

406-408 BRIGHTON AVENUE

SHAW-WALKER
Full cut # 920R - Half cut # 820R - Third cut # 620R - Film only # 520R



R5 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, April 28 1971

PERMIT TO BE ISSUED
APR 29 1971
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 408 Brighton Ave.
Owner's name and address Lawrence Newth, 408 Brighton Ave.
Lessee's name and address
Contractor's name and address Marley Company, 23 Penn Ave.
Architect
Proposed use of building Doctor's Office & Dwelling
Last use
Material frame No. stories 1 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 1,000.00 Fee \$ 5.00

General Description of New Work

To erect (2) non-bearing partitions in basement area as per plan submitted.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof?
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber--Kind Dressed or full size? Corner posts
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

ESS. 4/29/71

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

CS 301

INSPECTION COPY

Signature of owner by:

Lawrence Newth
Lawrence Newth

Permit No. 711 464
Location 408 Brighton Ave.
Owner James Newsh
Date of permit 4/29/21
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____
~~Staking Out Notice~~ 18V
Form Check Notice _____

NOTES

5/17/21
Not started
6/9/21
Done

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. 55444

Issued

Portland, Maine 12/19, 1966

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

Owner's Name and Address Dr. Steven Russell Tel.
 Contractor's Name and Address Anthony Manna's Tel.
 Location 408 Brighton Ave Use of Building A
 Number of Families Brighton Apartments .. Stores .. Number of Stories ..
 Description of Wiring: New Work .. Additions .. Alterations ..
Disposal, Dish - Washes ..
 Pipe .. Cable .. Metal Molding .. BX Cable .. Plug Molding (No. of feet) ..
 No. Light Outlets .. Plugs .. Light Circuits .. Plug Circuits ..
FIXTURES: No. .. Light Switches .. Fluor. or Strip Lighting (No. feet) ..
SERVICE: Pipe .. Cable .. Underground .. No. of Wires .. Size ..
METERS: Relocated .. Added .. Total No. Meters ..
MOTORS: Number .. Phase .. H. P. .. Amps .. Volts .. Starter ..
HEATING UNITS: Domestic (Oil) .. No. Motors .. Phase .. H.P. ..
 Commercial (Oil) .. No. Motors .. Phase .. H.P. ..
 Electric Heat (No. of Rooms) ..
APPLIANCES: No. Ranges .. Watts .. Brand Feeds (Size and No.) ..
 Elec. Heaters .. Watts ..
 Miscellaneous .. Watts .. Extra Cabinets or Panels ..
 Transformers .. Air Conditioners (No. Units) .. Signs (No. Units) ..
 Will commence 12/19 1966 Ready to cover in 11:00 a.m. Inspection .. 19..
 Amount of Fee \$ 3.00 ..
 Signed Anthony Manna's

DO NOT WRITE BELOW THIS LINE

SERVICE .. METER .. GROUND ..
 VISITS: 1 .. 2 .. 3 .. 4 .. 5 .. 6 ..
 .. 7 .. 8 .. 9 .. 10 .. 11 .. 12 ..

REMARKS:

INSPECTED BY [Signature]
 (OVER)

LOCATION *Brighton Av. 402*
 INSPECTION DATE *12/13/66*
 WORK COMPLETED *12/13/66*
 TOTAL NO. INSPECTIONS *1*
 REMARKS:

FEEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING

1 to 30 Outlets (including switches) \$ 2.00
 31 to 60 Outlets (including switches) 3.00
 Over 60 Outlets, each Outlet (including switches)05
 (Each twelve feet or fraction thereof of fluorescent lighting or
 any type of plug molding will be classed as one outlet).

SERVICES

Single Phase 2.00
 Three Phase 4.00

MOTORS

Not exceeding 50 H.P. 3.00
 Over 50 H.P. 4.00

HEATING UNITS

Domestic (Oil) 2.00
 Commercial (Oil) 4.00
 Electric Heat (Each Room)75

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Dish-
 washers, etc. — Each Unit 1.50

TEMPORARY WORK (Limited to 6 months from date of permit)

Service, Single Phase 1.00
 Service, Three Phase 2.00
 Wiring, 1-50 Outlets 1.00
 Wiring, each additional outlet over 5002
 Circuses, Carnivals, Fairs, etc. 10.00

MISCELLANEOUS

Distribution Cabinet or Panel, per unit 1.00
 Transformers, per unit 2.00
 Air Conditioners, per unit 2.00
 Signs, per unit 2.00

ADDITIONS

5 Outlets, or less 1.00
 Over 5 Outlets, Regular Wiring Rates



RS RESIDENCE ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, Sept. 8, 1959

PERMIT ISSUED
07470
OCT 15 1959
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 410 Brighton Ave. Within Fire Limits? Yes Dist. No. 30. Paris Rd.
Owner's name and address Dr. & Mrs. Stephen Russell, 3 Wilbur R. Ingalls, Telephone 45 Exchange St.
Lessee's name and address 45 Exchange St. Telephone 4-1630
Contractor's name and address E. G. Johnson & Co., 3 Cliff St. Telephone 4-1630
Architect Specifications Yes Plans Yes No. of sheets 1 to 8
Proposed use of building dwelling & office No. families 1
Last use split level No. families
Material frame No. stories Heat Style of roof 4-in. pitch Roofing Asphalt Class C
Other building on same lot Und. 1
Estimated cost \$ 29,000 Fee \$ 29.00

General Description of New Work

to construct dwelling & office 66'x46'
split level

Permit Issued with Letter

Advance permit for excavation and construction of foundation only issued 9/22/59 - agj

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? yes If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent? Yes
Height average grade to top of plate 15' Height average grade to highest point of roof 20'
Size, front 66' depth 46' No. stories split level Solid or filled land? ledge earth or rock?
Material of foundation concrete Thickness, top 8" bottom 8" cellar 4"
Material of underpinning concrete Height varies -2 to 7' Thick. s
Kind of roof asphalt pitch Rise per foot 4" Roof covering Asphalt shingles
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat f.h.w. fuel oil
Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x6 Sills box-4x6
Size Girder 6x10 Columns under girders concrete piers Size 16x16 Max. on centers 8'3"
Kind and thickness of outside sheathing of exterior walls? 3/4"
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x10, 2nd, 3rd, roof 2x8
On centers: 1st floor 16", 2nd, 3rd, roof 16" 12"
Maximum span: 1st floor 13'4", 2nd, 3rd, roof 10' to 12'
If one story building with masonry walls, thickness of walls? varies to 9" height?

If a Garage

No. cars now accommodated on same lot, to be accommodated 2 number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED: 10/15/59 with letter
.....
.....

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

E. G. Johnson & Co.
By: M.B. Johnson

Signature of owner

INSPECTION COPY

NOTES

11-23-59 Form 2 OK

OK to size & location

1-29-60 Went on

fire stops needed

2-10-60 OK to close

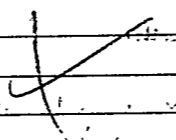
in 2nd floor back room area

7-24-60 left Corcon

tag to close in

6-25-60

6-22-60 Completed



Permit No. 59/11770
 Location 41st St. & 1st Ave
 Owner [Signature]
 Date of permit 10/15/59
 Notif. closing in
 Inspn. closing in 2-24-60
 Final Notif. 6-22-60
 Final Inspn. 6-22-60
 Cert. of Occupancy issued 6-22-60
 Staking Out Notice
 Form Check Notice

DETAILS OF WORK
 1. Are all openings properly protected in the work? Yes
 2. Is the work to be done in the correct place? Yes
 3. Is the work to be done in the correct manner? Yes
 4. Is the work to be done in the correct time? Yes
 5. Is the work to be done in the correct place? Yes
 6. Is the work to be done in the correct manner? Yes
 7. Is the work to be done in the correct time? Yes
 8. Is the work to be done in the correct place? Yes
 9. Is the work to be done in the correct manner? Yes
 10. Is the work to be done in the correct time? Yes

At 402-412 Brighton Ave.
New dwelling and professional office for Dr. & Mrs. Stephen Russell by E.G. Johnson & Co

Oct. 14, 1959

E. G. Johnson & Company
3 Cliff Street

cc to: Dr. & Mrs. Stephen Russell, So. Paris
cc to: Fr. Wilbur Ingalls, Jr., 45 Exchange St.

Gentlemen:

Advanced permit for excavation and construction of foundation only having been issued on Sept. 22nd., the permit for general construction of the above work is issued herewith, based on the specifications, Sheets 1 to 7 of the plans (each sheet bearing the date of 8/12/59 and Sheets 2 to 7 inclusive the revision date of 10/1/59, also a fragmentary plan A-1, received here 10/13/59, and showing the revised framing of the canopy over the office entrance; and conditioned on the following:

1. The vertical reinforcement bars of the 10-inch thick foundation wall at front and rear of the living room section are to be carried up into the 6-inch thick "stem" which will support the exterior wall.

2. The studs of the central bearing partition in the upper level of the left wing are to be carried down to a bearing on the top of the 4x4 girder over the game room or the doubled plate of the bearing partition beneath, as the case may be. The studs in front and rear exterior walls at the same level are to be carried down to the doubled 2x4 girt, and as far as possible at these points and the side walls where the Garrison type overhang occurs as much of the bearing members with the grain horizontal are to be eliminated, to avoid unequal shrinkage.

If a ridge board, usually called for by Sec. 31203.9 of the Code, is not to be used in the roof of the left wing and central portion of the dwelling, the rafters are to be lapped and spiked together at the peak, the plate of the bearing partition is to be shaped to conform to the pitch of the rafters and the rafters spiked to the plate.

3. No less than 1x3 bridging is required in all floor joist spans exceeding 8 feet. The very slight increase in pitch of the roofs, to avoid figuring a full snow load as for a roof 4 inches to the foot pitch or less, is not sufficient to warrant omitting the 1x3 bridging where rafter spans exceed 8 feet.

4. On the basis that the pitch of the garage roof is to exceed 4 inches to the foot, the doubled 2x14 joists serving as lintel over the garage door are to be genuine Douglas Fir. The 6x10 beam under the living room are to be of genuine Douglas Fir as well as the 4x14 beams under upper floor of left wing.

5. Wherever doubled 2x4 headers are shown over window or door openings in exterior walls, the 2x4 are to be set with the 4 inch dimension upright. The hearth of living room fireplace is to be at least 18 inches deep instead of 16 inches as indicated on Sheet 3.

E. G. Johnson & Company

Oct. 14, 1959

Page 2

6. The entire garage side of the partition between the garage and center section is to be covered with gypsum wallboard or equivalent, no less than $\frac{1}{2}$ inch thick from garage floor or top of the foundation wall to the roof boards. The solid core door between garage and living room is to be no less than $1\frac{3}{4}$ inches thick without panels and equipped with self-closing device. If the floor drain indicated in the garage is to be connected with the public sewer, the Plumbing Inspector in the Health Department should be consulted as to the type of drain inlet required by City and State and also approved by the Fire Chief.

7. No positive means of ventilating the "crawl" space beneath the living room floor has been discovered. While the Building Code requires none, it is usual. The Building Code does require sufficient arrangements for admitting fresh air to the heater to support proper combustion. Positive means of securing that should be provided.

Very truly yours,

Warren McDonald
Acting Deputy Insptr. of Bldgs.

WMcD:m

Enc: permit card and copy of application.

AP 406-412 Brighton Ave.
New dwelling & professional office for Dr. & Mrs. Stephen Russell by E. G. Johnson & Co.

Sept. 16, 1959

Mr. Wilbur R. Ingalls, Jr.
45 Exchange Street

cc to: E. G. Johnson & Company
3 Cliff St.
cc to: Dr. & Mrs. Stephen Russell

Dear Mr. Ingalls:

Examination of the plans of the above work discloses a number of omissions and features at variance with the requirements of the Building Code, as indicated below. If we have overlooked information on plans or in specifications which clear up these questions, please notify us without delay; otherwise it is necessary to revise the plans (showing date of revision on them, to meet the terms of the Code, and to file fresh prints, these to bear upon them the statement of design required by the Code as to reinforcement of the foundation walls and any structural steel which you may plan to use (blank statement of design enclosed). Figured references are to sections of the Building Code where applicable. For brevity, the two-level section will be referred to as the left wing, the living room part as center section, and the garage as right wing.

1. At the right front corner of left wing, the bottom of the wooden sill would be only about 2 inches above the finished grade and for some distance along the side wall and the front wall the sill would be less than the 6 inches required above finished grade. At these points and at any others where the outside sill would be less than 6 inches above the finished grade a change of levels is necessary. 312c3.3. If you decide to change at these points by lowering the finished grade, it should be done consistently with the other finished grades and to avoid a depression around the foundation wall.

2. Front and rear foundation walls of center section would have a "stem" only 4 inches thick, extending upwards to support the sill under the exterior wall. The part above the finished grade is the underpinning to have a minimum thickness of 8 inches. 307c3.7.

Although an 8 inch thickness is preferable, a minimum of 6 inches will be acceptable if the "stem" is thoroughly secured to the main wall below by reinforcement, the entire wall to be done at one "pour" of course. Undoubtedly this will require a thicker wall, and it appears feasible to make the main wall thick enough so that the "stem" will be the required 8 inches thick and so that the horizontal member of the box sill supporting the floor will be no less than 2x6 -- the minimum stipulated by the Building Code for a box sill. In any case the sill supporting the exterior wall must be solid 4x6 instead of the built-up arrangement shown, and size and spacing and length of anchor bolt should be indicated for both of the sills. To make the 6 inch dimension of the solid sill horizontal would make bolting easier.

3. The location of the sills of the left wing is such that the center of gravity of the load would be deposited on the concrete wall only about 1 1/2" from the inner face of the wall. This load amounts to about 500 pounds per lineal foot, and the detail must be changed so that the center of gravity of the load from above for good maintenance and future safety.

4. Since the application, we are told that the brick veneer is to be omitted which should be shown on the plan and what is to be substituted for outside weather proof covering.

5. Corner posts of left wing are to be shown as 4x6 or equivalent to cross section running in all one length from the top of sill to the underside of roof plate. 312c3.1.

Studs of bearing partition at center of left wing, those in the bearing partition between left wing and center section and the studs of exterior first story front and side walls and at both levels of rear wall of left wing should be shown to go down to a bearing on the doubled partition plate, or the girders in bearing partition, or the solid sills, or the doubled girts in exterior walls - - as the case may be. 312c3.6.

The sill of the right wing should be shown as solid 4x6.

6. No cross bridging shown in roof joist spans, or in roof joists spans, the latter being required because the pitch of roof does not exceed 4 inches to the foot. 312c3.8.

Doubled joists should be shown under nonbearing partitions and doubled headers and trimmers around stairwell in upper floor of left wing, with joist hangers or equivalent. 312c3.2(a) and 3.11.

7. No provision is shown to keep the rafters or roof joists of center section and right wing from spreading the side walls. This is most essential, either by collar beams or equivalent. Hanging the inner ends of ceiling joists over front of center section adds to the problem. Character of hangers, of beam supporting joists at top of rafters should be shown.

Perhaps it is the intent to support these ceiling joists and the peak of the roof on the kitchen partition extended upward and upon bearing partitions on beams in line with the kitchen partition where that partition does not occur, thence to the girder and piers and foundations in crawl. If that is the plan the studs of the partition should be carried down to the bearing on the top of the girder, and the size of beams shown at ceiling level of kitchen. Even so it would be well to provide collar beams to play safe with this low pitch roof on fairly long spans.

8. Adequate support of exterior wall of left wing where "Garrison-Type" overhang occur at front wall, is shown, especially at both corners where corner posts would appear to be supported on the overhang; also show how the 16-inch overhang of front roof is to be supported beyond the ends of the side walls.

The method of holding up that part of the overhang which extends below second floor girt should be shown at both the front and sidewalls of left wing.

9. Framing of canopy over office entrance not found. How are hanging rods to be fastened to the canopy and to the building.

10. The 4x10 beam over the Game Room, over hall in office section and under the center of the outside balcony (the latter a cantilever) is far from having sufficient strength. After beam of sufficient strength has been designed, the character of the supports of both ends of the beam over the Game Room should be shown together with the detailed arrangement proposed where the 4x10 cantilevered beams at either end of the outside balcony extend into the exterior wall and interior partition.

The 4x8 girder (size identified only by scaling) under center section would not be strong enough. This deficiency will be even greater, if you plan to support the center of the roof, the kitchen partition and the ceiling joists down upon this girder.

11. Size and character of the lintel over the large garage door has not been found.

On the span of 16 feet. Sec. 1-1 on Sheet 4 has an indication which may mean ceiling joists from plate to plate of the garage, or it may mean only the timbers to care for the overhead door. If there is a ceiling it would mean additional weight over the door opening. On this section there is shown an access door to some space. If this access door is intended in the wall between garage and center section, whether to the space over the ceiling or not, a standard fire resistive fire door described in Sec. 30304 set in a metal clad frame is required.

12. What is proposed by way of a beam to support the roof over the opening for stairs in partition between left wing and center section?

It is doubtful if the usual doubled 2x4 headers with the 4-inch dimension horizontal will give sufficient strength over the 3 foot wide window and door openings in exterior walls of left wing. Unless they can be shown to be, the doubled 2x4's should be set with the 4-inch dimension upright and thus shown on the plans.

If there are not to be at least 2x4 uprights in the mullions of the multi-mullion windows in the center section, the size of the doubled beams over these openings should be shown on Sec. 311, Sheet 6 having first checked for strength to support roof, ceiling, etc. If 2x4 uprights in the mullions are intended, the headers should be no less than doubled 2x4 over the 3-foot wide openings, set with the 4-inch dimension upright.

13. Since the two outside concrete platforms will not be supported below frost, an insulation joint should be indicated between them and the foundation walls.

14. Fireplace hearths should be shown at least 18 inches deep instead of 16. The wood joist shown beneath the hearth of livingroom fireplace and against the concrete foundation should be eliminated. Thickness of stone veneer at the face of the livingroom fireplace should be shown and method of anchoring to the brick work. A cast iron cleanout door and frame should be shown at such a location in the heater flue that it will be easily accessible for cleaning out the flue and at the bottom of the door will be not more than 12 inches above the bottom of the flue.

The plan of the livingroom fireplace on Sheet 7 in shows a closet on either side of the fireplace with the brick wall of the fireplace and chimney exposed in the closet. It is obvious that any burnable material stored in the closets might be in contact with the masonry wall of the chimney and even more of a fire hazard created than if the woodwork of the building were against the chimney. Therefore it is strongly recommended that a metal grille permanently fastened in place be provided at least 1-inch

Mr. Wilbur A. Ingalls, Jr.

Page 4

Sept. 17, 1959

from the chimney wall of such a character that material could not get within 1-inch of the masonry of the chimney for a partition to be built to close off the closet, from the chimney, the partitions to be at least an inch from the brick work. Size and spacing of the reinforcement should be shown in the concrete lintels over the small doorways of either side of the fireplace at the lower level.

15. No facilities for ventilating the crawl space has been found; but it will be necessary to provide a sure and sufficient supply of fresh air to the heater for the purpose of safe combustion. It appears there would be small clearance over the heater to the wooden framing above. Presumably the smokepipe will come out of the back of the heater, otherwise there might be a question of safe clearance between the top of the smokepipe and the woodwork overhead also. A separate permit for the heating boiler is required from this department, issuable only to the installer, but it would be to check up in advance to see that the clearances are sufficient for safety. The oil burner requires the label of the Underwriters' Laboratories, Inc.

Very truly yours,

Warren McDonald
Acting Deputy Inspector of Bldgs.

WAC:DM

Enc: blank statement of design



Copy to:
E.G. Johnson & Co.
3 Cliff St.
Portland

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to Dr. & Mrs. Stephen Russell
406-412 Brighton Ave.

LOCATION
406-412 Brighton Ave.

Date of Issue June 22, 1960

This is to certify that the building, premises, ^{part thereof,} at the above location, built—altered
—changed as to use under Building Permit No. 59/11,780, has had final inspection, has been found to conform
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for
occupancy or use, limited or otherwise, as indicated below.

ENTIRE
PORTION OF BUILDING OR PREMISES

Limiting Conditions:

APPROVED OCCUPANCY
One family dwelling—doctor's
office & 2-car garage

This certificate supersedes
certificate issued

Approved:

(Date) Nelson F. Cartwright
Inspector

Albert J. Sears
Inspector of Buildings

CS 147

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

AP-406-412 Brighton Avenue

September 22, 1959

E. G. Johnson & Co.
3 Cliff Street
Mr. Wilbur R. Ingalls, Jr.
45 Exchange Street

cc to: Dr. & Mrs. Stephen Russell
South Paris, Maine

Gentlemen:

Advance permit for excavation and construction of foundation only for single family dwelling with attached garage at the above named location is issued herewith subject to the following conditions:

1. Revised plans taking care of details and questions covered in our letter of Sept. 16, 1959 are to be furnished for checking and approval before notification is given for check of forms and location prior to pouring of concrete for foundation walls.
2. All parts of foundation walls are to extend to ledge or at least 4 feet below the finished grade where ledge is not reached.
3. All parts of the foundation walls are to be made at least 10 inches thick in those sections where floor timbers are to rest at a level below that at which the wall studding is supported, so that the stem of concrete on which walls are supported will be no less than 6 inches thick.

Very truly yours,

Albert J. Sears
Inspector of Buildings

AJS/JE



R3 RESIDENCE UNIT

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Sept. 18, 1959

PERMIT ISSUED

SEP 22 1959 01269

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 406-412 Brighton Ave. Within Fire Limits? no Dist. No. _____
 Owner's name and address Dr. & Mrs. Stephen Russell c/o Wilbur R. Ingalls Telephone _____
South Paris Maine 45 Exchange St.
 Lessee's name and address _____ Telephone _____
 Contractor's name and address E.G. Johnson & Co. 3 Cliff St. Telephone 4-1630
 Architect _____ Specifications _____ Plans yes No. of sheets _____
filled
 Proposed use of building Dwelling & Office No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

For excavation and foundation only for a one family dwelling and office (split-level) 66' x 46'

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? yes
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ earth or rock? _____
 Material of foundation see plans Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Kind and thickness of outside sheathing of exterior walls? _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

with letter by JAG

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

Dr. & Mrs. Stephen Russell
E.G. Johnson & Co.

Signature of owner by: *[Signature]*

INSPECTION COPY

F.M

Permit No. 59/1269
 Location 406-412 Brighton Ave
 Owner Dr. Mrs. Stephen Russell
 Date of permit 9/22/59
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. _____
 Cert. of Occupancy issued _____
 Staking Out Notice _____
 Form Check Notice 11/4/59
11/30/59

NOTES
 11/4/59 - Sold to Mr. Johnson
 O.K. to issue 9/22/59
 = 12-16-59 to check the line.
 Allen

Inspector _____
 Date of issue _____
 License No. _____
 State of _____

Inspector _____
 Date of issue _____
 License No. _____
 State of _____



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, February 9, 1960

PERMIT ISSUED

FEB 12 1960

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 406-412 Brighton Ave. Use of Building Dwelling No. Stories 1 New Building Existing
Name and address of owner of appliance Dr. Stephen Russell, South Paris Me.
Installer's name and address Harris Oil Co. 202 Commercial St. Telephone 2-8304

General Description of Work

To install Forced hot water heating system and oil burning equipment.

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? none
If so, how protected? Kind of fuel? oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 8" with fibre glass insulation
From top of smoke pipe 1.8" From front of appliance over 4" From sides or back of appliance over 2"
Size of chimney flue 8x10 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner H.B. Smith-guntype Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 1/4"
Location of oil storage basement Number and capacity of tanks 1-275 gal.
Low water shut off Make No.
Will all tanks be more than five feet from any flame? yes How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

over Boiler will use small P.
Permit issued with Letter
Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:
C.R. - 2-8-60 with letter

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Harris Oil Company

Signature of Installer by:

INSPECTION COPY

CS 300

T-M

Permit No. 60/127
 Location 406-412 Brighton Ave
 Owner Dr. Stephen Russell
 Date of permit 2/12/60

Approved _____

NOTES

1	Well	
2	Year	
3	Kind	
4	Size	
5	Material	
6	Water	
7	High	
8	Hydro	
9	Piping	
10	Valve	
11	Cap	
12	Trap	
13	Stand	
14	Oil	
15	Gas	
16	Line	

4-16-60 Completed

Vertical lines for notes or additional information.

406-412 Brighton Ave.
Installation of hot water heating system and oil burner
for Dr. Stephen Russell

Feb. 12, 1960

Mr. Emil W. Iversen
Att: Mr. Savage
202 Commercial St.
Harris Oil Co.
2-2 Commercial St.

cc to: W. G. Johnson & Co.
3 Cliff St.
cc to: Wilbur Ingalls, Jr.
45 Exchange St.
cc to: Dr. Stephen Russell
So. Paris, Maine

Gentlemen:

Building permit for the above installation is issued to Harris Oil Company (that company applied for the permit for both heating system and oil burning equipment), subject to the following:

In view of the fact that the top of the boiler will be only eight inches below woodwork above it, instead of the "fibre glass insulation" indicated in the application, Mr. Savage is arranging to provide the type of shield stipulated in such a case by Section 602c3 of the Building Code, namely, an assembly of one-quarter inch asbestos millboard and one-inch rockwool bats reinforced with wire mesh, this shield to be of such an area and so located that it will protect all woodwork within 18 inches of any part of the boiler.

The application for the permit by Harris Oil Co. gives that sufficient fresh air will be supplied to the appliance to and safe combustion.

Some of the delay in issuing the permit after the application on Feb. 9th, may have been caused by there really being 2 installations. Mr. Iversen installing the hot water boiler, piping etc., while Harris Oil Co. attended to the oil-burning equipment only. If that is the way it was done, there should have been 2 applications for as many permits, each by the particular installer.

Very truly yours,

WMD:m

Warren McDonald
Acting Deputy Insptr. of Bldgs.

Mr. Ingalls; Dr. Russell: With reference to the last paragraph of our letter of Sept. 17th (before the building permit was issued), having encountered some cases where trouble arose because of insufficient air being supplied to oil burning equipment in order to support combustion properly, we will run the risk of being considered meddling by referring again to this subject, purely in the interest of the owner. We are now told that the only means of admitting air to the "crawl" space where the heater is located, is through the 2 doors in the foundation wall between the "crawl space" and recreation room, and that these doors have fixed louvers. The oil burner people have assured us on the application that sufficient fresh air will thus be supplied to insure

Mr. Ingalls & Dr. Russell

Page 2

Feb. 12, 1960

However, it occurs to us that Dr. Russell might find it undesirable to have these small but direct openings between the two spaces. It is suggested that, if he should find it desirable to close these louvres at any time, a sure and alternative method be provided to supply air for combustion purposes.

Warren McDonald

406-408 Brighton Ave. 2/6/58 Dr. Russell came in. Since there is no water in the
excav. now, and the earth taken out is frozen, he is to wait until frost is out of the ground
and then fill all parts of the excav. which seem hazardous. If, in the meantime, we should
have justifiable complaints or the excav. should fill with water, we are to notify Mr. Shirley
Irish at Portland Savings Bank who is bro. in law of Dr. Russell. Dr. R. does not expect that
can build before 1959. wmc

DR. STEPHEN D. RUSSELL
OSTEOPATHIC PHYSICIAN & SURGEON
SOUTH PARIS, MAINE
TEL. RES. 443-R
OFFICE 443-W

Feb. 2, 1958.

Mr. Warren McDonald, Inspector,
Rm. 110, City Hall,
Portland, Maine.

Dear Mr. McDonald:

In receipt yesterday morning of your letter of Jan. 30th, regarding my
lot on Brighton Ave. I had taken only one brief look at the land since
the exploration for ledge had been done, but that was enough to reveal
to me the danger to trespassers in the south-east corner. It has been
in my mind that that would have to be either filled in or covered over
before the advent of spring rains & thaw. However, I had not anticipated
spring in January, and had also rather hoped I hadn't lacked neighbors
who were as nosy and meddling as some prove to be.

I drove down to Portland yesterday afternoon, to take another look at the
lot, and to talk the matter over with you; but I was not fortunate enough
to be able to contact you; so I thought it best to write this morning,
that you will know I am co-operative, and to brief you on the details of
the situation, and there-by save both your time and mine when we get to-
gether to go over the avenues of solution.

As the years roll by, a country practice gets rougher and harder to
take. For the past 4 years my wife and I have been planning a move to
Portland. We both have always wanted a new house, so we first purchased
the Brighton Ave. property, which was originally owned by 2 different
people. The eastern or city half was purchased in 1955; the western half
in 1956; an oversight by either the lawyer or recorder placed it in my
name rather than both our names as it should have been, and as the first
was; therefore the variation in ownership names which you mentioned.

My next statement you may find it a bit difficult to believe, but it is
the absolute truth. The amount and degree of excavation which has been
made on the lot, came as even a greater surprise and upset to me, than
it did to the complaining neighbors or to you city officials.

The explanation of this statement is as follows:- In deciding what we
wanted to build, we checked the market on pre-fabricated homes as well as
conventional. One of these was the Hodgson Homes, whose Portland repre-
sentative is a Mr. White, whose headquarters seem to be at MacPherson
Realty Co. on Stevens Ave. It would appear that Mr. White is an ambi-
tious soul, the go-getter sort, whose activities exceed his statements and
judgement. In his efforts to sell me one of his houses, he was ready to
do anything on the Portland end that would save me time and bother; I do
really know better than to be so foolish, but I made the mistake of tel-
ling him to go ahead and do the arranging I should have been doing myself.
I told him I had planned to put a small bull-dozer on the lot, and push
the dirt around enough to describe the ledge tapers to see what I had to
deal with in foundation planning. Next time I saw him he said he could

Page 2...Mr. McDonald...

DR. STEPHEN D. RUSSELL
OSTEOPATHIC PHYSICIAN & SURGEON
SOUTH PARIS, MAINE

TEL. RES. 443-R
OFFICE 443-W

get a bull-dozer to do this at a maximum cost of \$75.00. So I said to go ahead.

Mr. White was the man who came to your office and talked to Deputy Sears, and was told it was o.k. to uncover the ledge. This is what I supposed was going to be done.

Just before Christmas I received a bill for nearly three times the stated seventy-five dollars, entitled cellar excavation on Brighton Ave., involving big equipment and several contractors with a finger in the financial pie. A quick trip down there revealed the situation as you now see it. As you may imagine, I have been considerably upset by the whole deal ever since. A beautiful example of the innocent by-stander catching it from both sides of the fence, and it looks as though I am not out of the woods yet.

Now regarding my plans for building, as you can guess from the foregoing, they are not too definite. We had originally set this spring as a target date for building. However, scarce money and the business recession, hit this town over a year ago, collections are terrible, and it has put a crimp in my money-saving schedule, so it will be 1959 or later before we can corner money enough to make it good judgement to build. This of course, building code or no building code, would make it my duty as a citizen to remove any dangers to life or limb, for any trespassers on the property, even though said dangers were manufactured without my consent. And this of course, as stated previously, I had every intention of doing, nosy neighbors or not.

With this in view, I am scheduling my appointments so that I can be in Portland for the afternoon this Thursday, Feb. 6th. I will be at your office at 2 P.M., and would hope you can plan your schedule to go over the situation with me at that time. It should not take us very long, but I would appreciate your advice on 2 points:- 1st, the acceptable solutions according to the code for removing the dangers present; and 2nd, the least expensive way of so doing, because every dollar that I don't have to spend now, is one dollar nearer the starting of my new home.

Sincerely yours,

Stephen D. Russell, M.D.

January 30, 1958

FU- McD- 2/7/58

406-412 Brighton Ave., excavation

Mr. & Mrs. Stephen D. Russell
So. Paris, Maine

Dear Mr. & Mrs. Russell:

Will you be good enough to let me know before February 7, 1958, what your plans are with relation to the two vacant lots on Brighton Avenue -- 406-408 (Assrs. No. 177 I 3) reported to be owned by you jointly, and 410 - 412 (Assrs. 177 I 30) reported to be in the name of Stephen only.

It seems that someone, perhaps Mr. Russell, came to the office and talked with Deputy Sears as to the exploration to determine where ledge is in the lots, and he was told that there is no objection to uncovering the ledge. That apparently has been done, as I have noticed a power shovel there on several occasions and considerable excavation has been made.

Now we are beginning to receive inquiries from the neighborhood in view of this extraordinary weather to the effect that some of the holes excavated are deep enough to contain considerable water from rain and melting snow, and people are concerned as to the safety of children to whom such a situation is often called an "attractive nuisance". We would like to know promptly what your plans are as to building, and, if you intend to build, how soon you would be applying for the necessary building permit and getting the work started. Please be assured that we wish to help you to build rather than to hinder; but if conditions are as represented from the neighborhood or may be so in the next few months, and you do not intend to start building right away, it may be necessary for you to replace the fill so that hazard will not exist.

The Building Code provides for such situations commenced or unfinished in connection with building operations, and the public have a right to expect that we will carry through the requirements of the Code.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD:M

Enc: stamped and self-addressed envelope

PERMIT # 1430 CITY OF Portland BUILDING PERMIT APPLICATION MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

* Owner: Group Main Stream, Inc. - 775-0824
 Address: 205 Ludlow St., Portland, ME 04102
 LOCATION OF CONSTRUCTION 408 Brighton Avenue - Ground Floor
 CONTRACTOR: Gaylen Wilcox SUBCONTRACTORS: _____
 ADDRESS: 211 Maple Drive, Scarborough, ME 04074
 Est. Construction Cost: 1,450.00 Type of Use: 2-Family
 Past Use: 1-Family
 Building Dimensions L 17 W 17 Sq Ft. _____ # Stories: _____ Lot Size: _____
 Is Proposed Use: 2-Fam. Seasonal Condominium _____ Apartment _____
Change of Use from 1-Fam. to 2-Fam.
Conversion - Explain with renovations.

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only:
 # Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front: _____ Rear: _____ Side(s): _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other: _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

For Official Use Only	
Date: <u>October 30, 1987</u>	Subdivision: Yes / No _____
Inside Fire Limits _____	Name _____
Blug Code _____	Lot _____
Time of Day _____	Block _____
Estimated Cost: <u>\$1,450.00</u>	Permit Expiration: _____
Value of Structure _____	Ownership: _____ Public _____ Private _____
Fee: <u>\$30.00</u>	

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____ **PERMIT ISSUED**
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____ **City of Portland**
 4. Other _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Zoning:
 District: _____ Street Frontage Req.: _____ Provided _____
 Required Setbacks: Front _____ Back _____ Side _____

Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Condition: _____ Variance _____ Site Plan _____ Subdivision _____
 Shore Explain Mgmt. _____ Special Exception _____
 Other (Explain) _____
 Date Approved _____

Permit Received By Joyce M. Binaldi
Group Main Stream, Inc.

Signature of Applicant Millie Morrill Date Oct. 30/87

Signature of CEO _____ Date _____

Inspection Dates _____

PERMIT # 0147 CITY OF Portland BUILDING PERMIT APPLICATION MAP # LOT#

Please fill out any part which applies to job. Proper plans must accompany form.

* Owner: Group Main Stream, Inc. - 775-0824
 Address: 205 Ludlow St., Portland, ME 04102
 LOCATION OF CONSTRUCTION 408 Brighton Avenue - Ground Floor
 CONTRACTOR: Gaylen Wilcox SUBCONTRACTORS:
 ADDRESS: 211 Maple Drive, Scarborough, ME 04074
 Est. Construction Cost: 1,450.00 Type of Use: 2-Family
 Past Use: 1-Family
 Building Dimensions L W Sq. Ft. # Stories: Lot Size:
 Is Proposed Use 2-Fam. Seasonal Condominium Apartment
 Change of Use 1-Fam 1-Lam. to 2-Fam.
 Conversion - Explain with renovations.

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only:
 # Of Dwelling Units # Of New Dwelling Units

Foundation:
 1. Type of Soil:
 2. Set Backs - Front Rear Side(s)
 3. Footings Size:
 4. Foundation Size:
 5. Other

Floor:
 1. Sills Size: Sills must be anchored.
 2. Girder Size:
 3. Lally Column Spacing: Size:
 4. Joists Size: Spacing 16" O.C.
 5. Bridging Type: Size:
 6. Floor Sheathing Type: Size:
 7. Other Material:

Exterior Walls:
 1. Studding Size Spacing
 2. No. windows
 3. No. Doors
 4. Header Sizes Span(s)
 5. Bracing: Yes No
 6. Corner Posts Size
 7. Insulation Type Size
 8. Sheathing Type Size
 9. Siding Type Weather Exposure
 10. Masonry Materials
 11. Metal Materials

Interior Walls:
 1. Studding Size Spacing
 2. Header Sizes Span(s)
 3. Wall Covering Type
 all if required
 Materials

For Official Use Only	
Date: <u>October 30, 1987</u>	Subdivision: Yes / No <u> </u>
Inside Fire Limits <u> </u>	Name <u> </u>
Big Code <u> </u>	Lot <u> </u>
Time Limit <u> </u>	Block <u> </u>
Estimated Cost: <u>1,450.00</u>	Permit Expiration: <u> </u>
Value/Structure <u> </u>	Ownership: <u> </u> Public <u> </u>
Fee: <u>350.00</u>	Private <u> </u>

Ceiling:
 1. Ceiling Joists Size:
 2. Ceiling Strapping Size Spacing
 3. Type Ceilings:
 4. Insulation Type Size
 5. Ceiling Height:

Roof:
 1. Truss or Rafter Size Span
 2. Sheathing Type Size
 3. Roof Covering Type
 4. Other

Chimneys:
 Type: Number of Fire Places

Heating:
 Type of Heat:

Electrical:
 Service Entrance Size: Smoke Detector Required Yes No

Plumbing:
 1. Approval of soil test if required Yes No
 2. No. of Tubs or Showers
 3. No. of Flushes
 4. No. of Lavatories
 5. No. of Other Fixtures

Swimming Pools:
 1. Type:
 2. Pool Size: x Square Footage
 3. Must conform to National Electrical Code and State Law.

Zoning:
 District R-5 Street Frontage Req. Provided
 Required Setbacks: Front Back Side Side

Review Required:
 Zoning Board Approval: Yes No Date:
 Planning Board Approval: Yes No Date:
 Conditional Use: Variance Site Plan Subdivision
 Shore and Floodplain Mgmt. Special Exception
 Other (Explain)
 Date Approved Oct 30, 1987

Permit Received By Joyce M. Rinaldi
Group Main Stream, Inc.

Signature of Applicant Millie Morrill Date Oct. 30/87

Signature of CEO

Inspection Dates

PERMIT ISSUED WITH LETTER

Ma. Carroll

PLOT PLAN



408 Brighton Ave

FEES (Breakdown From Front)
Base Fee \$ 30.00
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

Signature of Applicant Melinda Merrill - Group Main Street Date 10-30-87

Applicant: *Group Mainstream Inc* *205 Ludlow St,*
Date: *Oct 30, 1987*
Address: *408 Brighton Ave*
Assessors No.:

CHECK-LIST AGAINST ZONING ORDINANCE

- Date -
- Zone Location - *R-5 Zone*
- Interior or corner lot -
- Use - *Change from single to Two Family*
- Sewage Disposal -
- Rear Yards -
- Side Yards -
- Front Yards -
- Projections -
- Height -
- Lot Area - *15,408 sq ft*
- Building Area -
- Area per Family -
- Width of Lot -
- Lot Frontage -
- Off-street Parking -
- Loading Bays -

- Site Plan -
- Shoreland Zoning -
- Flood Plains -

BUILDING PERMIT REPORT

DATE: 30/OCT/87

ADDRESS: 408 Brighton Ave.

REASON FOR PERMIT: Change of use 1 to 2 family

BUILDING OWNER: Group MAIN Stream INC

CONTRACTOR: Gaylan Wilcox

PERMIT APPLICANT: owner

APPROVED: 1-2-4-5-6 DENIED

CONDITION OF APPROVAL ~~OR DENIAL~~:

- *1.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.
- *2.) Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 3.) Each apartment shall be equipped with an approved single station smoke detector powered by the house current. The detector shall be located in an area which will provide protection for the sleeping areas.
- *4.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling, or by placing over the boiler, two(2) residential sprinkler heads supplied from the domestic water.
- *5.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear openings of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).

*3.) In addition to any automatic fire alarm system required by Sections 1716.3.2 and 1716.3.3, a minimum of one single station smoke detector shall be installed in each guest room, suite of sleeping area in buildings of Use Groups R-1 and I-1 and in dwelling units in the immediate vicinity of the bedrooms in buildings of Use Group R-2 or R-3. When actuated, the detector shall provide an alarm suitable to warn the occupants within the individual unit (see Section 1717.3.1).

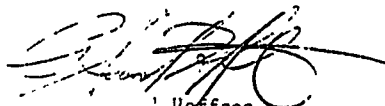
In buildings of Use Groups R-1 and R-2 which have basements, an additional smoke detector shall be installed in the basement. In buildings of Use Group R-3, smoke detectors shall be required on every story of the dwelling unit, including basements.

In dwelling units with split levels, a smoke detector installed on the upper level shall suffice for the adjacent lower level provided the lower level is less than one full story below the upper level. If there is an intervening door between the adjacent levels, a smoke detector shall be installed on both levels.

All detectors shall be installed in an approved location. Where more than one detector is required to be installed within an individual dwelling unit, the detectors shall be wired in such a manner that the actuation of one alarm will actuate all the alarms in the individual unit.

Private garages located beneath rooms in buildings of Use Groups R-1, R-2, R-3 or I-1 shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fire-resistance-rated materials. Attached private garages shall be completely separated from adjacent interior spaces and the attic area by means of gypsum board or equivalent applied to the garage walls and ceiling of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102 mm) above the garage floor. The door opening protectives shall be 1 3/4-inch solid core wood doors or approved equivalent.

ely,


J. Hoffses
Inspection Services

92-798

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee 25.00 Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Group Mainstream Inc. Phone # 761-634
 Address: ~~XXXXXXXXXX~~ 408 Brighton Ave
 LOCATION OF CONSTRUCTION 408 Brighton Ave
 Contractor: John DiMajo Sub: _____
 Address: _____ Phone # 774-3808 *please call*
 Est. Construction Cost: Under 1,000 Proposed Use: Group home w/ext renovation
 Past Use: Handicapped group home
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Full Conversion Erect stairs to existing deck and ~~XXXXXXXXXXXXXXXXXXXX~~
Replace railings and decking

For Official Use Only PERMIT ISSUED
 Date June 8, 1992 Subdivision _____
 Inside Fire Limits _____ Name _____
 Bldg Code _____ Lot _____
 Time Limit _____ Ownership: _____
 Estimated Cost _____

Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) WDA 7-26-92

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____ Spacing _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type: _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 Date: _____
 Signature: _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Fixtures _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. _____
 2. _____

HISTORIC PRESERVATION

PERMIT ISSUED WITH LETTER
 Signature of Applicant John DiMajo
 Signature of Official Mary Gress
 Date June 8, 1992

White - Tax Assessor

Ivory Tag - CEO

MR. CARROLL

923798

Permit # 923798 City of Portland BUILDING PERMIT APPLICATION Fee 100 Zone Map # Lot #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Group Mainstream Inc. Phone # 764-6111
 Address: 408 Brighton Ave
 LOCATION OF CONSTRUCTION 408 Brighton Ave
 Contractor: John DiMato Sub:
 Address: Phone # 774-3300
 Est. Construction Cost: Under 1,000 Proposed Use: Group home w/ ext rear deck
 Past Use: handicapped group home
 # of Existing Res. Units # of New Res. Units
 Building Dimensions L W Total Sq. Ft.
 # Stories: # of Rooms Lot Size
 Is Proposed Use: Seasonal Condominium Conversion
 Explain Conversion Direct stairs to existing deck and handrails
Replace railings and decking

For Official Use Only
 Date June 8, 1992 Subdivision:
 Inside Fire Limits None
 Bltg Code L
 Time Limit Ownership: CITY OF PORTLAND
 Estimated Cost

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 JUN 11 1992
 CITY OF PORTLAND

Foundation:
 1. Type of Soil: Rear Side(s)
 2. Set Backs - Front Rear Side(s)
 3. Footings Size:
 4. Foundation Size:
 5. Other

Floor:
 1. Sills Size: Sills must be anchored.
 2. Girder Size: Size:
 3. Lally Column Spacing: Spacing 16" O.C.
 4. Joists Size: Size:
 5. Bridging Type: Size:
 6. Floor Sheathing Type: Size:
 7. Other Material:

Exterior Walls:
 1. Studding Size Spacing
 2. No. windows
 3. No. Doors Span(s)
 4. Header Sizes Yes No
 5. Bracing:
 6. Corner Posts Size Size
 7. Insulation Type Size
 8. Sheathing Type Weather Exposure
 9. Siding Type
 10. Masonry Materials
 11. Metal Materials

Interior Walls:
 1. Studding Size Spacing
 2. Header Sizes Span(s)
 3. Wall Covering Type
 4. Fire Wall if required
 5. Other Materials

Review Required:
 Zoning Board Approval: Yes No Date:
 Planning Board Approval: Yes No Date:
 Conditional Use: Variance Site Plan Subdivision
 Shoreland Zoning Yes No Floodplain Yes No
 Special Excavation
 Other (Explain)

Ceiling:
 1. Ceiling Joists Size: Spacing
 2. Ceiling Strapping Size Spacing
 3. Type Ceilings: Size
 4. Insulation Type
 5. Ceiling Height:

Roof:
 1. Truss or Rafter Size Span Action:
 2. Sheathing Type Size
 3. Roof Covering Type

Chimneys:
 Type: Number of Fire Places Date:

Heating:
 Type of Heat:

Electrical:
 Service Entrance Size: Smoke Detector Required Yes No

Plumbing:
 1. Approval of soil test if required
 2. No. of Tubs or Showers
 3. No. of Flushes
 4. No. of Lavatories
 5. No. of Other Fixtures

Swimming Pools:
 Type: Square Footage
 2. Pool Size:
 3. Must conform to National Electrical Code and State Law.

PERMIT ISSUED WITH LETTER

PERMIT ISSUED WITH LETTER

Received By Signature of Applicant Date: June 8, 1992

CEO's District
 CONTINUED TO REVERSE SIDE
 Ivory Tag - CEO

White - Tax Assessor

PLOT PLAN



Done w/out Insp.

FEES (Breakdown From Front)	Type	Inspection Record	Date
Ease Fee \$ _____	_____	_____	____/____/____
Subdivision Fee \$ _____	_____	_____	____/____/____
Site Plan Review Fee \$ _____	_____	_____	____/____/____
Other Fees \$ _____	_____	_____	____/____/____
(Explain) _____	_____	_____	____/____/____
Late Fee \$ _____	_____	_____	____/____/____

COMMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

[Handwritten Signature]

ADDRESS

PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE NO.

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

June 17, 1992

Mr. John DiMajo
408 Brighton Avenue
Portland, ME 04103

RE: 408 Br. ghton Avenue

Dear Sir:

Your application to erect stairs to existing deck and replace railing and decking has been reviewed and a permit is herewith issued subject to the following requirements:

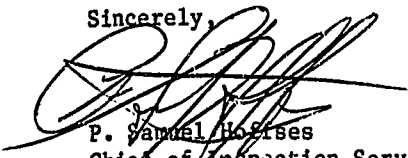
Conditions of Approval:

Reference Section 5-2 of N.F.P.A. 101 Life Safety Code

1. Stairs shall be 36" minimum clear width with 7" maximum riser and 11" minimum tread.
2. Hand rails shall have a circular cross section of 1 1/4" to 2" and shall be 34" to 38", to the top of the rail, above the surface of the tread measured at the nosing.
3. Guard rails for the deck shall be at least 42" high.
4. Stair rails and guard rails shall have balusters, intermediate rails or ornamental designs that resist the passage of a " sphere.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/jcf

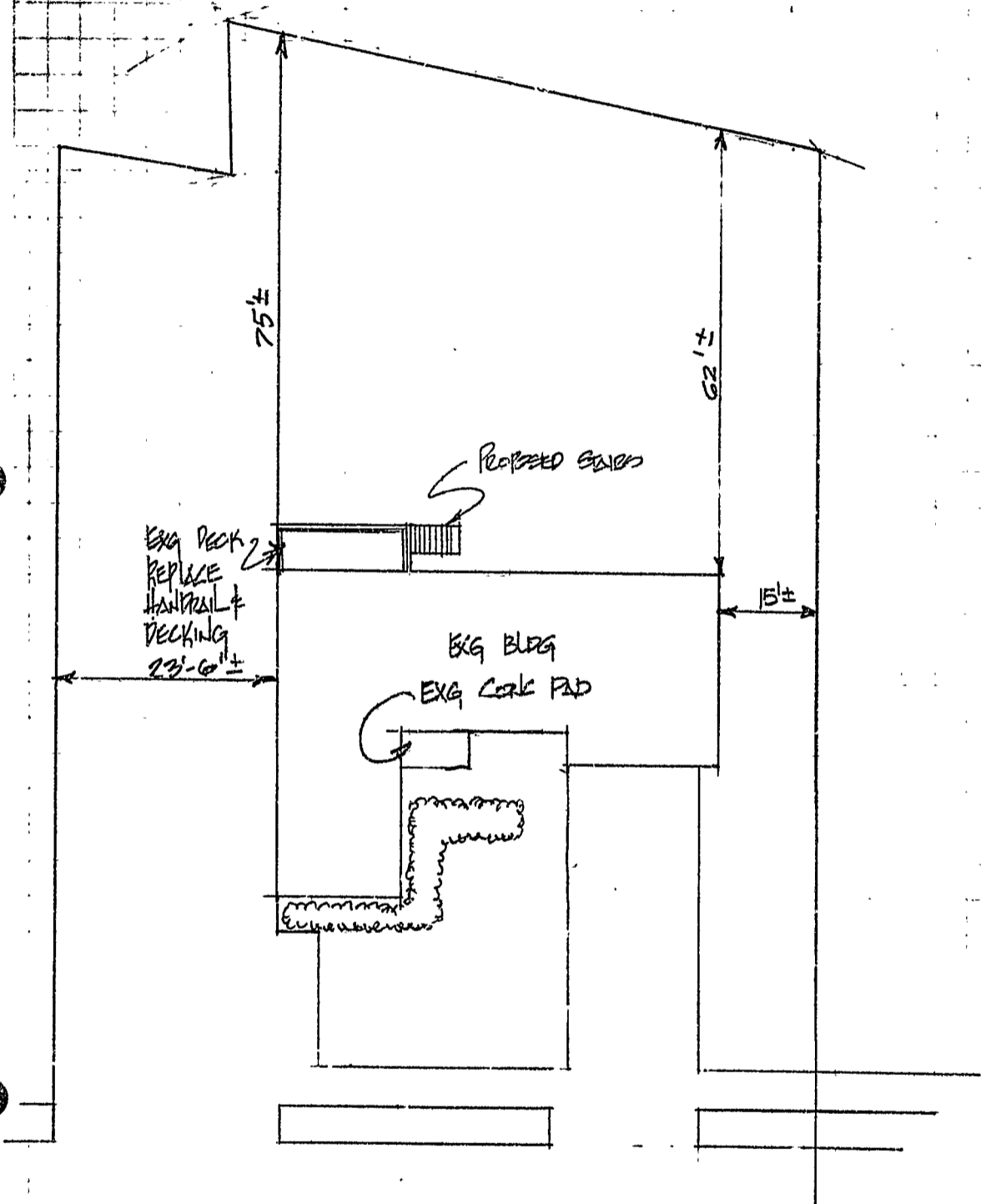
cc: Lt. Wallace Garroway, Fire Prevention Bureau



NAME _____
DATE _____

PROJECT _____

8 Jul 92

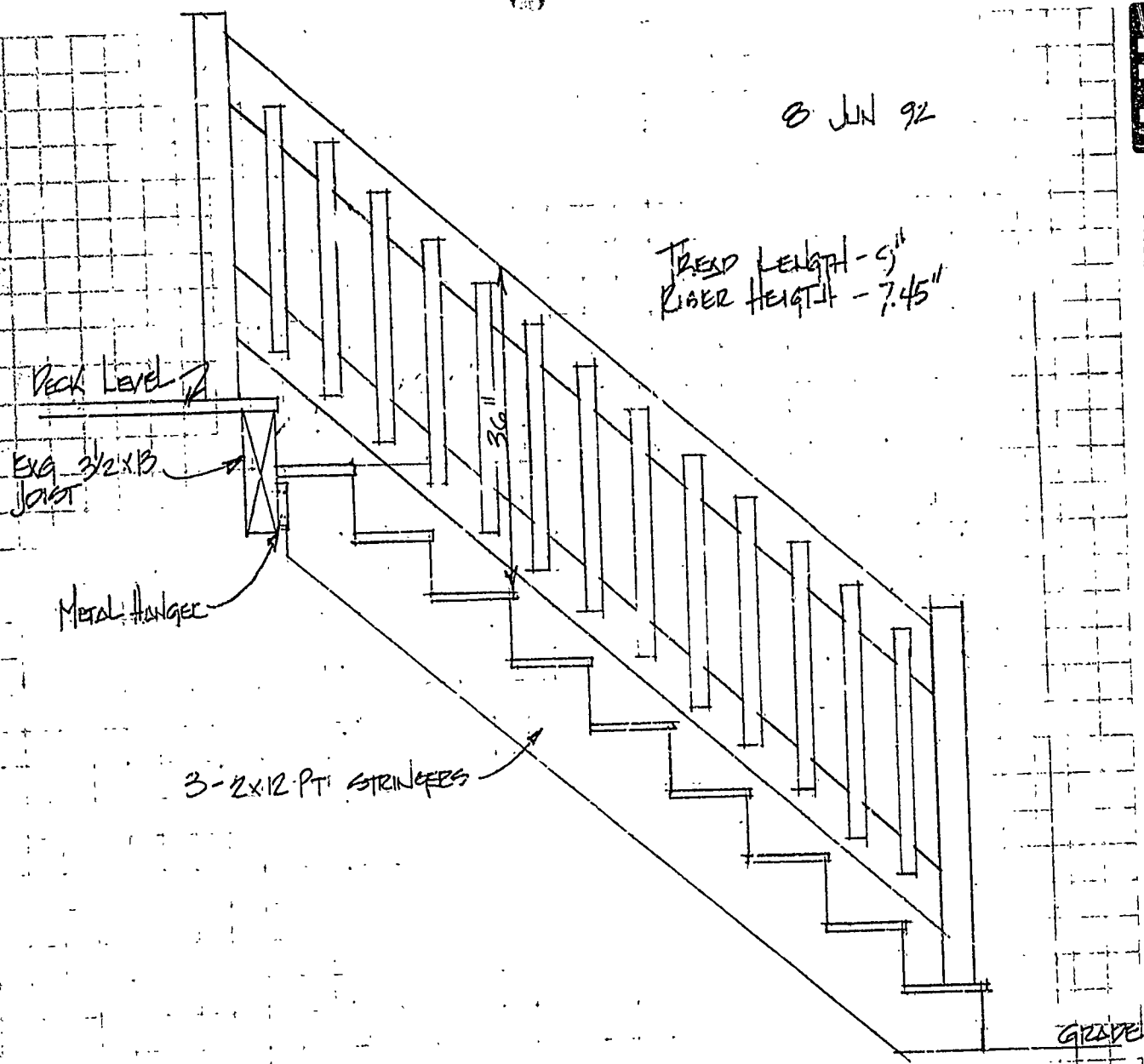


8 JUN 92



PROJECT _____

NAME _____
DATE _____



TREAD LENGTH - 9"
RISER HEIGHT - 7.45"

GRADE