corner posts all o	2x4-16" O. C. Gi	rders 6x8 or larg	er. Bridging in	enters
Joists and rafters:					
On centers:	1st floor	, 2nd		i	
Maximum span:	1st floor	, 2nd	3rc	1	
one story building with	masonry walls, thic	kness of walls?			height?
		If a Gara			neight:
. cars now accommodate	ed on same lot		•	Commodated	
tal number commercial	ars to be accommod	ated	, to be acc	DSiaDominio,	
II automobile repairing b	e done other than	minor repairs to co	re habitually at-	ad in the	sed building?
		Miscellane	ous		
Il above work require rer	moval or disturbing	of any shade tree	n a public street	?10	
ns filed as part of this a	application?	no	No. she	eets	
imated cost \$500.					Fce 3 75
ll there be in charge of t	he above work a pe	erson competent to s	ee that the State	and City require	ments pertaining thereto
observe1? 205	g:	owner By Stand	R. S. Tinkhi ard Oil Co. (ane, på H. Y.	
PECEIGN COPY CHECKER COPY CHECKER COPY CHECKER COPY	lacentres,	By . 50	Cesh	lui m	79.49

CHIES OF MAY DEPT.

Owner R.S. Tim te of permit Notu. closing-in inspn. closing-in Final Notif.

Troposed Bailer Toams. Steel with steel frame. From lente 1 to me of " " perant anesent esilving Wesent Do C

DEPARTMENT OF BUILDING INSPECTION

October 15, 1927

Chief Sanborn:

You will recall that a permit was given to this party to erect a shall public garage without installing a springler system ipon an agreement that a springler system would be installed memover the street main was made of sufficient size. At that time, they min not propose to but in any heat at least for this winter. This application is for a permit to build a shall beiler room or sheet metal with the floor of the boiler room about 5 feet 6 ...cn is below the marke il or level, the boiler root to be reached by stairs fruit the garage. If they put in ordinary steps, it will seam about 7 or 8 risers. I have called his attention to the Ordinance requirement that all stairs in a public garage must be enclosed, with fire door at both ends. He agrees that a fire coor at the garge floor level with a raised t reshhold is reasonable, but feels that providing an enclusure for the states sith the fire door at the buttos would unnecessari., crowd his builer rous and does not seen necessary on such a small installation. Inst to you this all

> Jarren LoDonald Inspector of Buildings

This boiler room should be built in accordance with the Urdinance requirement.

otober 19, 1927

dre. Cladye C. Tinkhan 150. Com.ross Street Portlaid, Maine

Referring to your application to bif.d as eddition to your public per co at 1007 Congress Street for the purpose of providing a boiler rues. after conference with the Fire Chief an a plained to r. Chabben, I on see no may but back you will have to on the with the over requirements of the ordinance. This want that the strike leading from the garde floor level to the boller root unt be con letely unclosed with a selfclusing fire door at the top of the stairs and another at the potted of the stairs. The engl. sin; putitions may be a minimum of you set while covered on the boiler ro a side with net'l lath and plaster, the rive doors dust be at least lettl covered do se equipped with a self-closing device acting to keep the doors closed at all times except their persons are actually passing through the loorery, and the three'th ld at the duorway at the top of the stairs met be raised at least o limbes above the level of the carage floor.

Please code to this office and a dicate upon your application the fact that you intend to employe the string all strated above giving the lind of material to be used in the enclosure.

In the meantine, it is nuceessay to hold the market in this office, and it is the marful for you to proceed with any of the work until the permit card is naturally in your possession and posted upon the presises.

very truly yours.

instaltor of buildin a

1/P 1957 Imapaction

Steel with steel frame 2 Fine fauns Things 5 be entreed with atel partition. 30' THEORY IN PRESENT THE STATE OF

(R) GENERAL RESIDENCE ZONE

Permit No.

APPLICATION FOR PERMIT

Class of Building or Type of Structure Piret Class

Carrie de

	Just of Dullaing of	1 gpc of Bilaciaics		16 1029
			d, Maine, Oct ob	15 1 1751
To the INSPECTOR O	F BUILDINGS, PORTLAN	ND, ME.		and .
The undersignd laccordance with the Laceny, submitted hereuith	vereby applies for a perv w, of the State of Maine s and the following spec	nit to erect ulter install, the Building Code of the figure of the first of the fir	the following build he City of Portland A ((())	ling structure equipment in L. plans and specifications, if
Location 1507 Com	rees Stroet Jus	55 Ware 1 W	thin Fire Limits?	50 Dist. No
Owner's or Laste's nar	me and address Grady	c. Tinkhan 1605 C	ongresa . t.	Telephone
Contractor's name and	address 2, "as	ikimor Co. So. For	kland	Telephone
Architect's name and add	iress			
Proposed use of building	g now part for he	iler roos		No. families
Other buildings on sam	e lot attached to p	resent gerege		
	Description o	f Present Building	to be Altered	
Material Steel	lo. storiesHeat_	Style of ro	of	Roofing
Last use Gar	eke -			No. families
	Genera	Description of New	v Work	
to build add	Litton 8' x 6' for			
To build one	brick chimney			
to install S	item heating syste	13 ,		
]	Details of New Wor	k	
Size front	denthNu	stories Height as	erage grade to high	est point of roof
To be asset as a slid	or filled land?	16	arth or ruck?	rth
Manufacture of formulation	Congrete slab	Thickness top	b	ottom
Material of foundation		Height	т	hickness
Material of misterpion	e Mat	Runi coveri	ng Steal	
Kind of root	Managint of abla	Brisk	0	ining tile
No. of claimineys	Material of comm	Coal Coal	Distance heat	er to chimney 25
Kind of heat	5043	_1)pe of fuer		
If oil burner, name an	d miodel			
Capacity and location	of oil tanks	Ci	. C. sarvica	
Is gas fitting involved	<u> </u>		or service	Nize.
Corner posts	SillsGr	t or ledger board:	Mar	Size
Material columns und	er girders	Size	e or larger Bridg	on centers
Studs (outside walls a	and carrying partitions) as and corner posts all on	e piece in cross section.	to of miger. Direg	ing in every floor and flat roof
Joists and rafters		\$0 2nd	, 3rd	, roof
On conters:	1st floor	, 2nd	, 3rd	, roof
Maximum span:	1st floor	, 2nd	, 3rd	, roof
If one story building	with masonry walls, thick	mess of walls?		height?
te one story nemands		If a Garage		
No care now account	nodated on same lot		, to be accommoda	ted
Total number commer	reial cars to be accommed	ated		
Will automobile renai	iring he done other than	minor repairs to cars hab	itually stored in the	proposed building?
		Miscellaneous		
Will above work requ	ire removal or disturbing	of any shade tree on a p	Middle street:	no 1
Plans filed as part of	this application?	148	NO. SHEELS	Fcc \$.75
Estimated cost \$48.	· · · · · · · · · · · · · · · · · · ·			<u>-</u>
Will there be in thar are observed? Yes	<u> </u>		of the State and City Glodys C. T	requirements pertaining thereto Inkhom
INSPECTION COPY	C!4	of owner_By		
m/1 ^ !	Vaubon			h
				(XA)
C f.El.	ор мям одрг.			

Owner alada C. Trukhani
Daie i permii Set. 27 gr Notif. closing-in Inson. closing-in Final Notif. Final Inspo. Cert. of Occupancy issued

NOTES

1/31/30 - Work hasbeen

done seems O. K. a.

THE PART OF THE

CITY OF PORTLAND

INSPECTOR OF BUILDINGS OFFICE

Agreement accompaning application of drs. Gladys J. Tinkhan for a suilding Fermit to Joyer the Erection of a Public Danage at 1507 Jongress Street.

In consider tion of permit grant d to me of the Jity of Portland to occupy the premises at 1507 Jongress 'treet as a public garage, .. for myself, my heirs and assigns hereby covenant and agree that in event a water main is installed six inches in diameter or larger in Jongress Street in front of my premises at any time in the nuture, that there will be installed a complete springler sisted in said public garage as required by the ordinances of the lity of Fortland, Jithin thirty days of the installation of such sater main.

Gladys O. Tenjekane

. Af UP MILE

Cumberland, ss:

Portland, July 22, 1927

Personally appeared the move named Cladys .. Tinkham and made oath that the signing of this agreement was of her own free act and will.

otary Public

leating of the Ben



. City of Portland, Maine

THE-CHTY-COUNCH-

IN BOARD OF MUNICIPAL OFFICERS

June 6, 1927

OFDERED:

That consent be granted to Gladys C. Tinkhun to construct a public garage on her property located 1507 Congress Street.

Road twice and passed. Yeas 5.

A true copy of record.

Attest:

June 29, 1927

irs. 'ladys '. Tinkhum 1505 longress Street Fortland, faine

Dear dadam

Referring to your application for a building erait to erect a public garage at 1507 Congress Street and to ir. "inkhaats not tion left at this office. " as unable to issue the perait on the information given.

You should understand that after the herrit is given and the building constructed, it is necessary for you to secure from this department a certificate to use the building. This certificate cannot be issued unless at of the requirements have been set at the time of proposed occupancy. In other words, if I were to issue the permit and you were to construct the building, it would not be possible to issue this certificate until the sprinkler system, this may, and heating plant had all been installed complete, and until all of these things had been installed, you would therefore not to allo to use the building either in cursor or winter.

Sefore the persit is issued from this office, the information must be included on the application form to the effect that you will satall the brick chimney, the heating special, and the wet pipe sprinker space in accordance with the ordinance, and I must have the assurance less that you will proceed to conlete all of the work at the present thes. If you succeed on any other easis, it would mean that this department sould be giving you a permit to construct a building that you could not use.

The permit will be held in this office agaiting further information from you.

Yours truly,

inspector of Buildings

3629 or rinal

#1/22 Cop: to: Thomas Skinner C..

Main Street, South Portlan

July 8, 1927

irs. Gladys Tinkhan 1505 Jongress Street Fortland, July 3

Door indna:

Coferring to your amplication for a builting persit to erect a public garage at 1507 Congress Street and to ay conversation with tr. Finkhas a day or two ago, this atter has been gone over thoroughly with the Chief of the Fire pepartment.

I have done to the conclusion that the building porait cannot be given except for a complete installation, that is sprinkler sisted, menting plant, and all other it as required by the ordinance.

The Chief of the Fire Pepartment calls my attention to the fact, also, that the vater main in Congress Street at your location is but 2 inches in diameter, and the regulations concerning automatic sprinkler systems require the street main to ce in no case less than 6 inches.

It is therefore necessary to deny your persit. If you will return the receipt for the fee paid to this office on or before July 29th, 1927, your money will be refunded.

Yours truly,

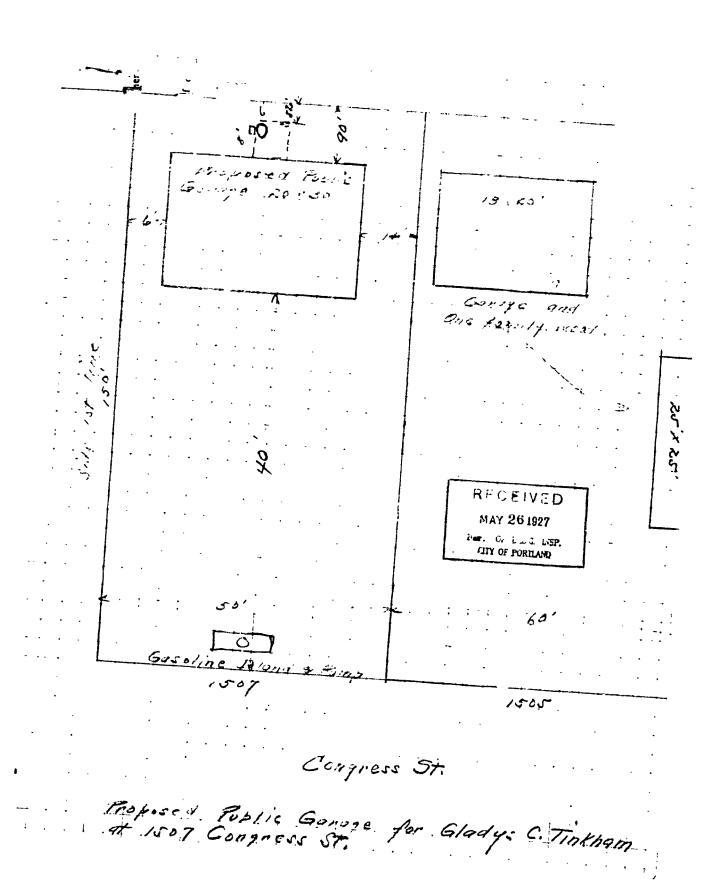
Inspector of Buildings

Copy to: Thomas Skinner Co. Main Street, South Portland

3629

44/EP

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CHIEF OF FIRE FIFT.

APPLICATION FOR PERMIT

Class of Building or Type of Structure 1st

Portland, Maine, May 26 1927 To the INSPECTOR OF BUILDINGS, PORTLAND, ME. Owner's or Lessee's name and address 21 Hrs Cladys C. Tinkhom 1505 Congress St. Telephone 27756F5242R Contractor's name and address Thomas Skinner Co. So. Portland Telephone F7738 Architect's name and address. Proposed use of building Public Carage (Automobile Ropair) No. families______ Other buildings on same lot none Description of Present Building to be Altered No. stories Heat Style of roof Roofing Last use ____ General Description of New Work Build Public Carage, Steel, to be used for automobile repair AUTOMOBILE REPAIR: the installation of sprinkler system in this building is to be deferred on account of the water main in the street being of improper size and because the building is to be in an isolated location. See agreement in regard to future installation of the sprinkler system by Gladys C. Tinkham, which are specient is made as much a part of this application for a permit as the state of the the the the polication form itself. Size, front 20 depth 20 No. stories 1 Height average grade to highest point of roof 12 To be erected on solid or filled land? Solid earth or rock? earth Material of foundation Concrete Slab Thickness,, top____ Material of underpinning ____ Kind of roof Pitch No. of chimneys Material of chimneys Kind of heat none Steam Type of fuel Coral Distance, heater to chimney.

If oil human and model Tuking Seel addition & Young Change on Capacity and location of oil tanks Is gas fitting involved? ______ Size of service_____ ____Sills_____Girt or ledger board?_____Size__ Corner posts__ Material columns under girders______Size _____Max. on centers__ Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. 1st floor Governte, 2nd, 3rd, roof, roof, Joists and rafters: 1st floor ______, 2nd ______, 3rd ______, roof _____ On centers: 1st floor _______, 2nd ______, roof ______, roof ______ Maximum span: If one story building with masonry walls, thickness of walls?_____ If a Garage No. cars now accommodated on same lot _______, to be accommodated no storego (2) Total number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? Yes Miscellaneous Will above work require removal or disturbing of any shade tree on a public street?____ Plans filed as part of this application? Yes No. sheets Estimated cost \$ 608 60.-Fee \$ 1.00 Will there be in charge of the ab work a person competent to see that the State and City requirements pertaining thereto " Signature of owner_

8 Permit No. 27/12/1 H m 1507- Congress ST. <u>__in</u> तर गांधा भी कार कर स्ता है। er what is not be well were MINON HOR PERSO