

548-550 WASHINGTON AVENUE

INCIS (SCHEDULE)

VARIOUS

Type of Document	Code	Remarks
As-Built		
Construction		
Design		
Drawings		
Electrical		
General		
Interior		
Mechanical		
Plumbing		
Roofing		
Structural		
Surveying		
Utility		
Water		
Wiring		
Other		

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

90148

MAR 19 1982

March 8, 1982

ZONING LOCATION

PORTLAND, MAINE

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

- LOCATION 550 Washington Avenue - Botto's Bakery
1. Owner's name and address Joseph Botto - same
2. Lessee's name and address Edward Willette Jr. - 334 Spring St. Westbrook
3. Contractor's name and address same

Proposed use of building bakery
Last use same
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 7,000

FIELD INSPECTOR--Mr. @ 775-5451

Appeal Fees \$
Base Fee 45.00
Late Fee
TOTAL \$ 45.00

To repair to return to original condition, bakery was hit by truck backing into building work is completed. Send permit to # 3

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

- Is any plumbing involved in this work?
Is any electrical work involved in this work?
Is connection to be made to public sewer?
If not, what is proposed for sewage?
Has septic tank notice been sent?
Form notice sent?
Height average grade to top of plate
Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber--Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 5 ft.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

BUILDING INSPECTION--PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

DATE

MISCELLANEOUS

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant

Edward Willette Jr.

Phone # same

Type Name of above Edward Willette Jr. for Botto's Bakery

Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

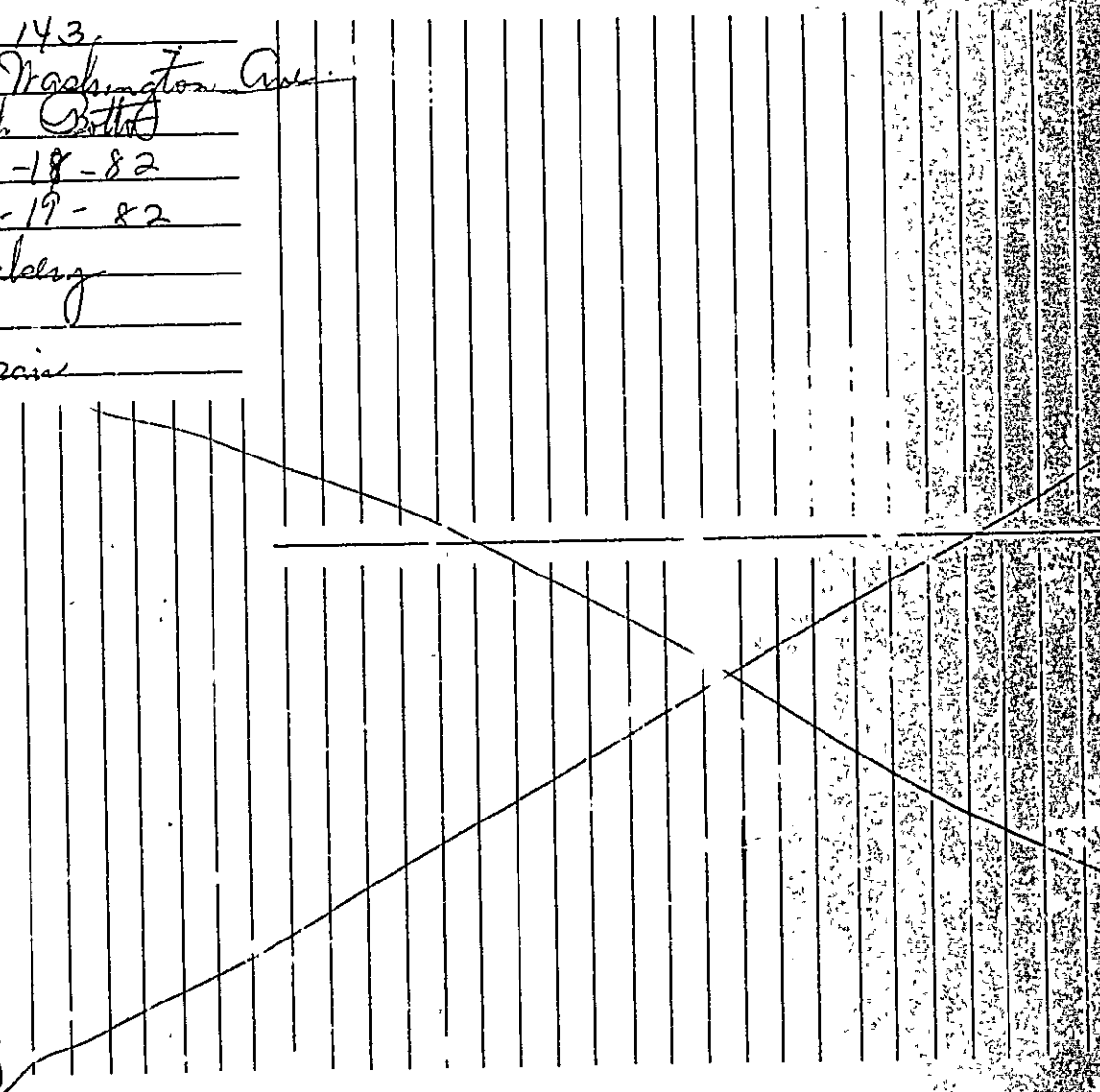
OFFICE FILE COPY

Handwritten signature and number 7

Permit No. 82/143  
Location 550 Washington Ave.  
Owner Joseph Bortol  
Date of permit 3-18-82  
Approved 3-19-82  
Dwelling Bakery  
Garage  
Alteration Repair

NOTES

3-22-82. All work completed  
as per code and permit. OK





**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date July 30, 19 80  
 Receipt and Permit number A-51551

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 550 Washington Ave.  
 OWNER'S NAME: Bottos Bakery ADDRESS: same

FEE'S

OUTLETS: Receptacles \_\_\_\_\_ Switches \_\_\_\_\_ Plugmold \_\_\_\_\_ ft TOTAL \_\_\_\_\_

FIXTURES: (number of) Incandescent \_\_\_\_\_ Fluorescent \_\_\_\_\_ (not strip) TOTAL \_\_\_\_\_  
 Strip Fluorescent \_\_\_\_\_ ft. \_\_\_\_\_

SERVICES: Overhead  Underground \_\_\_\_\_ Temporary \_\_\_\_\_ TOTAL amperes 400 ... 6.00  
 METERS: (number of) 1 ... .50

MOTORS: (number of) Fractional \_\_\_\_\_  
 1 HP or over \_\_\_\_\_

RESIDENTIAL HEATING: Oil or Gas (number of units) \_\_\_\_\_  
 Electric (number of rooms) \_\_\_\_\_

COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) \_\_\_\_\_  
 Oil or Gas (by separate units) \_\_\_\_\_  
 Electric Under 20 kws \_\_\_\_\_ Over 20 kws \_\_\_\_\_

APPLIANCES: (number of) Ranges \_\_\_\_\_ Water Heaters \_\_\_\_\_  
 Cook Tops \_\_\_\_\_ Disposals \_\_\_\_\_  
 Wall Ovens \_\_\_\_\_ Dishwashers \_\_\_\_\_  
 Dryers \_\_\_\_\_ Compactors \_\_\_\_\_  
 Fans \_\_\_\_\_ Others (denote) \_\_\_\_\_

MISCELLANEOUS: (number of) TOTAL \_\_\_\_\_  
 Branch Panels \_\_\_\_\_  
 Transformers \_\_\_\_\_  
 Air Conditioners Central Unit \_\_\_\_\_  
 Separate Units (windows) \_\_\_\_\_  
 Signs 20 sq. ft. and under \_\_\_\_\_  
 Over 20 sq. ft. \_\_\_\_\_  
 Swimming Pools Above Ground \_\_\_\_\_  
 in Ground \_\_\_\_\_  
 Fire/Burglar Alarms Residential \_\_\_\_\_  
 Commercial \_\_\_\_\_  
 Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under \_\_\_\_\_  
 over 30 amps \_\_\_\_\_  
 Circus, Fairs, etc. \_\_\_\_\_  
 Alterations to wires \_\_\_\_\_  
 Repairs after fire \_\_\_\_\_  
 Emergency Lights, battery \_\_\_\_\_  
 Emergency Generators \_\_\_\_\_

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... INSTALLATION FEE DUE:  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) ..... DOUBLE FEE DUE:  
 TOTAL AMOUNT DUE: 6.50

INSPECTION: Will be ready on \_\_\_\_\_, 19\_\_\_\_; or Will Call xxx  
 CONTRACTOR'S NAME: Mancini Electric  
 ADDRESS: 179 Sheridan St.  
 TEL.: \_\_\_\_\_  
 MASTEE LICENSE NO.: 2436 SIGNATURE OF CONTRACTOR: C. Mancini  
 LIMITED LICENSE NO.: \_\_\_\_\_

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN





**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date 7-29-80, 19  
 Receipt and Permit number A51544

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 550 Washington Ave. (Botto's Bakery)  
 OWNER'S NAME: Botto's Bakery ADDRESS: same FEES

OUTLETS: Receptacles \_\_\_\_\_ Switches \_\_\_\_\_ Plugmold \_\_\_\_\_ ft. TOTAL \_\_\_\_\_

FIXTURES: (number of)  
 Incandescent \_\_\_\_\_ Fluorescent \_\_\_\_\_ (not strip) TOTAL \_\_\_\_\_  
 Strip Fluorescent \_\_\_\_\_ ft. \_\_\_\_\_

SERVICES: Overhead \_\_\_\_\_ Underground \_\_\_\_\_ Temporary \_\_\_\_\_ TOTAL amperes \_\_\_\_\_

METERS: (number of) \_\_\_\_\_

MOTORS: (number of)  
 Fractional \_\_\_\_\_  
 1 HP or over \_\_\_\_\_

RESIDENTIAL HEATING:  
 Oil or Gas (number of units) \_\_\_\_\_  
 Electric (number of rooms) \_\_\_\_\_

COMMERCIAL OR INDUSTRIAL HEATING:  
 Oil or Gas (by a main boiler) \_\_\_\_\_  
 Gas (by separate units) \_\_\_\_\_  
 Electric Under 20 kws \_\_\_\_\_ Over 20 kws \_\_\_\_\_

APPLIANCES: (number of)  

Ranges _____	Water Heaters _____
Cook Tops _____	Disposals _____
Wall Ovens _____	Dishwashers _____
Dryers _____	Compactors _____
Fans _____	Others (denote) _____

 TOTAL \_\_\_\_\_

MISCELLANEOUS: (number of)  
 Branch Panels \_\_\_\_\_  
 Transformers \_\_\_\_\_  
 Air Conditioners Central Unit \_\_\_\_\_  
 Separate Units (windows) \_\_\_\_\_  
 Signs 20 sq. ft. and under \_\_\_\_\_  
 Over 20 sq. ft. \_\_\_\_\_  
 Swimming Pools Above Ground \_\_\_\_\_  
 In Ground \_\_\_\_\_  
 Fire/Burglar Alarms Residential \_\_\_\_\_  
 Commercial \_\_\_\_\_  
 Heavy Duty Outlets, 220 Volt: (such as welders) 30 amps and under \_\_\_\_\_  
 over 30 amps \_\_\_\_\_  
 Circus, Fairs, etc. \_\_\_\_\_  
 Alterations to wires \_\_\_\_\_  
 Repairs after fire  \_\_\_\_\_ 3.00  
 Emergency Lights, battery \_\_\_\_\_  
 Emergency Generators \_\_\_\_\_

INSTALLATION FEE DUE: \_\_\_\_\_  
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE: \_\_\_\_\_  
 FOR CANCELLATION OF A "STOP ORDER" (304-16.b) .....  
 TOTAL AMOUNT DUE: 3.00

INSPECTION: Will be ready on 7-29-80, 19\_\_; or Will Call \_\_\_\_\_  
 CONTRACTOR'S NAME: Mancini Elec.  
 ADDRESS: 179 Sheridan St.  
 TEL.: 774-5829  
 MASTER LICENSE NO.: 2435 SIGNATURE OF CONTRACTOR: C. Mancini  
 LIMITED LICENSE NO.: \_\_\_\_\_

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS —

Permit Number 51544  
Location 530 Washington Ave.  
Owner Botton Bakery  
Date of Permit 7-29-80  
Final Inspection 8-1-80  
By Inspector Peibby  
Permit Application Register Page No. 61

INSPECTIONS: Service admitted by Peibby  
Service called in 7-29-80  
Closing-in 8-1-80 by                       
PROGRESS INSPECTIONS:                       
                      
                      
                      
                      
                      
                      
                    

CODE COMPLIANCE COMPLETED  
DATE 8-1-80

REMARKS:

DATE:



# APPLICATION FOR PERMIT

**PERMIT ISSUED**

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....

AUG. 6 1980

00 599

ZONING LOCATION ..... PORTLAND, MAINE ..... 1980

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ..... 550 Washington Ave. .... Fire District #1  #2

1. Owner's name and address **Botto's Bakery** ..... Telephone .....

2. Lessee's name and address ..... Telephone .....

3. Contractor's name and address **DiMillo Construction 40 Wellington Rd** ..... Telephone **774-6432**

4. Architect ..... Specifications ..... Plans ..... No. of sheets .....

Proposed use of building **bakery** ..... No. families .....

Last use ..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractual cost \$ **20,000** ..... Fee \$ **91** .....

FIELD INSPECTOR—Mr. ....

### GENERAL DESCRIPTION

This application is for: **@ 775-5451** To repair after fire to original condition

Dwelling ..... Ext. 234

Garage .....

Masonry Bldg. .... Stamp of Special Conditions

Metal Bldg. ....

Alterations .....

Demolitions .....

Change of Use .....

Other .....

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1  2  3  4  Other: .....

### DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....

On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....

Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

### IF A GARAGE

No. cars now accommodated on same lot ..... to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: ..... DATE: .....

### MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER ..... Will work require disturbing of any tree on a public street? .....

ZONING: .....

BUILDING CODE: ..... Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? **yes** .....

Fire Dept. ....

Health Dept. ....

Others: .....

Signature of Applicant: *Nunzio DiMillo* Phone # .....

Type Name of above: **Nunzio DiMillo** 1  2  3  4

FIELD INSPECTOR'S COPY

Other and Address .....



Permit No. 80/599

Location 550 Washington Ave

Owner Bottoic Bakery

Date of permit 8-6-80

Approved \_\_\_\_\_

*Sept 22, 1980*

*George S. [Signature]*



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GR. ... 00 441 ... B.O.C.A. TYPE OF CONSTRUCTION ...

JUN 20 1980

ZONING REGULATION PORTLAND, MAINE, June 20, 1980

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 550 Washington Avenue ... Fire District #1 [ ] #2 [ ]
1. Owner's name and address ... Botto's Bakery ... same ... Telephone ... 773-4697
2. Lessee's name and address ... Telephone ...
3. Contractor's name and address ... DiMillo Constr. ... 40 Wellington Rd. ... Telephone ...
4. Architect ... Specifications ... Plans ... No. of sheets ...
Proposed use of building ... No. families ...
Last use ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$ ... 1,500 ... Fee \$ ... 10.00 ...

FIELD INSPECTOR—Mr. ... GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling ... Ext. 234
Garage ... To masonry opening 5'8" x 7
Masonry Bldg. ... as per plans. 1 sheet of plans.
Metal Bldg. ... block up existing overhead door and
Alterations ... replace Stamp of Special Conditions
Demolitions ... side door.
Change of Use ...
Other ...

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [ ] 2 [ ] 3 [ ] 4 [ ]

Other: ...

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing, Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-1x7 O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height? ...

IF A GARAGE

No. cars now accommodated on same lot ... , to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER ... Will work require disturbing of any tree on a public street? ...
ZONING: ...
BUILDING CODE: ... Will there be in charge of the above work a person competent
to see that the State and City requirements pertaining thereto
Fire Dept.: ... are observed? ...
Health Dept.: ...
Others: ...

Signature of Applicant ... DiMillo Construction ... 774-6432
Type Name of above ... 1 [ ] 2 [ ] 3 [ ] 4 [ ]

FIELD INSPECTOR'S COPY

Other ... and Address ...

Permit No. 80/441  
Location 550 Washington Ave.  
Owner Butler's Bakery  
Date of permit 6-20-80  
Approved 6-22-80

NOTES

Sept 22, 1980

Reparation completed

Site does station may extend  
ward apt. is adjoining property  
by a foot. The man in charge of  
the job says that a pipe is to  
be the order, and it was on  
his own property. There was  
only a pipe in the building of a  
kitchen near yard.

Mr. Butler the adjoining property  
owner called a superintendent with  
me for the property. It was a good night  
of the night, he would try to work it out  
himself with out Eric's request.



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date Nov. 16, 19 79  
 Receipt and Permit number A 34978

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:  
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of  
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:  
 LOCATION OF WORK: 548 Washington Ave.  
 OWNER'S NAME: Richard P. Waltz ADDRESS: 536 Washington Ave. FEES

OUTLETS:	Receptacles _____	Switches _____	Plugmold _____	ft. TOTAL _____	
FIXTURES: (number of)	Incanescent _____	Flourescent _____	(not strip) TOTAL _____		
	Strip Flourescent _____	ft. _____			
SERVICES:	Overhead <u>xx</u>	Underground _____	Temporary _____	TOTAL amperes <u>100</u>	<u>3.00</u>
METERS: (number of)	<u>1</u>				<u>.50</u>
MOTORS: (number of)	Fractional _____				
	1 HP or over _____				
RESIDENTIAL HEATING:	Oil or Gas (number of units) _____				
	Electric (number of rooms) _____				
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler) _____				
	Oil or Gas (by separate units) _____				
	Electric Under 20 kws _____	Over 20 kws _____			
APPLIANCES: (number of)	Ranges _____	Water Heaters _____			
	Cook Tops _____	Disposals _____			
	Wall Ovens _____	Dishwashers _____			
	Dryers _____	Compactors _____			
	Fans _____	Others (denote) _____			
	TOTAL _____				
MISCELLANEOUS: (number of)	Branch Panels _____				
	Transformers _____				
	Air Conditioners Central Unit _____				
	Separate Units (windows) _____				
	Signs 20 sq. ft. and under _____				
	Over 20 sq. ft. _____				
	Swimming Pools Above Ground _____				
	In Ground _____				
	Fire/Burglar Alarms Residential _____				
	Commercial _____				
	Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and und. _____				
	over 30 amps _____				
	Circus, Fairs, etc. _____				
	Alterations to wires _____				
	Repairs after fire _____				
	Emergency Lights, battery _____				
	Emergency Generators _____				

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... INSTALLATION FEE DUE:  
 FOR REMOVAL OF A "STOP ORDER" (301-16.b) ..... DOUBLE FEE DUE:  
 TOTAL AMOUNT DUE: 3.50

INSPECTION: Will be ready on ready, 19 79; or Will Call \_\_\_\_\_  
 CONTRACTOR'S NAME: Mancini Elec  
 ADDRESS: 179 Sheridan St.  
 TEL: \_\_\_\_\_  
 MASTER LICENSE NO.: on file SIGNATURE OF CONTRACTOR: [Signature]  
 LIMITED LICENSE NO.: \_\_\_\_\_

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN





# APPLICATION FOR PERMIT

## DEPARTMENT OF BUILDING INSPECTIONS SERVICES

### ELECTRICAL INSTALLATIONS

Date August 15, 1975, 19\_\_  
 Receipt and Permit number A 3151

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:  
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine,  
 the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 548 Washington Ave.  
 OWNER'S NAME: James Somma ADDRESS: 46 Inverness St.

	FEES
<b>OUTLETS: (number of)</b>	
Lights _____	
Receptacles _____	
Switches _____	
Plugmold _____ (number of feet)	
<b>TOTAL</b> .....	
<b>FIXTURES: (number of)</b>	
Incandescent _____	
Fluorescent _____ (Do not include strip fluorescent)	
<b>TOTAL</b> .....	
Strip Fluorescent, in feet _____	3.00
<b>SERVICES:</b>	
Permanent, total amperes <u>200</u> am _____	.50
Temporary _____	
<b>METERS: (number of)</b> <u>1</u> .....	
<b>MOTORS: (number of)</b>	
Fractional _____	
1 HP or over _____	
<b>RESIDENTIAL HEATING:</b>	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
<b>COMMERCIAL OR INDUSTRIAL HEATING:</b>	
Oil or Gas (by a meter) _____	
Oil or Gas (by separate meter) _____	
Electric (total number of kW) _____	
<b>APPLIANCES: (number of)</b>	
Ranges _____	Water Heaters _____
Cook Tops _____	Disposals _____
Wall Ovens _____	Dishwashers _____
Dryers _____	Compactors _____
Fans _____	Others (denote) _____
<b>TOTAL</b> .....	
<b>MISCELLANEOUS: (number of)</b>	
Branch Panels _____	
Transformers _____	
Air Conditioners _____	
Signs _____	
Fire/Burglar Alarms _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Heavy Duty, 220v outlets _____	
Emergency Lights, battery _____	
Emergency Generators _____	

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... INSTALLATION FEE DUE: \_\_\_\_\_  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) ..... DOUBLE FEE DUE: \_\_\_\_\_  
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) ..... 3.50  
**TOTAL AMOUNT DUE: \_\_\_\_\_**

INSPECTION: Will be ready on now, 19\_\_; or Will Call \_\_\_\_\_  
 CONTRACTOR'S NAME: Louis Cavallaro  
 ADDRESS: 125 Sherwood St.  
 TEL.: 774-3813  
 MASTER LICENSE NO.: 3255  
 LIMITED LICENSE NO.: \_\_\_\_\_

SIGNATURE OF CONTRACTOR:  
*Louis Cavallaro*  
 INSPECTOR'S COPY *Joseph Somma*



A.P.- 548 Washington Ave.

April 15, 1969

cc to: Marie Napolitano  
548 Washington Avenue

Joseph Theriault  
49 St. Lawrence Street

Dear Mr. Theriault:

Permit to demolish existing 7' x 24' front porch and to construct a 2-story frame addition in its place is issued herewith subject to the following Code requirements:

1. It is understood that there is no room adjoining this addition which does not have a window opening directly to the outside air.
2. Please notify this office before placing concrete in forms.
3. Where new rafters and floor joists butt against existing house it is necessary that rafters and floor timbers be notched over a 2x3 nailing strip.
4. 1x3 cross bridging or block bridging is required to be used in the first and second floor joists.
5. The upright member of the box sill is required to be doubled where these sills run parallel to the floor joists.

Very truly yours,

Earle S. Smith  
Plan Examiner I

ESS:m



548 Washington Ave

4/17/69

ED

CHECK LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-5

Interior or corner Lot -

40 ft setback area? (Section 21) -

Use - addition

Sewage Disposal -

Rear Yards -

Side Yards - 5,21 Req 5'

Front Yard - 15" Req 33"

Projections -

Height - 20

Lot Area - 4820 40% 1928<sup>+</sup>

Building Area - 292<sup>+</sup>

Area per Family - 3000<sup>+</sup>

Width of Lot -

Lot Frontage - 47.5

Off-street Parking -

550 Washington 2'6" 542 Washington 0'  
average 1'3"



R5 RESIDENCE ZONE

APPLICATION FOR PERMIT  
Third Class

Class of Building or Type of Structure \_\_\_\_\_  
Portland, Maine, \_\_\_\_\_  
April 14, 1969

PERMIT ISSUED

278  
MAY 30 1969

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipments in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 548 Washington Ave. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_

Owner's name and address Marie Napolitano, 548 Washington Ave. Telephone \_\_\_\_\_

Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Contractor's name and address Joseph Theriault, 49 St. Lawrence St. Telephone 772-0423

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 2

Proposed use of building Dwelling No. families 1

Last use \_\_\_\_\_ " \_\_\_\_\_ No. families 1

Material frame No. stories 2 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_ Fee \$ 7.00

Estimated cost \$ 3000.00

General Description of New Work

To demolish existing 7' x 24'6" front porch.  
To construct 2-story frame addition 14' x 24'6" x 20' high.  
long wide

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes

Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_

Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? yes

Height average grade to top of plate 20' Height average grade to highest point of roof 30'

Size, ' o.c. 24'6" depth 14' No. stories 2 solid or filled land? solid earth or rock? earth

Material of foundation 8" concrete wall with footing. Thickness, top at least 4" below grade bottom \_\_\_\_\_ cellar \_\_\_\_\_

Kind of roof hip Rise per foot 2 1/2" Roof covering Asphalt Class C Und Label.

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_

Framing Lumber-Kind spruce Dressed or full size dressed Corner posts 4x6 Sills 2x8 box

Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2x10, 2nd 2x8, 3rd \_\_\_\_\_, roof 2x6

On centers: 1st floor 16", 2nd 16", 3rd \_\_\_\_\_, roof 16"

Maximum span: 1st floor 14', 2nd 12', 3rd \_\_\_\_\_, roof 16'

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Joseph Theriault

APPROVED:  
Code 015 4/15/69 ECH  
4/15/69 288

Marie Napolitano  
Joseph Theriault

CS 301

INSPECTION COPY Signature of owner by: \_\_\_\_\_

77A

~~478-278~~  
Permit No. 69/278  
Location 541 Washington Ave.  
Owner Marie Kapali Inc  
Date of permit 7/16/69  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_

NOTES

5/19/69 - 110 work  
started P.S.S.  
7/16/69 - Same. Etc.  
7/19/69 - Same. P.S.  
LAP 260

~



FU- 6-7-65 - E.S.S.

Cplt.65/35 - 550 Washington Ave.

May 27, 1965

Botto's Bakery  
550 Washington Avenue

Gentlemen:

An inspector from this department reports that a sign projecting over the public sidewalk from the wall of your building at the above named location is in a dangerous condition. As authorized by Section 211-c-10 of the Building Code of the City of Portland (copy enclosed herewith), you are hereby directed to have taken on or before June 7, 1965 such steps as are necessary to correct the dangerous conditions.

Any work on a projecting sign is required to be done only by a bonded sign hanger. It is hoped that we may have your cooperation in this matter so that further action by this department may not become necessary.

Very truly yours,

Albert J. Sears  
Building Inspection Director

AJS:m  
enc.

"No-Appeal" Record

February 10, 1959

550 Washington Avenue — R-5 Zone — Joseph Potts, owner of non-conforming wholesale bakery, at this location desires a permit to construct a wood floor at level of floor of main building in front section of building presently used for loading and unloading of trucks and storage of same, the floor level of this area being at about the surface of the ground outside the building and some 3 or 4 feet below the level of the floor of the main building. This newly floored over area would be used as an extension of the bakery operations. Loading and unloading operations would thereby be forced outside of building into an area only about 22½ feet deep between the front of the building and the street line. Prior to June 5, 1957 this property was in a Local Business Zone, in which the wholesale use was also non-conforming.

He was told that a permit cannot be issued under the Zoning Ordinance, because the proposed alterations would extend the non-conforming use to an area not previously so used and because an off-street loading bay at least 50 feet deep, either inside or outside the building, would not be provided. He was also told that the Board of Appeals is forbidden to grant an appeal involving a business or industrial use in a Residential Zone.

AJS

Location: 566 Washington Ave. 7/1/57

Owner wants to Appeal.  
Hold for decision as to  
appeal.

---

See letter  
and supplement *WMS*  
7/11/57 7/9/57

550 Washington Ave.--Botto

Supplement to letter from B. Inspr. to Mr. Botto of 7/9/57

The initial par. should read:

Building permit intended to authorize alterations in the wholesale bakery at 550 Washington Ave. (Botto's Bakery) reported to be owned by Mr. Joseph Botto, to convert the garage part to be used for storage and shipping in connection with the wholesale bakery and to provide a new doorway about seven feet by eight feet in the front wall of the building toward Washington Ave., to facilitate the use of a new loading and storage platform to be constructed in the present garage area, is not issuable under the Zoning Ordinance because:

--(same as in original letter)

-- the doorway proposed in front wall toward Washington Ave. is to be for loading and unloading from and to the present garage area, floor of which is to be raised to facilitate loading and unloading; but this loading bay would have a depth of only 22 feet and  $\frac{1}{2}$  inches from loading door <sup>to</sup> street line instead of the 45 feet required by Section 15 of the Zoning Ordinance.

(Last par. same as original)

wmc 7/11/57



July 9, 1957

AP 550 Washington Ave.--Alteration of wholesale bakery as controlled by the Zoning Ordinance

Mr. Joseph Botto  
Botto's Bakery  
550 Washington Ave.  
Monte Construction Co., Inc.  
42 Arson Road

Copy to Corporation Counsel

Gentlemen:

Building permit intended to authorize alterations in the wholesale bakery at 550 Washington Ave. (Botto's Bakery) reported to be owned by Mr. Joseph Botto, to convert the garage part to be used for storage and shipping in connection with the wholesale bakery and to cut a new doorway about seven feet by eight feet in the exterior side wall of the garage toward Randall St. to facilitate the use of a new loading and storage platform to be constructed in the garage area, is not issuable under the zoning Ordinance because:

- the wholesale bakery is a non-conforming use in the R-5 Residence Zone where the property is located, and extension of the non-conforming use into the garage is prohibited by Section 16 of the Ordinance;
- the proposed doorway in the exterior wall toward Randall St. would be directly at the lot line between your lot and the next lot (reported to be owned by Mrs. Botto) now vacant and at the corner of Randall St.; thus the new doorway could not be reached or used without putting to use a part of the adjoining corner lot in connection with the non-conforming wholesale bakery, contrary to Section 6a of the Ordinance which lists the allowable uses in the R-5 Residence Zone where the property is located.

You have indicated a desire to seek a variance from the terms of the Ordinance by appeal. However, the revision of the Zoning Ordinance, which became effective on June 6, 1957, contains different provisions in the appeal clause. Therefore, it is suggested that you consult the Corporation Counsel whose province it is to interpret the appeal sections of the Ordinance.

Very truly yours,

Warren McDonald  
Inspector of Buildings

McD/D

*File and...*  
7/11/57

*JB*



# R5 RESIDENCE ZONE APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd-class

Portland, Maine, July 1, 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter repair demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 550 Washington Ave. Within Fire Limits?  Dist. No.           
 Owner's name and address Botto's Bakery, 550 Washington Ave. Telephone           
 Lessee's name and address          Telephone           
 Contractor's name and address Monte Construction Co., Inc. 42 Anson Road Telephone 3-6672  
 Architect          Specifications          Plans Yes No. of sheets 2  
 Proposed use of building Bakery & Baking No. families           
 Last use          " " " " No. families           
 Material cement block No. stories 1-2 Heat          Style of roof flat Roofing tar & gravel  
 Other building on same lot           
 Estimated cost \$ 1100. Fee \$ 5.00

### General Description of New Work

To closeup existing 17' opening from bf building with 12" concrete block.  
 To install 1 80 x 71 overhead door.  
 To construct platform inside of building as per plan.

*550-552 Wash Ave 16.6 F4 owned by Joseph Botto*  
*554 Wash Ave. 16.6 F3 owned by Germaine Botto*

*11/9/59 - Appeal never filed - appeal Board cannot grant appeal any way*  
 It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO contractor**

### Details of New Work

Is any plumbing involved in this work?  Is any electrical work involved in this work?   
 Is connection to be made to public sewer?  If not, what is proposed for sewage?           
 Has septic tank notice been sent?  Form notice sent?   
 Height average grade to top of plate          Height average grade to highest point of roof           
 Size, front          depth          No. stories          solid or filled land?  earth or rock?   
 Material of foundation          Thickness, top          bottom          cellar           
 Material of underpinning          Height          Thickness           
 Kind of roof          Rise per foot          Roof covering           
 No. of chimneys          Material of chimneys          of lining          Kind of heat          fuel           
 Framing Lumber—Kind          Dressed or full size?  Corner posts          Sills           
 Size Girder          Column; under girders          Size          Max. on centers           
 Kind and thickness of outside sheathing of exterior walls?           
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor         ; 2nd         ; 3rd         ; roof           
 On centers: 1st floor         ; 2nd         ; 3rd         ; roof           
 Maximum span: 1st floor         ; 2nd         ; 3rd         ; roof           
 If one story building with masonry walls, thickness of walls?          height?         

### If a Garage

No. cars now accommodated on same lot         , to be accommodated          number commercial cars to be accommodated           
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

.....  
 .....

### Miscellaneous

Will work require disturbing of any tree on a public street?   
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Botto's Bakery  
 Monte Construction Co., Inc.

Signature of owner by: *[Signature]*

INSPECTION COPY

*F.M.*

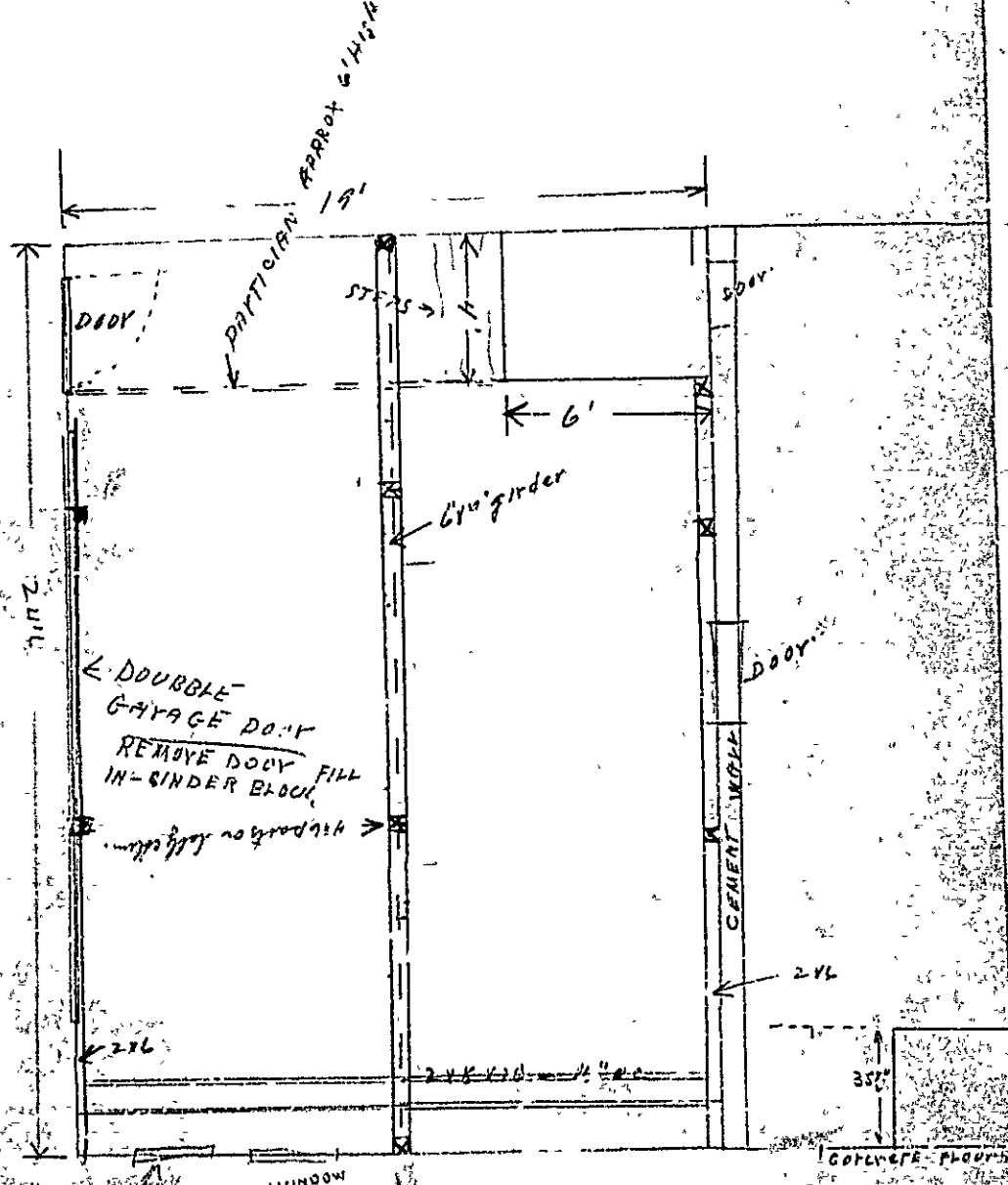
Permit No. 571  
 Location 550 Washington Ave  
 Owner Batt's Bakery  
 Date of permit \_\_\_\_\_  
 Notif. closing-in \_\_\_\_\_  
 Inspn. closing-in \_\_\_\_\_  
 Final Notif. \_\_\_\_\_  
 Final Inspn. \_\_\_\_\_  
 Cert. of Occupancy issued \_\_\_\_\_  
 Staking Out Notice \_\_\_\_\_  
 Form Check Notice \_\_\_\_\_

NOTES

*[This section contains faint, illegible handwritten notes and markings.]*

*[This section contains faint, illegible handwritten notes and markings.]*

1/4" = 1' EDOTTS BAKERY

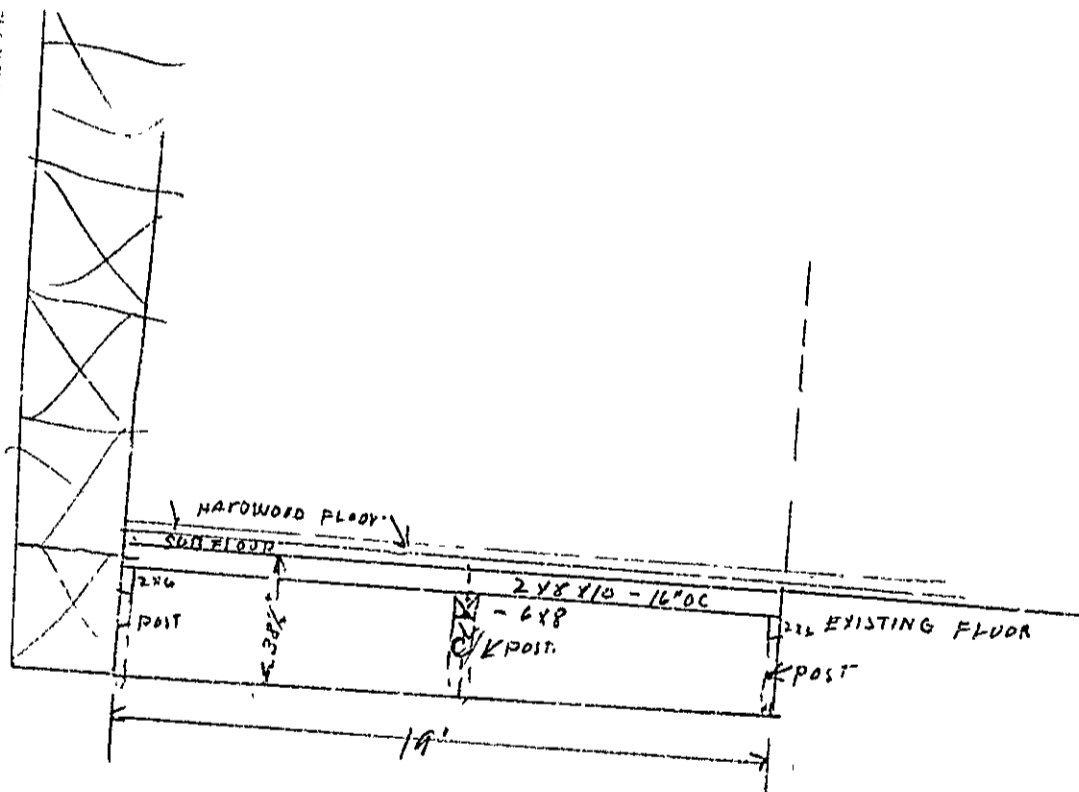


DOUBLE GARAGE DOOR  
 REMOVE DOOR FILL  
 IN-SINDER BLOCK

WINDOW TO BE REMOVED AND PLACED IN FRONT  
 DOOR TO BE CUT IN SIDE

Ed M Christensen  
 3. Boothby Ave  
 Westlark

8x8x16 similar to each



1/4" 6 FORT.

BOTTO'S BAKERY  
Washington Ave  
Port

East M. Christman  
7 Boothby Ave  
Waldbrook

Alterations in Porto Bakery 550 Wick Ave  
4/20/76

Is there a cinder block fill-in  
to be anchored to existing wall?

13.3

85

665

1064

113.05

2 x 8 beam on 10' span = 1117

X  $1.0 \times 11.33 \times 85 = 1130$

2 x 12 - 12" O.C. 12' span (present) =

$2189; \frac{2189}{12} = 182 = 172 \text{ L.L.}$

Proposed 6 x 8 beam - 9' span =

4201

X  $\frac{4201}{9} = 47 \text{ ft} = 37 \text{ L.L.}$

Present 8 x 12 on 7' span = 17318

$\frac{17318}{8} = 206 \text{ ft} = 196 \text{ L.L.}$

X Circa 4 x L post 20.39 ft in.

$20.39 \times 700 = 14273$

Footings under columns.

Cinder don't fill in to floor.

Use of room, where loading area.

April 23, 1956

AP-550 Washington Avenue

Mr. Joseph A. Botto  
550 Washington Ave.  
Mr. Earl M. Christensen  
2 Boothbay Ave.  
Westbrook, Me.

Gentlemen:

Better plans are necessary to describe the alterations proposed at the Botto bakery and to establish compliance with Building Code and Zoning Ordinance requirements, but if the sketches filed with the application are understood, you propose to move a door and doorway (approximately 8 feet by 8 feet, plans of the former work indicate this door to be 3 feet by 7 feet) from the front wall of the building to the side wall toward Randall St. --evidently with the intention of using the door for unloading and leading to and from the new raised floor. If our former information is correct any use of this door in its new location would be contrary to the Zoning Ordinance even though Mr. Botto owns the adjoining lot at the corner of Randall St. It appears that the wall of the original bakery lot and the corner lot by action of the Board of Appeals and there were to be no openings except window openings in this wall. The bakery, being largely wholesale, is not an allowable use in the Local Business Zone where both lots are located and, therefore, to use any part of the corner lot, even though owned by Mr. Botto, in connection with the bakery would not be allowable under the Zoning Ordinance.

Since the present plans evidently would completely discontinue the present inside loading and unloading area, the proposals for this operation should be worked out in detail to show compliance with the Zoning Ordinance. If Mr. Botto desires to use the corner lot in any way in connection with the bakery, then he has recourse again to the Zoning Board of Appeals.

If the above matters are straightened out to show compliance with the Zoning Ordinance or if an appeal is intended, we shall need a better plan of the present proposal to be made by someone who can figure out the strength of timbers, etc., and who is familiar with other Building Code requirements in connection with the proposed changes and to be filed as a blueprint with all of the information on it printed from the original to establish compliance with the Building Code--and being required to have this compliance established before a permit can be issued, irrespective of the zoning question.

There may be other discrepancies, but the following are in evidence:

1. The floor joists and the wooden girders proposed in the new raised floor would only be about one-half as strong as corresponding members in the floor of the addition built a few years ago, and would also be somewhat less in strength than the minimum strength required for any floor in a wholesale bakery shown in
2. No bridging is shown in
3. The new girders are shown to be supported by 4x6 wooden posts which would in

Mr. Joseph A. Botto

Mr. Earl M. Christensen-----2

April 23, 1956

turn  
apparently bear upon the present concrete floor slab. The designer should work out adequate concrete footings beneath these posts to carry the rather heavy loads which would be delivered down through the posts. He should show the bottoms of the posts to be anchored to the footings and to be at least four inches above the level of the present concrete floor. This should be actually designed and not merely just 4-inch thick footing provided on the present floor. The plan gives an alternative of wooden posts or "Lally" columns. Actually what is intended should be shown, and if steel columns are intended the size and make should be shown.

4. The sketches indicate that the new floor is merely to be set inside of the present walls and supported upon independent posts all around. If this method is to be followed, the designer should show adequate means of anchoring the posts and the floor construction to the present walls.

5. Where the large doorway and the smaller doorway in the front wall are to be filled in with cinder block, indication must be made on the plans of the method of anchoring the new masonry to the existing masonry and also of anchoring the lower edge of the new floor joists to this new masonry as required by Section 312-c-3.2 (c).

6. On the plans should appear the particular use to which the section with the raised floor is to be used.

If Mr. Botto desires to seek a variance from the Zoning Board of Appeals so that the corner lot may be used in connection with this business, he should so notify this office, but before any certification letter can be written or any appeal filed, it will be necessary to have the complete plans filed with the application showing all of the above and compliance with the Building Code otherwise.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMCD/B

4/B



(L) LOCAL BUSINESS ZONE



### APPLICATION FOR PERMIT

Class of Building or Type of Structure Cinder block

Portland, Maine, April 17, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~alter~~ ~~change~~ ~~change~~ the following building ~~structure~~ ~~structure~~ ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 550 Washington Ave Within Fire Limits? no. Dist. No.           
 Owner's name and address Botto's Bakery, 550 Washington Ave, (Joseph A. Botto) Telephone           
 Lessee's name and address          Telephone           
 Contractor's name and address Earl Christensen, 2 Boothbay Ave., Westbrook Telephone 4-2156 UL  
 Architect          Specifications          Plans yes No. of sheets 2  
 Proposed use of building bakery No. families           
 Last use          No. families           
 Material cinder block No. stories 1 Heat          Style of roof          Roofing           
 Other building on same lot           
 Estimated cost \$ 1100 Fee \$ 5.00

#### General Description of New Work

change  
To ~~change~~ the former garage space into the bakery, close up two existing garage doors with cinder blocks. To raise floor as per plan. To cut in door on right hand side of building. To change location of window on right hand side of building to front of building.

*Refund  
5/21/56*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO contractor**

#### Details of New Work

Is any plumbing involved in this work?          Is any electrical work involved in this work?           
 Is connection to be made to public sewer?          If not, what is proposed for sewerage?           
 Has septic tank notice been sent?          Form notice sent?           
 Height average grade to top of plate          Height average grade to highest point of roof           
 Size, front          depth          No. stories          solid or filled land?          earth or rock?           
 Material of foundation          Thickness, top          bottom          cellar           
 Material of underpinning          Height          Thickness           
 Kind of roof          Rise per foot          Roof covering           
 No. of chimneys          Material of chimneys          of lining          Kind of heat          fuel           
 Framing lumber--Kind          Dressed or full size?           
 Corner posts          Sills          Girt or ledger board?          Size           
 Girders          Size          Columns under girders          Size          Max. on centers           
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor         , 2nd         , 3rd         , roof           
 On centers: 1st floor         , 2nd         , 3rd         , roof           
 Maximum span: 1st floor         , 2nd         , 3rd         , roof           
 If one story building with masonry walls, thickness of walls?          height?         

#### If a Garage

No. cars now accommodated on same lot         , to be accommodated          number commercial cars to be accommodated           
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?         

APPROVED:

#### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Botto's Bakery

Signature of owner by: Earl Christensen

INSPECTION COPY

C16-241-1M-Mark

Permit No. 561  
 Location 557 Washington Ave.  
 Owner Botto's Bakery  
 Date of permit 1/56  
 Notif. closing-in  
 Inspn. closing-in  
 Final Notif.  
 Final Inspn.  
 Cert. of Occupancy issued  
 Staking Out Notice  
 Form Check Notice

NOTE

[Faint, mostly illegible text in the lower section of the form, possibly containing notes or additional permit details.]

[Faint, mostly illegible text in the upper right section of the form, possibly containing dates or administrative notes.]



FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Dec. 9, 1955

PERMIT ISSUED

02307  
DEC 9 1955

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.  
The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location .. 550. Washington. Ave. .... Use of Building, bakery .. No. Stories .. 2  New Building Existing  
Name and address of owner of appliance .. Joseph Botto, 552. Washington. Ave. ....  
Installer's name and address .. Eastern Oil, 27. Portland. St. .... Telephone ... 3-6495

## General Description of Work

To install steam boiler to operate unit heaters and steam for ovens and oil burning equipment

## IF HEATER, OR POWER BOILER

Location of appliance first floor .. Any burnable material in floor surface or beneath? .. yes  
If so, how protected? 8" hollow tile, 1 1/2" cement on top Kind of fuel? oil  
Minimum distance to burnable material, from top of appliance or casing top of furnace .. 5' asbestos between  
From top of smoke pipe .. 10" From front of appliance over 4' .. From sides or back of appliance over 3'  
Size of chimney flue .. 12x12 .. Other connections to same flue .. oil-fired oven  
If gas fired, how vented? .. .. Rated maximum demand per hour .. ..  
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? .. yes

## IF OIL BURNER

Name and type of burner .. Eastern Oil Model D .. Labelled by underwriters' laboratories? .. yes  
Will operator be always in attendance? .. Does oil supply line feed from top or bottom of tank? .. bottom  
Type of floor beneath burner .. asa above .. Size of vent pipe .. existing 1 1/2"  
Location of oil storage .. basement .. Number and capacity of tanks existing .. 1-275 gal.  
Low water shut off .. .. yes .. Make .. McDonnell Miller .. No. .. 469  
Will all tanks be more than five feet from any flame? .. yes .. How many tanks enclosed? .. ..  
Total capacity of any existing storage tanks for furnace burners .. none .. Permit Issued with Letter

## IF COOKING APPLIANCE

Location of appliance .. .. Any burnable material in floor surface or beneath? .. ..  
If so, how protected? .. .. Height of Legs, if any .. ..  
Skirting at bottom of appliance? .. .. Distance to combustible material from top of appliance? .. ..  
From front of appliance .. .. From sides and back .. .. From top of smokepipe .. ..  
Size of chimney flue .. .. Other connections to same flue .. .. Forced or gravity? .. ..  
Is hood to be provided? .. .. If so, how vented? .. ..  
If gas fired, how vented? .. .. Rated maximum demand per hour .. ..

## MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? .. 2.00 .. (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .. yes ..

Eastern Oil

Signature of Installer by: A. H. Keith

CITY OF MAINE PRINTING CO.

INSPECTION COPY

12.26

C-7

Permit No. 55/2308  
 Location 550 Washington Ave.  
 Owner Joseph Botto  
 Date of permit 12/9/55  
 Approved 12-22-55 Wm

NOTES

1. ~~1. Type of work~~
2. ~~2. Kind of pipe~~
3. ~~3. Kind of fluid~~
4. ~~4. Diameter of pipe~~
5. ~~5. Name of contractor~~
6. ~~6. Street crossing~~
7. ~~7. High level of water~~
8. ~~8. How to be protected~~
9. ~~9. To be protected~~
10. ~~10. Valves~~
11. ~~11. Closures~~
12. ~~12. Other~~
13. ~~13. Tank~~
14. ~~14. Oil~~
15. ~~15. Electric~~
16. ~~16. Gas~~

December 8, 1955

AP 550 Washington Ave.--Installation of steam boiler and  
oil burning equipment

Mr. Joseph Botto  
552 Washington Ave.  
Eastern Oil  
27 Portland St.

Gentlemen:-

Because Eastern Oil has seen fit to start this installation without waiting to secure the building permit as required by law and have provided an unusual type of protection on the wooden floor beneath the boiler, we are unable to issue the permit and you are not permitted to proceed any farther with the installation until we have Mr. Botto's decision as to whether or not the work as it is done is satisfactory to him and he is willing to run the risk of possible fire at his bakery from the intense heat from the oil burner striking downward and setting fire to the wooden floor.

If Eastern Oil had waited for the permit each of you would have received a notice saying that the permit was issued on the condition that the wooden floor under the boiler be protected by two courses of 4-inch hollow clay tile with courses laid at right angles to one another in such a way as to provide a free circulation of air through each masonry course, the tile to be covered with a steel plate no less than 3/16 of an inch in thickness.

Eastern Oil has supplied one course of 4-inch hollow clay tile with two sheets of metal and one of asbestos lumber which is not considered to be as good protection as the two courses which is the recommendation of the Fire Underwriters.

We have no intent to embarrass Eastern Oil, but it seems that Mr. Botto is more interested in keeping a fire out of his plant than anyone else, and we thought that he ought to know the facts and to make a choice as to whether or not he accepts what has been installed or wants the protection to be put in according to the best known methods.

Actually the Building Code, itself, calls for only one course of 4-inch hollow tile under the boiler; but this requirement in the Building Code is about 15 years old. We do not consider it sufficient protection for the wooden floor below when the oil burner sets off its intense heat in the bottom part of the appliance. We have good reason for this belief because we had an installation of oil burner somewhat similar to this a few years ago, the four inches of hollow tile was properly provided, and still the intense heat from the oil burner set fire to the woodwork below the tile. There has not been opportunity to get the regulations changed since then to afford proper protection in such a case, but we have worked on the assumption that no owner wants a fire in his building but does want the best protection possible.

Now will Mr. Botto let us know quickly whether he is satisfied with the protection

*Mr. Botto he is  
pleased he is  
satisfied with the  
8" tile  
12/9/55*

Mr. Joseph Botto - - - - -  
Eastern Oil

December 8, 1956

the way it is and is willing to run any risk of fire, or whether he wants the tile changed out and the protection provided as recommended by the Fire Underwriters as the best known.

In all of this it is assumed that the installer knows what the weight of the boiler filled with water would be and also what the total weight of it would be <sup>with</sup> the tile protection, and that the floor is strong enough to support this fairly heavy concentrated load. It is also assumed that the tile used is "load-bearing", not the less strong type which is commonly used merely for plaster backing.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMCD/G



(L) LOCAL BUSINESS ZONE

01437  
SEP 8 1952  
CITY OF PORTLAND

### APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Sept. 5, 1952

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location: 570 Washington Avenue Within Five Limits? No Dist. No.

Owner of building to which sign is to be attached Joseph Rotto

Name and address of owner of sign Joseph Rotto, 550 Washington Avenue

Contractor's name and address United Neon Display, 74 Elm Street Telephone 2-0695

When does contractor's bond expire? Dec. 31, 1952

#### Information Concerning Building

No. stories: 2 Material of wall to which sign is to be attached: wood and brick

#### Details of Sign and Connections

CERTIFICATE OF ACCURACY  
REQUIREMENTS MAINT'D

Building owner's consent and agreement filed with application: yes

Electric: yes Vertical dimension after erection: 3 Horizontal: 5 1/2

Weight: 125 lbs. Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame: angle iron No. advertising faces: 2 Material: sheet metal

No. rigid connections: 2 Are they fastened directly to the frame of sign? yes

No. through bolts: 2 Size: 3/16 Location: top or bottom: top

No. guys: 2 material: angle iron Size: 1/2 x 3/16

Minimum clear height above sidewalk or street: 7 1/2 ft

Maximum projection into street: 5 1/2 ft United Neon Display Fee: \$2.00

9-8-52 J.K.C.

Signature of contractor by: *James J. Kelly*

INSPECTION COPY

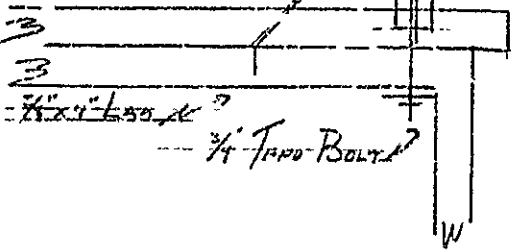
Permit No. 52/1437  
Location 55 Washington Ave.  
Owner Joseph Botto  
Date of permit 9/8/52  
Sign Contractor White & Snow Display  
Final Inspu. 9-18-52. C.M.

NOTES

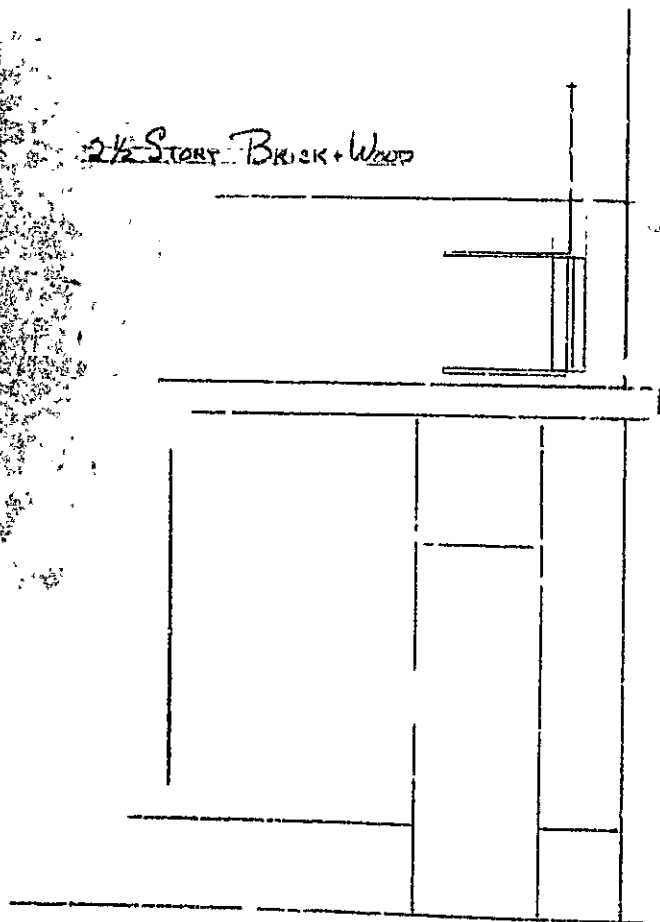
9-9-52. Shop inspection OK.



1 1/2" x 1 1/2" x 3/16" ANGLE  
CUT TOP + BOTTOM



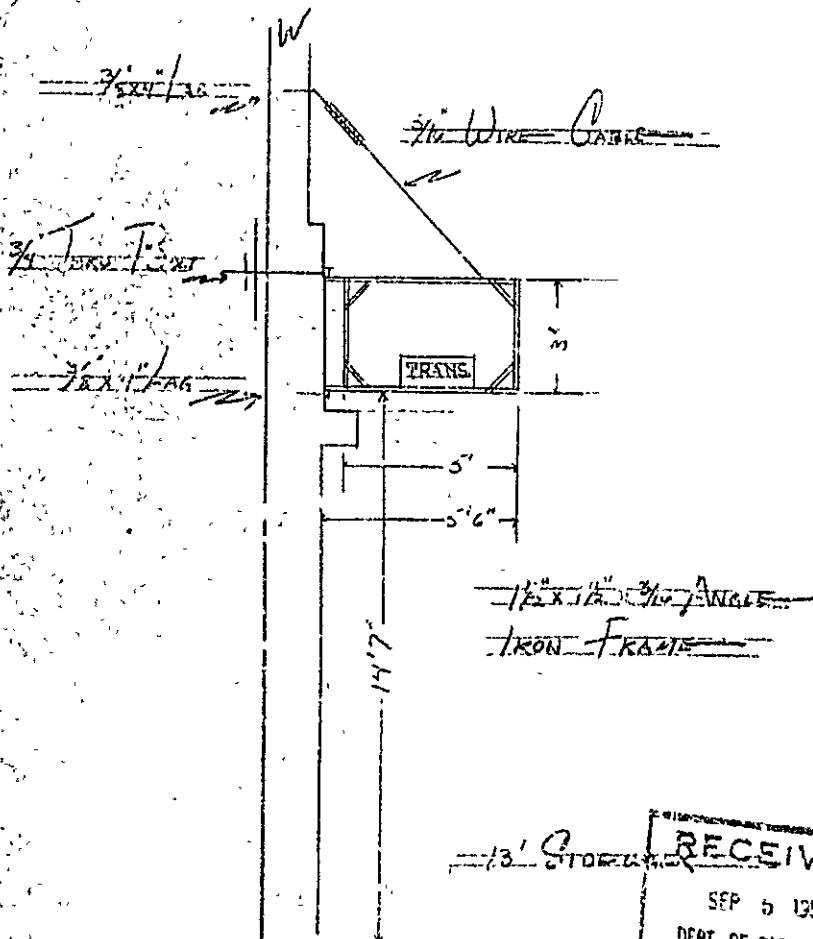
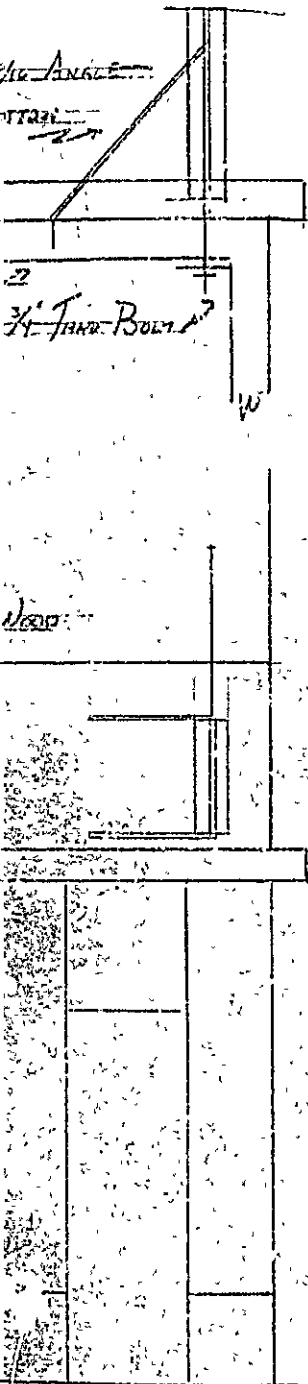
2 1/2 STORY BRICK + WOOD



3/4" TAPP-BOLT

3/4" x 1 1/2"

P. R. CO'S BAKERY LAND.  
552 WASHINGTON AVE. PORTLAND, ME  
APPROX. W. ST. OF SIGN 125  
SCALE 1/4" = 1'-0"



13' STORAGE  
**RECEIVED**  
 SEP 5 1952  
 DEPT. OF BLD'G. INSP.  
 CITY OF PORTLAND

UNITED NEON DISPLAY  
 74 Elm Street, Portland, Me. 04101

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO  
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES  
AT 550 Washington Ave. IN PORTLAND, MAINE

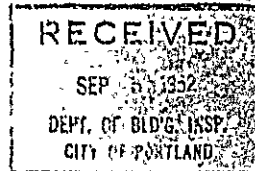
Joseph Botto, being the owner of the  
premises at 550 Washington Ave. in Portland, Maine hereby gives  
consent to the erection of a certain sign owned by Botto's Bakeryland  
projecting over the public sidewalk from said premises as described in applica-  
tion to the Inspector of Buildings of Portland, Maine for a permit to cover  
erection of said sign;

And in consideration of the issuance of said permit \_\_\_\_\_  
Joseph Botto, owner of said premises, in event said sign  
shall cease to serve the purpose for which it was erected or shall become  
dangerous and in event the owner of said sign shall fail to remove said  
sign or make it permanently safe in case the sign still serves the purpose  
for which it was erected, hereby agrees for himself or itself, for his  
heirs, its successors, and his or its assigns, to completely remove said  
sign within ten days of notice from said Inspector of Buildings that said sign  
is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this  
consent and agreement this 5th day of September 1952

Joseph S. Coyne  
Witness

Joseph Botto  
Owner





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, April 22, 1952

PERMIT ISSUED 00524 APR 24 1952 CITY OF PORTLAND A-E-S

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 550 Washington Ave. Use of Building Bakery No Stories New Building Existing "
Name and address of owner of appliance Hellenic Bakery, Washington Ave.
Installer's name and address Universal Oven Co., 270 Broadway, N.Y.C. Telephone

General Description of Work

To install oil-fired bake oven

Permit Issued with Letter

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance
If wood, how protected? Kind of fuel
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace
Front top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Labelled by underwriters' laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner
Location of oil storage Number and capacity of tanks
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? How many tanks fire proofed?
Total capacity of any existing storage tanks to furnace burners

IF COOKING APPLIANCE

Location of appliance 1st Kind of fuel oil Type of floor beneath appliance concrete
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance \* 4"
From front of appliance Over 4' From sides and back Over 4' From top of smoke pipe 11" \*\*
Size of chimney flue Other connections to same flue
Is hood to be provided? none If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

SCCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

\*There is plaster on this ceiling on non-burnable lath. The oven manufacturer declares that there is 12" thickness of rockwool insulation covering the entire area of the oven and entire area of the baking chamber, that this insulation is surmounted with 16 gauge metal and that it is his opinion that this insulation built in this way is far superior to the shield stipulated by the Und.--22 gauge sheet metal on 1" rockwool bats reinforced with wire mesh or equivalent.
\*\* A sheet of asbestos lumber or equivalent will be provided about halfway between the top of the pipe and the ceiling, suspended on non-burnable hangers and 3 times the diameter of the smokepipe in width.

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.) Permit Issued with Letter

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes Universal Oven Co.

Signature of Installer

NON COPY

No. 52/524

Location 550 Washington Ave.

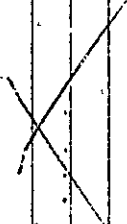
Owner Hellenic Bakery

Date of permit 4/24/52

Approved 2/10/53

NOTES

12/14/52 - ~~Permit~~ - NY  
2/10/53 - ~~Permit~~ - NY



Vertical text on the right side of the document, possibly a date stamp or reference number: 524 2/10/53

BP 550 Washington Avenue  
(bake oven)  
EAS 12/19/52

December 4, 1952

Universal Oven Co.,  
270 Broadway  
New York City, N. Y.

Copy to J. Sklar & Co.,

Gentleman:

On April 24 last, we issued a permit for your Company as installer to install an oil-fired bake oven for the Hellenic Bakery at 550 Washington Avenue, the application having been signed by A. Sklar of J. Sklar & Company, your Maine Agent (we do not know their address). A letter was sent with this permit with copy to installer, copy to owner and copy to your Company.

Paragraph #1 of the letter described a smokepipe condition and required a shield over it. This shield was never supplied, although it was no doubt the responsibility of the Agent to supply it.

We have talked with the owner, who was not cooperative in this matter, and we anticipate that, if we try to press him that, he will easily bring about to show that this is your responsibility.

It seems necessary for you to have J. Sklar & Co., or some local representative of that Company, provide this shield as indicated in the letter without fail before December 19, 1952.

We would appreciate notice when the shield has been provided so as to avoid unnecessary inspections.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMC/B

AP 550 Washington Ave.

April 24, 1952

Hellenic Baking Co.,  
550 Washington Avenue

Universal Oven Company,  
c/o Hellenic Baking Co.  
550 Washington Avenue,  
Portland, Maine

Copy to: Universal Oven Co.,  
270 Broadway  
New York, N. Y.

Gentlemen:

At the direction of Mr. Sklar representing Universal Oven Company building permit for installation of oil-fired bake oven at 550 Washington Avenue, is issued to Mr. Eotto, herewith, but subject to the following conditions: It is understood that the oven company started the installation without securing a permit, and if these conditions are not fully understood, or, if you are unable to comply with them, it is important that you do nothing more whatever on any of the installation, and contact this office for adjustment.

1. The smokepipe is to connect to the side of the oven and to run to an existing masonry chimney a few feet away, the brick oven now connected to this chimney to be discontinued and removed.

This smokepipe is about 10" in diameter and the top of it will be about 11" below the ceiling. A shield of asbestos lumber or equivalent is to be provided about halfway between the top of the pipe and the ceiling, suspended on non-burnable hangers, and three times the diameter of the smokepipe in width. —

2. The oven company representative says that the oven has a 12" thickness of mineral wool insulation over the entire area of the oven with 16 gauge metal over the insulation. This metal is at least 4" below the ceiling, and the oven company has given it as its opinion that this insulation built into the oven is far superior to the shield stipulated by the Underwriters' for a clearance of only 4". If this is not a true statement of the case the work should not proceed.

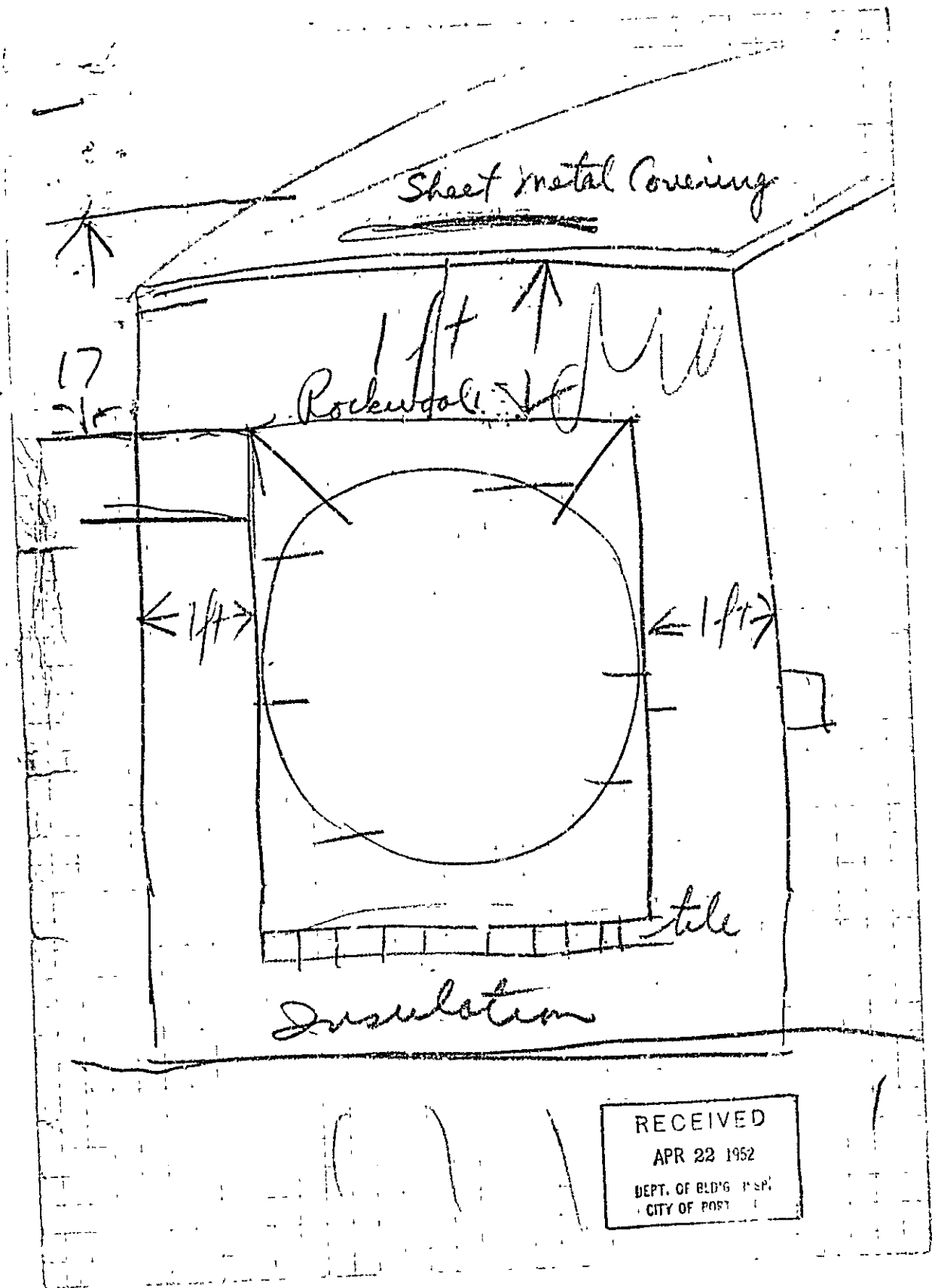
3. The oven company says that the oil burner bears the label of the Underwriters' Laboratories, Inc., and that the oil burning equipment will be connected up by someone other than themselves.

That party is required to get a separate permit and have it posted on the front of the premises before the work of connecting up the oil burning equipment is started. Application for that permit is to be made by and is issuable only to the actual installer. Naturally the application must give all of the particulars including the oil storage tank and all other features necessary to show compliance with the regulations.

Very truly yours,

Warren McDonald  
Inspector of Buildings

W McD/H



RECEIVED  
APR 22 1952  
DEPT. OF BLD'G INSP.  
CITY OF PORT





APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 51
Portland, Maine, January 21, 1952

PERMIT ISSUED
FEB 2 1952
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 51/2442 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 550 Washington Avenue
Owner's name and address Joseph Botto, 550 Washi...
Lessee's name and address ...
Contractor's name and address J. Ernest Roberts, 1024 Washington Ave.
Proposed use of building Bakery
Last use ...
Increased cost of work 2500.

Description of Proposed Work

To change thickness of foundation wall to 10" top and 10" bottom and provide footings as per plan. Concrete to be reinforced. (revised)
To make alterations to existing building as per plans.

Permit Issued with Letter

Details of New Work J. Ernest Roberts

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof.
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on center
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: with letters by [Signature]

Signature of Owner By: J. Ernest Roberts
Approved: [Signature] Inspector of Building



# LOCAL ORDINANCE APPLICATION FOR PERMIT

PERMIT ISSUED  
02422  
NOV 29 1951  
CITY OF PORTLAND

Class of Building or Type of Structure Third Class  
Portland, Maine, October 31, 1951

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~existing~~ ~~at~~ the following building ~~street~~ ~~occupancy~~ in accordance with the Laws of the State of Maine, the Building Code and ~~7~~ Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 550 Washington Avenue  
Owner's name and address Joseph Botto, 550 Washington  
Lessee's name and address \_\_\_\_\_  
Contractor's name and address J. Ernest Roberts, 102  
Architect \_\_\_\_\_  
Proposed use of building Bakery  
Last use \_\_\_\_\_  
Material wood No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$8,000  
Dist. No. \_\_\_\_\_  
Telephone 3-7647  
Telephone \_\_\_\_\_  
phone 3-6576  
No. of sheets 2  
No. families \_\_\_\_\_  
No. families \_\_\_\_\_  
Roofing \_\_\_\_\_  
Fee \$ 8.00

### General Description of New Work

To construct 1-story concrete block addition 25' x 70' on side of existing building, as per plans.  
To demolish garage attached to existing building.

Permit Issued with Letter

Health Notices to Health Officer and then

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO J. Ernest Roberts**

SUSTAINED 11/15/51

### Details of New Work

If any plumbing involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_  
Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging on every floor and flat roof span over 8 feet  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

Permit Issued with Letter

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

*with Pettinger*

Joseph Botto

INSPECTION COPY

Signature of owner by:

*J. Ernest Roberts*



Location 550 Wash. Ave.

Complaint No. \_\_\_\_\_

2/5/53 - shield not  
provided over smoke  
pipe. S. S.

Permit No. 512442

2/6/53 - Phoned Mr.  
Boots and gave  
him until Monday

2/9/53 to have  
shield in place  
we shall proceed  
against him  
personally - W.S.

2/11/53 - W.S. done  
S.S.

Form 3900-S (Rev. 7-31)

7547

Receipt for Registered Article No.

Fee paid 30 cents. Class postage 1

Declared value 7 Surchargo paid, \$.....

Return Receipt fee 7 Spl. Del'y fee .....

Delivery restricted to addressee

In person..... or order..... Fee paid.....  
Accepting employees will place his initials in space  
indicating restricted delivery.



47-10 10422-5 GPO

NOTICE TO SENDER—Enter below name and address of addressee as on identification. Preserve and submit this receipt in case of inquiry or application for indemnity.

Bottle  
(Name of addressee) (P. O. and State of address)



Form 211  
1971

### RETURN RECEIPT

Number of copies of the document, the receipt for which is attached, the original number of which appears on the face of the document.

Signature of recipient

Date of delivery

EP 550 Washington Ave.,

Registered Mail  
Return Receipt

ESB 2/2/53

Mr. Joseph Eotto  
550 Washington Ave.,  
Portland, Maine

January 15, 1953

Copy to: Mr. J. Ernest Roberts  
1024 Washington Ave.,

Dear Mr. Eotto:

This letter is notice to you of 2 violations of the Building Code in connection with the alterations and addition to your bakery at 550 Washington Ave., as follows:

The smokepipe from the oil-fired take oven has the top of it only about 11 in. below burnable material above the pipe and no protective shield has been provided over the pipe as required by Sect. 602-d-3 of the Building Code, where such a smokepipe is less than 15 in. from burnable material above the pipe.

The new wooden header around the chimney is very close to or directly against the brickwork of the chimney in violation of Sect. 304-d-1 of the Building Code, which requires that there shall be no woodwork or other combustible material closer than one inch to the outside face of a masonry chimney.

As authorized and directed by Sect. 109 of the Building Code (copy enclosed) you are hereby directed to have made changes or alterations to make good these violations before February 2, 1953, as follows:

Provide over the smokepipe at all points where the top of the pipe is closer than 15 in. to burnable material above it, a protective shield of rigid asbestos board at least 3/16 in. in thickness, the shield to be no less than 3 times the diameter of the smokepipe in width, centered over the center line of the smokepipe and to be supported on non-burnable hangers about halfway between the top of the pipe and the burnable material above it.

Alter and adjust the header framing around the chimney so that all woodwork will be at least one inch from the outside face of the chimney wall and in such a way that the strength of the framing and supports in the new arrangement will be fully capable of supporting the rated live and dead loads of the floor and all other loads which may come upon it in accordance with Building Code standards. The space thus provided between the header and the chimney is to be firestopped on the under side of the header and of sheet metal or other incombustible material to the under side of the chimney trimmer beams and extended to fit around the chimney closely without being built into the brick masonry of the chimney, and the space between the woodwork and the chimney wall to be filled from above, if possible, with non-burnable insulating material such as mineral wool or the like.

This matter of a shield over the smokepipe was brought to attention in a joint letter to you and the Universal Oven Co., which installed the oven, and you are aware of the fact that we made an effort without success to have this out-of-town concern make good by letter to them on December 4, 1952. Nothing has come of that effort so far.

With relation to the wooden headers against the chimney, it appears that many



Mr. Joseph Botto \_\_\_\_\_

2

January 15, 1953

weeks ago your contractor, who built the addition, stood ready to make good this fault, but for some reason arrangements could not be made for his men to have access to your plant and do the work during the usual working hours of the men.

Under these circumstances we have no option under Sect. 109 of the Building Code but to direct this formal order to you, as owner of the building.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WHCD/B

Enc: Copy of Sect. 109 of the Building Code

BP 51/2442  
550 Washington Avenue

August 11, 1952

Mr. J. Ernest Roberts  
1624 Washington Avenue  
Portland, Maine

c.c. Joseph Botto  
550 Washington Avenue

Dear Mr. Roberts:-

Upon inspection of the above job on August 7, 1952, our inspector reports the following criticisms or defects.

Floor load and exit signs have not been provided. *O.I.S.*

No vestibule latchset on rear exit door. *O.I.S.*

New header around chimney rests directly against brickwork. Header should clear chimney by at least 1" and space filled with incombustible material.

The double 2x4, puncheon supporting timbers in basement near oil burner should be replaced by at least a 4x6 all one piece in cross section. *O.I.S.*

It is important that correction of these conditions be made before August 25, 1952.

If additional information relative to the above is desired, please phone Inspector Earle S. Smith at 4-1431, extension 234, any week day but Saturday between 8:00 and 8:30 P. M.

Very truly yours,

\_\_\_\_\_  
Inspector

Warren McDonald  
Inspector of Buildings

E33/G

P. S. Mr. Botto:

A shield of asbestos lumber at least 3/16" thick should be provided about halfway between the top of the smokepipe serving oven, and the ceiling, suspended on non-burnable hangers, and three times the diameter of the smokepipe in width.

*not done*  
11/13/52  
*not done*

DP 550 Washington Avenue-I

February 2, 1952

Mr. J. Ernest Roberts  
1024 Washington Avenue  
Portland, Maine

Copies to: Mr. Joseph Butto  
550 Washington Avenue  
Mr. William B. Millward  
48 Passenden Street

Dear Mr. Roberts:

Amendment #1 to permit 51/2442 covering alterations to the store front of the existing building at 550 Washington Avenue is issued herewith based on the plans filed with the application for the amendment, but subject to the following conditions:

1. It is understood that the new reinforced concrete floor is to be 4" instead of 6" thick and that the size and spacing of reinforcing bars is to be changed, these changes having been made in red crayon by the architect both on the plan filed at this office and on the copy which you have.
2. Size of column shown for support of the lintels over the store windows at the corner of the building is not indicated on the plan. The architect states that this is to be a 3 1/2" light weight Lally and the amendment is issued on the basis of the use of such a column.
3. Ceiling timbers over the store area are to be 2x8 spaced 16" on centers as shown in Section B-B on the plans instead of being 2x6 hung to the existing second floor joists as shown in Section A-A.
4. Care will need to be taken to provide adequate anchorage of the new 2x6 sills or shoes beneath second story wood frame walls to the new masonry walls below and to fasten the new 2x3 ceiling timbers to the existing second story wall studs to provide adequate tying action across the building.
5. There is no indication on the plans as to the material and spacing of ties from the brick facing to the 5" concrete wall back. If these are to be of metal, the Building Code specifies that they shall have a minimum thickness equal to that of wire of number six gauge, galvanized after bending, and laid one to every other joint in every fifth course, or equivalent. The amendment is issued on the basis of compliance with this requirement.
6. A handrail is required on at least one side of the new steps at the change in floor levels and risers of these steps are required to be no more than 8 1/2" high and treads not less than 9" wide measured from riser to riser.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

Alterations, Slabfoot at 550 Washington Avenue

1/29/52

1- Concrete Floor:-

6" slab - Design Load =  $75 \times 75 = 150$  per sq ft.  
 4" slab - " =  $75 \times 50 = 125$  " " "

Span = 7.5'  $W = 7.5 \times 125 = 938$  #  
 $M = \frac{WL}{10} = \frac{938 \times 7.5 \times 12.6}{10} = 8442$ , say 8500 #

Effective depth of slab required -  
 $d = \sqrt{\frac{8500}{10 \times 12}} = \sqrt{5.4} = 2.33$ "

$2.33 + (.25 + .75) = 3.33$ " total thickness req. O.K.  
 $4" - (.25 + .75) = 3"$  actual effective depth

Area of steel required - tensile

$$A_s = \frac{M}{f_s d} = \frac{8442}{20,000 \times .875 \times 3} = .162 \text{ sq. in.}$$

$\frac{1.2}{9} = 1.33$  rods per 12" width of slab.

Area of  $\frac{1}{2}$ " rod = .196 O.K.  
 $.196 \times 1.33 = .26$ " area of steel at 9" on center

131	125
-12	75
262	625
131	815
1572	4370

1572	8500
7860	
6228	
1120	

4370	5.4
127	
461100	
2625	
5150300	

5250	8500	.16
3250	525	.196
3150	578	1.33
1572	196	
	2628	