

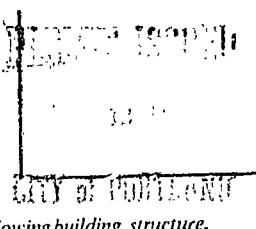
152-166 BANCROFT STREET

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP 00036

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE Aug. 11, 1982



To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 164 Bancroft St. Fire District #1 , #2

1. Owner's name and address JONHX Jonathan G. Tomshick * same Telephone 773-5848

2. Lessee's name and address Telephone

3. Contractor's name and address owner Telephone

Proposed use of building sin. fan. No. of sheets

Last use same No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated construction cost \$ 500.00 Appeal Fees \$

FIELD INSPECTOR—Mr. @ 775-5451 Base Fee

Late Fee

TOTAL \$ 15.00

To construct sun deck (not enclosed) 10'x14', as per plan, Attached to 6'x2 4' existing deck and stairs.

Stamp of Special Conditions

SEND PERMIT TO #1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZON'NG:
BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant Jonathan G. Tomshick Phone #
Type Name of above Jonathan G. Tomshick 1 2 3 4
Other and Address

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION

PORTLAND, MAINE

AUG 12 1982

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 164 Bancroft St. Fire District #1 [] #2 []
1. Owner's name and address Jonathan G. Tomshick - same Telephone 773-5848
2. Lessee's name and address Telephone
3. Contractor's name and address owner Telephone

Proposed use of building sin. fam. No. of sheets
Last use same No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 500.00 Appeal Fees \$

FIELD INSPECTOR - Ms Schmuckal @ 775-5451

Base Fee
Late Fee
TOTAL \$ 15.00

To construct sun deck (not enclosed) 10'x14', as per plan. Attached to 6'x4' existing deck and stairs.

Stamp of Special Conditions

SEND PERMIT TO #1

NOTE TO APPLICANT: Sep-rate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING: M. M. O. 8/12/82
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street? NO...
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES...

Signature of Applicant Jonathan G. Tomshick Phone #
Type Name of above Jonathan G. Tomshick 1 [x] 2 [] 3 [] 4 []
Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

(3) Ms Schmuckal



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, 7/29/82

PERMIT ISSUED
00611
CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 154 Bancroft St. Portland, Maine
1 Owner's name and address Mike & Debbie McLaughlin
2. Lessee's name and address
3. Contractor's name and address Maine Shawnee Step Auburn, Me.
4. Architect Specifications Plans No. of sheets
Proposed use of building dwelling
Last use
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 706.00 Fee \$ 15.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451 Front Shawnee Step 3 riser
Dwelling Ext. 234
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

RECEIVED
DEPT. OF B. I.
CITY OF PORTLAND
Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed?
Others:

Signature of Applicant Lucille E. Hawley Phone #
Type Name of above Lucille E. Hawley 1 2 3 4

FIELD INSPECTOR'S COPY

(3) Ms Schmuckal

November 23, 1981

Mr. James G. LaRose
84 Abby Lane
Portland, Me.

Dear Mr. LaRose:

Your building permit to construct a two (2) story duplex, 24'x40' at lots 13 and 1/2 of 14 Berkshire Street is being issued with the following requirements.

1. A 4" cast iron sewer and house drain must run full size. After house drain raises 6" above cellar floor, the material may be changed to schedule 40 PVC but remain 4" through roof.
2. A rodding wye must be placed in line within 1 ft. after sewer enters building and also at base of stack.
3. 6" void space between units must be firestopped at each floor level or filled with a non combustible material.
4. Walls, partitions and floor ceiling construction separating tenant units from each other or from public or service areas shall have a sound transmission door (STC) of not less than forty-five (45) for airborne noise.

If you have any questions on this matter, please call.

Sincerely,

P.S. Hoffsen
Chief of Inspection Services

PSH:k



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to **Gerard Picard**

LOCATION **160-166 Bancroft Street**

Date of Issue **Sept. 23, 1981**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. **81/630**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

9/25/81 Kevin C. Corbett
(Date) Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

CERTIFICATE OF APPROVAL
FOR INTERNAL PLUMBING

TOWN/CITY CODE
05170

LPI NUMBER
00123

DATE ISSUED
9 22 1981
Month Day Year

THE TOWN/CITY OF Portland
55278-1C

Installer's Name
Last Name
LAWSON, A. G. M. E. I. S. P.

Installer Code

- Certificate of App. Number
1. Owner
 2. Licensed Master Plumber
 3. Licensed Oil Burnerman
 4. Employee of Public Utility
 5. Manufactured Housing Dealer
 6. Manufactured Housing Mechanic
 7. Limited License

Owner
Ann Ricard

Address
St./Lot Number
182 E. 13th Street
Street, Road Name Subdivision

THE INTERNAL PLUMBING INSTALLED PURSUANT TO THE ABOVE CERTIFICATE OF APPROVAL NUMBER HAS BEEN TESTED IN MY PRESENCE, FOUND TO BE FREE FROM LEAKS, AND WAS INSTALLED IN COMPLIANCE WITH THE MUNICIPAL AND STATE PLUMBING RULES.

Amiel P. Goodwin

OWNER'S COPY

Signature of LPI
Date Inspected
SEP 22 1981

CITY OF PORTLAND, MAINE
BUILDING AND INSPECTION SERVICES
NOTICE RELATING TO SEWAGE DISPOSAL

Date _____

Location _____

Use _____

Owner and Address _____

Contractor and Address _____

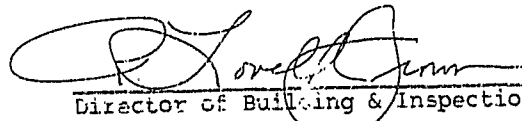
Actual Area of Lot _____ sq. ft. Zone _____

• Area required by Zoning Ordinance if sewer were available _____

• Where no City sewer is available, the State Plumbing Code requires that a Site Evaluation Test be performed by a State recognized Soil Scientist, Geologist, Professional Engineer, or others so recognized. The Building Code directs that, where a sewage disposal system is to be used, a building permit shall not be issued unless the proposed method of sewage disposal has been approved by the Director of Building Inspections.

Since application for the above permit indicates that connection to a sewer is not possible, it is necessary for the owner or his agent to file the results (including plans) with this department to explain the method of sewage disposal recommended by a Site Evaluation Test.

After this test has been filed, the Plumbing Inspector will notify this department of the lot size required on the basis of the results of the test.


Director of Building & Inspections

This space for Plumbing Inspector's use:

Test performed by _____ # _____ Date _____

Area of lot required under Site Evaluation Test _____ sq. ft.

The results of the test require the predesigned private sewage disposal as per the attached State form and is accepted by the Plumbing Inspector or his alternate _____ (LPI # _____)

Comments _____



APPLICATION FOR PERMIT

PERMIT ISSUED

JUL 9 1981

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION July 6, 1981
ZONING LOCATION R-3 PORTLAND, MAINE,

630
CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION No. 160-166 193-B-20 Wancroft Street 385 Fire District #1 #2
1. Owner's name and address Gerard Picard - Berry Rd. Saco 04072 Telephone 282-6668
2. Lessee's name and address Telephone
3. Contractor's name and address Owner Telephone
4. Architect Specifications Plans No. of sheets
Proposed use of building dwelling with no garage No. families 1
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot Fee \$ 170.00
Estimated contractual cost \$ 32,000

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION
This application is for: @ 715-5451
Dwelling Ext. 234
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other
NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

To construct single family, 1 story dwelling, 24' x 44' with no ~~garage~~ garage as per plans. 7 sheets of plans.
Stamp of Special Conditions

PERMIT IS TO BE ISSUED TO 1 2 3 4
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Yes Is any electrical work involved in this work? Yes
Is connection to be made to public sewer? ... Yes If not, what is proposed for sewage?

No. cars to be accommodated on same lot to be accommodated 0 number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING: W. M. ...
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street? Yes
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of Applicant Gerard Picard Phone # same
Type Name of above Gerard Picard 1 2 3 4
Other
and Address

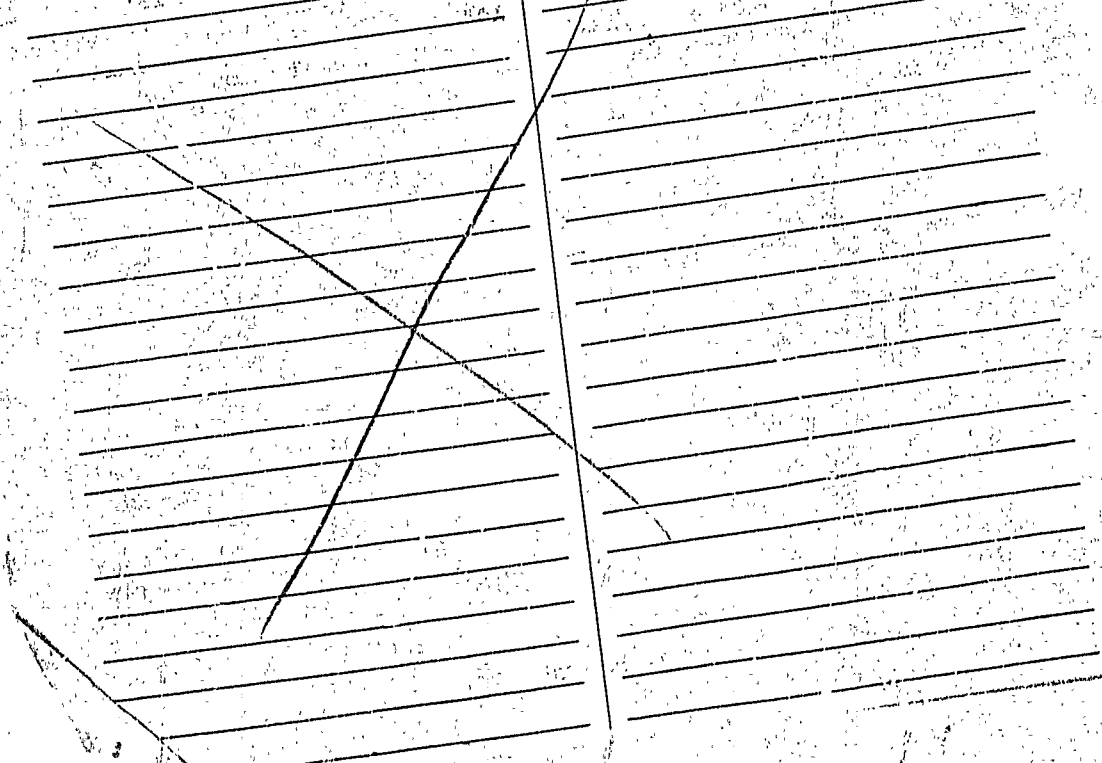
FIELD INSPECTOR'S COPY

3

NOTES

7-7-81 Work started on footing -
 HAD to stop work until I could
 get hold of W. Hilton to verify that
 the owner others are OK to start
 before permit issued - he did
 7-9-81 wall already up - has
 been stripped - was unanimous
 continue on -
 7-10-81 frame started
 7-29-81 ready for up stairs
 insulation - affect. of
 told them to get edge &
 plumb OK first -
 putting in lath - no
 basement floor poured
 yet
 8-3-81 started close
 not much work in basement
 8-19-81 No one working - is
 all closed in - waiting to check
 basement -
 9-3-81 locked up -
 9-9-81 same - cont. work
 mentioned to me that he is
 nearly ready for a final
 9/25/81 - Bldg OK, Elec OK,
 Plumbing OK - Issue CO - GB

Permit No. 81/630
 Location 193-E-20 Bancroft St
 Owner Edward Record
 Date of permit 7-9-81
 Approved [Signature]





APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, July 10, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 160 Bancroft Street Ward B Within Fire Limits? No Dist. No. _____
 Owner's or Lessee's name and address M. H. Livscoth, 160 Bancroft St. Telephone Yes _____
 Contractor's name and address Owner Telephone _____
 Architect's name and address _____
 Proposed use of building 1 car garage No. families _____
 Other buildings on same lot 1 family dwelling house

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect one car frame garage

REQUIREMENT IS WAIVED.

NOTIFICATION OF PERMIT OR CLOSURE

Details of New Work

Size, front 10' depth 20' No. stories 1 Height average grade to highest point of roof 22'
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation concrete piers Thickness, top 6-8" below frost bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof pitch Roof covering Flintkote Asphalt shingles (Class C Und. Lab.
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat if so, piped from house Type of fuel _____ Distance, heater to chimney _____
 If oil burner, name and model _____
 Capacity and location of oil tanks _____
 Is gas fitting involved? no Size of service _____
 Corner posts 4x6 Sills 4x8 Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor 2x8, 2nd _____, 3rd _____, roof 2x11
 On centers: 1st floor 16", 2nd _____, 3rd _____, roof 18"
 Maximum span: 1st floor 10', 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____

If a Garage

No. cars now accommodated on same lot no, to be accommodated _____
 Total number commercial cars to be accommodated none
 Will automobile repairing be done other than minor repair to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Plans filed as part of this application? yes No. sheets 1
 Estimated cost \$ 250. Fee \$.75
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner M. H. Livscoth

INSPECTION COPY

Oliver P. Shearman



(R) GENERAL RESIDENCE ZONE

APPLICATION FOR PERMIT

Permit No. 63501A

Class of Building or Type of Structure 3rd

Portland, Maine, June 16 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ ^{install} the following building ~~structure~~ ^{structure} equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 160 180 Bancroft St.

Owner's or ~~Lessee's~~ name and address M. H. Linscott 17 Dow St. Ward 8 Within Fire Limits? no Dist. No. -

Contractor's name and address Owner Telephone 177763

Architect's name and address _____ Telephone _____

Proposed use of building Dwelling House Telephone _____

Other buildings on same lot no No. families 1

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

Build 1 Family Dwelling House

Details of New Work

Size, front 26 depth 26 No. stories 1 1/2 Height average grade to highest point of roof 31

To be erected on solid or filled land? Solid earth or rock? earth

Material of foundation Concrete Thickness, top 12 bottom 14

Material of underpinning Brick Height 36" Thickness 12"

Kind of roof Pitch Roof covering asphalt shingles of lining Tile

No. of chimneys 1 Material of chimneys Brick Type of fuel Coal Distance, heater to chimney 7'-0"

Kind of heat Steam If oil burner, name and model _____

Capacity and location of oil tanks _____

Is gas fitting involved? no-yes

Corner posts 4x6 Sills 4x8 Girt or edge board? Girt Size of service _____

Material columns under girders Iron Col. Size 4" dia. Max. on centers 8'-0"

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x8, 2nd 2x8, 3rd 2x6 unfinished, roof 2x6

On centers: 1st floor 14, 2nd 14, 3rd 16, roof 16

Maximum span: 1st floor 15'-0", 2nd 13'-0", 3rd 13'-0", roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets 1

Estimated cost \$ 6500 Fee \$ 2.50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner _____



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

001585

NOV 4 1988

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE

JULY 21, 1988 City of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and the Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 164 San Graft St. Fee District: 01 0, 40 0

1. Owner's name and address Jonathan Touchick - None Telephone: 775-5500

2. Lessee's name and address

3. Contractor's name and address Marie Grimmer & Sons - 423 Capote Telephone: 775-5500

Proposed use of building No. Stories

Last use No. Families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$.....

FIELD INSPECTOR—Mr.

@ 775-5451

Appeal Fee \$.....

Blueprint plan \$0.00

Late Fee

TOTAL \$.....

site plan review for drainage

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joist and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Jonathan Touchick

Type Name of above Jonathan Touchick

Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

San & Carol

Applicant: _____ Date: _____

Mailing Address: _____ Address of Proposed Site: _____

Proposed Use of Site: _____ Site Identifier(s) from Assessors Maps: _____

Acres of Site / Ground Floor Coverage: _____ Zoning of Proposed Site: _____

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors: _____

Board of Appeals Action Required: () Yes () No Total Floor Area: _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER		
APPROVED	/														CONDITIONS SPECIFIED BELOW		
APPROVED CONDITIONALLY																	REASONS SPECIFIED BELOW
DISAPPROVED																	

REASONS: 1) Lot lines and corners shall be clearly marked prior to the beginning of any site work.
2) All disturbed areas shall be loamed and seeded.

(Attach Separate Sheet if Necessary)

Robert J. Roy 7/22/86
SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant Jonathan Tomshick Date July 21, 1986
 Mailing Address 164 Bancroft Street 773-5848 Address of Proposed Site 164 Bancroft St.
 Proposed Use of Site Change for storm drainage Site Identifier(s) from Assessors Maps _____
 Acreage of Site _____ Zoning of Proposed Site _____
 Ground Floor Coverage _____
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____
 Board of Appeals Action Required () Yes () No Total Floor Area _____
 Planning Board Action Required () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
- Requires Board of Appeals Action
- Requires Planning Board/City Council Action

Explanation _____
 Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK,
 as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	30 FT SETBACK AREA (SEC 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARD	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS	
COMPLIES																			CONDITIONS SPECIFIED BELOW
COMPLIES CONDITIONALLY																			REASONS SPECIFIC BELOW
DOES NOT COMPLY																			

REASONS: _____

Herbert J. Turner July 23, 1986
 SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT — ORIGINAL



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, May 6, 1968

PERMIT ISSUED

MAY 9 1968

City Of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. B7/363 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location: 154 Bancroft Street Within Fire Limits? Dirt No.
Owner's name and address: Michael McLaughlin, 154 Bancroft Str 04102 Telephone 877-7895
Contractor's name and address: Genex Telephone
Proposed use of building: Single family No. families
Last use No. families
Increased cost of work: .000 Additional fee .5

Description of Proposed Work

Construct deck addition. As per plans

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Material of foundation solid or filled land? earth or rock?
Material of underpinning top bottom cellar
Kind of roof Rise per foot Pitch covering Thickness
No. of chimneys Material of chimneys of lining
Framing lumber - Kind Dressed or full size?
Corner posts Sills Girt or ledger board Size
Girts Size Columns under girders Size Max. centers
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, roof
Maximum span: 1st floor, 2nd, roof

Approved: [Signature]

Signature of owner: [Signature]

Approved: [Signature] Inspector of Buildings

INSPECTION COPY

FILE COPY

APPLICANT'S COPY

ASSESSOR'S COPY

MINOR
SITE PLAN PROPOSAL

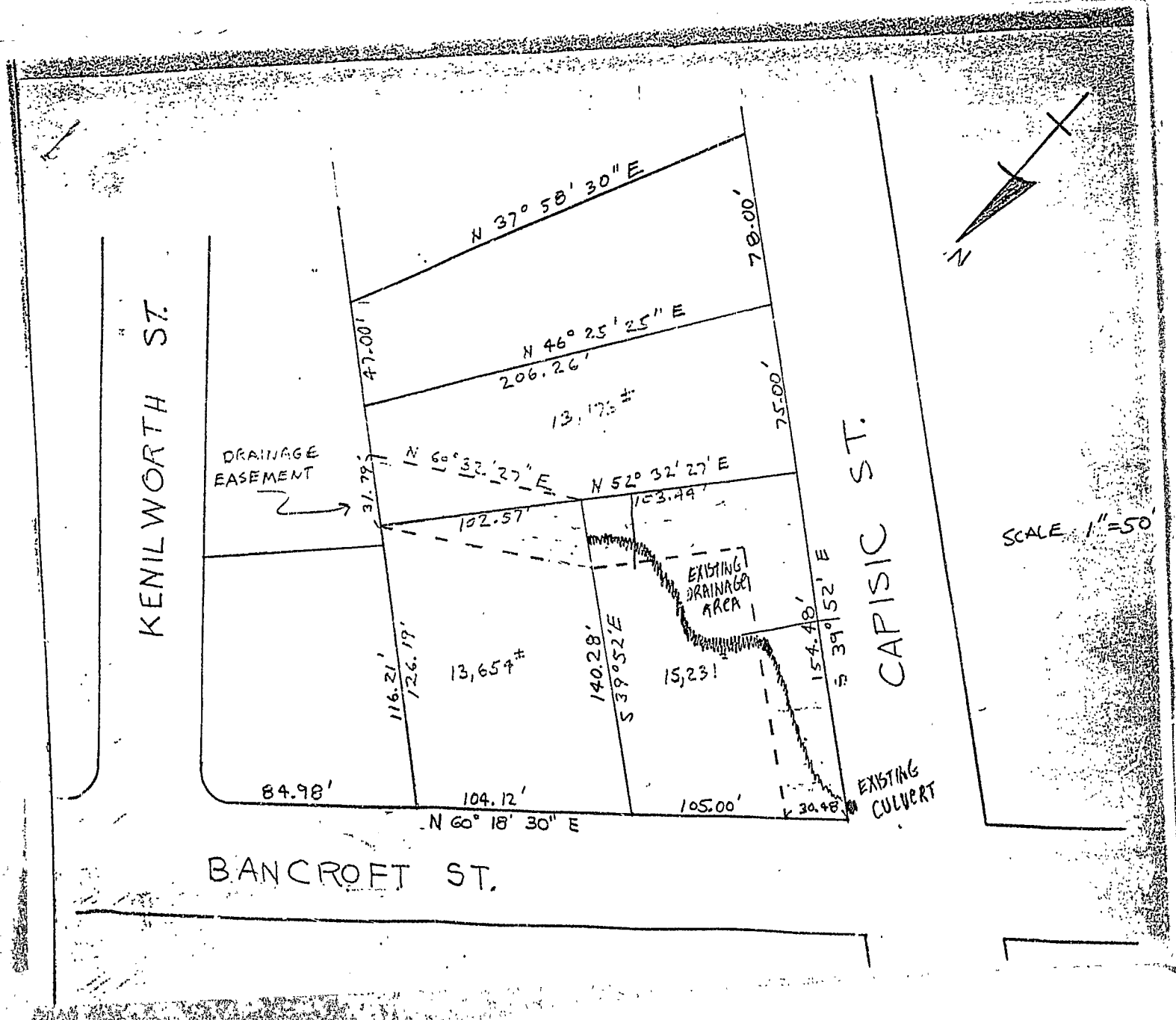
FOR

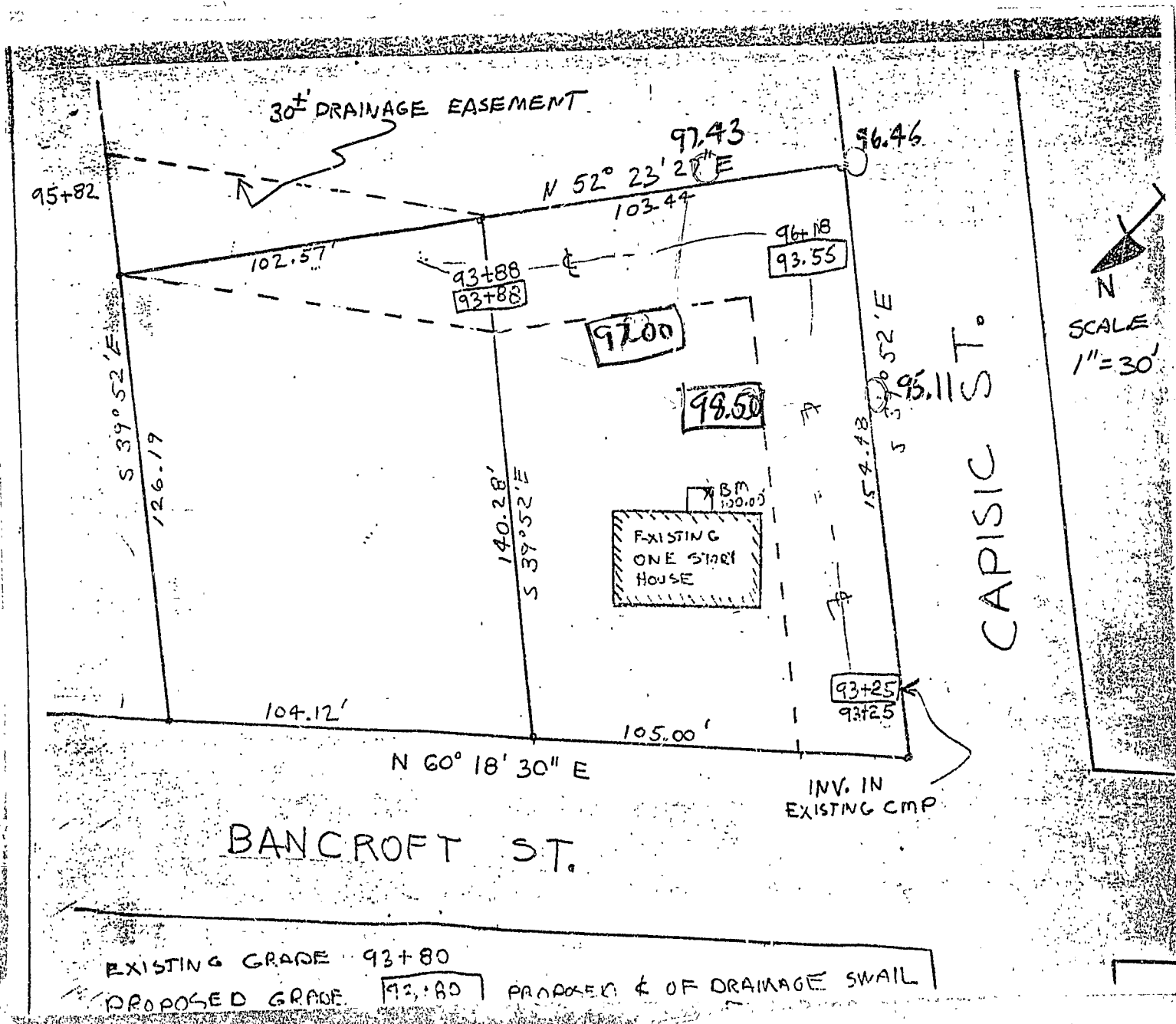
JON AND CAROL TOMSHICK

164 BANCROFT STREET

PORTLAND

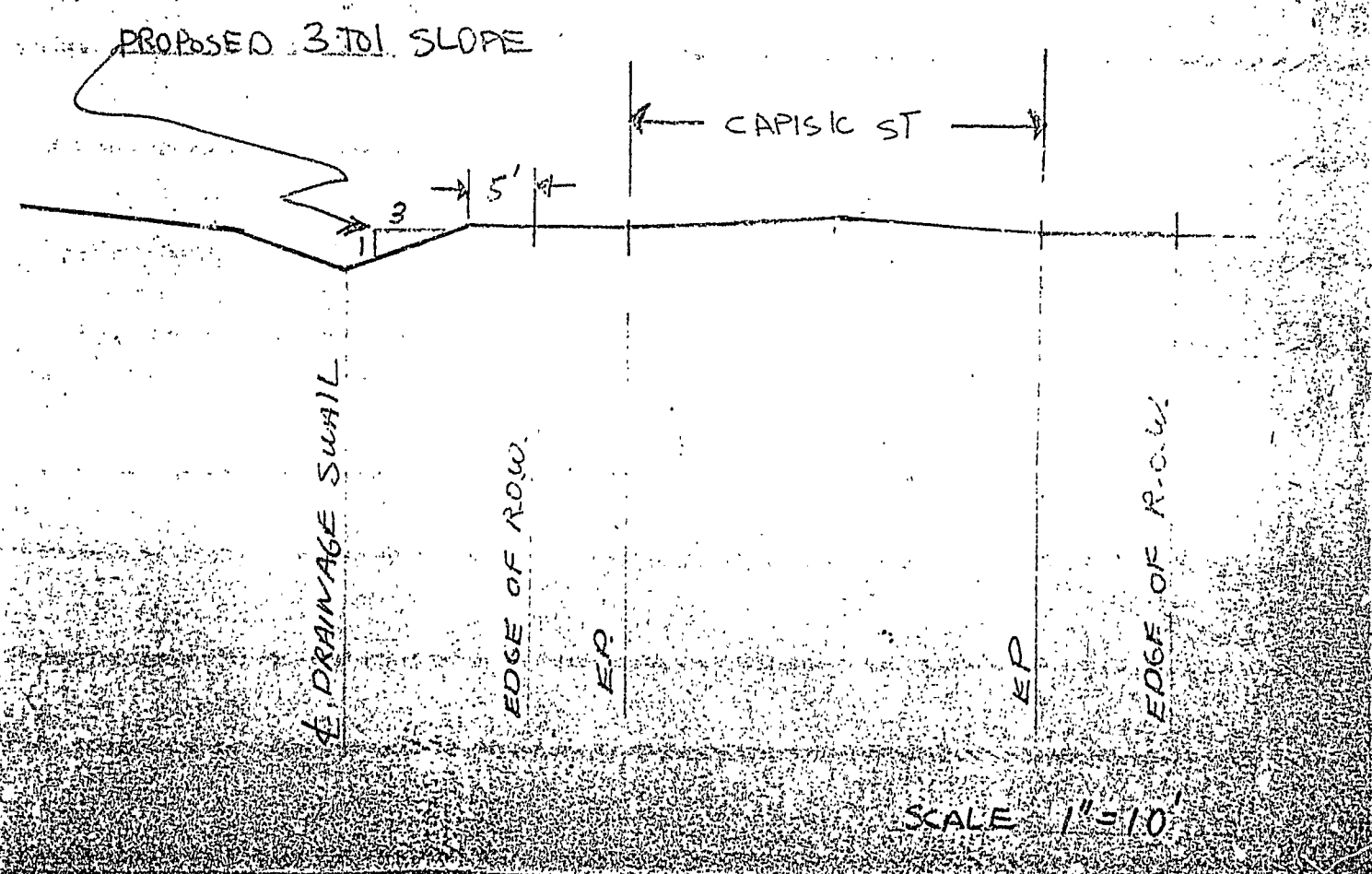
773-5848





EXISTING GRADE 93+80
 PROPOSED GRADE 93+80 PROPOSED E OF DRAINAGE SWAIL

PROFILE OF DRAINAGE SWAIL OF LOT AT
CAPISC + BANCROFT ST.



Applicant: Jonathan Tomshick Date: Nov. 3, 1986
Address: 164 Bancroft St.
Assessors No.:

CHECK LIST AGAINST ZONING ORDINANCE

Date -
Zone Location - R-3
Interior or corner lot - corner
Use - Relocation of surface drainage sewer
Sewage Disposal -
Rear Yards -
Side Yards -
Front Yards -
Projections -
Height -
Lot Area - 15,231 sq ft
Building Area -
Area per Family -
Width of Lot -
Lot Frontage -
Off-street Parking -
Loading Bays -
Site Plan -
Shoreland Zoning -
Flood Plains -

Relocation of drainage
sewer away from house
site plan review
required by site
plan ordinance
W.D.T.

MINOR
SITE PLAN PROPOSAL

FOR

JON AND CAROL TOMSHICK

164 BANCROFT STREET

PORTLAND

773-5848

RECEIVED
JUL 21 1986

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant Jonathan Tomshick Date July 21, 1986
 Mailing Address 164 Bancroft Street 773-5848 Address of Proposed Site 164 Bancroft St.
 Proposed Use of Site Exchange for storm drainage Site Identifier(s) from Assessors Maps _____
 Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____
 Board of Appeals Action Required: () Yes () No Total Floor Area _____
 Planning Board Action Required: () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 - Requires Board of Appeals Action
 - Requires Planning Board/City Council Action

Explanation _____

- Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK, as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS
COMPLIES																		
COMPLIES CONDITIONALLY																		
DOES NOT COMPLY																		

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS: _____

Warren J. Currier Mon 5 1986
 SIGNATURE OF REVIEWING STAFF / DATE

BUILDING DEPARTMENT ORIGINAL

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Jon & Carol
 Applicant: Jonathan Tomshick Date: July 21, 1986
164 Bancroft Street 773-5848 164 Bancroft St.
 Mailing Address: filling & recording for storm drainage Address of Proposed Site
 Proposed Use of Site: storm drainage Site Identifier(s) from Assessors Maps
 Acreage of Site: 1/4 Ground Floor Coverage: _____ Zoning of Proposed Site: _____
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors: _____
 Board of Appeals Action Required: () Yes () No Total Floor Area: _____
 Planning Board Action Required: () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER		
APPROVED	/								<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>						
APPROVED CONDITIONALLY																CONDITIONS SPECIFIED BELOW	
DISAPPROVED																REASONS SPECIFIED BELOW	

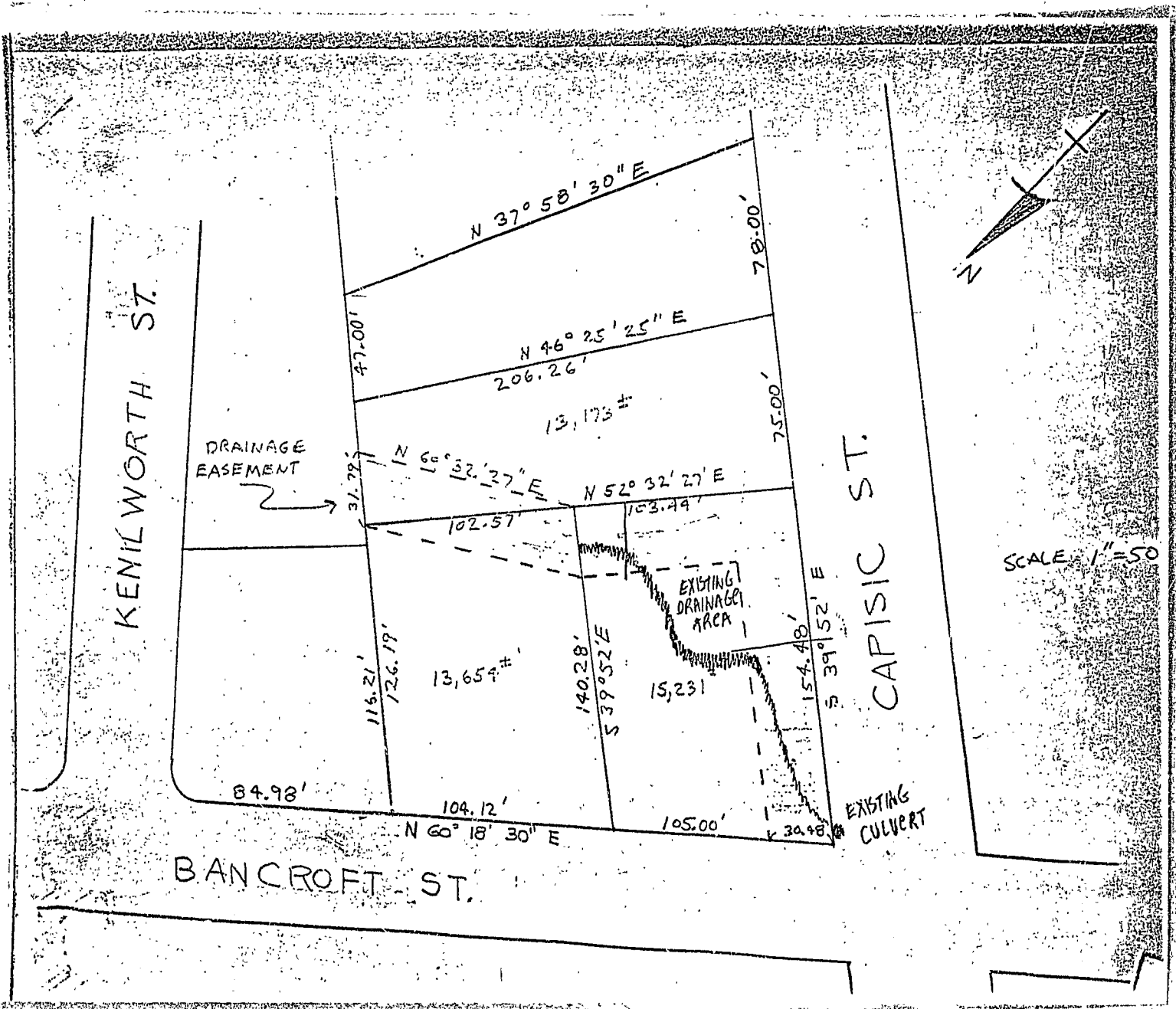
REASONS: 1) Lot lines and corners shall be clearly marked prior to the beginning of any site work.
 2) All disturbed areas shall be loamed and seeded.

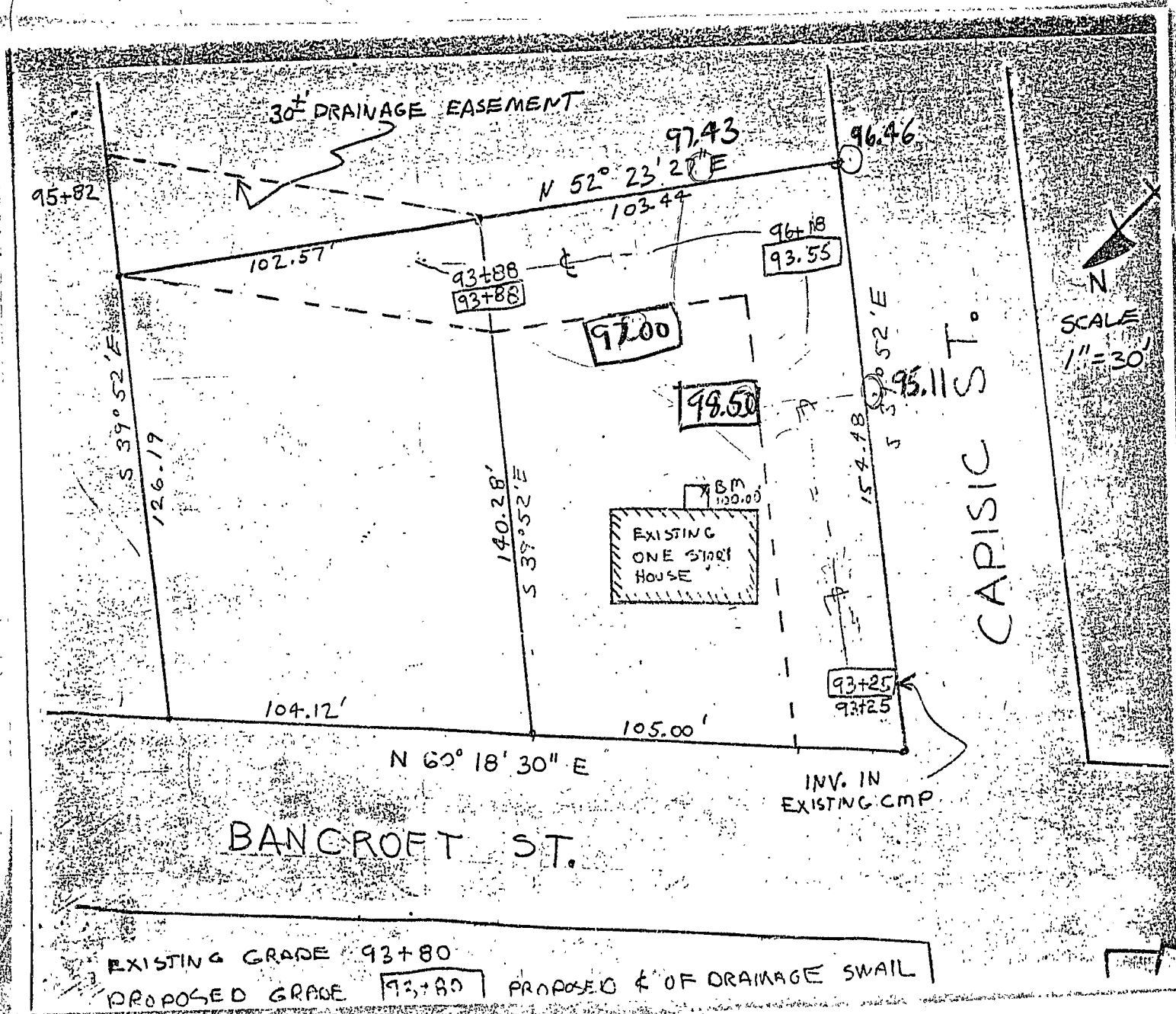
(Attach Separate Sheet if Necessary)

Robert J. Day 7/22/86

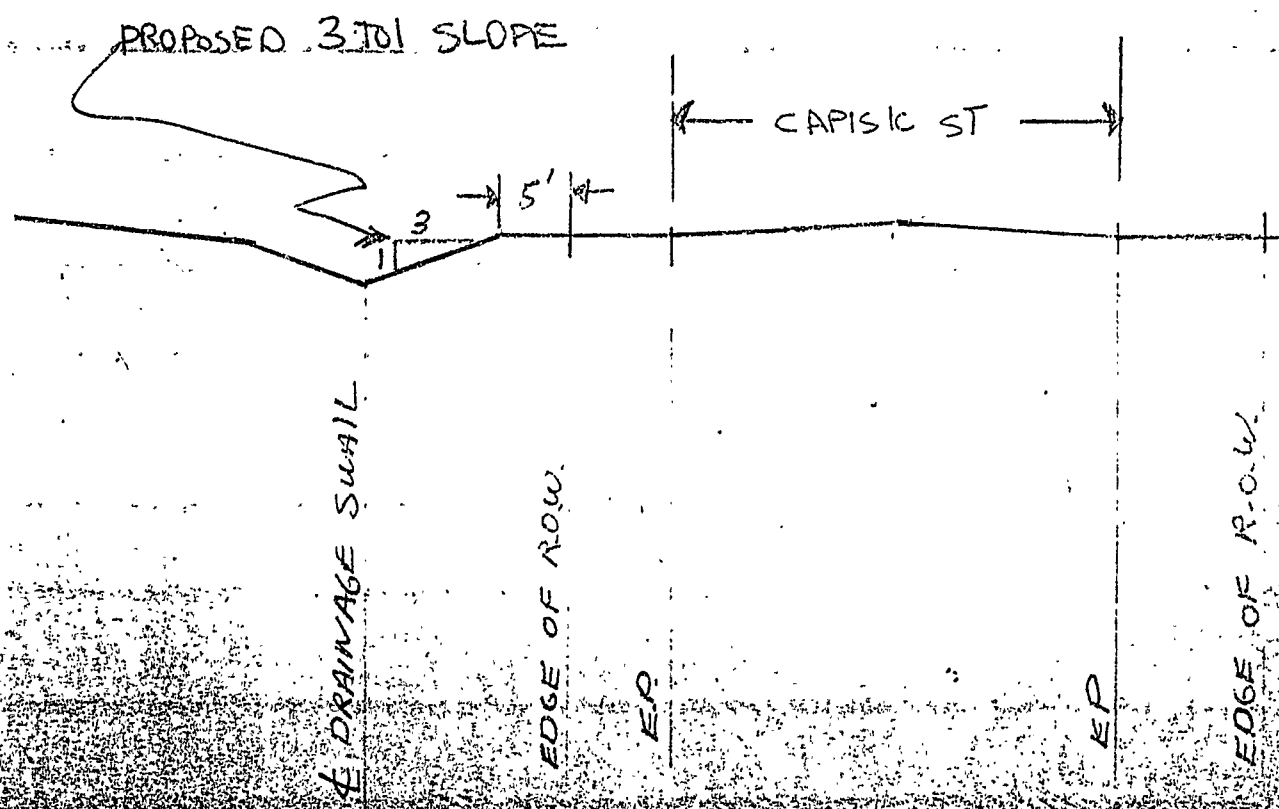
SIGNATURE OF REVIEWING STAFF / DATE

PUBLIC WORKS DEPARTMENT COPY





PROFILE OF DRAINAGE SWAIL OF LOT AT
CAPISIC + BANCROFT ST.



SCALE 1" = 10'

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
 B.O.C.A. TYPE OF CONSTRUCTION
 ZONING LOCATION **R-3** PORTLAND, MAINE July 21, 1986

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ~~164 Bancroft St~~ Fire District #1 , #2
 1. Owner's name and address Jonathan Tomshick same Telephone 773-5848
 2. Lessee's name and address Telephone
 3. Contractor's name and address Mario Grimandi & Sons 422 Capisic Telephone 773-6905

Proposed use of building No. of sheets
 Use No. families
 Material No. stories Heat Style of roof Roofing
 Other buildings on same lot

Estimated contractual cost \$
 FIELD INSPECTOR—Mr. @ 775-5451
 Appeal Fees \$
 Base site plan fee 50.00
 Late Fee
 TOTAL \$

site plan review for drainage

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
 BUILDING INSPECTION—PLAN EXAMINER
 ZONING: *O.C. [Signature]* 7/21/86
 BUILDING CODE
 Fire Dept.
 Health Dept.
 Others:

MISCELLANEOUS
 Will work require disturbing of any tree on a public street?
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant *Jonathan G. Tomshick* Phone # same
 Type Name of above Jonathan Tomshick 1 2 3 4
 Other
 and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

November 3, 1986

RE: 164 Bancroft Street

Mr. Jonathan Tomshick
164 Bancroft St.
Portland, Maine 04102

Dear Sir:

Your application for site plan review for drainage at 164 Bancroft Street has been reviewed and a permit is herewith issued subject to the following requirements:

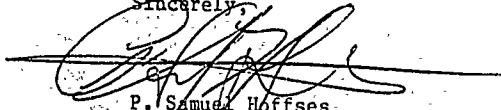
Inspection Services - Approved W. J. Turner 11/3/86

Public Works Approved with Conditions:

1. Lot lines and corners shall be clearly marked prior to the beginning of any site work; and,
2. All disturbed area shall be loamed and seeded. Mr. Robert J. Roy 7/22/86.

If you have any questions on these requirements, please call this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el

cc: Robert Roy, Planning Engineer

Applicant: Jonathan Tomshick
Address: 164 Bancroft St.
Assessors No.:

Date: Nov. 3, 1986

CHECK LIST AGAINST ZONING ORDINANCE

- Date -
- Zone Location - R-3
- Interior or corner lot - corner
- Use - Relocation of surface drainage sewer
- Sewage Disposal -
- Rear Yards -
- Side Yards -
- Front Yards -
- Projections -
- Height -
- Lot Area - 15,231 sq ft
- Building Area -
- Area per Family -
- Width of Lot -
- Lot Frontage -
- Off-street Parking -
- Loading Bays -

Relocation of drainage
sewer away from house
site plan review
required by site
plan ordinance
11/3/86

- Site Plan -
- Shoreland Zoning -
- Flood Plains -

MINOR
SITE PLAN PROPOSAL

FOR

JON AND CAROL TOMSHICK

164 BANCROFT STREET

PORTLAND

773-5848

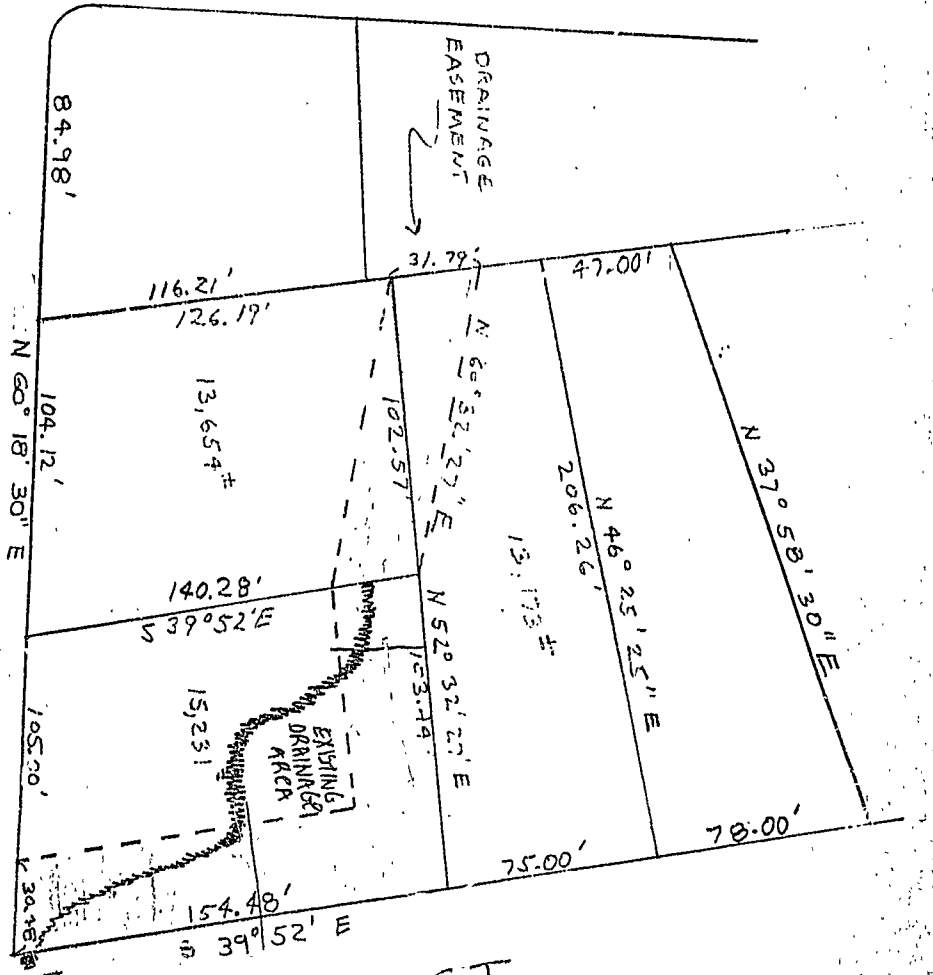
RECEIVED

JUL 27 1986

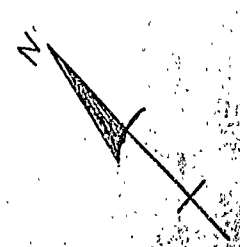
DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

KENILWORTH ST.

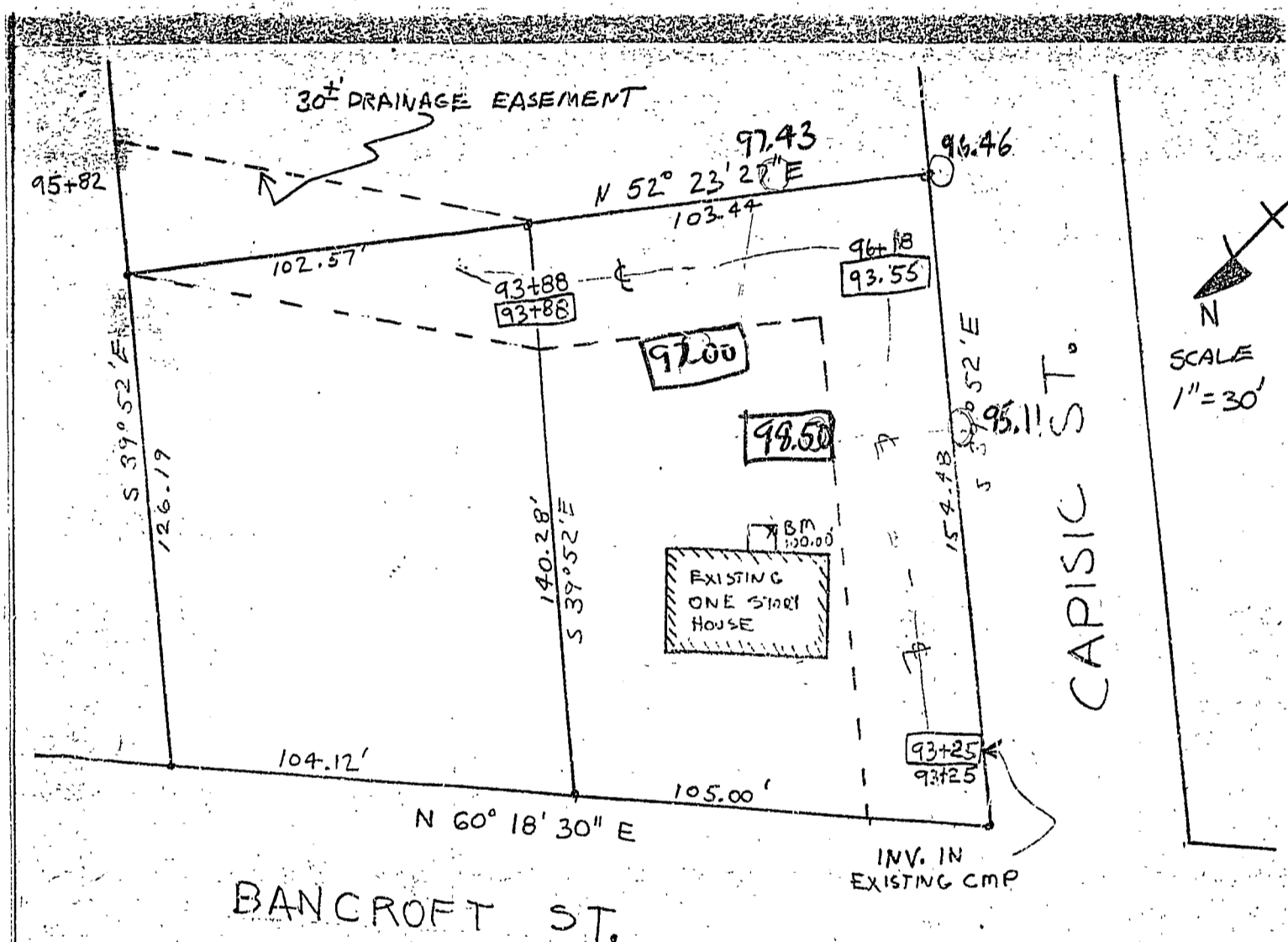
BANCROFT ST.



CAPISIC ST.



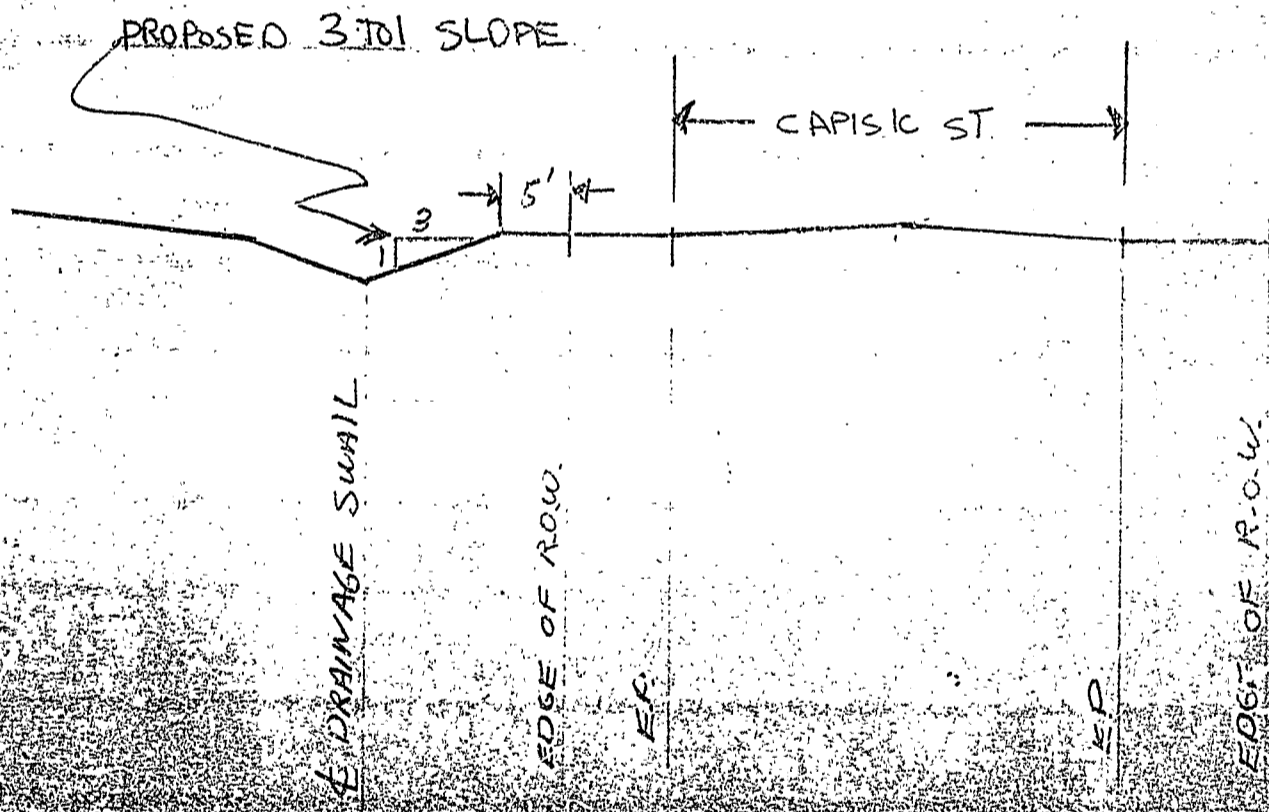
SCALE 1"=50'



EXISTING GRADE 93+80

PROPOSED GRADE 93+80 PROPOSED E OF DRAINAGE SWAIL

PROFILE OF DRAINAGE SWAIL OF LOT AT
CAPISIC + BANCROFT ST.



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 001595

ZONING LOCATION R-3 PORTLAND, MAINE July 21, 1986

NOV 4 1986

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

- LOCATION 156th L64 Bancroft St. Fire District #1 [] #2 []
1. Owner's name and address Jonathan Tomshick - same Telephone 773-5848
2. Lessee's name and address Telephone
3. Contractor's name and address Mario Grimandi & Sons - 422 Capisic Telephone 773-6905

Proposed use of building No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$

FIELD INSPECTOR—Mr. @ 775-5451

Appeal Fees \$
Site plan fee 50.00
Late Fee
TOTAL \$

site plan review for drainage

Stamp of Special Conditions
PERMIT ISSUED WITH LETTER

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimney of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY DATE
BUILDING INSPECTION PLAN EXAMINER
ZONING
BUILDING CODE
Fire Dept.
Health Dept.
Others?

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Jonathan C. Tomshick Phone # same
Type Name of above Jonathan Tomshick 1 [x] 2 [] 3 [] 4 []

PERMIT ISSUED WITH LETTER

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY
M. Carroll

Permit No. 86-1595
Location 1640 Lancaster St
Owner J. Johnson
Date of permit 7-21-66
Approved 1-1-66
Dwelling Garage
Alteration

NOTES

Notes section with multiple horizontal lines for text entry.

923822

Permit # 923822 City of Portland BUILDING PERMIT APPLICATION Fee \$35. Zone _____ Map # _____ Lot# _____
Please fill out any part which applies to job. Proper plans must accompany form.

Applicant: Antonio DiMillo Jr. Phone # 774-9195
Address: 164 Bancroft St. - Ptd, ME 04102
LOCATION OF CONSTRUCTION 164 Bancroft St.
Contractor: Dave Webb Sub _____
Address: 690 Main St-Westbrook, ME Phone # _____
Est. Construction Cost: 2800 Proposed Use: 1-fam w pool
Past Use: 1-fam
of Existing Res. Units _____ # of New Res. Units _____
Building Dimensions L _____ W _____ Total Sq. Ft. _____
Stories: _____ # Bedrooms _____ Lot Size: _____
Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
Explain Conversion erect above-ground pool - 21' diam

For Official Use Only
Subdivision: _____
Date 6/22/92 Name JUN 24 1992
Inside Fire Limits _____ Lot _____
Bldg Code _____ Ownership: Public _____ Private _____
Time Limit _____
Estimated Cost: 2800
Zoning: Street Frontage Provided: _____ Back _____ Side _____
Provided Setbacks: Front _____ Back _____ Side _____
Review Required:
Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
Special Exception _____
Other WDA-16-23-92 (Explain)

Foundation:
1. Type of Soil: _____ Rear _____ Side(s) _____
2. Set Backs - Front _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor: Sills must be anchored.
1. Sills Size: _____
2. Girder Size: _____ Size: _____
3. Lally Column Spacing: _____ Spacing 16" O.C.
4. Joists Size: _____ Size: _____
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:
1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Eracing: Yes _____ No _____
6. Corner Posts Size _____ Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:
1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

HISTORIC PRESERVATION
1. Ceiling Joist's Size: _____ Spacing _____ Not in District or Landmark.
2. Ceiling Strapping Size _____
3. Type Ceilings: _____ Size _____ Does Not Require Review.
4. Insulation Type _____ Requires Review.
5. Ceiling Height: _____
Roof:
1. Truss or Rafter Size _____ Span _____ Action: Approved.
2. Sheathing Type _____ Size _____ Approved with Conditions.
3. Roof Covering Type _____
Chimneys: Number of Fire Places _____ Date: 6/22/92
Type: _____
Heating: Type of Heat: _____
Electrical: Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____
Plumbing: 1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____
Swimming Pools: 1. Type: _____ Square Footage _____
2. Size: _____ x _____
Must conform to National Electrical Code and State Law.

PERMIT ISSUED WITH REQUIREMENTS
Received By Louise E. Chase Date 6/22/92
Signature of Applicant Antonio DiMillo
CEO's District _____
CONTINUED TO REVERSE SIDE
Ivory Tag - CEO

White - Tax Assessor

923822 923822

Permit # City of Portland BUILDING PERMIT APPLICATION Fee \$35. Zone _____ Map # _____ Lot # _____
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Antonio DiMillo Jr. Phone # 774-9195
 Address: 164 Bancroft St. - Ptd, ME 04102
 LOCATION OF CONSTRUCTION 164 Bancroft St.
 Contractor: Dave Webb Sub: _____
 Address: 690 Main St - Westbrook, ME Phone # _____
 Est. Construction Cost: 2800 Proposed Use: 1-fam w pool
 Past Use: 1-fam
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # of Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion erect above-ground pool - 21' diam

For Official Use Only
 Date: 5/12/92 Subdivision: _____
 Inside Fire Limits _____ Name: JUN 24 1992
 Bldg Code: _____ Lot: _____
 Time Limit _____ Ownership: CITY OF PORTLAND
 Estimated Cost: 2800

Zoning: _____
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other WDD - 26-23-90 (Explain)

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____

Chimneys:
 Type: _____ Number of Fire Places _____
 Date: Apr 22 1992

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. _____ Date 6/22/92
 Signature of Applicant Antonio DiMillo
 CEO's District _____

PERMITS ISSUED WITH REQUIREMENTS
 PERMITS ISSUED WITH REQUIREMENTS
 CONTINUED TO REVERSE SIDE
 Ivory Tag - CEO

White - Tax Assessor

PLOT PLAN



FEES (Breakdown From Front)		Type	Inspection Record	Date
Base Fee \$	35-			
Subdivision Fee \$				
Site Plan Review Fee \$				
Other Fees \$				
(Explain)				
Late Fee \$				

COMMENTS *12/17 - New Called - Set back etc - New Code Section & Storm*
addition - Also not meet Code - Told the Permittee - She saw need & would
wait for - hold -
12/16/96 - No Charge - Still does not meet Code

CERTIFICATION

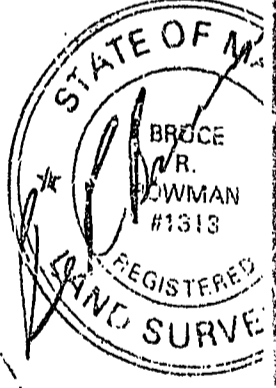
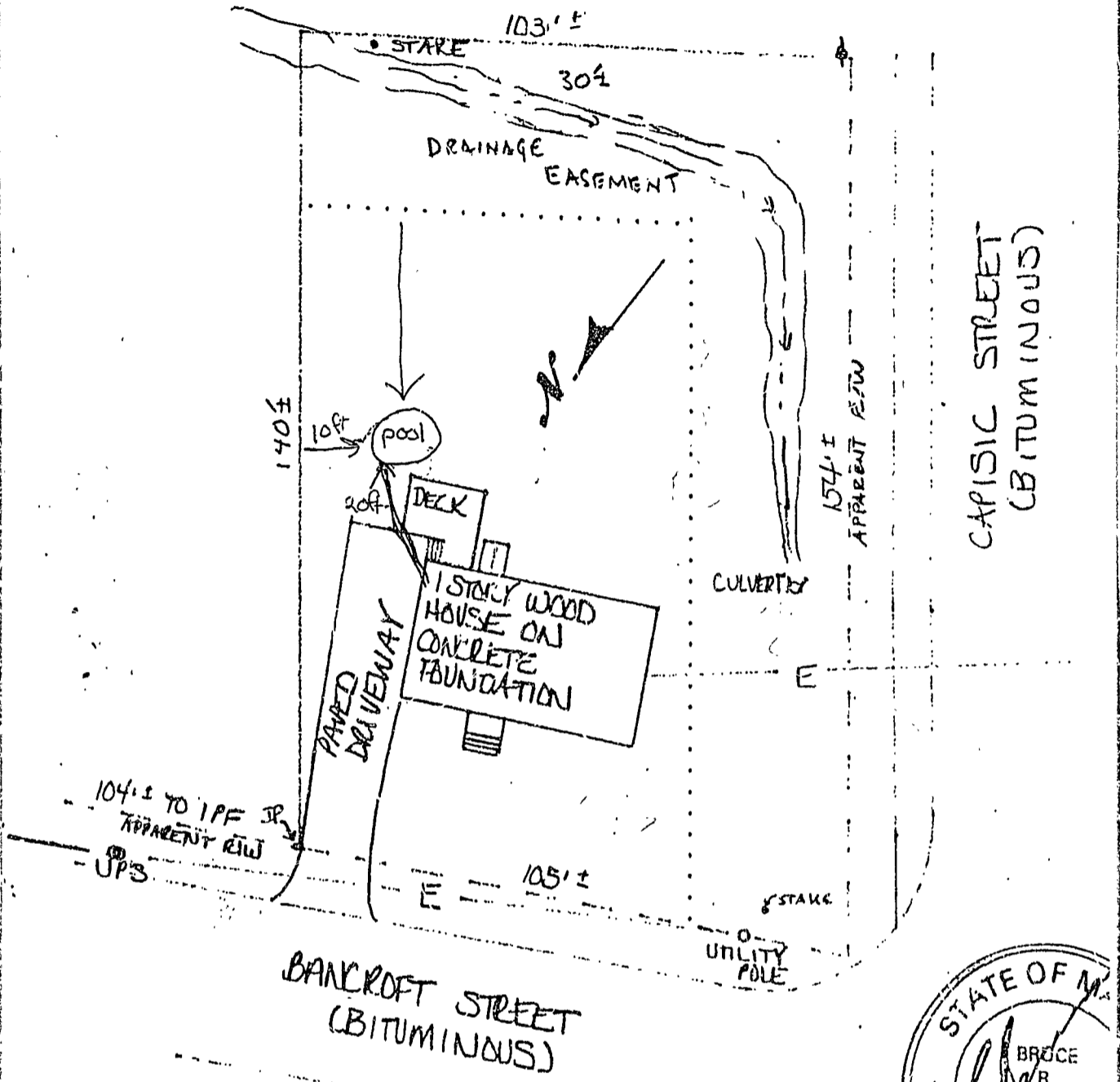
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit reasonable hours to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT *[Signature]* ADDRESS _____ PHONE NO. *774-9195*

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE NO. _____

cial flood hazard zone as delineated by the Federal
ncy Management Agency.

SELLER: JONATHAN G. & CAROL A.
TOMSHICK



PROPERTY IS SUBJECT TO ALL
AND EASEMENTS OF RECORD.
THAT ARE EVIDENT ARE SHOWN.
THIS PLAN MIGHT NOT REVEAL
POINTS WITHIN ABUTTING DEEDS.

ERIC R. BOWMAN, R.L.S.
20 Forest Avenue
Cumberland, Maine
Phone: (207)829-3958

PLAN BOOK 125 PAGE 8 LOT 2
DEED BOOK _____ PAGE _____ COUNTY CUMBERLAND

THIS PLAN IS NOT FOR RECORDING Drawn by:

DAVE WEBB

JOANN WEBB

DAVE'S POOL SALES & SERVICE INC.
690 MAIN STREET
WESTBROOK, ME. 04092
854-5006 BU...-797-9011 RES.

The following prices include a 6% Maine State Sales Tax.

All Pool Packages include installation, materials and the following accessories:

PacFab 3/4 HP D.E. Filter
Ladder-Deck on ground
Thru the Wall Automatic Skimmer
Heavy Duty weighted vac. kit

STEEL POOLS

EXTRUDED ALUMINUM POOLS

15-
18- 2600-
21- 2850-
24- 3100-
27- 3600-
16x32- 4900-

15-
18- 3000-
21- 3350-
24- 3700-
27- 4300-
16x32- 5600-

Installations more than 2(two) feet out of level will require an additional cost, and will be estimated individually.

Cash and Carry Prices- Deduct 25%

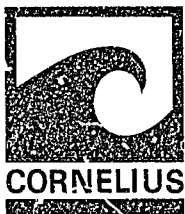
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DEPT. OF BUD.
CITY OF

1 7" flared top seat
in PEARL GREY
plastaguard finish

2 Strong
two piece
steel seat cap
is designed for
an exact fit



3 6" vertical
support post
in PEARL GREY
plastaguard finish

Augusta

Years of enjoyment and wonderful memories all at a price you can easily afford, it's the "CORNELIUS BACKYARD VACATION!"

Like an outdoor family room, your CORNELIUS pool becomes the focal point of your home, accessible both day and night. Whether you like cookouts with family and friends, or a private oasis for quiet relaxation a CORNELIUS pool is the answer.

20 YEAR
WARRANTY

4 Attractive
OAK PLANK
steel wall with
KRYSTAL KOTE® liquid vinyl finish



5 Heavy gauge
rails and connectors
are galva'ume
coated for
SUPERIOR corrosion
resistance



SIZES & GALLONS

15' 5,280 gal.

18' 7,600 gal.

21' 10,300 gal.

24' 13,500 gal.

27' 17,100 gal.

12' x 24' 8,000 gal.

16' x 26' 10,500 gal.

16' x 32' 12,200 gal.

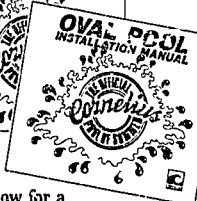
18' x 33' 15,600 gal.



**PLEASE
NOTE:**

A CORNELIUS
INSTALLATION MANUAL
is included with your pool.

These instructions are easy to follow for a
problem free installation.



MEMBER



AUTHORIZED CORNELIUS DEALER

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DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND

CORNELIUS INDUSTRIES INC.
15 Cushman Road
St. Catharines, Ontario Canada
L2M 6S7
Tel: 416-688-2612
Fax: 416-688-4388

CORNELIUS POOLS INC.
186 Sweeney Street
North Tonawanda,
New York 14120
Tel: 716-492-4955
Fax: 716-694-8743

**DO NOT JUMP
OR DIVE INTO
ABOVEGROUND
POOLS**

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