

182-188 BRADLEY STREET

SHAW-WALKER

20 031 - 0th cut - 020317



APPLICATION FOR PERMIT

01224

CITY of PORTLAND

Class of Building or Type of Structure Third Class PORTLAND, MAINE, Nov. 14, 1967

To the INSPECTOR OF BUILDINGS, Portland, Me.

The undersigned hereby applies for a permit to repair or renew roof covering of the following described building in accordance with the laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 186 Bradley Street
Owner's name and address Julius Elowitch, 186 Bradley Street Telephone _____
Contractor's name and address O.G.K. Robinson Co., Inc., 17 Fitch St. Westbrook Telephone _____
Use of building—Present 1 fam. dwelling Proposed _____
No. of Stories 2 Style of roof pitch Type of present roof covering asphalt
Type and Grade of roofing to be used asphalt Class C, Und. Lab. No. plies _____

GENERAL DESCRIPTION OF NEW WORK

to cover entire roof of dwelling

Signature of Owner Julius Elowitch
O.G.K. Robinson

Fee \$.50
INSPECTION COPY

AP- 182-188 Bradley St.

June 18, 1963

Rudd-Murray Systems, Inc.
P. O. Box 550
North Attleboro, Mass.

cc to: Julius Elowitz
186 Bradley Street

Gentlemen:

Permit for construction of a reinforced concrete swimming pool in rear yard of dwelling at the above named location is issued herewith based on plans filed with application for permit, but subject to the following conditions:

1. The pool is to be so located that outer end of diving board will be not less than 10 feet from rear lot line.
2. The proposed fence across lot at rear of dwelling and front of garage will satisfy requirements only if there is an existing fence extending along both side and rear lot lines from the points where new fence adjoins side lot lines, so that the entire rear yard in which pool is located will be fenced in. New and existing fences are required to be at least four feet high and of a character to exclude children. All openings in the fence are required to be equipped with gates of the same character and equipped with self-closing and self-latching devices.

Very truly yours,

Albert J. Sears
Building Inspection Director

AJS



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, June 15, 1963

PERMIT ISSUED
JUN 18 1963

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 186 Bradley St. Within Fire Limits? Dist. No.
Owner's name and address Julius Elowitz, 186 Bradley St. Telephone
Lessee's name and address Telephone
Contractor's name and address Rudd-Murray Systems Inc., North Attleboro Mass. Telephone
Architect Specifications Box 250 Plans yes No. of sheets 4
Proposed use of building Swimming Pool No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot dwelling and garage
Estimated cost \$ 8,000.00 Fee \$ 16.00

General Description of New Work

To construct 20' x 40' x 3'4" to 8'6" deep, as per plans (Rudd-Murray)
Swimming Pool

Rec'd. to Health Dept. 6/17/63

Rec'd. from Health Dept. 6/18/63

SEE STANDARD PLANS OF POOL IN STANDARD PLAN FILE

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor will pick up

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story: Building with masonry walls, thickness of walls? height:

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED

Ben A. Van der Grinten 6/18/63

with letter by AGJ

15 301

INSPECTION COPY

Signature of owner by:

Julius Elowitz
Rudd-Murray Systems Inc.

Signature of owner by: J. L. Woffy Rudd-Murray Systems Inc.

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Force of 7.8.63

NOTES

6-24-63 Forms &
Steel frame OK to
pour.
7-9-63 Pool completed.
Bath house on slab
not to base for
frame on slab for ed
removed. ~~Ed~~
7-19-63 Removed. ~~Ed~~

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CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Eric A. Vanadzin, M. D., Health Director
FROM: Albert J. Sears, Building Inspection Director
SUBJECT: Swimming pool installation at 186 Bradley Street

DATE: June 14, 1963

Attached herewith is application for permit and plans for construction of a swimming pool at the above named location. This is being sent to you for approval of the sanitation, filling and drainage facilities in accordance with the provisions of Section 211-h-2 of the Building Code.

Sent to Health Dept. 6/17/63
Rec'd. from Health Dept. 6/18/63

Memorandum from Department of Building Inspection, Portland, Maine
186 Bradley Street - Construction of one story addition for Boris Blumenthal
by Leif Kleg

August 1, 1957

Building permit for construction of a one story addition 14 feet by 23 feet on the left hand side of dwelling at the above named location is issued herewith based on plan filed with application for permit, but subject to the condition that the 2x6 ceiling timbers shall be spaced no more than 12 inches on centers instead of the 16 inches indicated. Because of the long span of these timbers and the fact that a plastered ceiling is to be provided, excessive deflection of the timbers and cracking of the plaster is likely to occur unless the closer spacing is used.

AJS/H

CS-27

(Signed) Warren McDonald
Inspector of Buildings



R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, July 31, 1957AC 01076
PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 186 Bradley St. Within Fire Limits? Dist. No. Telephone
Owner's name and address Boris Blumenthal, 186 Bradley St. Telephone
Lessee's name and address Leif Klev, 166 Whitney Ave. Telephone 4-2447
Contractor's name and address Specifications Plans yes No. of sheets 2
Architect Dwelling No. families 1
Proposed use of building Roofing
Last use Style of roof
Material frame No. stories 2 Heat Fee \$ 5.00
Other building on same lot
Estimated cost \$ 5,000.

General Description of New Work

To demolish existing side porch.
To construct 1 story frame addition to side of dwelling 14' x 23'.

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? yes If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate 10' Height average grade to highest point of roof 15'
Size, front 14' depth 23' No. stories 4 Below ground level? solid earth or rock? earth
Material of foundation concrete & brick Thickness, top 8" bottom 10" cellar
Material of underpinning Height
Kind of roof pitch Rise per foot 42" Roof covering Asphalt Class C. Urd. Lab.
No. of chimneys Material of chimneys of lining Kind of heat 4x6 Sills 2x8
Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts Max. on centers
Size Girder Columns under girders Size
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x10 2nd 2x6 3rd 2x6 roof 2x8
On centers: 1st floor 16" 2nd 16" 3rd 16" roof 12"
Maximum span: 1st floor 11' 2nd 11' 3rd 11' height?
If one story building with masonry walls, thickness of walls?

If a Garage

No. cars now accommodated on same lot....., to be accommodated number commercial cars to be accommodated ..
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Boris Blumenthal
Leif Klev.

Signature of owner by:

INSPECTION COPY

F.M.

NOTES

8-9-57 Forms OK
as to size & location (1P)

8-19-57 Floor Framing
going on (1P)

8-29-57 OK to close
in after plumbing
& wiring insps (1P)

9-16-57 Completed
except int. finish (1P)

X

Permit No. 57/1076
Location 116 Bradley St.
Owner Davis Blumhardt
Date of permit 8/1/57
Notif. closing-in —
Inspn. closing-in 8-29-57 (1P)
Final Notif.
Final Inspn.
Cert. of Occupancy issued
Staking Out Notice
Form Check Notice

8-29-57
9-2-57
8-29-57



(RAA) RESIDENTIAL ZONE - AA
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, May 26, 1950

PERMIT ISSUED
MAY 29 1950
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect alter repair or demolish all the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 186 Bradley Street
Owner's name and address B. Blumenthal, 185 Bradley St.
Lessee's name and address John Conley, 85 Cumberland Ave.
Contractor's name and address _____
Architect _____
Proposed use of building Dwelling
Last use _____ No. stories 2 1/2 Heat _____ Style of roof _____
Material frame _____ No. families 1
Other buildings on same lot _____ No. families 1
Estimated cost \$ 100
Roofing _____
Fee \$ 50

General Description of New Work

To cut in new window in each gable end of building in place of existing louvers.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** John Conley

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of heat _____ fuel _____
No. of chimneys _____ Material of chimney _____ Dressed or full size? _____ Size _____
Framing lumber—Kind _____ Sills _____ Girt or ledger board? _____ Size _____ Max. on centers _____
Corner posts _____ Size _____ Columns under girders _____
Girders _____ (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Studs _____ 1st floor _____ 2nd _____ 3rd _____ roof _____
Joists and rafters: _____ 1st floor _____ 2nd _____ 3rd _____ roof _____
On centers: _____ 1st floor _____ 2nd _____ 3rd _____ height? _____
Maximum span: _____
If one story building with masonry walls, thickness of walls? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes B. Blumenthal

APPROVED: _____

Signature of owner

By: John Conley

INSPECTION COPY



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, May 26, 1947

01054
MAY 22 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location **186 Bradley St.** Use of Building **Dwelling** No. Stories **2 1/2** Existing "**REMOVED**"
Name and address of owner of appliance **Boris Blumenthal**
Installer's name and address **Portland Leigh Fuel Co. 124 1/2 High** Telephone **25871**

General Description of Work

To install **Oil Burner** (Steam) heater

IF HEATER, OR POWER BOILER

Location of appliance or source of heat _____ Type of floor beneath appliance _____
If wood, how protected? _____ Kind of fuel _____
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace _____
From top of smoke pipe. _____ From front of appliance _____ From sides or back of appliance _____
Size of chimney flue. _____ Other connections to same flue _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

IF OIL BURNER

Name and type of burner **Mastercraft** Labelled by underwriter's laboratories? **yes**
Will operator be always in attendance? **no** Does oil supply line feed from top or bottom of tank? **yes**
Type of floor beneath burner **Cement**
Location of oil storage **basement** Number and capacity of tanks **1-275**
If two 275-gallon tanks, will three-way valve be provided? _____
Will all tanks be more than five feet from any flame? **yes** How many tanks fire proofed? **None**
Total capacity of any existing storage tanks for furnace burners **275**

IF COOKING APPLIANCE

Location of appliance. _____ Kind of fuel _____ Type of floor beneath appliance _____
If wood, how protected? _____
Minimum distance to wood or combustible material from top of appliance _____
From front of appliance _____ From sides and back _____ From top of smokepipe _____
Size of chimney flue _____ Other connections to same flue _____
Is hood to be provided? _____ If so, how vented? _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed?
building at same time.)

(\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same

APPROVED:

OK 5-21-47 PM

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? **yes**

W. H. Thompson

INSPECTION COPY

Signature of Installer **Portland Leigh Fuel Co. Inc.**



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

JUL 7 1937

Portland, Maine, July 7, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 186 Bradley Street Use of Building dwelling house No. Stories 2
Name and address of owner Marie Blumenthal, 186 Bradley St. Ward 8
Contractor's name and address Kezar & Lombard Co., 497 Fore St. Telephone 8-7146

General Description of Work

To install hot water heating system

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? yes If not, which story _____ Kind of Fuel coal
Material of supports of heater or equipment (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, 29"
from top of smoke pipe 59", from front of heater 7' from sides or back of heater 7'
Size of chimney flue 8x8 Other connections to same flue none

IF OIL BURNER

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____
Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____
Location oil storage _____ No. and capacity of tanks _____
Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)
Kezar & Lombard Co.

Signature of contractor By C. Kezar

INSPECTION COPY

37/305
Ward 8 Permit No. 39/1002
Location 186 Bradley St.
Owner Boris Blumenthal
Date of permit 7/7/37.

Post Card sent

Notif. for Inspn. 7/29/37

Approval Tag issued 7/29/37 CDE

Oil Burner Check List (date)

1. Kind of heat *Hot water heating*
2. Label
3. Anti-siphon
4. Oil storage
5. Tank distance
6. Vent pipe
7. Fill pipe
8. Gauge
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
16.

NOTES

7/29/37 Heater installed
CDE

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for one family dwelling house - one car garage
at

Date 3/18/37

1. In whose name is the title of the property now recorded? Boris Blumenthal
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? iron pipe
3. Is the outline of the proposed work now staked out upon the ground? yes. If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? yes
4. What is to be maximum projection or overhang of eaves or drip? dwg " " "
gar. 3"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Thomas J. Howell



APPLICATION FOR PERMIT

Class of Building or Type of Structure

FILED
0306
MAR 19 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, March 18, 1937

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 182-188 Bradley Street

Ward 8 Within Fire Limits? no Dist. No. _____

Owner's or lessee's name and address Boris Blumenthal, 48 Park Avenue Telephone _____

Contractor's name and address Thomas Howell, R. F. D. #5, Portland Telephone 3-2885

Architect's name and address _____

Proposed use of building 1 car garage

Other buildings on same lot _____

Plans filed as part of this application? yes No. families _____

Estimated cost \$ 250. No. of sheets 1 Fee \$.75

Description of Present Building to be Altered
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To erect one car frame garage 12' x 18'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 12' depth 18' No. stories 1 Height average grade to top of plate 8'

To be erected on solid or filled land? solid Height average grade to highest point of roof 10'

Material of foundation concrete slab earth or rock? earth

Material of underpinning _____ Thickness, top _____ bottom _____

Kind of Roof pitch Rise per foot 6" Roof covering Asphalt roofing Class C 2nd. Lab.

No. of chimneys no Material of chimneys _____ Thickness _____

Kind of heat no Type of fuel _____ Is gas fitting involved? _____

Corner posts 4x4 Sills 4x4 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof

Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x4

On centers: 1st floor, 2nd _____, 3rd _____, roof 2'

Maximum span: 1st floor, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot none, to be accommodated 1

Total number commercial cars to be accommodated none

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY 40 Signature of owner Boris Blumenthal
By Thomas Y. Howell
CHIEF OF _____

Ward 8 Permit No. 37/306
 Location 182-8 Bradley St.
 Owner Boris Blumenthal
 Date of permit 3/19/37
 Notif. closing-in _____
 Inspn. _____
 Final Notif. _____
 Final Inspn. 8/3/37
 Cert. of Occupancy issued None

NOTES

3/18/37 - Slabs g out
 6/1/37 - A.G.B.
 6/20/37 - No work
 started - A.G.B.
 3/29/37 - Same as
 4/1/37 - Same - A.G.B.
 6/2/37 - No work started
 A.G.B.
 7/6/37 - Same - A.G.B.
 7/13/37 - Same - A.G.B.
 all poured & shipped
 A.G.B.

Description of Work
 General Description of New Work

File: P.37/305-I

June 30, 1937

Mr. Abner A. Kezar,
497 Fore Street,
Portland, Maine

Dear Sir:

An inspector from this office finds that you have quite largely installed a new heating plant in the new dwelling under construction for Boris Blumenthal at 182-188 Bradley Street, although you have never applied for a permit to cover the installation of the heater. The Building Code requires that separate permit be secured to cover the installation of a heater even in a new building, and that the permit may only be issued to the person, firm or corporation actually installing the heater. Please apply for and secure this permit before any further work is done on the plant.

We must ask better cooperation from you in the matter of securing permits covering the work that you do. We have a record of more than one instance in which you have partly or wholly installed heaters without securing the building permit before you commenced the work. It is true that in some instances, at least, you have applied for the permit after the work was practically completed. This, of course, is not cooperation with this department and is not legal.

We are receiving very good cooperation in this and other regards from practically the entire building industry, and I trust that we may count upon full cooperation and legal performance from you in the future.

Very truly yours,

MSB/H

Inspector of Buildings

Permit No. 27/305
 Location - 182-188 Bialla St.
 Owner - Boris Blumenthal
 Date of permit 3/19/37
 Notif. closing-in 6/22/37
 Inspn. closing-in 6/28/37 G.I.
 Final Inspection Requirement sent 6/29/37
 Final Notif. 7/27/37
 Final Inspn. 7/29/37 - OK.
 Cert. of Occupancy issued 8/3/37

NOTES

3/18/37 - Staking out
 OK - A.G.S.
 3/23/37 - Excavating -
 A.G.S.
 3/29/37 - Same as above
 4/1/37 - Pouring foundation wall - A.G.S.
 4/5/37 - Drapping frame from wall - A.G.S.
 4/9/37 - No work in some place since last inspection - A.G.S.
 4/13/37 - Laying underpinning - A.G.S.
 4/21/37 - Framing + Boarding second story - A.G.S.
 4/27/37 - Roof on - A.G.S.
 5/5/37 - Working inside A.G.S.

5/12/37 - Working outside - A.G.S.
 5/26/37 - Working inside - A.G.S.
 6/1/37 - No one working - A.G.S.
 6/7/37 - Same A.G.S.
 6/18/37 - Not much change - A.G.S.
 6/24/37 - Same - A.G.S.
 6/27/37 - Fresh opening around stove in basement, no fire stop around stove on floor - A.G.S.
 6/29/37 - Hotwater heat installed by Keyser + Lombard, 487 Fore Street
 No permit - A.G.S.
 6/30/37 - Letter to Mr. Keyser.
 7/29/37 - Could not get into attic. A closet covered with wall board is a scant 1" from the chimney in the cellar. This is not close to an active flue, etc.

182-188 BRADLEY STREET

The image is a high-contrast, black and white scan of a document page. It is heavily degraded with significant noise, including vertical streaks and horizontal bands. The top portion of the page contains a series of dark, rectangular blocks, possibly representing text or a table, which are mostly obscured by the noise. The bottom portion of the page is predominantly white with some dark, irregular shapes.

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3828

PROPERTY ADDRESS:
Town or Plantation: Portland
Street Subdivision Lot #: 186 Bradley St.

PROPERTY OWNERS NAME:
Last: Dipphilippo First: Samuel

Applicant Name: Arnold S. Hutton

Mailing Address of Owner/Applicant (if different):
171 Cottage Rd. Portland, Me. 04106

Owner/Applicant Statement
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.
Arnold S. Hutton Date: 4/2/84
Signature of Owner/Applicant

Caution: Inspection Required
I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.
Arnold S. Hutton Date: JUN 25 1984
Signature of Inspector Date Approved

PORTLAND U PERMIT # 512 TOWN COPY

Date Permit Issued: 6-21-84 \$ 9 FEE Double Fee Charged: 123 L.P.I. # 123

Local Plumbing Inspector Signature

PERMIT INFORMATION

This Application is for:
1. ☐ NEW PLUMBING
2. ☒ RELOCATED PLUMBING

Type Of Structure To Be Served:
1. ☒ SINGLE FAMILY DWELLING
2. ☐ MODULAR OR MOBILE HOME
3. ☐ MULTIPLE FAMILY DWELLING
4. ☐ OTHER - SPECIFY: _____

Plumbing To Be Installed By:
1. ☒ MASTER PLUMBER
2. ☐ OIL BURNERMAN
3. ☐ MFG'D. HOUSING DEALER/MECHANIC
4. ☐ PUBLIC UTILITY EMPLOYEE
5. ☐ PROPERTY OWNER
LICENSE # 0.25.45

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type Of Fixture	Number	Column 1 Type Of Fixture
	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hose bibb / Sillcock		Bathtub (and Shower)
			Floor Drain		Shower (Separate)
			Urinal		Sink
	HOOK-UP: to an existing subsurface wastewater disposal system.		Drinking Fountain		Wash Basin
			Indirect Waste		Water Closet (Toilet)
			Water Treatment Softener, Filter, etc.		Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator		Dish Washer
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____		Water Heater
	Hook-Up Fee		Fixtures (Subtotal) Column 2	3	Fixtures (Subtotal) Column 1
				3	Fixtures (Subtotal) Column 2
				9	Total Fixtures
				9	Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TOWN COPY

913094

Permit # 913094 City of Portland BUILDING PERMIT APPLICATION Fee \$25. Zone Map # Lot#
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Samuel DiPhillipo Phone #
Address: 185 Bradley St. Ptld, ME 04102
LOCATION OF CONSTRUCTION 185 Bradley St.
Contractor: Anthony Bryant Sub: 773-996
Address: 189 Brackett St; Ptld, Phone ME 04102
Est. Construction Cost: 1000 Proposed Use: 1-fam w deck
Past Use: 1-fam
of Existing Res. Units # of New Res. Units
Building Dimensions L W Total Sq. Ft.
Stories # Bedrooms Lot Size
Is Proposed Use: Seasonal Condominium Conversion
Explain Conversion Reconstruct deck - appx 200 sq ft

Foundation:

1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floors:

1. Sills Size: Sills must be anchored
2. Girder Size:
3. Lally Column Spacing: Size:
4. Joists Size: Spacing 16" O.C.
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:

1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes Span(s)
5. Bracing: Yes No
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:

1. Studding Size Spacing
2. Header Size Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Material

White - Tax Assessor

For Official Use Only		PERMIT ISSUED
Date: <u>9/25/91</u>	Subdivision: <u> </u>	Name: <u> </u>
Inside Fire Limits: <u> </u>	Blkg Code: <u> </u>	Lot: <u> </u>
Time Limit: <u> </u>	Ownership: <u> </u>	Public: <u> </u>
Estimated Cost: <u>1000</u>	CITY OF PORTLAND	
Zoning: <u>R-3</u>		
Street Frontage Provided: <u> </u>		
Provided Setbacks: Front <u>5077</u> Back <u> </u> Side <u> </u> Side <u> </u>		
Review Required:		
Zoning Board Approval: Yes <u> </u> No <u> </u> Date: <u> </u>		
Planning Board Approval: Yes <u> </u> No <u> </u> Date: <u> </u>		
Conditional Use: <u> </u> Variance <u> </u> Site Plan <u> </u> Subdivision <u> </u>		
Shoreland Zoning Yes <u> </u> No <u> </u> Floodplain Yes <u> </u> No <u> </u>		
Special Exception <u> </u>		
Other (Explain) <u>WDA 9-30-91</u>		

Ceiling:

1. Ceiling Joists Size: HISTORIC PRESERVATION
2. Ceiling Strapping Size Spacing Not a historic landmark
3. Type Ceilings: Size Does not require review
4. Insulation Type Size Requires Review
5. Ceiling Height:

Roof:

1. Truss or Rafter Size Span Action: Approved
2. Sheathing Type Size Approved with conditions
3. Roof Covering Type

Chimneys:

1. Type: Number of Fire Places Date:

Heating:

1. Type of Heat: 16 MM Mitchell Signature:

Electrical:

1. Service Entrance Size: Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:

1. Type:
2. Pool Size: x Square Foot
3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. ChaseSignature of Applicant Anthony Bryant Date 9/25/91
District 6

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO 16 MM Mitchell

PLOT PLAN



FEES (Breakdown From Front)
 Base Fee \$ 35-
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

Done AS proposed MCM 10/91

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Anthony M. Bryant
 SIGNATURE OF APPLICANT

ADDRESS

773 6996
 PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE NO.

BUILDING PERMIT REPORT

ADDRESS: 186 Bradley Street DATE: 1/10/71
 REASON FOR PERMIT: To construct a 200 sq ft.
deck
 BUILDING OWNER: Samuel D. Phillips
 CONTRACTOR: Anthony Bryant
 PERMIT APPLICANT: ✓
 APPROVED: *1 *9

CONDITION OF APPROVAL:

- 1.) Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained.
- 2.) Precaution must be taken to protect concrete from freezing.
- 3.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.
- 4.) Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 5.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.
- 6.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear openings of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).
- 7.) All single and multiple-station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the building code (BOCA National Building Code 1990, and N.F.P.A. 74).

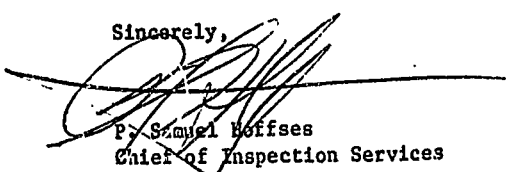
8.) Private garages located beneath rooms in buildings of Use Groups R-1, R-2, R-3 or I-1 shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fireresistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of 1/2-inch gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102 mm) above the garage floor. The door opening protectives shall be 1 3/4-inch solid core wood doors or approved equivalent.

*9.) A guardrail system located near the open side of deck or elevated walking surfaces shall be constructed. Guards in buildings of Use Group R-3 shall be not less than 36 inches in height. Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 4 inches cannot pass through any opening. Handrails on stairs shall be no less than 34 inches nor more than 38 inches. Handrails within individual dwelling units shall not be less than 30 inches nor more than 38 inches.

10.) Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year.

11.) The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 M.R.S.A. refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

Sincerely,


Samuel Hoffses
Chief of Inspection Services

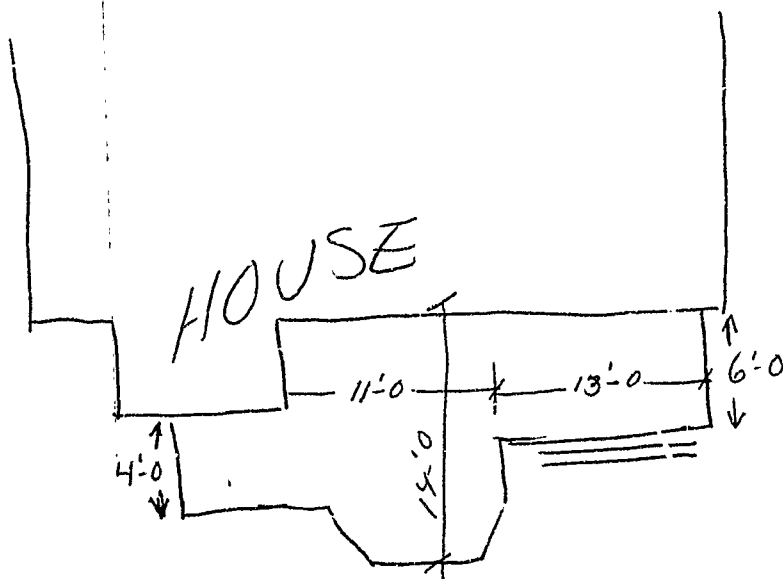
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8/14/91

RECEIVED

SEP 25 1991

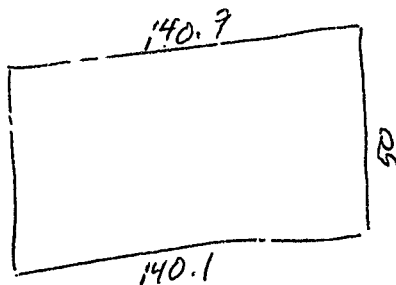
DEPT OF BUILDING INSP.
CITY OF PORTLAND

Diph. 11.20
186 Bradley



18" OFF Grade
Pressure Treated Lumber
All Sizes Approximate

COST 1000.00



Nº 177 186 BRADLEY

MINIMUM DECK REQUIREMENTS
NEEDED FOR PERMITS

please check off the appropriate description

FOUNDATION _____ Frost Wall, min 4' below grade.
8" thick

3 _____ Sono Tube, 4' below grade.
Tube 6" min. on footing, hard pan or
bedrock.
_____ Other

SILL 2x8 _____ Size

SPAN OF SILL 8' 1/2" _____ Distance between foundation supports

JOISTS SPAN 8' _____

JOISTS SIZE _____ 2 x 6 _____ 2 x 8 ☒ 2 x 10

DISTANCE BETWEEN JOISTS ☒ 16" O.C. _____ 24" O.C. _____ other

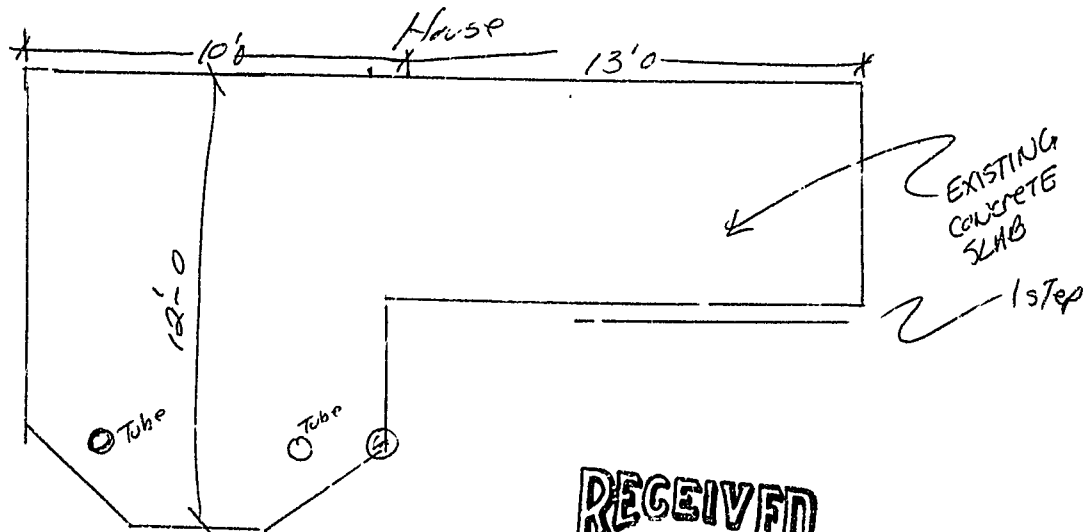
DECKING ☒ 5/4 _____ other explain

GUARD HEIGHT ☒ 32" _____ 36" _____ 42"

DISTANCE BETWEEN BALUSTER ☒ 4" spacing between

STAIR CONSTRUCTION minimum 9" tread
maximum 8 1/4" rise

please use space below for drawing of deck with measurements.



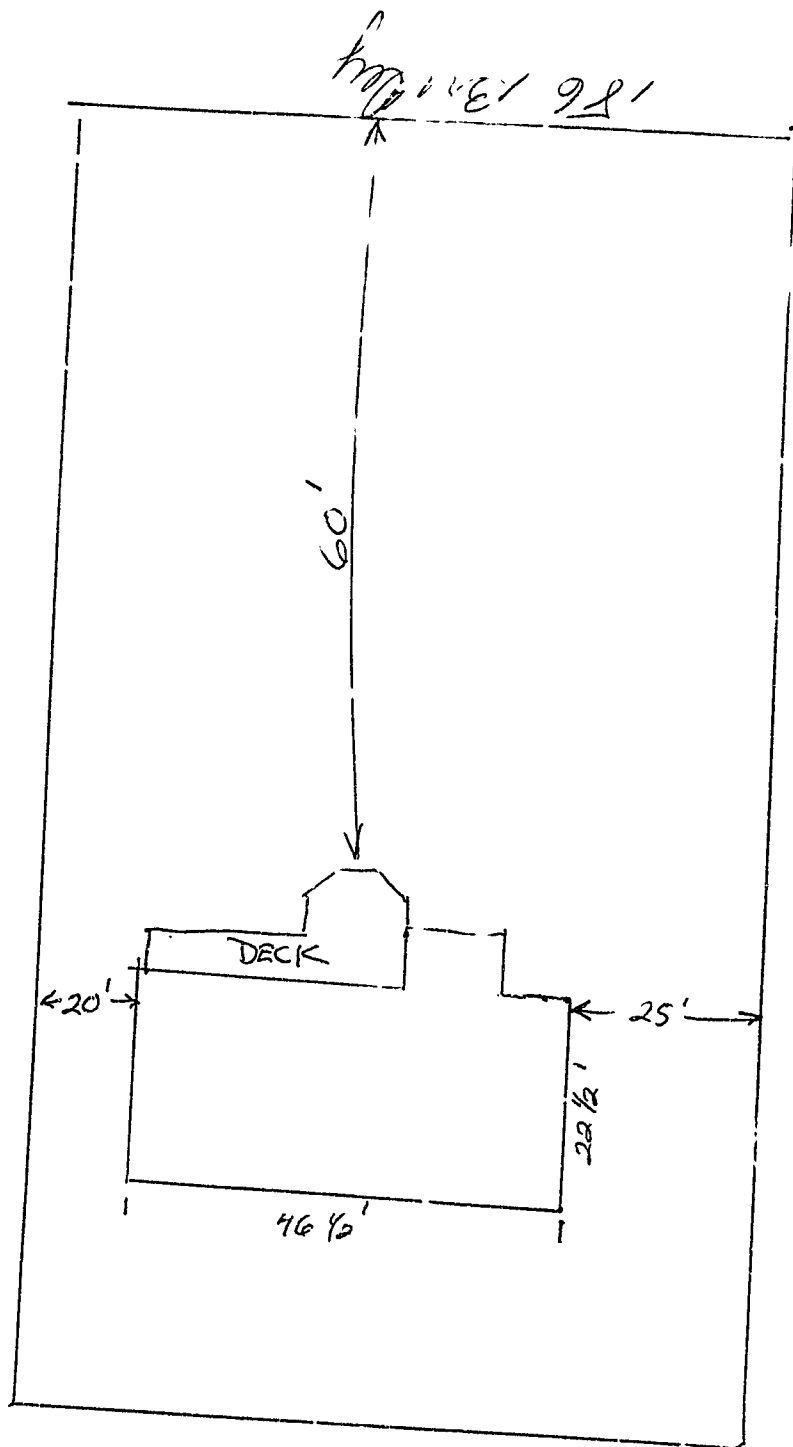
RECEIVED

SEP 25 1991

DEPT OF BUILDING
CITY OF PORTLAND

RECEIVED

SEP 25 1964



913094

Permit # 913094 City of Portland BUILDING PERMIT APPLICATION Fee \$25. Zone Map # Lot#
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Samuel DiPhillipo Phone #
Address: 186 Bradley St. Ptld. ME 04102
LOCATION OF CONSTRUCTION 186 Bradley St.
Contractor: Anthony Bryant Sub: 773-6996
Address: 189 Brackett St. Ptld. Phone # ME 04102
Est. Construction Cost: 1000 Proposed Use: 1-fam w deck
Past Use: 1-fam
of Existing Res. Units # of New Res. Units
Building Direction L W Total Sq. Ft.
Stories: # Bedrooms Lot Size:
Is Proposed Use: Seasonal Condominium Conversion
Explain Conversion Construct deck - appx 200 sq ft

For Official Use Only	
Date <u>9/25/91</u>	Subdivision: <u> </u>
Inside Fire Limits <u> </u>	Name <u>OCT 1 1991</u>
Bldg Code <u> </u>	Lot <u> </u>
Time Limit <u> </u>	Ownership <u>Public</u>
Estimated Cost <u>1000</u>	<u>CITY OF PORTLAND</u>
Zoning: <u>R-3</u>	
Street Frontage Provided: <u> </u> Back <u> </u> Side <u> </u>	
Provided Setbacks: Front <u> </u> Back <u> </u> Side <u> </u>	
Review Required:	
Zoning Board Approval: Yes <u> </u> No <u> </u> Date: <u> </u>	
Planning Board Approval: Yes <u> </u> No <u> </u> Date: <u> </u>	
Conditional Use: <u> </u> Variance <u> </u> Site Plan <u> </u> Subdivision <u> </u>	
Shoreland Zoning Yes <u> </u> No <u> </u> Floodplain Yes <u> </u> No <u> </u>	
Special Exception <u> </u>	
Other <u>WDA-9-30-91</u>	

Foundation:

1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:

1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size:
4. Joists Size: Spacing 16" O.C.
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:

1. Studding Size Spacing
2. No. windows
3. No. Doors Span(s)
4. Header Sizes
5. Bracing: Yes No
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:

1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

Ceiling:

1. Ceiling Joists Size:
2. Ceiling Strapping Size Spacing Not in District nor in mark.
3. Type Ceilings: Does not require rev. fr.
4. Insulation Type Size Requires Review
5. Ceiling Height:

Roof:

1. Truss or Rafter Size Span Action: Approved
2. Sheathing Type Size Approved with conditions
3. Roof Covering Type

Chimneys:

1. Type: Number of Fire Places Dist:

Heating:

1. Type of Heat:

Electrical:

1. Service Entrance Size: Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:

1. Type:
2. Pool Size: x Square Footage
3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. ChaseSignature of Applicant Anthony Bryant Date 9/25/91

Anthony Bryant

PERMIT ISSUED
WITH REQUIREMENTS

CONTINUED TO REVERSE SIDE

White - Tax Assessor

Ivory Tag - CEO

[6] Mr. Mitchell

Mail To: City of Portland
Parks/Public Works
55 Portland Street
Portland, Maine 04101

FOR SUBMETER RECEIVED

JUN 9 1986

FOR SEWER USER CHARGE ADJUSTMENTS
DEPARTMENT OF PUBLIC WORKS

The undersigned hereby requests permission to install additional water meter(s) in accordance with Section 322.60 of the "Municipal Code of the City of Portland, Maine"

It is understood that all expenses related to the purchase, installation and maintenance of the meter(s) is to be borne by the applicant.

TO BE COMPLETED BY APPLICANTS

☒ Address where sub-meter is requested 186 BRADLEY ST.

☒ Property owner's name SABATO L. P. PHILIPPO

☒ Tax Map Reference (On Real Estate Tax Bill) 17-1-24-25

☒ Property owner's address 186 BRADLEY ST.

☒ Person to be contacted to schedule inspections FRANCIS PHILIPPO - 774-4295
(Name and Telephone Number)

☒ Portland Water District Account No. (On bill) D-68-12359

☒ Billing Name & Address (On bill) SABATO L. P. PHILIPPO
186 BRADLEY ST.

Location and size existing Portland Water District Service Meter 5/8" NO REMOTE

Proposed location and size of sub-meter 5/8" BASEMENT

Will a remote reading register be utilized? NO ☒ YES (If yes, state location CUT INTO
into supply line to outside system outside of house)

Description of proposed changes in plumbing required for sub-metering: CUT INTO
SUPPLY LINE TO OUTSIDE SYSTEM

The volume of water to be submetered can be shown not to enter the sewerage system by virtue of its use for: FILL POOL

I certify the above information is true and correct:

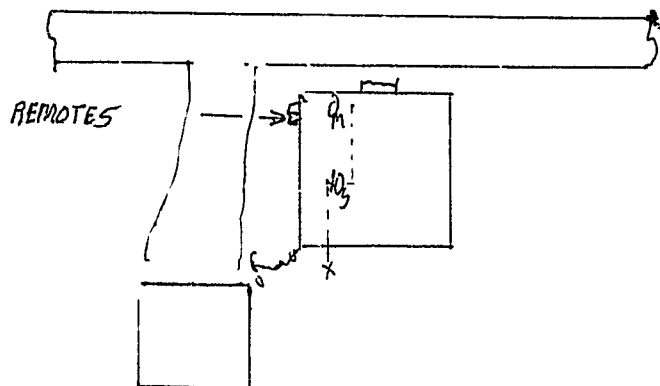
Francis H. P. Philippo
Signature

6/5/86
Date

Revised 12-30-85

Jun. 23, 1986

Sketch plan showing proposed changes in plumbing and the location of existing and proposed meters. Show water flow through submeter to non-discharge equipment or location (use additional sheet of paper if necessary)



TO BE COMPLETED BY PUBLIC WORKS

Pre-installation inspection by DAVID E. PETERSON
on 6-10-86

Automatic reading system requested ☒ YES ☐ NO

☒ A WATTS Back Flow Preventer or equal shall be
installed BACK OUTSIDE SILLING:

Application ☒ Approved ☐ Denied

Comments _____

TO BE COMPLETED BY THE PLUMBING INSPECTOR

An inspection of the completed installation of the sub-metering system approved
on this application was conducted on 6-17-86 by Ernold P. Goodwin,
Chief Plumbing Inspector of the City of Portland.

☒ The sub-metering system was installed as approved

☒ No cross connections were found

The installation is ☒ approved
☐ dis-approved

Ernold P. Goodwin

TO BE COMPLETED BY THE WATER DISTRICT

Date submeter sold 6-13-86
Submeter account number D-68-12359
Submeter make and number WATTS #30866152
Submeter installation readings 0
Submeter account entered into computer 6-23-86
Submeter account entered into meter book 6-23-86
Special instructions _____

