



**APPLICATION FOR PERMIT**  
 DEPARTMENT OF BUILDING INSPECTION SERVICES  
 ELECTRICAL INSTALLATIONS

Date 1/13/87 January 9, 1987  
 Receipt and Permit number D 09886

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: Church Site Corner of Canco and Washington  
 OWNER'S NAME: Donbury Constr. ADDRESS: Baxter Blvd

	FEES
OUTLET : Receptacles _____ Switches _____ Plugmold _____ ft TOTAL _____	
FIXTURES: (number of) Incandescent _____ Fluorescent _____ (not strip) TOTAL _____ Strip Fluorescent _____ ft. _____	
SERVICES: Overhead _____ Underground _____ Temporary <input checked="" type="checkbox"/> TOTAL amperes <u>200</u>	3.00
METERS: (number of) <u>1</u>	.50
MOTORS: (number of) Fractional _____ 1 HP or over _____	
RESIDENTIAL HEATING: Oil or Gas (number of units) _____ Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by main boiler) _____ Oil or Gas (by separate units) _____ Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of) Ranges _____ Water Heaters _____ Cook Tops _____ Disposals _____ Wall Ovens _____ Dishwashers _____ Dryers _____ Compactors _____ Fans _____ Others (denote) _____	
TOTAL _____	
MISCELLANEOUS: (number of) Branch Panels _____ Transformers _____ Air Conditioners Central Unit _____ Separate Units (windows) _____ Signs 20 sq. ft. and under _____ Over 20 sq. ft. _____ Swimming Pools Above Ground _____ In Ground _____ Fire/Burglar Alarms Residential _____ Commercial _____ Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____ over 30 amps _____ Circus, Fairs etc. _____ Alterations to wires _____ Repairs after fire _____ Emergency Lights, battery _____ Emergency Generators _____	

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT . . . . . DOUBLE FEE DUE:  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) . . . . .  
 TOTAL AMOUNT DUE: 5.00 min

INSPECTION:  
 Will be ready on \_\_\_\_\_, 19\_\_\_\_; or Will Call   
 CONTRACTOR'S NAME: B. H. Milliken  
 ADDRESS: 1400 Washington Ave.  
 TEL: 878-2822  
 MASTER LICENSE NO. 3604 SIGNATURE OF CONTRACTOR: B. H. Milliken  
 LIMITED LICENSE NO. \_\_\_\_\_

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN





**APPLICATION FOR PERMIT**  
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES  
 ELECTRICAL INSTALLATIONS

1/13/87  
 09886

Date January 9 1987  
 Receipt and Permit number 09886

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: Church Site Corner of Conco and Washington  
 OWNER'S NAME: Donbury Constr. ADDRESS: Baxter Blvd

	FEES
OUTLETS: Receptacles _____ Switches _____ Plugmold _____ ft TOTAL _____	
FIXTURES: (number of) Incandescenc _____ Fluorescent _____ (not strip) TOTAL _____ Strip Fluorescent _____ ft _____	
SERVICES: Overhead _____ Underground _____ Temporary <input checked="" type="checkbox"/> TOTAL amperes <u>200</u> ..	3.00
METERS: (number of) <u>1</u> ..	.50
MOTORS: (number of) Fractional _____ 1 HP or over _____	
RESIDENTIAL HEATING: Oil or Gas (number of units) _____ Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____ Oil or Gas (by separate units) _____ Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of) Ranges _____ Water Heaters _____ Cook Tops _____ Disposals _____ Wall Ovens _____ Dishwashers _____ Dryers _____ Compactors _____ Fans _____ Others (denote) _____ TOTAL _____	
MISCELLANEOUS: (number of) Branch Panels _____ Transformers _____ Air Conditioners Central Unit _____ Separate Units (windows) _____ Signs 20 sq. ft. and under _____ Over 20 sq. ft. _____ Swimming Pools Above Ground _____ In Ground _____ Fire/Burglar Alarms Residential _____ Commercial _____ Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____ over 30 amps _____ Circus, Fairs, etc. _____ Alterations to wires _____ Repairs after fire _____ Emergency Lights, battery _____ Emergency Generators _____	

INSTALLATION FEE DUE: \_\_\_\_\_  
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE: \_\_\_\_\_  
 FOR REMOVAL OF A 'STOP ORDER' (304-16.b) .....  
 TOTAL AMOUNT DUE: 5.00 min

INSPECTION:  
 Will be ready on \_\_\_\_\_, 19\_\_; or Will Call   
 CONTRACTOR'S NAME: B. H. Milliken  
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INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN



APPLICATION FOR PERMIT

PERMIT ISSUED

NOV 28 1988

City Of Portland

B.O.C.A. USE GROUP ..... 001708

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION ..... PORTLAND, MAINE

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 57 ... S. ... R.O. ... Fire District #1 , #2 
1. Owner's name and address ... Telephone ...
2. Lessee's name and address ... Telephone ...
3. Contractor's name and address ... Telephone ...
Proposed use of building ... No. of sheets ...
Last use ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$ ...

FIELD INSPECTOR—Mr. @ 775-5451

Appeal Fees \$
Base Fee
Late Fee
TOTAL \$ 10.00

1-2000 gal. gasoline TANK
under ground TANK
- 170-1100L - DATE: 10/10/86

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner post Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS Y: DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Phone # 723-4174

Type Name of above 1 2 3 4

Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

**CITY OF PORTLAND, MAINE  
SITE PLAN REVIEW  
Processing Form**

First Baptist Church  
Applicant

Sept. 15, 1986  
Date

church  
Mailing Address

Washington Ave. & Cenco Road  
Address of Proposed Site

25 acres / 25,186 sq. ft.  
Proposed Use of Site

153  
Site Identifier(s) from Assessors Maps

25 acres / 25,186 sq. ft.  
Acreage of Site / Ground Floor Coverage

R-3  
Zoning of Proposed Site

Site-Location Review (DEP) Required: ( ) Yes ( ) No  
Board of Appeals Action Required: ( ) Yes ( ) No  
Planning Board Action Required: ( ) Yes ( ) No

Proposed Number of Floors 1 fl. & balcony  
Total Floor Area \_\_\_\_\_

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

**BUILDING DEPARTMENT SITE PLAN REVIEW**  
(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
  - Requires Board of Appeals Action
  - Requires Planning Board/City Council Action

Explanation: \_\_\_\_\_

- Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK, as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	H'GHT	LCT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LCT FRONTAGE	OFF STREET PARKING	LOADING BAYS	
COMPLIES																			
COMPLIES CONDITIONALLY																			CONDITIONS SPECIFIED BELOW
DOES NOT COMPLY																			REASONS SPECIFIED BELOW

REASONS: \_\_\_\_\_

*[Signature]*  
SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT - ORIGINAL

**CITY OF PORTLAND, MAINE**

**SITE PLAN REVIEW**

**Processing Form**

Applicant: WICK BROTHERS LIMITED Date: Sept. 15, 1988  
 Mailing Address: \_\_\_\_\_ Address of Proposed Site: Washington Ave. & Grand St.  
 Proposed Use of Site: \_\_\_\_\_ Site Identifier(s) from Assessors Maps: 177  
 Acreage of Site: \_\_\_\_\_ Ground Floor Coverage: \_\_\_\_\_ Zoning of Proposed Site: \_\_\_\_\_  
 Site Location Review (DEP) Required: ( ) Yes ( ) No Proposed Number of Floors: 11  
 Board of Appeals Action Required: ( ) Yes ( ) No Total Floor Area: \_\_\_\_\_  
 Planning Board Action Required: ( ) Yes ( ) No  
 Other Comments: \_\_\_\_\_  
 Date Dept. Review Due: \_\_\_\_\_

**PLANNING DEPARTMENT REVIEW**

(Date Received) \_\_\_\_\_

- Major Development — Requires Planning Board Approval; Review Initiated.  
 Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERNS	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & MASS OF STRUCTURES	LIGHTING	CONFLICT WITH CITY UTILITIES	FINANCIAL CAPACITY	CONFORMANCE WITH SITE PLAN
APPROVED	X	X	X	X	X	X	X	X	X	X	X	X
APPROVED CONDITIONALLY												
DISAPPROVED												

CONDITIONALLY APPROVED BELOW  
 DISAPPROVED BELOW

REASONS: 1- CURBS AND SIDEWALKS (INCLUDING EXPANSIONS) TO BE DONE AS PER SUB WORK COMMENTS

(Attach Separate Sheet if Necessary)

[Signature] 386  
 SIGNATURE OF REVIEWING STAFF/DATE  
 PLANNING DEPARTMENT COPY



**CITY OF PORTLAND, MAINE  
SITE PLAN REVIEW  
Processing Form**

Applicant: St. Joseph's Church

Date: \_\_\_\_\_

Map: 2000

Address of Proposed Site: \_\_\_\_\_

Proposed Use of Site: \_\_\_\_\_

Site Identifier(s) from Assessors Maps: \_\_\_\_\_

Acreage of Site / Ground Floor Coverage: \_\_\_\_\_

Zoning of Proposed Site: \_\_\_\_\_

Site Location Review (DEP) Required: ( ) Yes ( ) No

Proposed Number of Floors: 4

Board of Appeals Action Required: ( ) Yes ( ) No

Total Floor Area: \_\_\_\_\_

Planning Board Action Required: ( ) Yes ( ) No

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

**FIRE DEPARTMENT REVIEW**

(Date Received) \_\_\_\_\_

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMASE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER
APPROVED								
APPROVED CONDITIONALLY								
DISAPPROVED								

CONDITIONS SPECIFIED BELOW  
REASONS SPECIFIED BELOW

REASONS: \_\_\_\_\_

(Attach Separate Sheet If Necessary)

  
 SIGNATURE OF REVIEWING STAFF/DATE  
 FIRE DEPARTMENT COPY 9-17-85



CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant \_\_\_\_\_

Date \_\_\_\_\_

Mailing Address \_\_\_\_\_

Address of Proposed Site \_\_\_\_\_

Proposed Use of Site \_\_\_\_\_

Site Identifier(s) from Assessors Maps \_\_\_\_\_

Acreage of Site / Ground Floor Coverage \_\_\_\_\_

Zoning of Proposed Site \_\_\_\_\_

Site Location Review (DEP) Required: ( ) Yes (  ) No

Proposed Number of Floors \_\_\_\_\_

Board of Appeals Action Required: ( ) Yes (  ) No

Total Floor Area \_\_\_\_\_

Planning Board Action Required: (  ) Yes ( ) No

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) \_\_\_\_\_

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER
APPROVED	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
APPROVED CONDITIONALLY													<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
DISAPPROVED															

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: 1) Curb & sidewalk repair and construction along Canco Rd. and Washington Ave shall be done in accordance with City standards and specifications.

(Attach Separate Sheet If Necessary)

*Robert J. [Signature]* 12/3/86  
SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

**I. GENERAL INFORMATION**  
 Location/address of construction Carco Road (corner of Carco & Washington)  
 1. Owner's name The First Baptist Church Tel. \_\_\_\_\_  
 Address 353 Commercial Street  
 2. Contractor's name \_\_\_\_\_ Tel. \_\_\_\_\_  
 Address \_\_\_\_\_  
 3. Contractor's name Danbury Inc Tel. 774-6254  
 Address 33 Baxter Boulevard  
 4. Is this a legally recorded lot? yes \_\_\_\_\_ no \_\_\_\_\_

City Of Portland

**II. DESCRIPTION OF WORK:**  
to construct Workshop and Christian Education Facility 28,327 sq. ft.  
as per plans

Send to #3 04104

**III. BUILDING DIMENSIONS:** length 224 width 107 square footage 23,928 height 54 #stories 4  
**IV. ZONE** \_\_\_\_\_ Street frontage \_\_\_\_\_ Zoning board approval no  yes  date \_\_\_\_\_  
 Setbacks: front \_\_\_\_\_ back \_\_\_\_\_ side \_\_\_\_\_ side \_\_\_\_\_ Planning board approval no  yes  date \_\_\_\_\_  
**V. REVIEW REQUIRED:** variance \_\_\_\_\_ of year \_\_\_\_\_ Number of off-street parking spaces: \_\_\_\_\_  
 site plan \_\_\_\_\_ subdivision \_\_\_\_\_ shore \_\_\_\_\_ ft. explanation \_\_\_\_\_ enclosed \_\_\_\_\_ outdoors \_\_\_\_\_  
**VI. FEES:**  
 base fee \_\_\_\_\_ other fees \_\_\_\_\_  
 subdivision fee \_\_\_\_\_ late fee \_\_\_\_\_  
 site plan review fee \_\_\_\_\_ TOTAL 57,529

**VII. DETAILS OF WORK**

1. WATER SUPPLY: <input type="checkbox"/> public <input type="checkbox"/> private	7. ELECTRICAL: service entrance size _____ # smoke detectors _____	8. CHIMNEY: # flues _____ material _____ # fireplaces _____
2. SEWER: <input type="checkbox"/> public <input type="checkbox"/> private, type _____	9. FRAMING: floor joists _____ size _____ max. on center _____ ceiling joists _____ rafters _____ studs _____ wall studs _____	
3. HEAT: type _____ fuel _____	10. If 1-story building w/masonry walls, wall thickness _____ height _____	11. BEDROOM WINDOWS height _____ width _____ sill height _____ egress window? yes <input type="checkbox"/> no <input type="checkbox"/>
4. FOUNDATION: type _____ thickness _____ footing _____		
5. ROOF: type _____ pitch _____ covering _____ load _____		
6. PLUMBING, SPRINKLER SYSTEM? yes <input type="checkbox"/> no <input type="checkbox"/>		

**VIII. OFFICE USE:**  
 TAX MAP # \_\_\_\_\_  
 LOT # \_\_\_\_\_  
 VALUE/STRUCTURE \_\_\_\_\_  
 PERMIT EXPIRATION \_\_\_\_\_

**IX. NEW OR PHASED SUBDIVISION REFERENCE:**  
 name \_\_\_\_\_  
 lot \_\_\_\_\_  
 block \_\_\_\_\_

**X. PROPOSED USE:** 326 Christian & Nurture Education Facility  
**XI. PAST USE:** 321 vacant  
**XII. OWNERSHIP:**  PUBLIC  PRIVATE

**XIII. EST. CONSTRUCTION COST:** 1,500,000  
**XIV. GR. SQ. FT. OF LOT BUILDING:** \_\_\_\_\_

**COMPLETE XV AND XVI ONLY IF THE NUMBER OF UNITS WILL CHANGE**

<b>XV. RESIDENTIAL BUILDINGS ONLY:</b> # NEW DWELLING UNITS WITH: # EXISTING DWELLING UNITS WITH:	<b>BEV ROOMS:</b> 1 BDRM _____ 2 BDRMS _____ 3 BDRMS _____	<b>XVI. # RESIDENTIAL UNITS:</b> # NEW DWELLINGS _____ # EXISTING DWELLINGS _____ TOTAL RESIDENTIAL UNITS _____
---	---	--

**APPROVALS BY:** \_\_\_\_\_ DATE \_\_\_\_\_  
**BUILDING INSPECTION - PLAN EXAMINER:** \_\_\_\_\_  
**ZONING:** \_\_\_\_\_  
**C.E.O.:** \_\_\_\_\_  
**PIPE DEPT.:** \_\_\_\_\_

**MISCELLANEOUS**  
 Will work require disturbing of any tree on a public street? \_\_\_\_\_  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? \_\_\_\_\_

**NOTE TO APPLICANT:** Separate permits are required by the installers and subcontractors of heating, plumbing, electrical, and mechanicals.

District No. 9  
 SIGNATURE OF APPLICANT: William PHONE # 774-6254  
 TYPE NAME OF ABOVE: Law Staffington Inc (the First District)  
 Write -GPCOG Green -Applicant Yellow -Assessor Pink -Office Rio Gold -Field Inspector

*William*



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date Aug 28, 19 86  
 Receipt and Permit number D 24483

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 222 Canco Rd. 2/d  
 OWNER'S NAME: Nelson & Small ADDRESS: same

OUTLETS: Receptacles \_\_\_\_\_ Switches \_\_\_\_\_ Plugmold \_\_\_\_\_ ft. TOTAL 1-30..... 3.00 FEES

FIXTURES: (number of) Incandescent \_\_\_\_\_ Flourescent 20 (not strip) TOTAL ..... 4.00  
 Strip Flourescent \_\_\_\_\_ ft. ....

SERVICES: existing service Overhead \_\_\_\_\_ Underground \_\_\_\_\_ Temporary \_\_\_\_\_ TOTAL amperes \_\_\_\_\_ .. .50

METERS: (number of) 1 .....

MOTORS: (number of) Fractional \_\_\_\_\_  
 .1 HP or over \_\_\_\_\_

RESIDENTIAL HEATING: Oil or Gas (number of units) \_\_\_\_\_  
 Electric (number of rooms) \_\_\_\_\_

COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) \_\_\_\_\_  
 Oil or Gas (by separate units) \_\_\_\_\_  
 Electric Under 20 kw's x Over 20 kw's \_\_\_\_\_ 5.00

APPLIANCES: (number of) Ranges \_\_\_\_\_ Water Heaters \_\_\_\_\_  
 Cook Tops \_\_\_\_\_ Disposals \_\_\_\_\_  
 Wall Ovens \_\_\_\_\_ Dishwashers \_\_\_\_\_  
 Dryers \_\_\_\_\_ Compactors \_\_\_\_\_  
 Fans \_\_\_\_\_ Others (denote) \_\_\_\_\_

TOTAL \_\_\_\_\_

MISCELLANEOUS: (number of) Branch Panels \_\_\_\_\_  
 Transformers \_\_\_\_\_  
 Air Conditioners Central Unit \_\_\_\_\_  
 Separate Units (windows) \_\_\_\_\_  
 Signs 20 sq. ft. and under \_\_\_\_\_  
 Over 20 sq. ft. \_\_\_\_\_  
 Swimming Pools Above Ground \_\_\_\_\_  
 In Ground \_\_\_\_\_  
 Fire/Burglar Alarms Residential \_\_\_\_\_  
 Commercial \_\_\_\_\_  
 Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under \_\_\_\_\_  
 over 30 amps \_\_\_\_\_  
 Circus, Fairs, etc. \_\_\_\_\_  
 Alterations to wires xx ..... 3.00  
 Repairs after fire \_\_\_\_\_  
 Emergency Lights, battery \_\_\_\_\_  
 Emergency Generators \_\_\_\_\_

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE:  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) .....  
 TOTAL AMOUNT DUE: x2x50x

INSPECTION: Will be ready on \_\_\_\_\_, 19 \_\_\_\_; or Will Call xx

CONTRACTOR'S NAME: Electrico Inc.  
 ADDRESS: P. O. Box 305 West Buxton  
 TEL. 727-3257222x22x2  
 MASTER LICENSE NO.: 3168 SIGNATURE: [Signature] CONTRACTOR:  
 LIMITED LICENSE NO.: \_\_\_\_\_

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN



**CHURCH  
GROWTH  
SERVICES**

120 East Callander Street  
PO Box 2409  
South Bend, IN 46680  
219/291-4777

May 11, 1988

Lt. James Collins  
Fire Headquarters  
380 Congress  
Portland, Maine 04101

Regarding: Code Modifications Per City of Portland

Dear Lt. Collins:

On April 28 you and Mr. Samuel Hoffses; Chief Inspector, myself and Art Treadwell, site supervisor, Donbury Construction met at the site and reviewed outstanding code compliance items prior to partial occupancy by the First Baptist Church. It was determined that the north portion of the building, which was occupied April 29 was approved as is. The only outstanding item brought to our attention at that meeting for the south portion of the building was a one hour rated exit corridor to exit from the sanctuary to the exterior of the building. At that meeting it was stated that the openings in the one hour rated corridor were to be three-quarter hour rather than the 20 minute doors specified; that the ceiling was also to be rated one hour, and CGS was to verify.

It was further noted that these requirements were based on NFPA 101 and BOCA '84, on which the plans were based.

Enclosed are 8 pages of exhibits which are copies of the BOCA '84, NFPA 101 and Armstrong Ceiling Manufacturer data to be used to verify compliance with Portland's codes.

1. Fire door resistance ratings. According to exhibit A, BOCA '84, exit access enclosures of one hour construction are allowed to have doors of one third hour ratings. NFPA 101 exhibits G & H also state 20 minute doors are allowed. It is our understanding from code research that 20 minute doors are allowed in a one hour wall as originally shown on the drawings, as approved in the 7/23/87 building permit submittal set, and as shown on the drawings which were reviewed at the site.
2. It was pointed out that the ceiling was to be one hour rated. This conforms to exhibit B & C BOCA '84 which requires a one hour exit access corridor. Exhibit D is a page from the UL (Underwriter Laboratories) Fl Resistance Directory stating an Armstrong ceiling type as specified in drawings with 5/8" ceiling tile rated at one hour and acceptable for this application. Exhibits E & F state that the specified lay-in ceiling system by Armstrong is Class A and exhibit F shows the specification of a G241 UL listing. The ceiling system, according to these documents, seems to be sufficient to meet the one hour rating as specified by the City of Portland.

*William  
For you file*

page 2  
May 11, 1988  
Lt. James Collins

3. One further item of clarification is that there is to be no balcony in Phase I. One hour rated walls are to extend to the underside of a future metal deck which would be the floor slab of a balcony. Again, please refer to exhibit H of NFPA, Section 10-3.6.1 which states that when the ceiling of the entire story is an element of a one hour fire resistive floor or ceiling system the corridor wall may terminate at the ceiling. The ceiling of the sanctuary is a one hour wall system and within that a one hour rated exit corridor. This item is placed in this letter simply to document, in fact, that there is to be no balcony in this phase of construction.

Gentlemen, thank you for your time at the site on April 28 and please accept this letter as our statement that we have complied with all governing codes required and are seeking your concurrence on this item. We believe that the drawings as submitted for review in July of 1987 and approved by the city continue to comply with applicable code requirements.

Sincerely,



Frank Gorman  
Director of Architecture

dg

enclosure

c: Samuel Hoffsaes; Chief, Inspection Services  
Don Skeffington; Donbury, Inc.  
Forest Barter; First Baptist Church  
Buell Heminway, Architect



assemblies and NFPA 80 listed in Appendix A, shall be approved for use as provided for in this code.

**1415.3 Multiple doors:** The use of multiple fire doors shall comply with Sections 1415.3.1 and 1415.3.2.

**1415.3.1 Fire walls:** Two doors, each with a fire resistance rating of 1½ hours, installed on opposite sides of the same opening, shall be deemed equivalent in fire resistance rating to one 3 hour fire door.

**1415.3.2 Fire separation walls:** Two doors, each with a fire resistance rating of ¾ hour, installed on opposite sides of the same opening shall be deemed equivalent in fire resistance rating to a 1½ hour fire door, except when used in a required exit.

**1415.4 Glass panels:** Wired glass panels shall be permitted in fire doors within the limitations of Section 1418.0 and as herein specifically prescribed.

**1415.5 Closing devices:** Except as may be otherwise provided for openings in fire walls and fire separation walls, all fire doors shall be self-closing and shall be closed during occupancy of the building or part thereof. The building official may approve the use of rate-of-rise heat-actuated devices, or smoke detection devices, meeting the requirements of the approved rules on doors that are normally required to be open for ventilation or other specified purposes when the safety of the occupants is not endangered thereby.

Table 1415  
FIRE DOOR FIRERESISTANCE RATINGS

Location	Fire resistance rating in hours
Fire walls and fire separation walls of 3 or more hour construction	3
Fire walls, fire separation walls and exit enclosures of 1½ hour construction	1½
Shaft enclosures and elevator hoistways of 2 hour construction	1½
Shaft and exit enclosures of 1 hour construction	1
Exit access corridor enclosures of 1 hour construction	¾
Other fire separation walls of 1 hour construction	¾

#### SECTION 1416.0 FIRE WINDOWS AND SHUTTERS

**1416.1 Firerestistance rating:** Approved assemblies of fire windows and fire shutters shall meet the test requirements of Section 1403.0, or shall be approved labeled assemblies meeting the requirements of Section 1403.3.4.

**1416.1.1 Exception:** Steel window frame assemblies of ¼ inch (3 mm) minimum solid section or of not less than No. 18 Manufacturers Standard Gage (0.048 in.) formed sheet steel members fabricated by press, mitering, riveting, interlocking or welding and having provision for glazing with ¼ inch wired glass as required in Section 1418.0 when securely installed in the building construction and glazed with ¼ inch labeled wired glass, shall be deemed to meet the requirements for a ¾ hour fire window assembly.

**1416.2 Window mullions:** All metal mullions which exceed a nominal 1 of 12 feet shall be protected with materials to afford the same fire resistance rating as required for the wall construction in which the protective is for

**1416.3 Swinging fire shutters:** When fire shutters of the swinging type are in exterior openings, not less than one row in every three vertical rows shall be arranged to be readily opened from the outside, and shall be identified by distinguishing marks or letters not less than 6 inches (152 mm) high.

**1416.4 Rolling fire shutters:** When fire shutters of the rolling type are they shall be of approved counterbalanced construction that can be opened from the outside.

#### SECTION 1417.0 FIRE DAMPERS

**1417.1 Approval:** Fire dampers shall comply with UL 555 listed in Appendix A and shall bear the label of an approved agency. Fire dampers shall be installed in accordance with the manufacturer's installation instructions. Fire dampers shall be capable of maintaining the integrity of the required fire resistance rating.

**1417.2 Where required:** Fire dampers shall be provided at locations where distribution systems penetrate assemblies required to have a fire resistance rating.

##### Exceptions

1. When proper fire tests have shown that fire dampers are not necessary to maintain the integrity of the fire resistance rated assembly.
2. Subducts extending 22 inches (559 mm) vertically upward may be installed in lieu of fire dampers for exhaust ducts penetrating a fire resistance rated shaft wall.
3. Penetrations of tenant separation and corridor walls in buildings equipped throughout with an approved automatic fire suppression system.
4. When the ducts are constructed of steel and are part of an engineered smoke removal system.
5. Penetrations of corridor walls when the ducts are constructed of steel and do not have openings which communicate the corridor with adjacent spaces or rooms.
6. Penetrations of a roof assembly when ducts are open to the atmosphere.
7. Hazardous exhaust systems as defined in the mechanical code in Appendix A.

**1417.3 Accessibility:** Fire dampers shall be accessible.

#### SECTION 1418.0 WIRED GLASS

**1418.1 Maximum size:** One-quarter inch wired glass, which has been approved for use in approved labeled opening protectives, may be used within the limitations set forth in Table 1418.

A



**Table 401  
FIRERESISTANCE RATINGS OF STRUCTURE ELEMENTS (IN HOURS)**

Structure element Note a	Type of construction Section 401.0										
	Noncombustible					Noncombustible/Combustible			Combustible		
	Type 1 Section 402.0		Type 2 Section 403.0			Type 3 Section 404.0		Type 4 Section 405.0	Type 5 Section 406.0		
	Protected	Unprotected	Protected	Unprotected	Protected	Unprotected	Heavy timber	Protected	Unprotected		
1A	1B	2A	2B	2C	3A	3B	4	5A	5B		
Exterior walls (Section 1408.0 and Note b)											
1 Fire separation of 30' or more	Bearing	4	3	2	1	0	2		2	1	0
	Nonbearing	0	0	0	0	0	0	0	0	0	0
Fire separation of less than 30'	Bearing	4	3	2	1 $\frac{1}{2}$	1	2	2	2	1	1
	Nonbearing	2	2	1 $\frac{1}{2}$	1	1	2	2	2	1	1
Fire separation of 6' or more but less than 11'	Bearing	4	3	2	1	0	2	2	2	1	Note 1
	Nonbearing	2	2	1 $\frac{1}{2}$	1	0	2	2	2	1	Note 1
Fire separation of 11' or more but less than 30'	Bearing	4	3	2	1	0	2	2	2	1	Note 1
	Nonbearing	1 $\frac{1}{2}$	1 $\frac{1}{2}$	1	1	0	1 $\frac{1}{2}$	1 $\frac{1}{2}$	see Sec. 405.0	1	Note 1
2 Fire walls and party walls (Section 1407.0)	Not less than fire rating of use group (see Note 1407)										
3 Fire separation assemblies (Sections 313.0, 304.0 and 1412.0)	Fire-resistance rating corresponding to fire rating of use group (see Table 1402)										
4 Fire enclosures of shafts, stairways and stairways (Sections 1510.2, 1408.0 and Note c)	2	2	2	2	2	2	2	2	2	2	
5 Shafts (other than exits) and elevator hoistways (Section 1410.0 and Note c)	2	2	2	2	2	2	2	2	1	1	
6 Exit access corridors (Note g)	Noncombustible										
Separation of use areas	Note a										
	1	1	1	1	1	0	1	0	1	0	
7 Dwelling unit separations	Note a										
	1	1	1	1	1	1	1	1	1	1	
Other nonbearing partitions	0	0	0	0	0	0	0	0	0	0	

**Table 401 (cont'd)  
FIRERESISTANCE RATINGS OF STRUCTURE ELEMENTS (IN HOURS)**

8 Interior bearing walls, bearing partitions, columns, beams, trusses (other than roof trusses) and bracing (Section 1411.0)	Supporting more than one floor	4	3	2	1	0	1	0	see Sec. 405.0	1	0
	Supporting one floor only	3	2	1 $\frac{1}{2}$	1	0	1	0	see Sec. 405.0	1	0
	Supporting a roof only	3	2	1 $\frac{1}{2}$	1	0	1	0	see Sec. 405.0	1	0
9 Structural members supporting wall (Section 1411.0 and Note b)	Not less than fire-resistance rating of wall supported										
10 Floor construction including beams (Section 1412.0)	15' or less in height to lowest member	2	1 $\frac{1}{2}$	1	1	0	1	0	see Sec. 405.0	1	0
	More than 15' but less than 22' in height to lowest member	1	1	1	0	0	0	0	see Sec. 405.0	1	0
11 Roof construction including beams, trusses and roof deck (Section 1412.0 and Note f)	22' or more in height to lowest member	0	0	0	0	0	0	0	see Sec. 405.0	1	0
	Less than 22' in height to lowest member	1	1	1	0	0	0	0	see Sec. 405.0	1	0

Note a. For special high hazard uses involving a higher degree of fire severity and higher concentration of combustible contents, fire-resistance rating requirements for structural elements shall be increased accordingly (see Section 500.2).

Note b. The fire separation fire exposure in locations herein limited applies to the distance measured from the building face to the closest interior lot line, the centerline of a street or public space or an imaginary line between two buildings on the same property (see definition of fire separation, exterior fire exposure in Section 201.0).

Note c. Exit and shaft enclosures connecting three floor levels or less shall have a fire-resistance rating of not less than 1 hour (see Sections 1409.1.3 and 1410.3).

Note d. In Type 4 construction, members which are of material other than heavy timber shall have a fire-resistance rating of R01 less than 1 hour (see Section 1224.2).

Note e. Fire-retardant treated wood, complying with Section 1403.5.1 may be used as provided in Section 1403.5.2 (see Section 1405.7).

Note f. Where the omission of fire protection from roof trusses, roof framing and decking is permitted, roofs in buildings of Type 1 and Type 2 construction shall be constructed of noncombustible materials without a specified fire-resistance rating, or of Type 4 construction in buildings not over five stories or 65 feet in height (see Section 1413.4).

**810.2 Dead ends:** Exit access passageways and corridors in all stories which serve more than one exit shall provide direct connection to such exits in opposite directions from any point in the passageway or corridor, insofar as practicable. The length of a dead end corridor shall not be more than 20 feet (6096 mm).

**810.3 Width:** The width of passageways, aisles and corridors shall be that width required for the capacity as determined by Section 808.0 but not less than 44 inches (1118 mm).

**Exceptions**

1. In buildings of Use Group I used for the movement of beds, the minimum width shall be 96 inches (2438 mm)
2. In buildings of Use Groups A-4 and E with more than 100 occupants; the minimum width shall be 72 inches (1829 mm)
3. The minimum width may be reduced to 36 inches (914 mm) when servicing an occupant load of 50 or less.
4. Aisles conforming to Section 826.0.

**810.4 Enclosures:** All corridors serving as exit access, except those contained within a dwelling unit, shall be enclosed in fire separation walls having a fire-resistance rating of at least 1 hour.

**Exception:** In all uses except Use Groups R-1 and R-2, exit access corridors serving 30 or fewer occupants may have a zero fire-resistance rating.

**810.4.1 Automatic fire suppression system alternate:** When an approved automatic fire suppression system is installed and supervised in accordance with Section 1716.1, parts 1, 2 or 3, and has its water flow alarm device connected to an approved central station system, proprietary system or remote station system of the jurisdiction, a fire-resistance rating is not required in Use Groups A-4, B, E, F, M, and S. In Use Groups R-1, R-2 and I-1, the corridor enclosure walls shall have a fire-resistance rating of not less than 1/2 hour. Corridor walls in Use Groups R-1, R-2 and I-1 shall be constructed tight to the underside of the ceiling directly above.

**810.4.2 Opening protectives:** All door assemblies from rooms opening onto a corridor required to be of fire-resistance rated construction shall be self-closing or automatic-closing by smoke detection, with a 20 minute fire-resistance rating when tested in accordance with ASTM E152 listed in Appendix A without the hose stream and labeled and listed by an approved agency. All door assemblies from rooms opening onto a corridor, required by Table 401 to be of 2 hour fire-resistance rated construction, shall be 1 1/2 hour fire doors.

**SECTION 811.0 GRADE PASSAGEWAYS USED AS AN EXIT ELEMENT**

**811.1 Passageways:** Every required interior and exterior exit element which does not adjoin a public way shall be directly connected to the public way or to an open court leading to the public way by an enclosed grade passageway or other unobstructed exit element constructed as provided in this section.

**811.2 Vestibule:** An exit may discharge into an interior vestibule which for ingress and egress only and complies with Sections 811.2.1 and 811.2.2.

**811.2.1 Depth and width:** The vestibule depth from the exterior building is not greater than 10 feet (3048 mm) and the width is not greater than 20 feet (6096 mm).

**811.2.2 Separation:** The vestibule is separated from the remainder of the exit by self-closing doors and the equivalent of 1/4 inch thick glass in steel frames.

**811.3 Lobby:** An exit may discharge into an interior lobby located at the exit discharge, provided such lobby shall be provided with an automatic fire suppression system, and any other portion of the floor with access to the lobby shall be provided with an automatic fire suppression system or separated therefrom in accordance with the requirements for the enclosed exits.

**811.4 Width and height:** The effective width of the passageway shall be not less than three-quarters of the aggregate width of all required exit doorways leading thereto and all required exit doorways opening into the passageway. Such passageway shall have a minimum width of 44 inches (1118 mm) and a minimum clear ceiling height of 8 feet (2438 mm).

**811.5 Maximum stairway limitations:** Not more than 50 percent of the required stairways shall discharge through the same passageway.

**SECTION 812.0 MEANS OF EGRESS DOORWAYS**

**812.1 General:** The requirements of this section shall apply to all doorways serving as a component or element of a means of egress from habitable occupiable rooms; except as provided in Sections 816.6, 818.6.1, 818.7.1 and 819.2.

**812.2 Number of doorways:** Every room or tenant space with an occupant load of more than 50 or in which the travel distance exceeds 75 feet (22.86 m) shall have at least two egress doorways leading from the room or space to an exit or corridor. All doors shall swing in the direction of travel when serving an occupant load of 50 or more or a high hazard area.

**Exceptions**

1. Use Group R-3.
2. Boiler, incinerator and furnace rooms shall be provided two doorways when the area exceeds 500 square feet (46.5 m<sup>2</sup>) and the installed fuel fired equipment exceeds 400,000 Btuh (117.24 W) input. Doorways must be separated by horizontal distance equal to half of the diagonal dimension of the room. When two doorways are required by this exception, a fixed ladder access out of the room shall be provided for one doorway.
3. Institutional I-2 use areas with more than six beds shall be provided two egress doorways.

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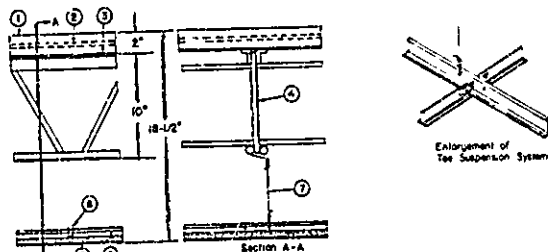


### FIRE RESISTANCE RATINGS (BXLV)—Continued

#### Design No. G241

(See Item 5)

Restrained Assembly Ratings—1 and 1½ Hr  
Unrestrained Assembly Ratings—1 and 1½ Hr



- 1 Normal-Weight Concrete—Siliceous or carbonate aggregate 150 pcf unit weight 4000 psi compressive strength
- 2 Welded Wire Fabric—6x6—W1 4xW1 4
- 3 Metal Lath—½ in. rib, 3.4 lb/sq yd expanded steel, tied to each joist at every other rib and midway between joists at side laps with 18 SWG galv steel wire
- 4 Steel Joists—Type 10J3 min size, spaced 24 in. O.C. welded to end supports. Steel bars, ½ in. diam, welded to top and bottom chord of each joist, for bridging
- 5 Bridging—Steel bars, ½ in. diam, welded to top and bottom chords of each joist, for bridging
- 6 Acoustical Material—Nom 24 by 24 or 48 in. lay-in panels. When nom 24 by 24 in. lay-in panels are used, the Restrained and Unrestrained Assembly Ratings are 1 Hr. Border panels supported at walls by 20 MSG painted-steel angles 15/16 in. legs (S)—surface perforations

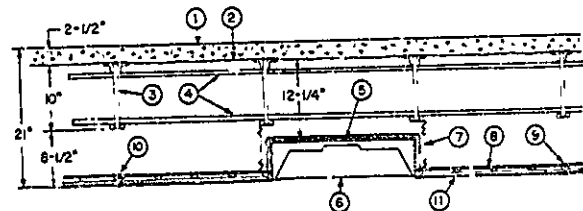
Armstrong World Industries, Inc.—Type ½ ½ or ¾ in. Type P (S)

- 7 Steel Framing Members—Main runners nom 12 ft long spaced 4 ft O.C. Cross tees nom 4 ft long installed perpendicular to main runners and spaced 2 ft O.C. When the ceiling is composed of nom 24 by 24 in. lay-in panels, cross tees nom 2 ft long installed perpendicular to 4 ft cross tees midway between main runners
- 8 Done Corp.—Types DBL, DBLA, DVL, DVLA, DXL, DXLA  
National Rolling Mills Inc.—Types FG, FST 0000
- 9 Hanger Wire—No. 12 SWG galv steel spaced 48 in. O.C. along main runners to occur adjacent to cross tee intersections and main runner splices
- 10 Hold-Down Clips—No. 28 MSG spring steel spaced 2 ft O.C.

\*Bearing the UL Classification Marking

#### Design No. G242

Restrained Assembly Rating—2 Hr  
Unrestrained Assembly Rating—2 Hr



- 1 Normal-Weight Concrete—Siliceous or carbonate aggregate 150 = 3 pcf unit weight 4000 psi compressive strength
- 2 Metal Lath—½ in. rib, 3.4 lb/sq yd expanded steel, tied to each joist at every other rib, and midway between joists at side laps with 18 SWG galv steel wire
- 3 Steel Joists—Type 10J3, min size, spaced 24 in. O.C. welded to end supports
- 4 Bridging—Steel bars, ½ in. diam, welded to top and bottom chords of each joist
- 5 Fixture Protection—Acoustical Material—½ in. thick cut into pieces to form a fire stop, sufficient depth to provide at least ½ in. clearance between the fixture and the enclosure. The pieces are held together by 8d nails spaced 12 in. O.C. min
- 6 Armstrong World Industries, Inc.—Type ½ in. P (S or P) 24 x 48 in.
- 7 Fittings, Recessed Light—(Bearing the UL Listing Marking), Fluorescent lamp type steel housing, 2 by 4 ft size. Fittings spaced to their area does not exceed 8 sq ft per 100 sq ft of ceiling

### Continued

Fittings and ballasts must be fastened to main runners. Also located at ends nearest the main runner in all splices spaced 4 ft O.C.

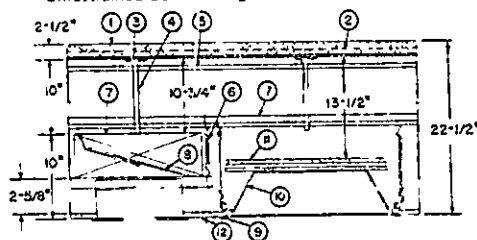
10D VA-MOD  
1 2 1/2 in. O.C. installed perpendicular to 4 ft cross tees

A0D VA-MOD  
2 2 ft O.C.  
Border panels supported at perforations (P)—through per or P) 2 4 x 2 4 in. 48 in. or

\*Bearing the UL Classification Marking

#### Design No. G243

Restrained Assembly Ratings—1½ or 2 Hr (See Item 16)  
Unrestrained Assembly Ratings—1½ or 2 Hr (See Item 16)  
Unrestrained Beam Ratings 1½ or 2 Hr (See Item 16)



- 1 Normal-Weight Concrete—Carbonate aggregate 147 ± 3 pcf unit weight 3000 psi compressive strength
- 2 Welded Wire Fabric—6x6—W1 4xW1 4
- 3 Metal Lath—3/8 in. rib, 3.4 lb/sq yd expanded steel, tied to each joist at every other rib, and midway between joists at side laps with 18 SWG galv steel wire. As an alternate the form material for the concrete may be corrugated steel deck, 9/16 in. deep, of min 0010 in. thick (28 gauge) galv steel welded to supports 15 in. O.C. using welding washers. When corrugated steel deck is substituted for metal lath, the concrete thickness shall be measured from the surface of the concrete to the top of steel deck corrugations
- 4 Steel Joists—Type 10J3 min size spaced 24 in. O.C. welded to end supports
- 4A (Not Shown)—As an alternate to items 2, 3, 4 and 5 the following components may be used:
  - Welded Wire Fabric—6x6—W2 0xW2 0
  - Structural Steel Members—Hambro joists min nom depth 10 in. when hanger wires are suspended from joists and bottom chord or cold-rolled channels, max spacing 48 in. O.C. Greater joist spacing may be used when hanger clips (Item 6A) are used for supporting the ceiling

Cream Hambro, Div of Canam Steel Corp.—Type D500 The concrete is cast on removable plywood form. Min concrete slab thickness for use with Item 4A is 3 1/4 in.

- 4B (Not Shown)—As an alternate to items 2, 3, 4, 4A and 5 the following components may be used:
  - Welded Wire Fabric—Reinforcement as per ACI latest specification without accounting for the steel deck
  - Structural Steel Members—Vescom Composite joists min nom depth 10 in. when hanger wires are suspended from joists bottom chord or cold-rolled channels, max spacing 48 in. O.C. Greater joist spacing may be used when hanger clips (Item 6A) are used for supporting the ceiling
- 5 (Not Shown)—As an alternate to items 2, 3, 4, 4A and 5 the following components may be used:
  - Structural Systems, Inc.—Type V  
Min 15/16 in. deep corrugated steel, 24 min gauge, welded to supporting steel deck using welding washers. The steel deck may be painted, galvanized or ungalvanized. The concrete thickness measured from the top plane of the steel form units shall be 1 1/2 in. diam, welded to top and bottom chord of each joist.  
No. 12 SWG galv steel tied to lower chord of steel joists or to 1 1/2 in. deep lath (16 gauge) cold-rolled steel channels. When the ceiling is composed of lay-in panels, hanger wires spaced 48 in. O.C. along main runners with ad

D



CONCRETE THICKNESS	UNIT SIZE & TYPE*	UNIT THICKNESS	MAXIMUM FIXTURE PENETRATION (ft <sup>2</sup> /100 ft <sup>2</sup> )	MAXIMUM DUCT PENETRATION (in. <sup>2</sup> /100 ft <sup>2</sup> )	ULI DESIGN NUMBER
2 Hour—Exposed Grid (cont.)	2 1/2" 24" x 48" P	5/8"	16	57	743 (230-2)
	2 1/2" 20" x 60" P	5/8"	None	None	6236 (21-2)
	2 1/2" 24" x 48" P or PC	5/8"	20	113	G250 (—)
1 1/2 Hour—Concealed Grid	2" 12" x 12" BF or P	3/4" (for BF) or 5/8" (for P)	2 1/2	576	G027 (7 1 1/2)
	2" 24" x 24" BF or P	3/4" (for BF) or 5/8" (for P)	25	576	G079 (21 1 1/2)
1 1/2 Hour—Exposed Grid	2" 24" x 48" P or PC	5/8" (for P or PC) or 3/4" (for BF)	None	None	G239 (9-1 1/2)
1 1/2 Hour—Exposed Grid	2" 24" x 48" P	5/8" or 3/4"	None	None	G241 (32-1)
1 Hour—Concealed Grid	N.A.	12" x 12" P	14" or 5/8"	None	None
1 Hour—Exposed Grid	N.A.	12" x 12" BF or P	14" (for BF)	None	L004 (9-1)
	N.A.	12" x 24" BF or P	14" (for BF)	81	L005 (—)
1 1/2 Hour—Exposed Grid	N.A.	24" x 48" P	16	110	L209 (30-1)
	N.A.	24" x 48" P	24	227	L210 (31-1)
2 Hour—Concealed Grid	2" 12" x 12" BF or P	3/4" (for BF) or 5/8" (for P)	None	126	P001 (RC14-2)
2 Hour—Exposed Grid	2" 24" x 48" PC	5/8" PC plus 1/2" Gyp. Bd.	16	57	P215 (RC24-2)
1 1/2 Hour—Exposed Grid	2" 24" x 48" P or PC	5/8" PC plus 1/2" Gyp. Bd.	16	57	P219 (—)
	2" 24" x 48" P or PC	5/8" (for P or PC) or 3/4" (for BF)	24	255	P251 (—)
1 1/2 Hour—Exposed Grid	2" 24" x 48" P	5/8"	16	57	P231 (—)
1 Hour—Exposed Grid	2" 24" x 48" P	5/8" or 3/4"	16	57	P232 (—)
1 1/2 Hour—Exposed Grid	INSULATION THICKNESS 1" Minimum to Unlimited Maximum	24" x 48" P or PC	5/8"	24	255
1 Hour—Exposed Grid	INSULATION THICKNESS 1" Minimum to Unlimited Maximum	24" x 48" P or PC	5/8"	24	255
1 1/2 Hour—Exposed Grid	INSULATION THICKNESS 1" Minimum to Unlimited Maximum	24" x 48" P	5/8"	16	57
	INSULATION THICKNESS 1" Minimum to Unlimited Maximum	24" x 48" PC	5/8"	16	57
1 Hour—Exposed Grid	INSULATION THICKNESS 1" Minimum to Unlimited Maximum	24" x 48" P or PC	5/8"	100	255 or 5ALU
	INSULATION THICKNESS 1" Minimum to Unlimited Maximum	24" x 24" P or PC	5/8"	24	576
1 1/2 Hour—Exposed Grid	INSULATION THICKNESS 1" Minimum to Unlimited Maximum	24" x 48" P or PC	5/8"	24	255
	INSULATION THICKNESS 1" Minimum to Unlimited Maximum	24" x 24" P or PC	5/8"	24	255
1 1/2 Hour—Exposed Grid	PLANK THICKNESS 2 1/2" Minimum to Unlimited Maximum	24" x 48" P	3/4" (for P)	24	254
1 Hour—Exposed Grid	PLANK THICKNESS 2 1/2" Minimum to Unlimited Maximum	24" x 48" P or PC	5/8" (for P or PC)	24	576
1 1/2 Hour—Exposed Grid	CONCRETE THICKNESS 1 1/2"	24" x 60" P	5/8"	16	288
1 Hour—Exposed Grid	INSULATION THICKNESS 2" Minimum to Unlimited Maximum	24" x 48" P or PC	5/8"	24	255

\*—Fire Guard  
PC—Corrugated  
BF—Travertine Fire Guard  
+Concrete plus insulation thickness  
\*\*Plank plus insulation thickness

- (b) Other enclosures in new construction — 1-hour fire barriers.
- (c) Enclosures in existing buildings — ½-hour fire barriers.

6-2.2.3.3 Any escalators or moving walks serving as a required exit shall be enclosed in the same manner as exit stairways.

6-2.2.3.4\* Escalators or moving walks not constituting an exit shall have their floor openings enclosed or protected as required for other vertical openings.

*Exception No. 1: In lieu of such protection, in buildings protected throughout by an approved automatic sprinkler system in accordance with Section 7-7, escalator or moving walk openings may be protected by one of the methods described in Appendix A or in accordance with the method detailed with Standard for the Installation of Sprinkler Systems, NFPA 13 (see Appendix B), or in accordance with a method as approved by the authority having jurisdiction.*

*Exception No. 2: Escalators in large open areas such as atriums and enclosed shopping malls.*

6-2.2.4 Fire barriers used to provide enclosure of floor openings or used for subdivision of stories shall be classified in accordance with their fire resistance rating as follows:

- (a) 2-hour fire resistance rating.
- (b) 1-hour fire resistance rating.
- (c) ½-hour fire resistance rating.
- (d) ¼-hour fire resistance rating.
- (e) 20-minute fire resistance rating.

6-2.2.5 Every opening in a fire barrier shall be protected to limit the spread of fire and to prevent the movement of smoke from one side of the fire barrier to the other. The fire protection rating for opening protectives shall be as follows:

- (A) 2-hour fire barrier — 1½-hour fire protection rating.
- (B) 1-hour fire barrier — 1-hour fire protection rating when used for vertical openings or ¾-hour fire protection rating when used for other than vertical openings.

*Exception No. 1: When a lesser fire protection rating is specified by Chapter 5 or Chapters 8 through 30, ~~see 10-3.6~~*

*Exception No. 2: Where the fire barrier is provided as a result of a requirement that corridor walls be of 1-hour fire-resistive construction, the opening protectives shall have a fire protection rating of not less than 20 minutes when tested in accordance with Standard Methods of Fire Tests of Door Assemblies, NFPA 252 (see Appendix B) without the hose stream test.*

*Exception No. 3: Where special requirements for doors in 1-hour fire rated corridor walls and 1-hour fire rated smoke barriers are specified in Chapters 12 and 13, **DOES NOT APPLY***

- (c) ¾-hour fire barrier — 20-minute fire protection rating.
- (d) ½-hour fire barrier — 20-minute fire protection rating.
- (e) 20-minute fire barrier — 20-minute fire protection rating.

6-2.2.6 Fire door assemblies in fire barriers shall comply with the provisions of 5-2.1.

6-2.2.7 Openings in fire barriers for air handling ductwork or air movement shall be protected in accordance with the Standard for the Installation of Air Conditioning and Ventil-

ating Systems, NFPA 90A (see Appendix B). When a fire barrier also serves as a smoke barrier, an approved damper designed to resist the passage of smoke shall be provided in accordance with 6-3.5.

*Exception\*: This requirement need not apply for ductwork which is part of an engineered smoke control system*

6-2.2.8 Passages of pipes, conduits, buss ducts, cables, wires, air ducts, pneumatic ducts, and similar building service equipment through fire barriers shall be protected as follows:

(a) The space between the penetrating item and the fire barrier shall.

1. be filled with a material capable of maintaining the fire resistance of the fire barrier, or

2. be protected by an approved device designed for the specific purpose.

(b) Where the penetrating item uses a sleeve to penetrate the fire barrier, the sleeve shall be solidly set in the fire barrier and the space between the item and the sleeve shall be:

1. filled with a material capable of maintaining the fire resistance of the fire barrier, or

2. be protected by an approved device designed for the specific purpose.

(c) Where designs take transmission of vibration into consideration, any vibration isolation:

1. shall be made on either side of the fire barrier, or
2. shall be by an approved device designed for the specific purpose.

6-2.2.9 The enclosing walls (fire barriers) of floor openings serving stairways or ramps that are required exits shall be so arranged as to provide a continuous path of escape, including landings and passageways, in accordance with 5-2.2, providing protection for persons using the stairway or ramp against fire, or smoke therefrom, in other parts of the building.

6-2.2.10 Floor-ceiling assemblies; and bearing and nonbearing wall or partition assemblies, used as fire barriers to form fire compartments; and columns, beams, girders, or trusses supporting such assemblies shall be of a design which has been tested to meet the conditions of acceptance of Standard Methods of Fire Tests of Building Construction and Materials, NFPA 251 (see Appendix B).

6-2.2.11 Door or window assemblies in fire barriers shall be of an approved type with appropriate rating for the location in which installed. Fire doors and windows shall be installed in accordance with the Standard for Fire Doors and Windows, NFPA 80 (see Appendix B). Fire doors shall be of a design that has been tested to meet the conditions of acceptance of Standard Methods of Fire Tests of Door Assemblies, NFPA 252 (see Appendix B). Fire windows shall be of a design which has been tested to meet the conditions of acceptance of Standard for Fire Tests of Window Assemblies, NFPA 257 (see Appendix B).

6-2.3 Concealed Spaces.

6-2.3.1 In new construction, any concealed space in which materials having a flame-spread rating greater than Class A, as defined in Section 6-5, are exposed shall be effectively firestopped with approved materials, as provided below:

*Exception: If the space is protected throughout by an approved automatic sprinkler system in accordance with Section 7-7.*

(d) When automatic extinguishing systems are used to meet the requirements of this section, the rooms or spaces shall be separated from the remainder of the building by a smoke barrier.

**10-3.2.2** Food preparation facilities shall be protected in accordance with *Removal of Smoke and Grease-Laden Vapors from Commercial Cooking Equipment*, NFPA 96 (see Appendix B), and are not required to have openings protected between food preparation areas and dining areas.

**10-3.2.3** Janitor closets shall be protected by an automatic sprinkler system which may be supplied by the domestic water supply system serving no more than six sprinklers and having a water supply sufficient to provide 0.15 gpm per sq ft ( $1.02 \times 10^{-3}$  cu m/s/sq m) of floor area. Doors to janitor closets may have ventilating louvers.

**10-3.2.4** Laboratories that use chemicals shall comply with *Standard on Fire Protection for Laboratories Using Chemicals*, NFPA 45 (see Appendix B).

### 10-3.3 Interior Finish.

**10-3.3.1** Interior finish shall be Class A in stairways and Class A or B in corridors and lobbies and Class A, B or C elsewhere, in accordance with the provisions of Section 6-5.

**10-3.3.2** Interior Floor Finish. No Requirements.

### 10-3.4 Detection, Alarm, and Communication Systems.

**10-3.4.1** Approved manually operated fire alarm facilities in accordance with 7-6.1.2 shall be provided in every educational building. When acceptable to the authority having jurisdiction the fire alarm system may be used to designate class change provided the fire alarm is distinctive in signal and overrides all other use.

**10-3.4.2** In buildings provided with automatic sprinkler protection, the operation of the sprinkler system shall automatically activate the fire alarm system.

**10-3.5** Extinguishment requirements. Every portion of educational buildings below the floor of exit discharge shall be protected throughout by an approved automatic sprinkler system in accordance with Section 7-7.

### 10-3.6 Interior Corridors.

**10-3.6.1** Every interior corridor shall be of construction having not less than a 1-hour fire resistance rating. Such corridor walls shall extend from floor slab to floor slab or when the ceiling of the entire story is an element of a 1-hour fire-resistive floor or ceiling system, the corridor wall may terminate at the ceiling. All openings shall be protected with doors, frames and hardware, including closers, that shall all have a fire protection rating of at least 20 minutes.

*Exception No. 1:* Such corridor protection shall not be required when all classrooms served by such corridors have at least one door directly to the outside or to an exterior balcony or corridor as in 10-2.5.4.

*Exception No. 2:* The corridor protection may be reduced to a 1/2-hour fire resistance rating providing the building is protected throughout by an approved automatic sprinkler system.

### 10-3.7 Subdivision of Building Spaces.

**10-3.7.1** When the aggregate length of interior corridors, including dead-end corridors and cross corridors, exceeds 300

ft (91.44 m), the corridor shall be divided into reasonably equal sections not exceeding 300 ft (91.44 m) in length by smoke barriers installed in accordance with Section 6-3.

## SECTION 10-4 SPECIAL PROVISIONS

**10-4.1** Windowless or Subterranean Buildings. Automatic sprinkler protection shall be provided for stories which are in excess of 1500 sq ft (139.4 sq m) and are:

- Without windows or other openings directly to the exterior at the rate of 20 sq ft (1.9 sq m) of opening per 50 linear ft (15.24 m) in any two walls or,
- Below grade without similar openings.

**10-4.2** Flexible plan and open plan buildings shall also comply with the provisions of Section 10-6.

## SECTION 10-5 BUILDING SERVICES

**10-5.1** Utilities shall comply with the provisions of Section 7-1.

**10-5.2** Heating, ventilating, and air conditioning equipment shall comply with the provisions of Section 7-2.

**10-5.3** Elevators, stairwells, and vertical conveyors shall comply with the provisions of Section 7-4.

**10-5.4** Rubbish chutes, incinerators, and laundry chutes shall comply with the provisions of Section 7-5.

## SECTION 10-6 FLEXIBLE PLAN AND OPEN PLAN BUILDINGS

### 10-6.1 General Requirements.

**10-6.1.1** Flexible or open plan buildings shall not exceed 30,000 sq ft (2,787 sq m) in unchilled area. A solid wall or smoke partition (see Section 6-1) shall be provided at maximum intervals of 300 ft (91.44 m) and openings in such walls or partitions shall comply with Section 6-3.

### 10-6.2 Means of Egress Requirements.

#### 10-6.2.1 Arrangement of Means of Egress.

**10-6.2.1.1** Each room occupied by more than 300 persons shall have two or more means of egress entering into separate atmospheres. Where three or more means of egress are required, not more than two of them shall enter into the same atmosphere.

**10-6.2.1.2** Exit access from interior rooms may pass through an adjoining or an intervening room, provided that the travel distances do not exceed those set forth in 10-6.2.2. Foyers and lobbies constructed as required for corridors shall not be construed as intervening rooms.

**10-6.2.1.3** Where the only means of egress from an interior room or rooms is through an adjoining or intervening room, smoke detectors shall be installed in the area of the common atmosphere through which the means of egress must pass. The detectors shall actuate alarms audible in the interior room and shall be connected to the school fire alarm system.



**PORTLAND BUILDING PERMIT APPLICATION**

6/24/87 **PERMIT ISSUED**  
JUL 24 1987  
City Of Portland

**GENERAL INFORMATION**  
 Location/Address of construction: Carco Food (corner of Carco  
 Applicant name: Carco Food Tel: 841-1234  
 Address: 353 Congress Street  
 2 Lessee's name \_\_\_\_\_ Tel \_\_\_\_\_  
 Address \_\_\_\_\_  
 3 Contractor's name: Dalbry Inc  
 Address: 33 Dexter Boulevard Tel: 774-654  
 4 Is this a legally recorded lot? yes no \_\_\_\_\_

**II. DESCRIPTION OF WORK:**

to construct Worship and Christian Education Facility 20,327 sq. ft.  
as per plans

send to #3 04104

**III. BUILDING DIMENSIONS:** length 24.7' width 102' square footage 28,327 height 54 #stories 4

**IV. ZONE** \_\_\_\_\_ Street frontage \_\_\_\_\_ Zoning board approval no  yes  date \_\_\_\_\_  
 Setbacks: front \_\_\_\_\_ back \_\_\_\_\_ side \_\_\_\_\_ side \_\_\_\_\_ Planning board approval no  yes  date \_\_\_\_\_

**V. REVIEW REQUIRED:** variance \_\_\_\_\_ other \_\_\_\_\_ Number of off-street parking spaces:  
 site plan \_\_\_\_\_ subdivision \_\_\_\_\_ shore \_\_\_\_\_ floodplain mgmt \_\_\_\_\_ enclosed \_\_\_\_\_ outdoors \_\_\_\_\_

**VI. FEES:**  
 base fee \_\_\_\_\_ other fees \_\_\_\_\_  
 subdivision fee \_\_\_\_\_ late fee \_\_\_\_\_  
 site plan review fee \_\_\_\_\_ TOTAL 57,520

**VII. DETAILS OF WORK**

1. WATER SUPPLY: <input type="checkbox"/> public <input type="checkbox"/> private	7. ELECTRICAL: service entrance size _____ # smoke detectors _____	8. CHIMNEY: # flues _____ material _____ # fireplaces _____
2. SEWER: <input type="checkbox"/> public <input type="checkbox"/> private, type _____	9. FRAMING: floor joists _____ size _____ max. on center _____ ceiling joists _____ rafters _____ studs _____ wall studs _____	
3. HEAT: type _____ fuel _____	10. If 1-story building w/masonry walls: wall thickness _____ height _____	11. BEDROOM WINDOWS: height _____ width _____ sill height _____ egress window? <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/>
4. FOUNDATION: type _____ thickness _____ footing _____		
5. ROOF: type _____ pitch _____ covering _____ load _____		
6. PLUMBING: SPRINKLER SYSTEM? <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/>		

<b>VIII. OFFICE USE:</b> TAX MAP # _____ LOT # _____ VALUE/STRUCTURE _____ PERMIT EXPIRATION _____	<b>IX. NEW OR PHASED SUBDIVISION REFERENCE:</b> Name _____ Lot _____ Block _____
--	---

CODE: \_\_\_\_\_ If other, explain \_\_\_\_\_ Seasonal? \_\_\_\_\_ Condominium? \_\_\_\_\_ Apartment? \_\_\_\_\_  
**X. PROPOSED USE:** 326 - Christian & Women's Education Facility  
**XI. PAST USE:** 326 - Vacant  
**XII. OWNERSHIP:** PUBLIC \_\_\_\_\_ PRIVATE \_\_\_\_\_

**XIII. EST. CONSTRUCTION COST:** 1,500,000 **XIV. GR. SQ. FT. OF LOT:** \_\_\_\_\_  
**BUILDING:** \_\_\_\_\_

**COMPLETE XV AND XVI ONLY IF THE NUMBER OF UNITS WILL CHANGE**

<b>XV. RESIDENTIAL BUILDINGS ONLY:</b> # NEW DWELLING UNITS WITH: _____ # EXISTING DWELLING UNITS WITH: _____	<b>BEDROOMS:</b> 1 BDRM _____ 2 BDRMS _____ 3 BDRMS _____	<b>XVI. RESIDENTIAL UNITS:</b> # NEW DWELLINGS _____ # EXISTING DWELLINGS _____ TOTAL RESIDENTIAL UNITS _____
---	--	--

<b>APPROVALS BY:</b> BUILDING INSPECTION PLAN EXAMINER: _____ ZONING: _____ C.E.O. _____ FIRE DEPT. _____	<b>MISCELLANEOUS</b> Will work require disturbing of any tree on a public street? _____ Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____
---	---

**NOTE TO APPLICANT:** Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

District No. _____	<b>XVII. SIGNATURE OF APPLICANT:</b> _____ TYPE NAME OF ABOVE: <u>Don Staffington Inc. The First Baptist</u> PHONE # _____
--------------------	--

White - GPCC Green - Applicant Yellow - Inspector Pink - Office Use Gold - Field Inspector





**STEVENS MORTON ROSE & THOMPSON**  
**ARCHITECTURE ENGINEERING SURVEY**

73 OAK STREET, PORTLAND, ME 04101  
 PO BOX 10 MAIN STREET, LIMERICK, ME 04048

(207) 772-3846  
 (207) 793-8202

Proj. 8626

Date: 7/8/87  
 Meeting Report/Memo/Telephone Conversation:  
 Client:  
 Project: FIRST BAPTIST CHURCH  
 Between:  
 Subject: DRAINAGE

RECEIVED  
 JUL 10 1987

DEPT OF BUILDING INSPECTIONS  
 CITY OF PORTLAND

REVISION TO DRAINAGE CALCS OF 5/7/87.

PER DISCUSSION w/ R. ROY (CITY OF PORTLAND - PUBLIC WORKS DEPT.) - R.F. CUIVIER (SMRT) HYDROBRAKE IN CB-#4 (REF DWG L-1, REV 4) SHOULD BE SET FOR 0.92 cfs @ 4.6' HEAD. PREVIOUSLY, THIS HYDROBRAKE WAS TO BE DESIGNED FOR 2.71 cfs @ 4.6' HEAD.

REFERRING TO PG 2 OF 5/7/87 CALCS, DRAINAGE TOWARDS CANCO RD. (EXIST 12"φ) = 12.00 cfs (POST-CONST)

$$12.00 - 0.92 = 11.08 \text{ cfs.}$$

DURATION TAKEN AS 5 MIN (Tc)

$$11.08 \times 60 \text{ sec/min} \times 5 \text{ MIN} = 3324 \text{ CF. DETENTION VOL REQ'D FOR 25 YR STORM w/ DISCHARGE THROTTLED TO 2 YR PRE-CONST. LEVEL.}$$

REFERRING TO PG 3 OF 5/7/87 CALCS., AVAILABLE DETENTION

$$\text{CB 3, 4, 5 AND PIPES} = 1080 \text{ CF}$$

$$\text{PARKING LOT TO ELEV TD} = 7475 \text{ CF}$$

Copies to:

$$8555 \text{ CF} > 3324 \text{ CF REQ'D}$$

OK.



CITY OF PORTLAND, MAINE

389 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF  
INSPECTION SERVICES DIVISION

December 7, 1987

Donbury Inc.  
Baxter Boulevard  
Portland, ME

Re: 276 Canco Road

Dear Sir:

Your application to construct an office building has been reviewed and a permit is herewith issued subject to the following requirements:

Site Plan Review Requirements

- |                     |   |                   |          |
|---------------------|---|-------------------|----------|
| Public Works        | Approved with conditions  |                   |          |
| 1.                  | Curb and sidewalk shall be installed along Canco Road in accordance with City standards and specifications. | Robert Roy        | 08/31/87 |
| Planning Dept.      | Approved  | Richard Knowland  | 09/02/87 |
| Building Inspection | Approved  | Warren J. Turner  | 09/08/87 |
| Fire Dept.          | Approved with conditions  |                   |          |
| 1.                  | All structures shall be within 500' of hydrant.   | FF John Dobkowski | 07/02/87 |

Building Code Requirements

1. All lot lines and the lot shall be clearly marked before calling for a foundation inspection.
2. All concrete shall be protected from freezing.
3. Section 25-137 of the Municipal Code for the City of Portland, states:  
"No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

P. Samuel Hoffses  
Chief, Inspection Services



STEVENS MORTON ROSE & THOMPSON  
 ARCHITECTURE ENGINEERING SURVEY  
 73 OAK STREET, PORTLAND, ME 04101 772-3846  
 PO BOX 10 MAIN STREET, LIMERICK, ME 04048 793-8202

# LETTER OF TRANSMITTAL

TO FIRST BAPTIST CHURCH  
353 CONGRESS ST.  
PORTLAND, MAINE 04101

DATE	JULY 8, 1987	JOB N.	8626
ATTENTION:	MR. JOHN POWERS		
RE:	FIRST BAPTIST CHURCH		
	WASHINGTON AVE / CALCO ROAD		

GENTLEMEN:

WE ARE SENDING YOU  Attached  Under separate cover via \_\_\_\_\_ the following items:

Shop Drawings  Prints  Plans  Specifications  Copy of letter  Change Order  DOCUMENT

COPIES	DATE	NO.	DESCRIPTION
7	7/8/87	L-1	GRADING PLAN.
3	7/8/87	-	1 PAGE REV. TO DRAINAGE CALCS OF 5/7/87

**RECEIVED**

JUL 10 1987

THESE ARE TRANSMITTED as checked below:

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> For approval            | <input type="checkbox"/> Approved as submitted    | DEPT OF BUILDING INSPECTIONS   |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted        | <input checked="" type="checkbox"/> THROUGH PORTLAND _____ copies for approval |
| <input type="checkbox"/> As requested            | <input type="checkbox"/> Returned for corrections | <input type="checkbox"/> Submit _____ copies for distribution                  |
| <input type="checkbox"/> For review and comment  | <input type="checkbox"/> _____                    | <input type="checkbox"/> Return _____ corrected prints                         |
| <input type="checkbox"/> FOR BIDS DUE _____ 19__ |   |  |

PRINTS RETURNED AFTER LOAN TO US

REMARKS 6 COPIES OF TANG. & 2 COPIES OF CALCULATION SHOULD BE SENT TO THE CITY OF PORTLAND PLANNING DEPT. THESE DOCUMENTS REFLECT HYDRO-BRAKE INFORMATION CHANGES REQUESTED BY R. ROY (PUBLIC WORKS). DRAWING L-2 SHOULD BE VOIDED. L-2 WAS NOT REVISED TO REFLECT

*If enclosures are not as noted, please notify us at once.*

THE CHANGE IN THE BLDG. F JPRINT OR THE  
ELIMINATION OF SOME PARKING. AS THE INFO  
CONTAINED ON L-2 HAS BEEN INCORPORATED ON  
DWG L-1, IT IS FELT MORE COST EFFECTIVE TO  
VOID L-2 RATHER THAN REVISE IT. CITY OF  
PORTLAND SHOULD BE ADVISED AS TO THE VOIDING OF  
DWG L-2 AS MR. ROY HAD REQUESTED THAT THE  
DWG BE UPDATED IF IT WERE TO REMAIN A PART  
OF THE FORMAL PROJECT PLANS.

*Richard Currier*

C.C. CHURCH GROWTH SERVICES,  
MR. MATT EDMONDS.

**RECEIVED**

JUL 1 6 1987

DEPT. OF BUILDING INSPECTIONS  
CITY OF PORTLAND



# CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

July 23, 1987

RE: The First Baptist Church (Washington Ave. & Canco Road)

Donbury Inc.  
33 Baxter Boulevard  
Portland, Maine 04104

Dear Sir:

Your application to construct Worship and Christian Education Facility (28,327 sq. ft.) has been reviewed and a building permit is herewith issued subject to the following requirements:

#### Site Plan Review Requirements

Fire Department Approved F.F. J. R. Dobkowski  
Inspection Services Approved W. J. Turner 7/10/87  
Public Works Approved with Conditions:

1. Curb and sidewalk shall be installed along Canco Road in accordance with City standards and specifications; and,
2. All site improvements shall be completed prior to the issuance of a Certificate of Occupancy R. J. Roy 7/10/87

Planning Division Curbs and sidewalks (including esplanades) to be done as per Public Works comments and subject to final inspection D. J. Klenk 12/3/86

#### Building and Fire Code Requirements

1. All lot lines and the lot shall be clearly marked before calling for a foundation inspection;
2. All requirements of site review must be completed before a certificate of occupancy can be issued;
3. Physically handicapped and aged accessible will comply with ANSI A117.1, and all State of Maine Laws pertaining to accessible for handicapped;
4. An approved automatic and manual fire and smoke detection system shall be installed with a direct connection to either the City Municipal alarm system or an approved central receiving station;
5. All required fire doors shall be equipped with an approved self-closers;
6. Under general notes on your plans, you state "flat roof slope to 5" 50 PSF"; the Portland Building Code requires for flat roofs from 1-5" pitch to be 50 PSF with no reductions;



Donbury

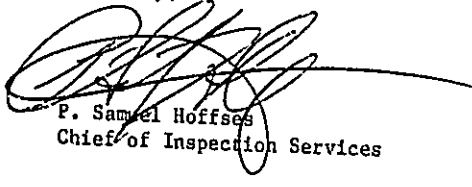
2

7/23/87

7. Before work begins, please submit to this office a statement of designs by a structural engineer registered in the State of Maine; and,
8. Your plans show plumbing as per BOCA Plumbing Code 1984; the State of Maine requires that the State of Maine Plumbing Code is the authority not the BOCA Plumbing Code.

If you have any questions on these requirements, please call this office.

Sincerely,



P. Samuel Hoffses  
Chief of Inspection Services

/el

cc: LT. James P. Collins, Fire Prevention Bureau  
Robert Roy, Planning Engineer  
David Klenk, Planner

Applicant: *First Baptist Church*  
Address: *Canco Road, Portland*  
Assessors No.:

Date: *July 10, 1987*

CHECK LIST AGAINST ZONING ORDINANCE

Date -  
Zone Location - *R-3* *see attached Zoning Amendment*  
Interior or corner lot - *Corner lot*  
Use - *Church & Christian Education Facility*  
Sewage Disposal - *City*  
Rear Yards - *310' 25'*  
Side Yards - *210' 14'*  
Front Yards - *120' + 135' 25'*  
Projections -  
Height - *2 story*  
Lot Area - *6 Acres*  
Building Area - *28,327 sq ft.*  
Area per Family - *NA*  
Width of Lot - *500±'*  
Lot Frontage - *129' on Washington Ave 552.98' on Canco Rd*  
Off-street Parking - *120 cars*  
Loading Bays - *NA*

Site Plan -  
Shoreland Zoning -  
Flood Plains -

CITY OF PORTLAND, MAINE  
MEMORANDUM

Chairman and Members of the Portland Planning Board, Chairman and  
Members of the Portland Board of Appeals, Planning Staff, and Other  
Interested Parties

TO:

FROM:

Kathleen A. Conner, Senior Planner *KC*

August 26, 1986

SUBJECT:

Amendment to the City Code, Section 14-49 (Zoning Map)

On August 18, 1986, the Portland City Council approved the enclosed  
amendment to Section 14-49 (Zoning Map) of the Portland City Code, which  
will become effective on September 17, 1986. The zone change is in the  
vicinity of Canco Road and Washington Avenue.

Enclosure: Change of Zone from I-2 Industrial and R-5 Residential to R-3  
Residential in the vicinity of the southwest corner of Canco  
Road and Washington Avenue

Passed Aug. 18, 1986  
Eff: 9/17/86

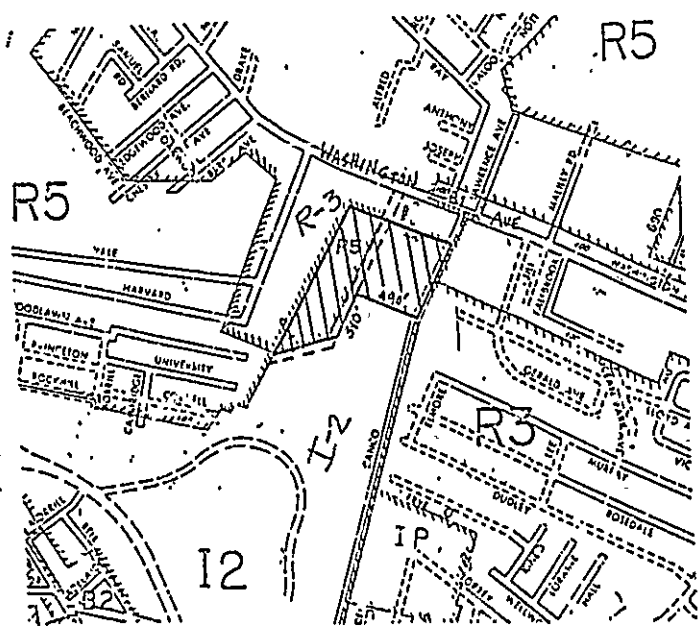
**City of Portland, Maine**  
IN THE CITY COUNCIL



AMENDMENT TO THE PORTLAND CITY CODE,  
SECTION 14-49 (ZONING MAP)  
RE: R-3 RESIDENCE ZONES

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND, MAINE, IN THE CITY COUNCIL ASSEMBLED, AS FOLLOWS:

THAT, the zoning map of the City of Portland, Maine (1958), as amended, and on file in the Office of Planning and Urban Development (incorporated into this Code by Section 14-49) be further amended as shown on the fragmentary map below entitled "Change of Zone from I-2 Industrial and R-5 Residence to R-3 Residence, in the vicinity of the southwest corner of Canco Road and Washington Avenue", which fragmentary map is hereby incorporated in and made a part of said zoning map.

CHANGE OF ZONE  
FROM I-2 INDUSTRIAL AND R-5 RESIDENCE  
TO R-3 RESIDENCE, IN THE VICINITY OF  
THE SOUTHWEST CORNER OF CANCO ROAD AND WASHINGTON AVENUE



 PROPOSED ZONING FROM I-2 INDUSTRIAL AND R-5 RESIDENCE TO R-3 RESIDENCE  
 50 foot sewer easement boundary

August 4, 1986

9

070

ORDER

AMENDMENT TO THE PORTLAND CITY  
CODE, SECTION 14-49 (ZONING MAP)  
RE: R-3 RESIDENCE ZONES  
(THE PLANNING BOARD)

IN THE CITY COUNCIL

August 4, 1986

Given first reading. Motion to table  
to May 18th Council meeting, passed, 5 Yeas  
(Councilors Plumb & Leenan out)

August 18, 1986—Removed from the table.  
Given second reading and passed, 8 Yeas.

Attest: Jane Durgin  
City Clerk.



CITY OF PORTLAND

55 PORTLAND STREET  
PORTLAND, MAINE 04101  
(207) 775-5451

PARKS & PUBLIC WORKS

GEORGE A. FLAHERTY  
DIRECTOR

March 24, 1988

Donald Skeffington  
Donbury Inc.  
33 Baxter Boulevard  
Portland, Maine 04101

Dear Mr. Skeffington:

On March 18, 1988 an inspection of the First Baptist Church at the corner of Washington Avenue and Canco Road was conducted by the following people:

Arthur Treadwell - Supervisor, Donbury Inc.  
Paul Niehoff - Material Engineer  
Nancy Knauber - Site Inspector

The following is a list of items which have yet to be installed:

- 1) Entrance off of Washington Avenue
- 2) Storm Drainage system to the right rear side of the building
- 3) Parking area to the left and rear of building
- 4) All landscaping
- 5) Rip rap in retention area at front of building
- 6) Final pavement on parking lot
- 7) Final pavement on sidewalk
- 8) Curbing inside on lot

Since these items have not yet been completed, the City will require that a bond be posted in an amount sufficient to cover these improvements. Please contact Paul Niehoff of Parks/Public Works at 775-5451, extension 405, concerning this bond.

Sincerely,

Nancy Knauber  
Site Subdivision Inspector

NK/sc

cc: Paul Niehoff, Material Engineer

**CHURCH  
GROWTH  
SERVICES**

120 East Callander Street  
PO Box 2406  
South Bend, IN 46680  
219/291 4777

May 26, 1988

Lt. James Collins  
Fire Headquarters  
380 Congress  
Portland, Maine 04101

Regarding: Code Modifications/First Baptist Church

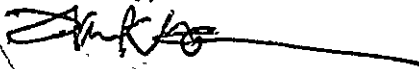
Dear Lt. Collins.

The purpose of this letter is to document our telephone discussion of May 25th referencing my previous letter of 5/11/88. The following items were discussed.

1. You had stated that "everything appears to be in order", and that you agreed with our research on 20 minute doors being allowed on this project. You agreed with our one hour ceiling system and requested a package end label from the ceiling tile and the grid system. CGS is to send these items to you under separate cover.
2. Sliding glass windows from general office #124 to adjacent corridors were originally shown on construction drawings as sliding plate glass windows. It is my understanding that on seeing these installed, they were unacceptable to you, since they do not conform to the one hour rating required by the codes. In order to make them comply they are to be 1296 Sq.In. maximum wire glass in a hollow metal frame and one hour rated. If this condition is met our understanding is that you will find these acceptable.

Thank you for your clarification of code items and we will continue to seek resolution in hopes that an August occupancy will be uneventful.

Sincerely,



Frank Gorman  
Director of Architecture



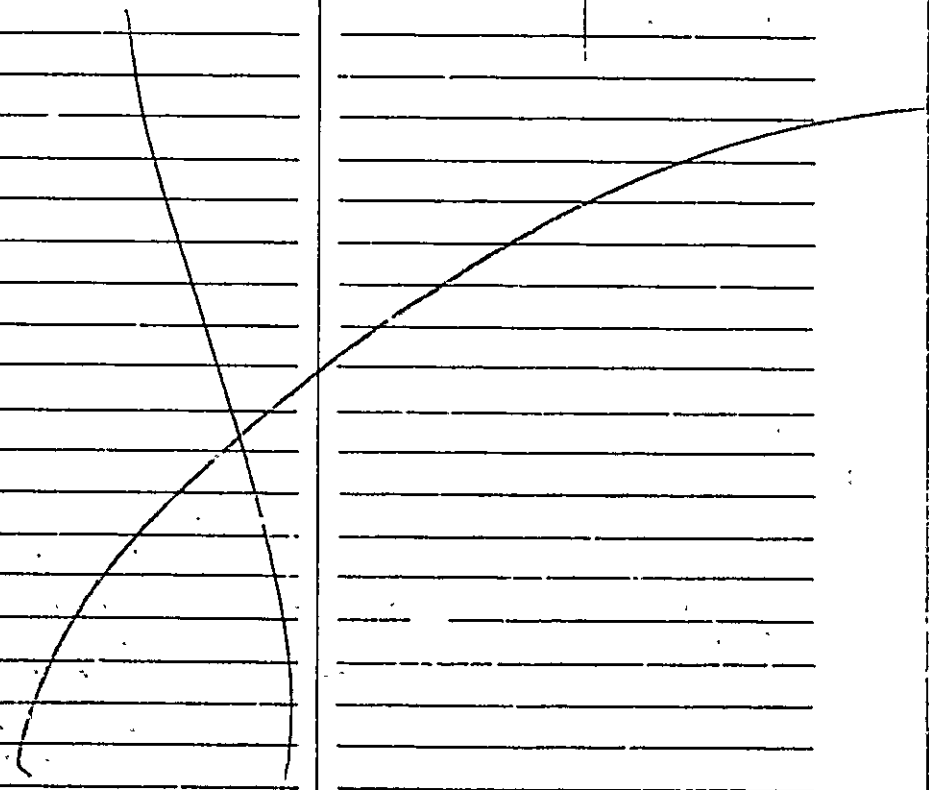
NOTES

LAND IN THE PROCESS OF  
BEING PREPARED FOR BUILDING

FOOTING & FOUNDATION POURED  
WITHOUT BENEFIT OF AN  
INSPECTION

Permit No. 81-1739  
 Location St. Paul, La.  
 Owner St. Paul (City)  
 Date of Permit 10-15-86  
 Approved 12-8-86  
 Deadline 12-15-86  
 Garage \_\_\_\_\_  
 Alteration \_\_\_\_\_

*Checked*



MITCHELL-DEWAN ASSOCIATES Landscape Architects

May 5, 1987

Portland Planning Board  
City of Portland  
389 Congress Street  
Portland, ME 04101

RE: DONBURY OFFICES

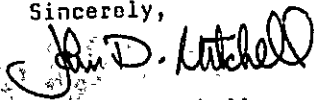
Dear Planning Board Members:

On behalf of Donbury, Inc. we are pleased to submit this application for Site Plan approval of a proposed office building and a storage facility located at 275 Canco Road between Seltzer & Rydholm and Health-Tex. The owner plans to relocate their offices presently at Baxter Boulevard to this new property

The Donbury Offices is to be built on a 6 acre tract of land owned by Donbury, Inc., General Contractors of Portland. The project site is within the I-2 Zone.

We trust that this submission fulfills the City's requirements for a workshop meeting with the Planning Board. Should you have any questions, please don't hesitate to contact us.

Sincerely,



John D. Mitchell

Enclosure

RECEIVED

MAY - 5 1987

DEPT. OF BUILDING INSPECTIONS  
CITY OF PORTLAND

386 Fore Street Portland Maine 04101

Tel 207-774-4427



CITY OF PORTLAND, MAINE

389 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF  
INSPECTION SERVICES DIVISION

275 Canco Road

September 9, 1987

Mr. John D. Mitchell  
Mitchell DeWan Associates  
386 Fore Street  
Portland, Maine 04101

Dear Mr. Mitchell:

Please advise your client, Donbury Inc., that the site plan for 275 Canco Road has been approved by the City Planning Board, as well as the subdivision which created Lot #3 on Canco Road. A condition of the Site Plan approval was that the 30 foot strip of land owned by the City in front of Lot#3 would be conveyed to Donbury, Inc.

Granite curbing and sidewalk will be required along the street frontage of Lot 3 and the remaining portion of Lot #2, which was not required for the First Baptist Church development.

The subdivision plat was approved by the City Planning Board on August 12, 1987 and subsequently recorded in the County Registry of Deeds on August 14, 1987 in Plan Book 164 at Page 49.

Your client may now apply for the building permit and submit plans to construct the building at 275 Canco Road. A building permit fee will then be required based on \$25.00 for the first thousand dollars of estimated cost and \$5.00 for each additional thousand of estimated building cost.

Sincerely,

*Warren J. Turner*

Warren J. Turner  
Zoning Enforcement Inspector

cc: Joseph E. Gray, Jr., Director, Planning & Urban Development  
Alexander Jaegerman, Chief Planner  
P. Samuel Hoffses, Chief, Inspection Services  
Fred Williams, Code Enforcement Officer

DON SKEFFINGTON



**Donbury, inc.**  
General  
Contractor

P.O. Box 792  
Portland, ME 04104

774-6254

URBAN DEVELOPMENT  
SECRETARIAL WORK SHEET

1 Original & File Copies  
6 No. Xerox Copies  
\_\_\_\_ Rough Draft  
\_\_\_\_ Form Letter  
\_\_\_\_ Envelope (s)  
\_\_\_\_ Address Sticker(s)

Complete by (date & time)

7/Dec/87

If PRIORITY, please check \_\_\_\_\_

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

NAME: 



CITY OF PORTLAND, MAINE

389 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF  
INSPECTION SERVICES DIVISION

Date 7/December/87

Address Dorbury Inc.  
Center Blvd.  
Portland, Maine

Re: 276 CANCO Rd. PTLID

Dear Sir:

Your application to Construct an office building  
at has been reviewed and a permit is herewith  
issued subject to the following requirement(s):  
SITE PLAN REVIEW Requirement

~~See~~ TYPE IN REQUIREMENTS AS PER  
ATTACHED SHEET, PUBLIC WORKS - BLDGS ETC.

Building Code Requirements.

1. All lot lines and the lot shall be clearly marked before calling for a foundation inspection.
2. All concrete shall be protected from freezing.
3. Section 25-137 of the Municipal Code for the City of Portland, states: "No person or utility shall be granted a permit to excavate or cross any street or sidewalk from the time of November 15 of each year to April 15 of the following year."

If you have any questions regarding these requirement(s), please do not hesitate to contact this office.

Sincerely,

P. Samuel Hoffses  
Chief, Inspection Services

cc:

**CITY OF PORTLAND, MAINE**  
**SITE PLAN REVIEW**  
 Processing Form

Applicant Dunbury, Inc. Date ay 6, 1987

Mailing Address Buxter Blvd Address of Proposed Site 275 WILLOW ROAD

Proposed Use of Site OFFICE STORAGE Site Identifier(s) from Assessors Maps \_\_\_\_\_

Acreage of Site 4.6 acres Ground Floor Coverage \_\_\_\_\_ Zoning of Proposed Site \_\_\_\_\_

Site Location Review (DEP) Required: ( ) Yes (  ) No Proposed Number of Floors \_\_\_\_\_

Board of Appeals Action Required: ( ) Yes (  ) No Total Floor Area \_\_\_\_\_

Planning Board Action Required: (  ) Yes ( ) No

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

PUBLIC WORKS DEPARTMENT REVIEW **RECEIVED**

SEP 1 1987  
 (Date Received)

DEPT OF BUILDING INSPECTIONS  
CITY OF PORTLAND

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
APPROVED CONDITIONALLY																<input checked="" type="checkbox"/>
DISAPPROVED																

REASONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: 1) Curb and sidewalk shall be installed along Canco Rd. in accordance with City standards and specifications.

(Attach Separate Sheet if Necessary)

Robert J. Roy 8/31/87  
 SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

**CITY OF PORTLAND, MAINE  
SITE PLAN REVIEW  
Processing Form**

Applicant Dentary Inc

Date Nov 6, 1987

Mailing Address Porter Blvd

Address of Proposed Site 275 Colton Road

Proposed Use of Site OFFICE

Site Identifier(s) from Assessors Maps \_\_\_\_\_

Acreage of Site / Ground Floor Coverage 1.6 acres /

Zoning of Proposed Site \_\_\_\_\_

Site Location Review (DEP) Required: ( ) Yes ( ) No

Proposed Number of Floors \_\_\_\_\_

Board of Appeals Action Required: ( ) Yes ( ) No

Total Floor Area 11,400

Planning Board Action Required: ( ) Yes ( ) No

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

**PLANNING DEPARTMENT REVIEW**

(Date Received) \_\_\_\_\_

- Major Development — Requires Planning Board Approval; Review Initiated
- Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	WALLS & BULK STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED												
APPROVED CONDITIONALLY												
DISAPPROVED												

CONDITIONS SPECIFIED BELOW  
REASONS SPECIFIED BELOW

REASONS: APPROVED BY PLANNING BOARD FOR SITE PLAN (LOT 3)  
AND SUBDIVISION REVIEW.  
GRANITE CURBING & SIDEWALK REQUIRED ALONG STREET FRONTAGE OF LOT 3  
AND THE REMOVAL OF LOT 2 WHICH WAS NOT REQUIRED FOR THE  
FIRST BAPTIST CHURCH DISSEMINATION

(Attach Separate Sheet if Necessary)

Rickard / [Signature] 9/2/87

PLANNING DEPARTMENT COPY



**CITY OF PORTLAND, MAINE**  
**SITE PLAN REVIEW**  
 Processing Form

Date May 6, 1987

Applicant Donbury Inc.

275 Canco Road  
 Address of Proposed Site

Mailing Address Baxter Blvd

Site Identifier(s) from Assessors Maps

Proposed Use of Site Office & Storage

Zoning of Proposed Site

Acres of Site 4.6 acres / Ground Floor Coverage

Proposed Number of Floors \_\_\_\_\_

Site Location Review (DEP) Required: ( ) Yes (✓) No

Total Floor Area \_\_\_\_\_

Board of Appeals Action Required: ( ) Yes (✓) No

Planning Board Action Required: (✓) Yes ( ) No

Other Comments: Subdivision was approved by Planning Board & August 12, 1987 and recorded August 14, 1987. Plan Book 164, Page 42.

Date Dept. Review Due: \_\_\_\_\_

**BUILDING DEPARTMENT SITE PLAN REVIEW**  
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
- Requires Board of Appeals Action
- Requires Planning Board/City Council Action

Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK, as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT SETBACK AREA (SFC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS	
COMPLIES																			CONDITIONS SPECIFIED BELOW
COMPLIES CONDITIONALLY																			REASONS SPECIFIED BELOW
DOES NOT COMPLY																			

REASONS: A condition of site Plan Approval by Planning Board was that 30 ft strip of land in front of lot #2 be conveyed by city to Donbury Inc.

Warren J. Turner 9/8/87  
 SIGNATURE OF REVIEWING STAFF, DATE

BUILDING DEPARTMENT—ORIGINAL

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

July 6, 1987

Applicant Dontary Inc.

Date \_\_\_\_\_

Mailing Address Porter Hwy

Address of Proposed Site 275 LINDO ROAD

Proposed Use of Site off a car storage

Site Identifier(s) from Assessors Maps \_\_\_\_\_

Acres of Site 4.6 acres

Zoning of Proposed Site \_\_\_\_\_

Ground Floor Coverage \_\_\_\_\_

Site Location Review (DEP) Required: ( ) Yes ( ) No

Proposed Number of Floors \_\_\_\_\_

Board of Appeals Action Required: ( ) Yes ( ) No

Total Floor Area \_\_\_\_\_

Planning Board Action Required: ( ) Yes ( ) No

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

FIRE DEPARTMENT REVIEW

7-2-87

(Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMISE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED									
APPROVED CONDITIONALLY					X				CONDITIONS SPECIFIED BELOW
DISAPPROVED									REASONS SPECIFIED BELOW

REASONS:

*five hundred*  
*All structures shall be within 500' of*  
*hydrant*

(Attach Separate Sheet if Necessary)

*John R. Johnson*

SIGNATURE OF REVIEWING STAFF, DATE

FIRE DEPARTMENT COPY

Revisions to First Baptist Church

5/15/87

1) Runoff calculations are very conservative, Max.  $Q$  of hydrobrake shall be 0.92 cfs at 9.5 ft. of head and not 2.71 cfs as proposed.

2) Applicant can use hydrobrake that was spec'd for use at OB 4.

3) Hydrobrake specs shall be detailed on grading plan as required before.

4) Revise utility layout plan also!

*YJR*

RECEIVED

JUL 1 0 1987

DEPT OF BUILDING INSPECTIONS  
CITY OF PORTLAND