

90-96 CARLYLE ROAD



Full cut # 920R - Half cut # 9202R - Third cut # 9203R - Fibre cut # 9204R

PERMIT TO INSTALL PLUMBING

10841

PERMIT NUMBER

Date Issued 10-30-61

PORTLAND PLUMBING INSPECTOR

By J. P. Welch

Address 90 Carlyle Road

Installation For Libby

Owner of Bldg. Libby

Owner's Address: 90 Carlyle Road

Plumbers: Stanford Brown

Date: 10-30-61

APPROVED FIRST INSPECTION

Date Oct. 31-1961

By JOSEPH E. WELCH

APPROVED FINAL INSPECTION

Date Oct. 31-1961

By JOSEPH E. WELCH

- By
- TYPE OF BUILDING
 - COMMERCIAL
 - RESIDENTIAL
 - SINGLE
 - MULTI FAMILY
 - NEW CONSTRUCTION
 - REMODELING

NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
	1	HOUSE SEWERS	1	\$ 2.00
		POOF LEADERS (Conn to house drain)		

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

TOTAL ▶ \$ 2.00

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for one family dwelling house - 1 car garage

at Carlyle Road

Date 5/8/41

1. In whose name is the title of the property now recorded? M. K. Dieman
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? iron stakes
3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? max 5"
min 10"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Fred J. Cook



APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 11,881

Class of Building or Type of Structure Third Class

JUL 13 1941

Portland, Maine, May 8, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ alter the following building ~~structure~~ structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 90-92 Carlyle Road Lot 217 Within Fire Limits? no Dist. No. _____
 Owner's or lessor's name and address Marie K. Dionon, 63 Concord Street Telephone _____
 Contractor's name and address F. J. Cole & Son, R. F. D. #3 Telephone 2-8768
 Architect _____ Plans filed yes No. of sheets 1
 Proposed use of building 1 car garage No. families _____
 Other buildings on same lot _____
 Estimated cost \$ 200. Fee \$.15

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect one car frame gerage 12' x 20'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no
 Is any electrical work involved in this work? no Height average grade to top of plate 7'
 Size, front 12' depth 20' No. stories 1 Height average grade to highest point of roof 12'
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation concrete slab Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof pitch Rise per foot 8" Roof covering Asphalt roofing Class C Und. Lab.
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat no Type of fuel _____ Is gas fitting involved? _____
 Framing lumber--Kind he, long Dressed or full size? dressed
 Corner posts 4x4 Sills 4x4 Bolted to concrete _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters:	1st floor <u>concrete</u>	2nd _____	3rd _____	roof <u>2x4</u>
On centers:	1st floor _____	2nd _____	3rd _____	roof <u>2'</u>
Maximum span:	1st floor _____	2nd _____	3rd _____	roof _____

If one-story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot none to be accommodated 1
 Total number commercial cars to be accommodated none
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner: Marie K. Dionon
 Signature of contractor: F. J. Cole & Son

INSPECTION COPY

CITY OF PORTLAND, ME.



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED
0783

Permit No. _____
JUN 4 1941

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, June 4, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 90-92 Carlyle Road Use of Building dwelling house No. Stories 1 New Building Existing
Name and address of owner of appliance Maria K. Diamond
Installer's name and address Hillman A. Williams, 170 Mushey St., Portland, Me. phone 3-4817

General Description of Work

To install steam heating system

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? yes If not, which story _____ Kind of Fuel coal
Material of supports of appliance (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 35"
from top of smoke pipe 42" from front of appliance no woodwork from sides or back of appliance no woodwork
Size of chimney flue 8x12 Other connections to same flue none

IF OIL BURNER

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____
Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____
Location oil storage _____ No. and capacity of tanks _____
Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additic for each additional heater, etc., in same building at same time.)

Signature of Installer Hillman A. Williams

INSPECTION COPY



APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 0624

Class of Building or Type of Structure Third Class

MAY 9 1941

Portland, Maine, May 8, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect and install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 29-92 Carlyle Road, Lot 217 Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address Marie K. Diamond, 63 Concord Telephone _____
 Contractor's name and address F. J. Cole & Son, R. F. D. 3 Telephone 2-8788
 Architect _____ Plans filed _____ No. of sheets _____
 Proposed use of building dwelling house No. families 1
 Other buildings on same lot one car garage
 Estimated cost \$ 3000. Fee \$ 1.25

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect one family frame dwelling house

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes
 Is any electrical work involved in this work? yes Height average grade to top of plate 11 1/2'
 Size, front 36' depth 24' No. stories 1 1/2 Height average grade to highest point of roof 20'
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation concrete Thickness, top 10" bottom 12" cellar yes
 Material of underpinning concrete block Height 17" Thickness 8"
 Kind of roof pitch Rise per foot 12" Roof covering Asphalt roof'ng Class C Und. Lab.
 No. of chimneys 1 Material of chimneys brick of lining tile
 Kind of heat steam Type of fuel coal Is gas fitting involved? no
 Framing lumber—Kind healock Dressed or full size? dressed
 Corner posts 4x6 Sills 4x6 Girt or ledger board? none Size _____
 Material columns under girders iron columns Size 4" Max. on centers 8'
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. plaster
 Joists and rafters: 1st floor 2x8 2nd 2x8 3rd 2x6 corner ceiling 2x6 only roof 2x6
 On centers: 1st floor 15" 2nd 16" 3rd 2' roof 2'
 Maximum span: 1st floor 12' 2nd 12' 3rd 16' roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

How many cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Signature of owner Marie K. Diamond

Signature of owner By Fred Cole

INSPECTION COPY

Permit No. 41/626
 Location 91 93 Castle Rd
 Owner Mrs. M. Diamant
 Date of permit 5/9/41
 Notif. closing-in 6/17/41 8:30 AM
 Inspn. closing-in 6/17/41 - G.T.
 Final Notif. 8/6/41
 Final Inspn. 8/9/41 - O.K.
 Cert. of Occupancy issued 8/9/41

may I'd note that metal
 also should be put on
 bottom of this case
 8/6/41 - Finish around
 steam users in base
 merit Put metal case
 stop around case when
 in placement - O.K.
 8/9/41 - Wall around
 case - O.K.

NOTES

5/8/41 - Location as
 stated does not agree
 with local plan
 5/9/41 - Staking out O.K.
 5/16/41 - Excavation
 5/23/41 - Formwork for concrete
 5/31/41 - First floor
 framed O.K.
 6/8/41 - N. of framing
 - 8' x 8' studs
 6/12/41 - Nearly ready for
 closing-in O.K.
 6/17/41 - Mineral wool
 placed around case

8

PERMIT # 002278 TOWN OF Portland BUILDING PERMIT APPLICATION MAP # LOT #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: John and Susan Arnold 775-2713
Address: 23 Mayland Street Portland
LOCATION OF CONSTRUCTION 96 Carlyle Road
CONTRACTOR: Ledgewater Const. INC CONTRACTORS: 797-7752
ADDRESS: 223 Woodville Rd. Falmouth 04105
Est. Construction Cost: 75,000. Type of Use: single family
Past Use:
Building Dimensions L W Sq. Ft. # Stories: Lot Size:
Is Proposed Use: Seasonal Condominium Apartment

Conversion - Explain construct new single family with attached 2 car garage. as per plans

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
Residential Buildings Only:
Of Dwelling Units # Of New Dwelling Units

Foundations:
1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:
1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size:
4. Joists Size: Spacing 16" O.C.
5. Br'ging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Materials:

Exterior Walls:
1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes Span(s)
5. Bracing: Yes No
6. Corner Posts Size
7. Insulator Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:
1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

For Official Use Only
Date June 19, 1989
Subdivision: Yes / No
Name:
Block:
PERMIT ISSUED
Time Limit:
Permit Expiration:
Estimated Cost 75,000.
Owner: JUN 27 1989 Public Private
Value Structure:
Fee: 395.00 Minor-Minor Site Plan 50.00
Total 445.00

Ceiling:
1. Ceiling Joists Size:
2. Ceiling Strapping Size Spacing
3. Type Ceilings:
4. Insulation Type Size
5. Ceiling Height:

Roof:
1. Truss or Rafter Size Span
2. Sheathing Type Size
3. Roof Covering Type
4. Other

Chimneys:
Type: Number of Fire Places

Heating:
Type of Heat:
Electrical:
Service Entrance Size: Smoke Detector Required Yes No

Plumbing:
1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:
1. Type:
2. Pool Size: x Square Footage
3. Must conform to National Electrical Code and State Law.

Zoning:
District: Street Frontage Req.: Provided:
Required Setbacks: Front Back Side Side

Review Required:
Zoning Board Approval: Yes No Date:
Planning Board Approval: Yes No Date:
Conditional Use: Variance Site Plan Subdivision
Shore and Floodplain Mgmt Special Exception
Other (Explain)
Date Approved:

Permit Received By Deborah Goode
Signature of Applicant [Signature] Date 6/19/89
AS Agent for owner
Signature of CEO [Signature] Date
Inspection Dates [Signature]



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION: 96 Carlyle Road

Issued to John and Susan Arnold

Date of Issue December 6, 1989

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02278 has had final inspection and has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

ENTIRE

APPROVED OCCUPANCY

SINGLE FAMILY

Limiting Conditions:

Driveway, and walkway to be paved by 1 June 1990

This certificate supersedes
certificate issued

Approved:

12/4/89
(Date)

A. Lowe
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

BUILDING PERMIT REPORT

ADDRESS: 96 Carlyle Rd. DATE: 26 June 87

REASON FOR PERMIT: To Construct A Single Family Dwelling

BUILDING OWNER: John & Susan Arnold

CONTRACTOR: Ledgewater Const

PERMIT APPLICANT: _____

APPROVED: *1 *6 *7 *8 *9 ~~REMOVED~~

CONDITION OF APPROVAL OR DENIAL:

- *1.) Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained.
- *2.) Precaution must be taken to protect concrete from freezing.
- 3.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.
- 4.) Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 5.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling, or by placing over the boiler, two(2) residential sprinkler heads supplied from the domestic water.
- *6.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear openings of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).
- *7.) In addition to any automatic fire alarm system required by Sections 1018.3.5, a minimum of one single station smoke detector shall be installed in each guest room, suite or sleeping area in buildings of Use Groups R-1 and I-1 and in dwelling units in the immediate vicinity of the bedrooms in buildings of Use Group R-2 or R-3. When actuated, the detector shall provide an alarm suitable to warn the occupants within the individual unit (see Section 1717.3.1).

In buildings of Use Groups R-1 and R-2 which have basements, an additional smoke detector shall be installed in the basement. In buildings of Use Group R-3, smoke detectors shall be required on every story of the dwelling unit, including basements.

In dwelling units with split levels, a smoke detector installed on the upper level shall suffice for the adjacent lower level provided the lower level is less than one full story below the upper level. If there is an intervening door between the adjacent levels, a smoke detector shall be installed on both levels.

All detectors shall be installed in an approved location. Where more than one detector is required to be installed within an individual dwelling unit, the detectors shall be wired in such a manner that the actuation of one alarm will actuate all the alarms in the individual unit.

*8.) Private garages located beneath rooms in buildings of Use Groups R-1, R-2, R-3 or I-1 shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fire-resistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of 1/2-inch gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102 mm) above the garage floor. The door opening protectives shall be 1 3/4-inch solid core wood doors or approved equivalent.

*9.) A guardrail system located near the open side of deck or elevated walking surfaces shall be constructed. Guards in buildings of Use Group R-3 shall be not less than 36 inches in height. Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 6 inches cannot pass through any opening.

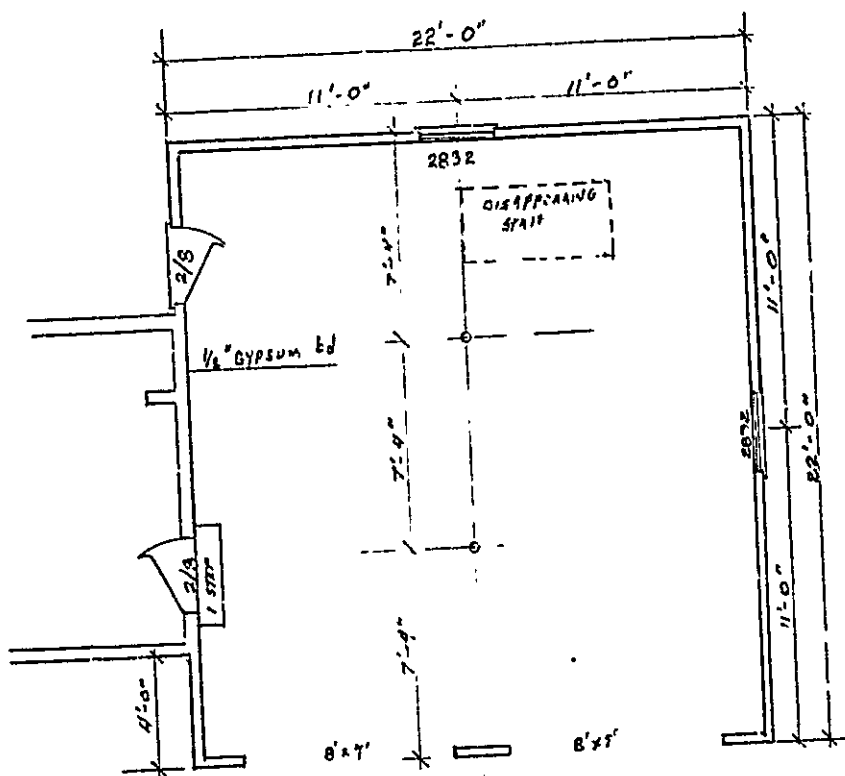
10.) Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year.

11. The builder of a facility to which Section 451-C of the Maine State Human Rights Act, Title 5 M.R.S.A. refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el
11/16/88



GARAGE FLOOR PLAN
Scale 3/16" = 1'-0"



R-2"x10" W/1/2" PLYWOOD FILLER

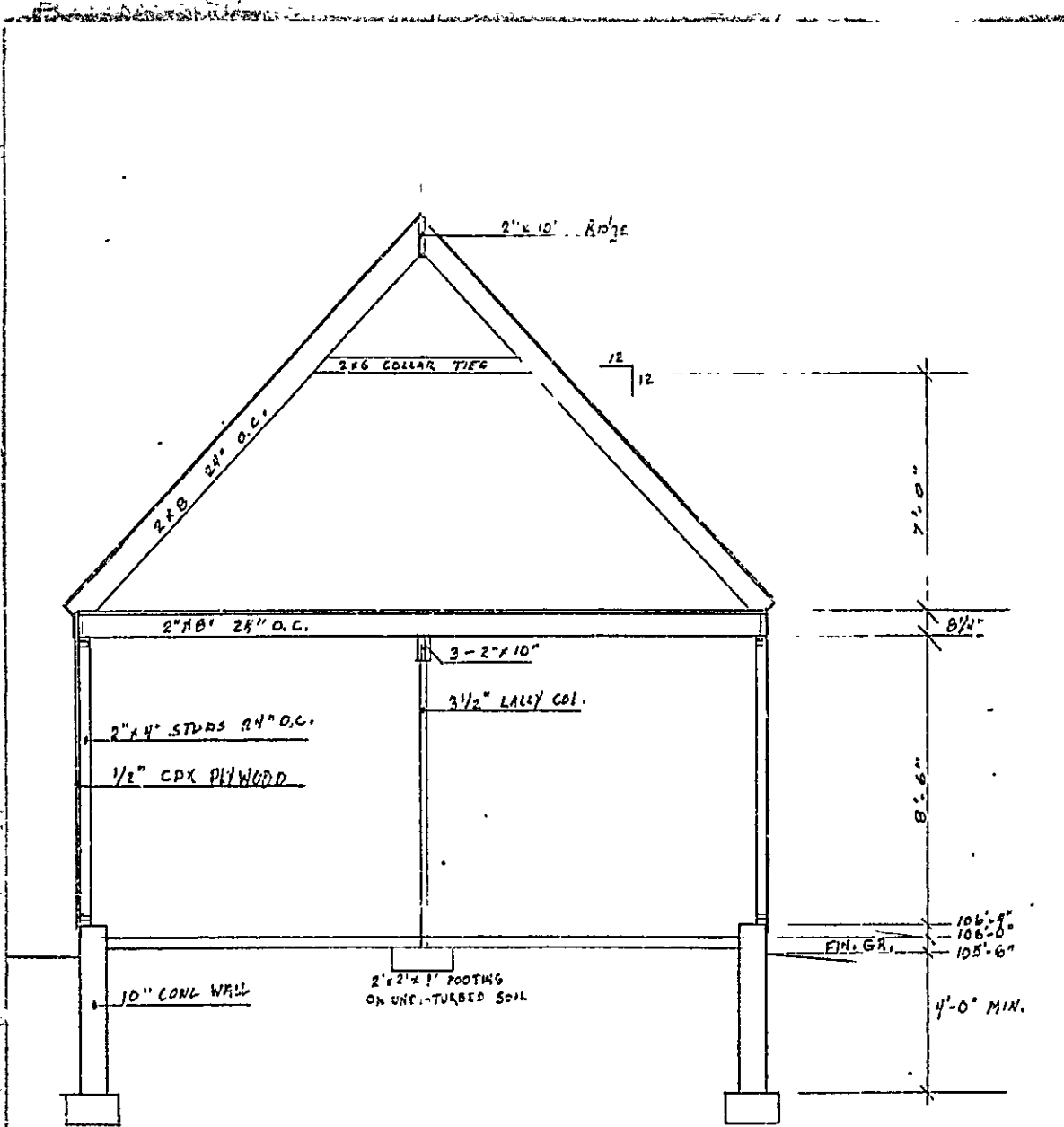
OVERHEAD
HEADER
Scale 1" = 1'-0"

RECEIVED

JUN 20 1969

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

FIN. GR



TYPICAL GARAGE SECTION
Scale 1/4" = 1'-0"

LEDGEWATER CONSTRUCTION, INC.
207 WOOD HOLE ROAD - FAIRMOUTH, MAINE
ARNOLD RESIDENCE
96 CARLYLE ROAD - PORTLAND, MAINE

GARAGE DETAILS
SCALE AS NOTED
DRAWN BY: DNH 6/19/89
SHEET 5

December 15, 1989

Young's Electric, Inc.
25 Evergreen Drive
Portland, Me. 04103

Portland City Hall
Code Enforcement Division
389 Congress St.
Portland, Me. 04111

Re: Electrical work done
at 96 Carlisle Rd.

To Whom It May Concern:

The electrical work that has been done at 96 Carlisle
Rd. Portland, Me., was done by Young's Electric, Inc.

The electrical work meets all local & state codes.

If you have any questions feel free to give us a call.

Young's Electric, Inc.



PERMIT # 002278 TOWN OF Portland BUILDING PERMIT APPLICATION MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: John and Susan Arnold 775-2713
 Address: 23 Hayland Street Portland

LOCATION OF CONSTRUCTION 96 Carlyle Blvd

CONTRACTOR: Ledgewater Const. ISOB CONTRACTORS 797-7752

ADDRESS: 223 Woodville Rd. Falmouth 04105

Est. Construction Cost 75,000. Type of Use: single family

Part Use: _____

Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____

Is Proposed Use: _____ Personal _____ Condominium _____ Apartment _____

Conversion - Explain construct new single family with attached 2 car garage. as per plans

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE Residential Buildings Only:

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spac. _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only	
Date <u>June 19, 1989</u>	Subdivision Yes / No _____
Inside Fire Limits _____	Name _____
Bldg Code _____	Lot _____
Time Limit _____	Block _____
Estimated Cost <u>75,000.</u>	Permit Expiration _____
Value/Structure _____	Ownership: _____ Public _____ Private _____
Fee <u>395.00</u>	Minor-Minor Site Plan <u>50.00</u>
Total <u>445.00</u>	

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceilings _____
4. Insulation Type _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span JUN 27 1989
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____
4. Other _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required 00. Yes _____ No _____
2. N. of Tubs or Showers _____
3. No. of Flushes 60.00
4. No. of Lavatories _____
5. No. of Other Fixtures 00.00

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:

District R-3 Street Frontage Req: _____ Provided _____

Required Setbacks: Front _____ Back _____ Side _____

Revised: Required: _____

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shore and Floodplain Mgmt. _____ Special Exception _____

Other (Explain): _____

Date Approved White Tax Assessor 6-26-89

Permit Received By Deborah Goode

Signature of Applicant [Signature] Date 6/19/89

Signature of CEO _____ Date _____

Inspection Dates _____

PERMIT ISSUED WITH LETTER

White Tax Assessor's Yellow GPCOG White Tax CEO
 197 MA, ROWE, © Copyright GPCOG 1987

PLOT PLAN

N



FEES (Breakdown From Front)

Base Fee \$ 25.00
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ 50.00
 Other Fees \$ 370.00
 (Explain) _____
 Late Fee \$ _____

Type

Inspection Record

Date

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

8/89 Footing ok. All

12/1/89. advice except (1) switches (2) fire rating in garage
a. this.

12/4/89 completed. A. Power.

C90
6

Signature of Applicant

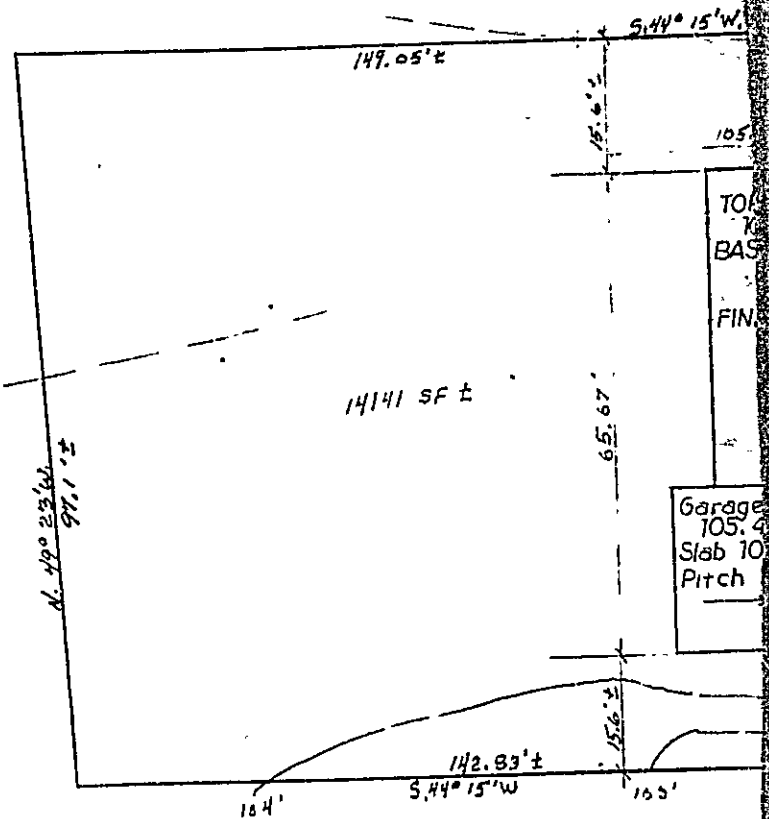
D. J. Blum is agent for owner

Date

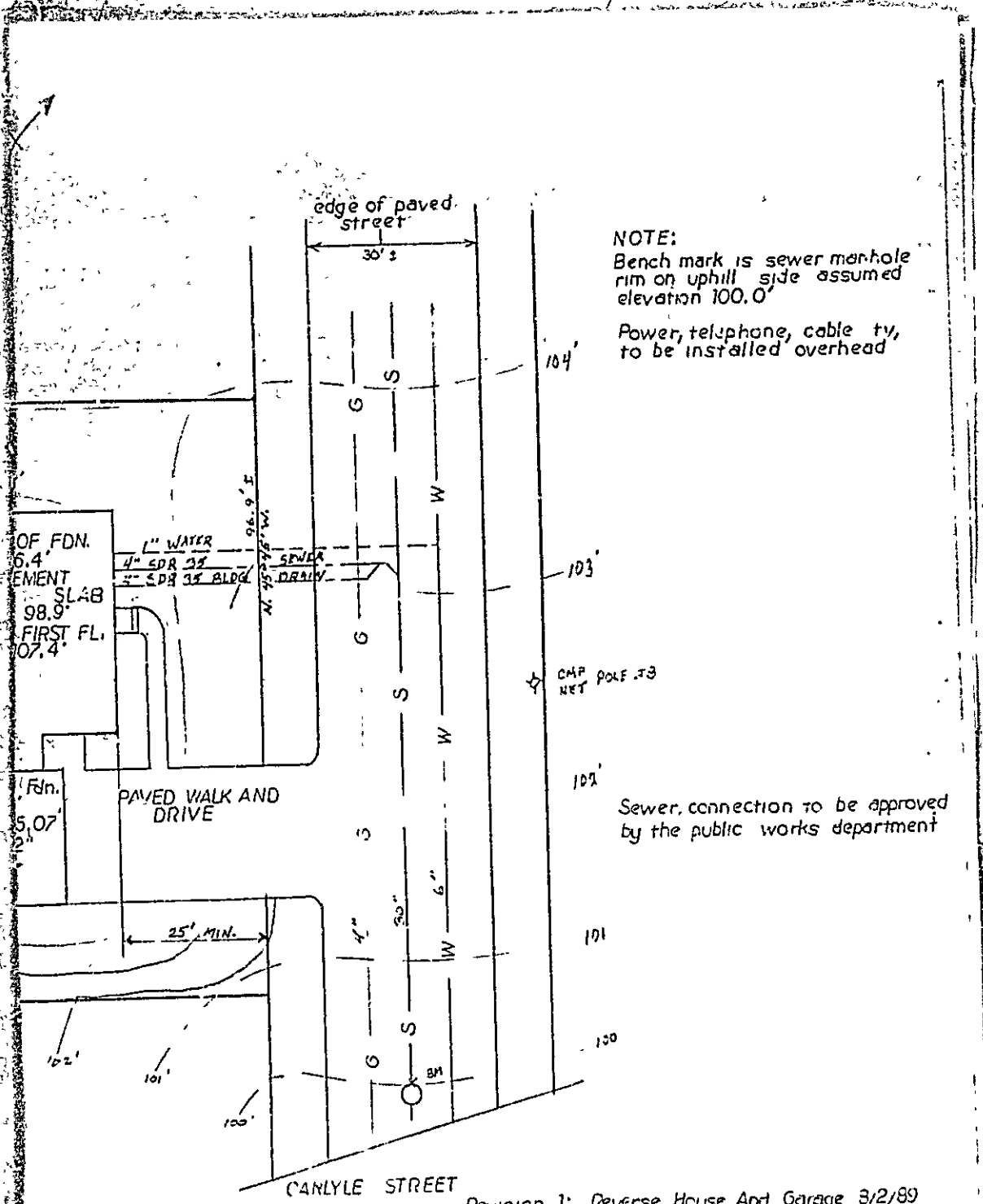
6/19/89

MR. ROWE

Please Exchange
This Plot Plan for
original of
C-M-L.



scale 1" = 20'



NOTE:
 Bench mark is sewer manhole rim on uphill side assumed elevation 100.0'
 Power, telephone, cable tv, to be installed overhead

Sewer connection to be approved by the public works department

Revision 1: Reverse House And Garage 3/2/89
 Revision 2: Garage Fdn Elevation Change "

LEDGEWATER CONSTRUCTION, INC
 223 WOODVILLE ROAD - FALMOUTH, MAINE
 ARNOLD RESIDENCE
 55 CARLYLE STREET - PORTLAND, MAINE

SITE PLAN
 SCALE AS NOTED
 DRAWN BY DWL 5/12/89
 SHEET 1



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

June 27, 1989

John & Susan Arnold
33 Mayland Street
Portland, ME 04103

Re: 96 Carlyle Road, Portland, Maine.

Dear Sir:

Your application to construct a single family dwelling has been reviewed and a permit is herewith issued subject to the following requirements:

SITE PLAN REVIEW REQUIREMENTS:

Public Works - approved. Steve Harris

Inspection Services - approved. William Giroux

BUILDING CODE REQUIREMENTS:

1. Please read and implement items #1, #6, #7 and #9 of the attached building permit report.
2. Foundation drains must be installed.
3. 6'8" headroom must be maintained in all stairwells.
4. 7'6" headroom is required in all rooms.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief, Inspection Services

cc: Steve Harris, Public Works Dept.

PSH/jmr

Enclosure

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant David Hilton

Date June 19, 1989

Mailing Address 302 Falmouth Road Falmouth

Address of Proposed Site 96 Carlyle Road

Proposed Use of Site single family

Site Identifier(s) from Assessors Maps 141-A-12

Area of Site / Ground Floor Coverage 14,141 sq. ft. / 1516 sq. ft. garage inc.

Zoning of Proposed Site R-3

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors 2
 Total Floor Area 1752 sq ft.

Other Comments: _____

Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW

(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 - Requires Board of Appeals Action
 - Requires Planning Board/City Council Action

Explanation _____

- Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK, as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS	
COMPLIES																			
COMPLIES CONDITIONALLY																			CONDITIONS SPECIFIED BELOW
DOES NOT COMPLY																			REASONS SPECIFIED BELOW

REASONS: OK WD AC ... 6-26-89

SIGNATURE OF REVIEWING STAFF/DATE
 BUILDING DEPARTMENT—ORIGINAL

John + Susan Arnold Date: 6-26-89
96 Carlyle Rd
No.:

CHECK-LIST AGAINST ZONING ORDINANCE

Date - 6-26-89
Zone Location - R-3
Interior or corner lot -
Use - single
Sewage Disposal - city
Rear Yards - 25' + OK
Side Yards - 15.6' 8' req.
Front Yards - 25' 25' req.
Projections - front steps 3' OK
Height - 1 1/2 stories
Lot Area - 97' x 150'
Building Area - OK no more than 25% of lot
Area per Family - single
Width of Lot - 97'
Lot Frontage - 97'
Off-street Parking - OK
Loading Bays - N/A

Zoning -
ns -



CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant David Hilton Date June 19, 1992
 Mailing Address 302 Falmouth Road Falmouth Address of Proposed Site 55 Carlyle Road
single family Site Identifier(s) from Assessors Maps 141-A-17
 Proposed Use of Site _____ Zoning of Proposed Site P-3
 Acreage of Site / Ground Floor Coverage 14,141 sq. ft. / 1516 sq. ft. garage inc. Proposed Number of Floors 2
 Site Location Review (DEP) Required: () Yes () No Total Floor Area 1752 sq. ft.
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Other Comments: _____
 Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED																CONDITIONS SPECIFIED BELOW
APPROVED CONDITIONALLY																
DISAPPROVED																REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

[Signature] 6/22/92
 SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

WARRANTY DEED
Joint Tenancy

96 Carlyle

Know all Men by these Presents,

That I, Richard A. Lord of Brunswick, County of Cumberland and State of Maine

in consideration of one dollar and other valuable considerations

paid by John C. Harmon, William J. Risbara and Rocco C. Risbara, III all of Scarborough, County of Cumberland and State of Maine

whose mailing address is

the receipt whereof I do hereby acknowledge, do hereby give, grant, bargain, sell and convey unto the said John C. Harmon, William J. Risbara and Rocco C. Risbara, III

as joint tenants and not as tenants in common, their heirs and assigns forever,

A certain lot of land situated in Portland, County of Cumberland and State of Maine and bounded and described as follows:

Beginning at an iron on the southwesterly side of Carlyle Road, said iron being the most northeasterly corner of land now or formerly of Arthur Deakin, Jr., said iron being the most northwesterly corner of land of the grantors; thence, South 45° 45' East, by said Carlyle Road, for a distance of 96.9+ feet, to an iron; thence, south 44° 15' West, by the land of the grantors, for a distance of 142.83+ feet, to an iron and the land now or formerly of Stanley R. and Beatrice Hodgkins; thence, North 49° 23' West, for a distance of 97.1+ feet, to an iron and the land now or formerly of said Deakin; thence, North 44° 15' East, for a distance of 149.05+ feet, to said Carlyle Road, the point of beginning. Said lot contains 13,200 square feet, more or less.

Meaning and intending to convey lot 219 and part of lot 218, as shown on plan of Woodford's Park, recorded in Cumberland County Registry of Deeds, Planbook 14, Page 32.

RECEIVED

JUN 19 1989

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

PROPERTY ADDRESS

Town Or Plantation: 96 Carlyle St

Street Subdivision Lot #: Northwell ME

PROPERTY OWNERS NAME

Last: Allen First: Jay

Applicant Name: Jay Allen

Mailing Address of Owner/Applicant (If Different): 57 Old Woodford St, Apt 6, Lewiston, ME 04203

PORTLAND 3686 TOWN COPY

Date Permitted: 11/11/89 FEE: \$1318.00

Local Plumbing Inspector Signature: [Signature] L.P.L. # 11213

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: Jay Allen Date: 11-11-89

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: [Signature] Date Approved: NOV 29 1989

PERMIT INFORMATION

This Application Is for: NEW PLUMBING

Type Of Structure To Be Served: SINGLE FAMILY DWELLING

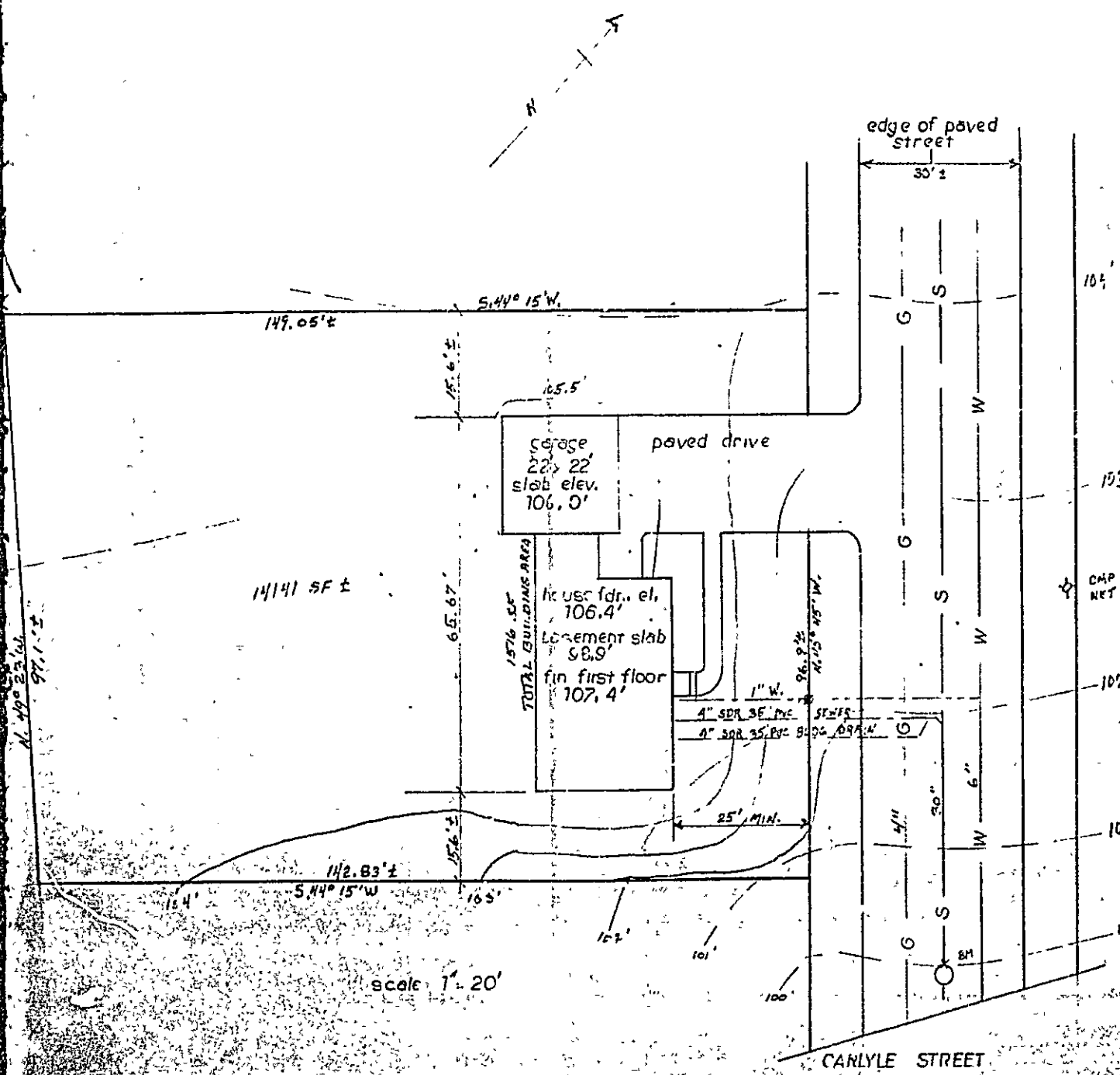
Plumbing To Be Installed By: MASTER PLUMBER

LICENSE # 02572

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture	
OR HOOK-UP: to an existing subsurface wastewater disposal system	2	Hosebibb / Sillcock	2	Bathtub (and Shower)	
	0	Floor Drain	0	Shower (Separate)	
	0	Urinal	1	Sink	
	0	Drinking Fountain	3	Wash Basin	
	0	Indirect Waste	3	Water Closet (Toilet)	
	0	Water Treatment Softener, Filter, etc.	1	Clothes Washer	
	PIPING RELOCATION, of sanitary lines, drains, and piping without new fixtures	0	Grease/Oil Separator	1	Dish Washer
		0	Dental Cuspidor	1	Garbage Disposal
		0	Bidet	0	Laundry Tub
	Number of Hook Ups & Relocations	0	Other:	0	Water Heater
Hook-Up & Relocation Fee	2	Fixtures (Subtotal) Column 2	12	Fixtures (Subtotal) Column 1	
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE			2	Fixtures (Subtotal) Column 2	
			14	Total Fixtures	
			\$17	Fixture Fee	
			\$	Hook-Up & Relocation Fee	
			\$38	Permit Fee (Total)	

TOWN COPY

96 Carlyle



NOTE:
 Bench mark is sewer rim on uphill side, base elevation 100.0'
 Power, telephone, cable to be installed overhead

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 DEPT. OF BUILDING INSPECT
 CITY OF PORTLAND

Sewer connection to be by the public works dept

scale 1" = 20'

LEDGEWATER CONSTRUCTION, INC
 223 WOODVILLE ROAD - FALMOUTH, MAINE
 ARNOLD RESIDENCE
 96 CARLYLE ROAD PORTLAND MAINE

SITE PLAN
 SCALE AS SHOWN
 DRAWN BY JWH
 SHEET #1

DEKINS

96 Carlyle

OLD MEANDERING WIRE FENCE I.P. FOUND

97.10' ±

13,200 SQ FT M/L

149.05' ±
344° 15' W

LAND N/F OF
ARTHUR DEAKIN, JR

RECEIVED
JUN 19 1989

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

LOT
219

REFERENCE IS MADE TO:
WOODFORD'S PARK
REC. C.C.R.D. P614 Pg 32

NOTE - VARIATIONS IN BACK IRONS SHOWN
MAY BE DUE TO MEANDERING OLD
WIRE FENCE AND ABOVE PLAN.

96.9' ±

N 45° 45' W I.P. FOUND

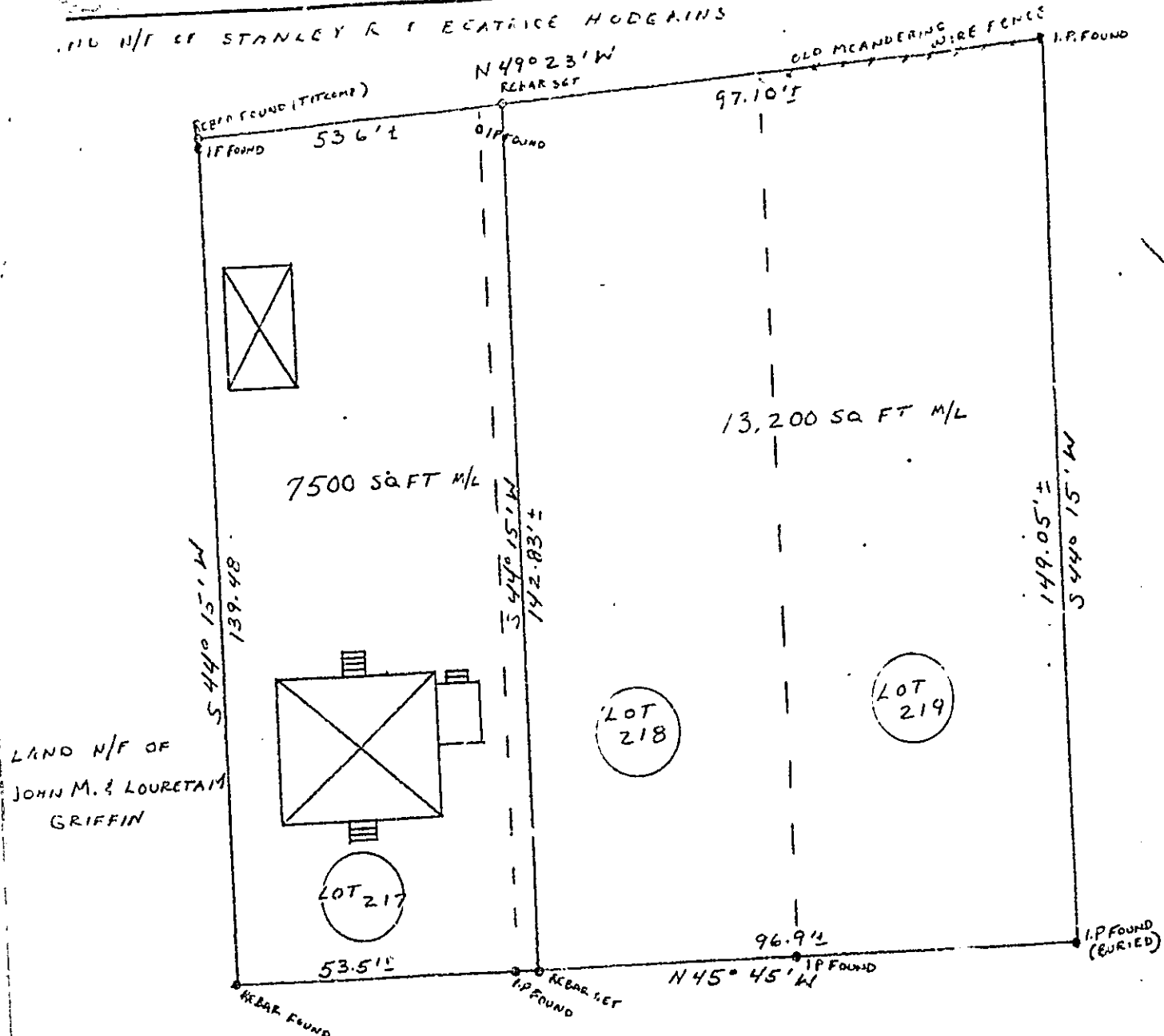


ROAD

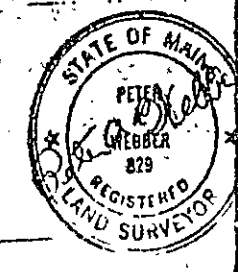
LAND OF
RICHARD A. LORD

SCALE:		DRAWN BY PAW
DATE: 6-27-87	FLORENCE E. LIBBY ESTATE	REVISED
90 CARLYLE ROAD PORTLAND, MAINE		
PETER A. WEBBER R.L.S. 0829		19870627A

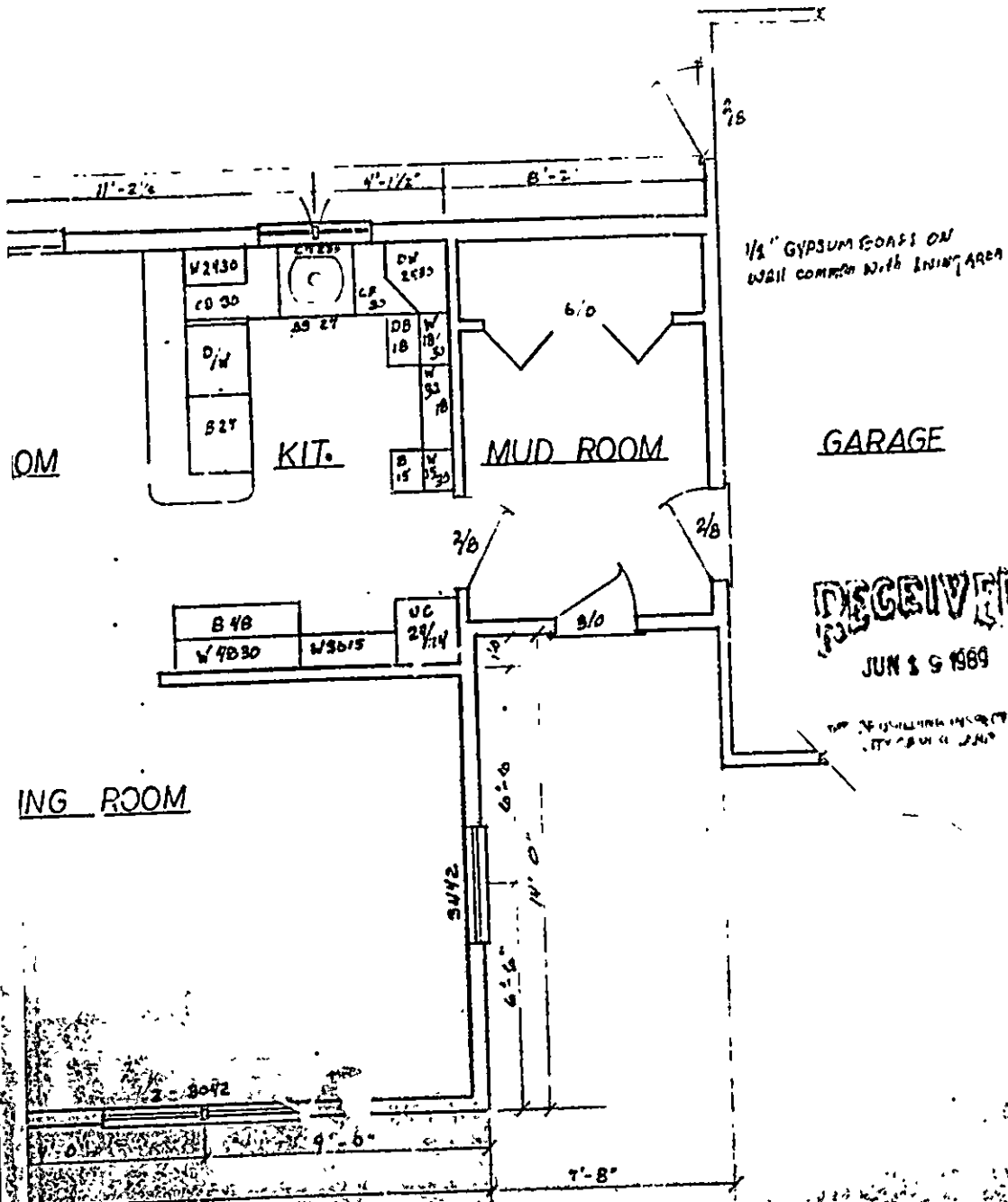
1/16 N/F of STANLEY R & BEATRICE HODGAINS



CARLYLE ROAD



96 Carlyle



1/2" GYPSUM BOARD ON WALL COMMON WITH INING AREA

RECEIVED
JUN 8 9 1969

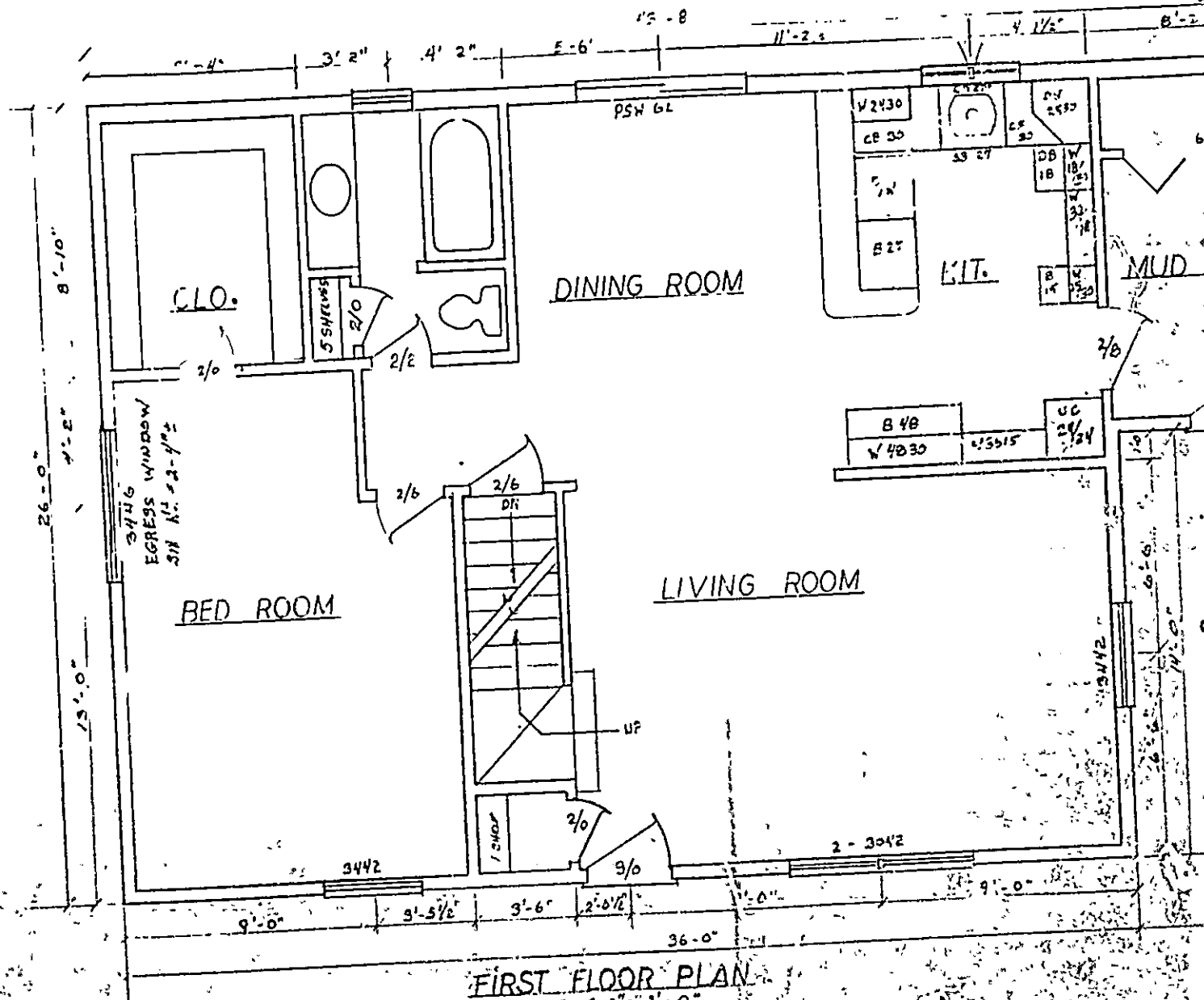
FOR BUILDING INSPECTIONS
CITY OF PORTLAND



DATE	BY	CHECKED
SHEET		

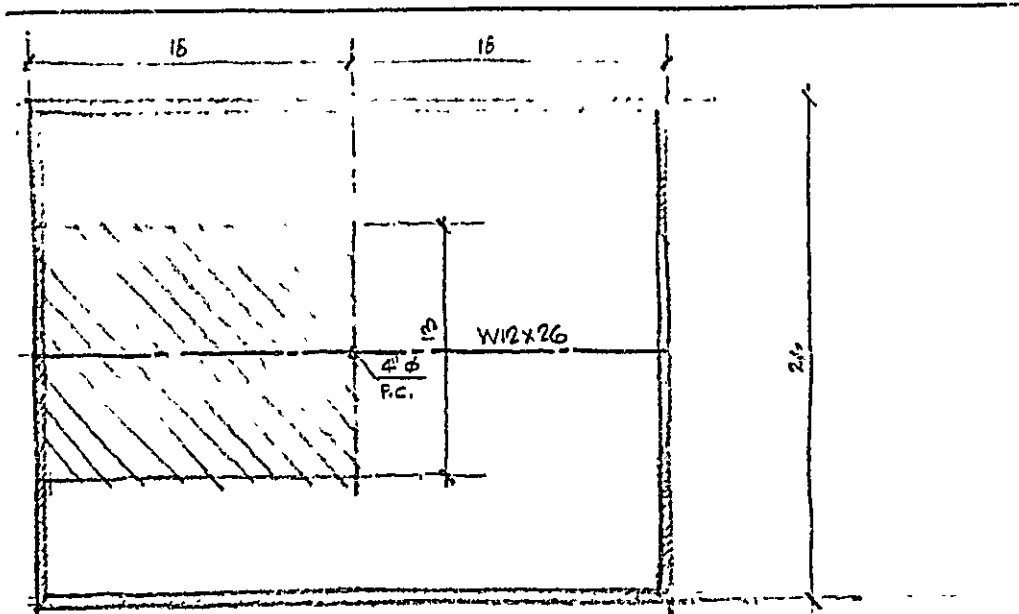
LEDGEWATER CONSTRUCTION, INC. FIRST FLOOR PLAN
 327 HADLOCK ROAD - PORTLAND, MAINE
 SCALE 1/4" = 1'-0"
 DRAWN BY: DNN CJC/6
 SHEET 2

96 CARLYLE ROAD PORTLAND MAINE



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

EDGEWATER CONSTR
205 HONOLULU ROAD - WA
ARNOLD RESIDENCE
96 CARLYLE ROAD PORT

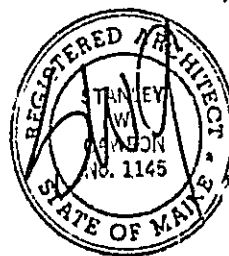



AREA OF FLOOR
 FIRST 13x18 x 50 = 11700 # T.L.

SECOND 13x18 x 40 = 9360 # T.L.

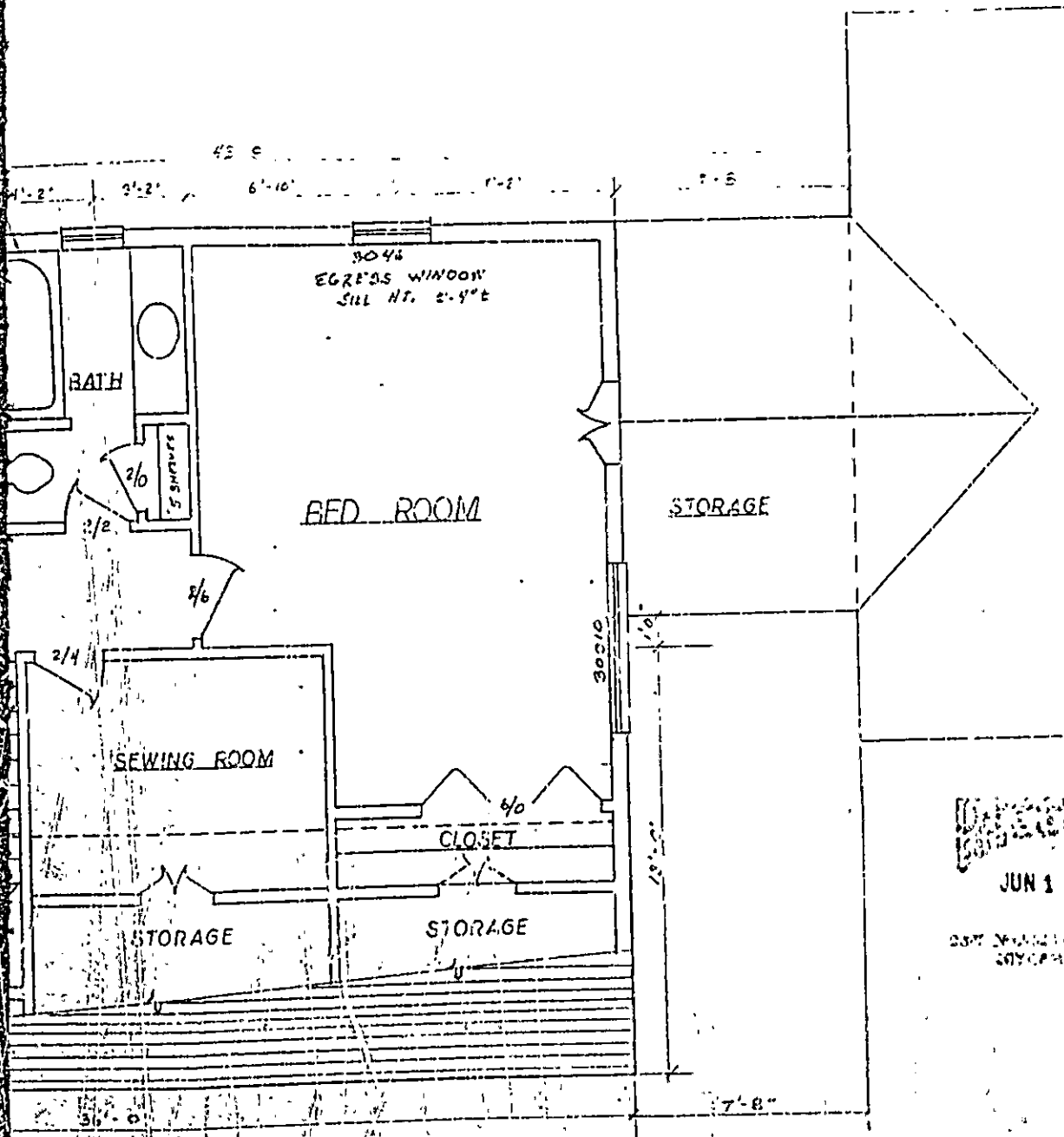
ROOF 13x18 x 50 = 11700 # T.L.

32760 # TOTAL 18'-0" SPAN



GAWRON ASSOCIATES Architecture Interior Design Landscape Architecture  153 U.S. Route One, P.O. Box 1374 Scarborough, Maine 04074 207-883-6307 FAX 207-883-0361	DAVE HILTON ARNOLD RESIDENCE		SHEET 1-A
	TITLE FLOOR BEAM		
	JOB NO —	SCALE 1/8"	
	DATE 1/10/89	DRAWN SC	

96 Carlyle



LEDGEWATER CONSTRUCTION INC.

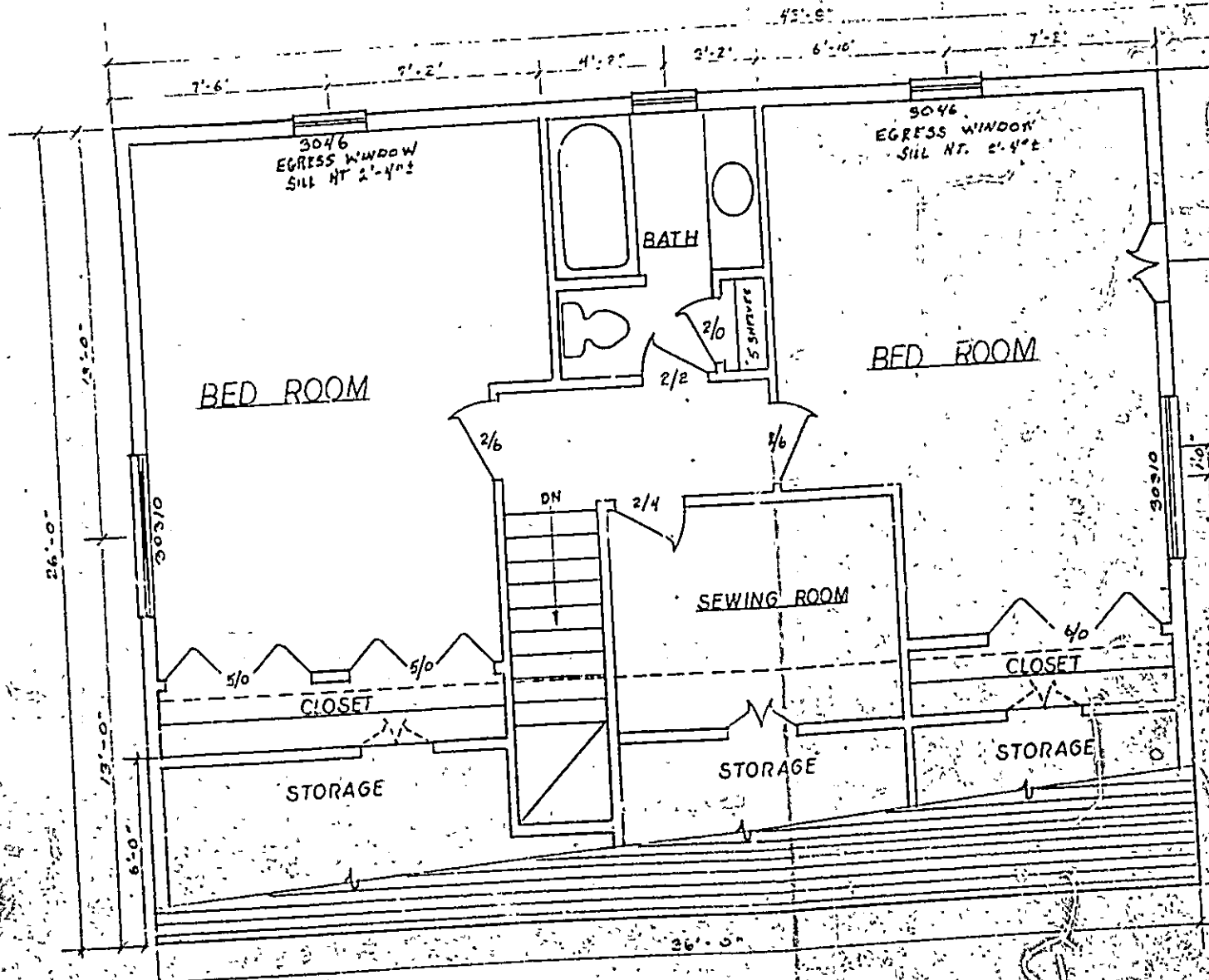
JUN 19 1989

207 WOODVILLE ROAD
PORTLAND, MAINE

LEDGEWATER CONSTRUCTION INC.
223 WOODVILLE ROAD - FALMOUTH, MAINE
ARNOLD RESIDENCE
96 CARLYLE ROAD - PORTLAND, MAINE

SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"
DRAWN BY L.M. GUYER
SHEET 3

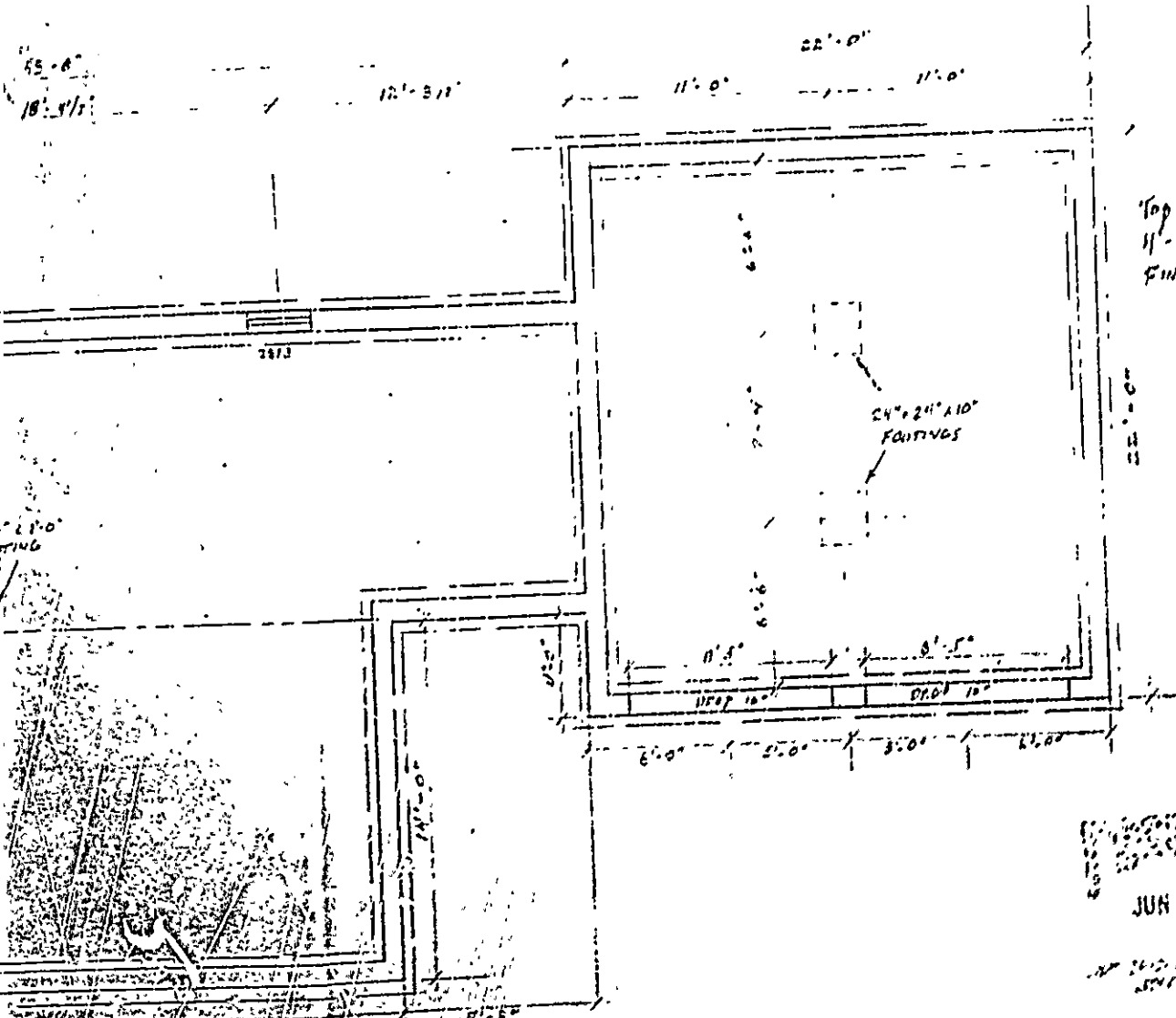
SHEET 3



LEDGWATER, COS
 223 WOODVILLE ROAD
 ARNOLD (RESIDENT)
 96 CARLYLE ROAD

96 CARLYLE ROAD PORT

96 Carlyle

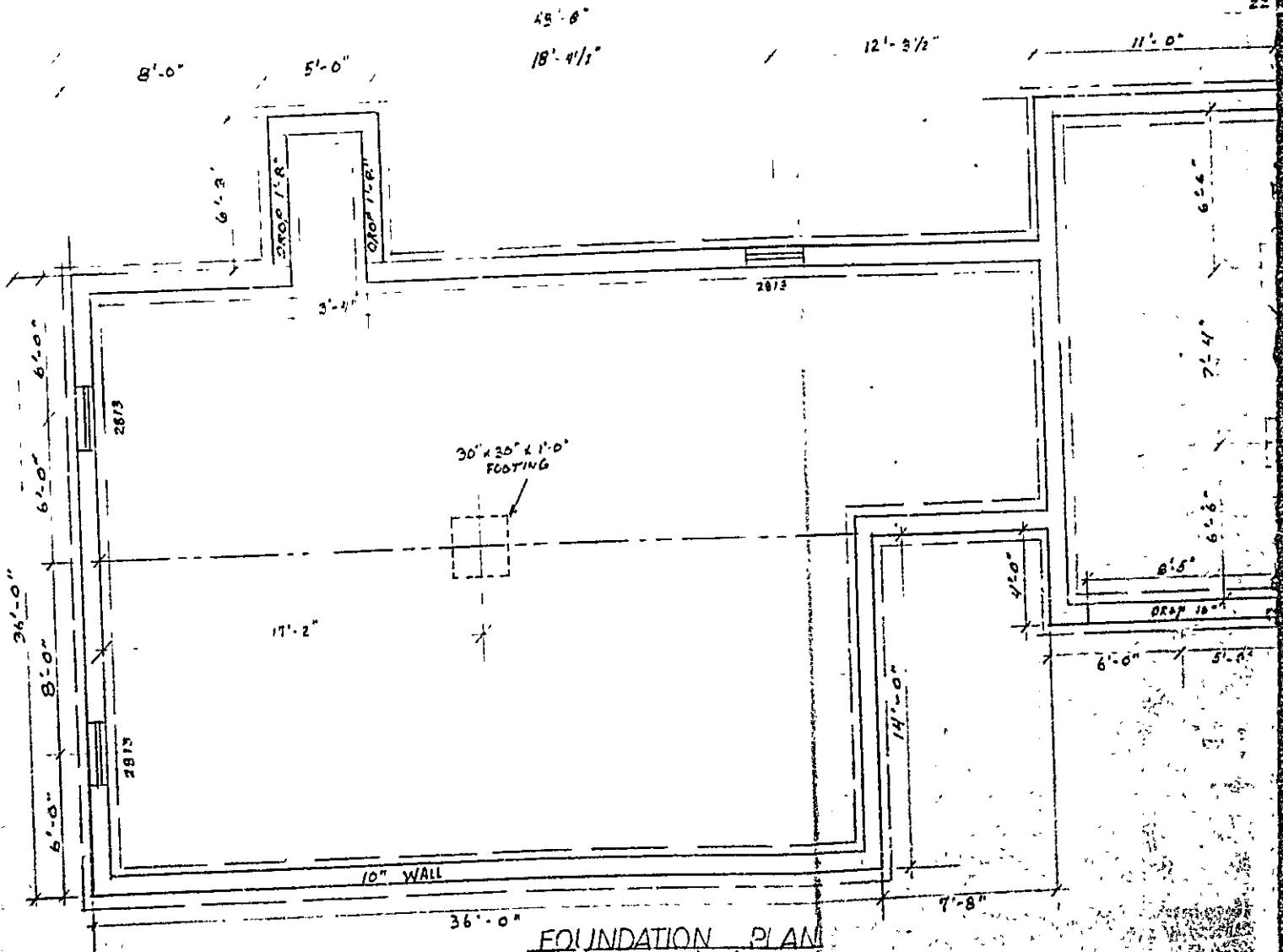


Top of Garage Fty
11'-0" min. Below
Fin. Grade

JUN 19 1963

FOUNDATION PLAN
SCALE 1/16" = 1'-0"

LEDGEWATER CONSTRUCTION INC 227 WASHINGTON ST - PORTLAND, MAINE	FOUNDATION PLAN SCALE 1/16" = 1'-0"
ARTHUR H. HARRIS 96 CARLYLE ROAD PORTLAND, MAINE	DESIGNED BY ARTHUR H. HARRIS
70 CARLYLE - SPAU - PORTLAND, MAINE	SHEET 3



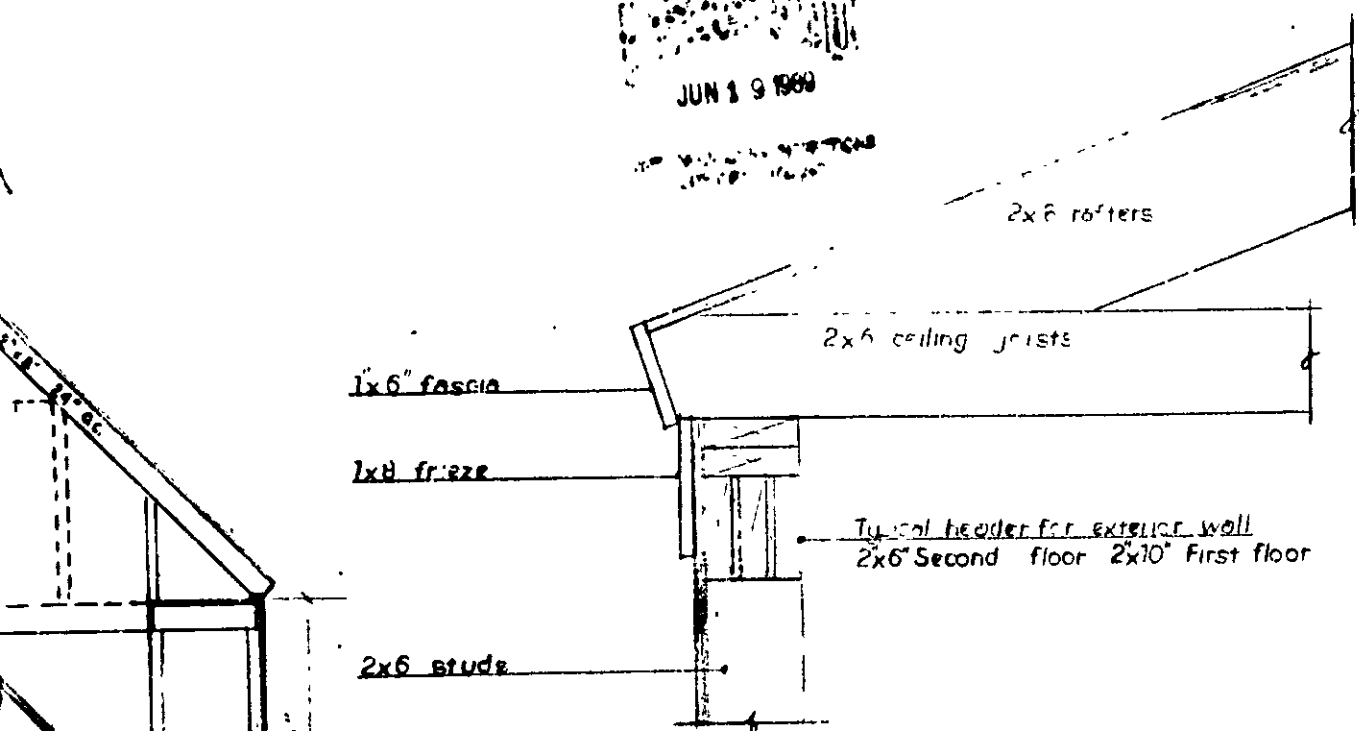
FOUNDATION PLAN
 SCALE 3/16" = 1'-0"

LEDGEWATER CONS
 223 WOODVILLE ROAD - FA
 ARNOLD RESIDEN
 96 CARLYLE ROAD PD

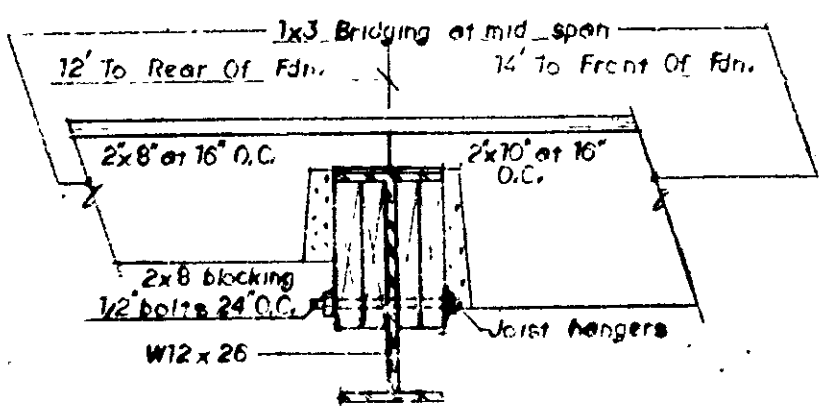
96 Carlyle

JUN 8 9 1969

THE VILLAGE SYSTEMS
INCORPORATED



DETAIL # 2
Scale 1-1/2" = 1'-0"



DETAIL # 1 scale 1-1/2" 1'-0"

LEDGEMASTER CONSTRUCTION, INC. 223 WOODVILLE ROAD - FALMOUTH, MAINE	DETAILS and SECTION Scale as noted
RESIDENCE 96 CARLYLE ROAD PORTLAND MAINE	Dir. 501 1111 1971 SHEET 4

235 Asphalt Shingles

See Detail # 2

Typical Bed Room Window Opp.

Pre Finished Siding

1/2 CDX Plywood

2x6" Studs 24" C.C.

2x6" Or 4x6" Sill

10" Conc Wall

10"x20" Flooring

3.84' 12'

2"x8" 24" o.c.

1 1/2"x8" 24" o.c.

2"x6" 24" o.c.

2"x6" 24" o.c.

1x6" fascia

1x8" frieze

2x6" studs

13 Risers at 8"
12 Treads at 10.5"

12 Risers at 8.5"
11 Treads at 10.5"

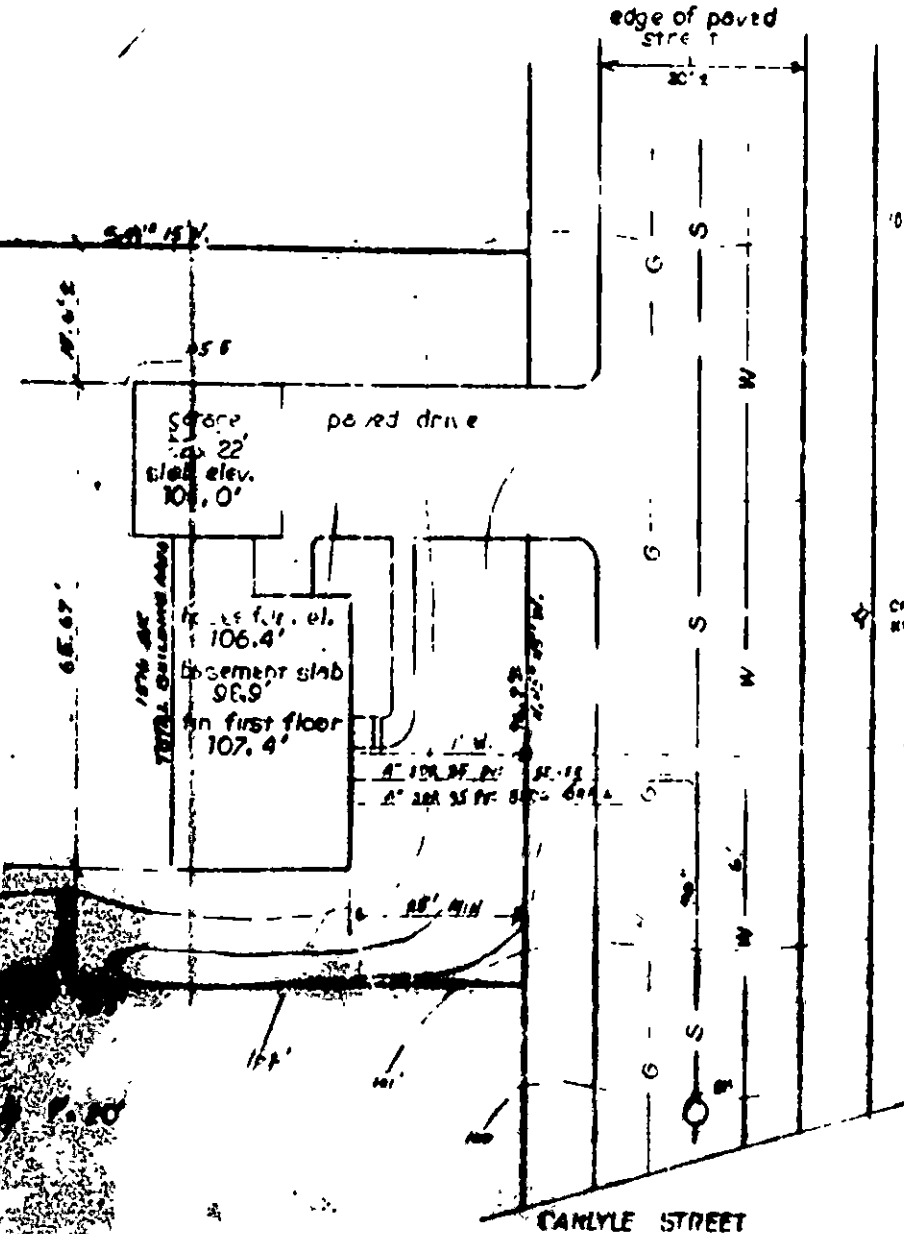
See Detail # 1

4" Pipe column

SECTION
SCALE 1/4" = 1'-0"

LEDGEWATER CO
223 WOODVILLE RD
ARNOOLD RES
96 CARLYLE ROAD

96 Carlyle



NOTE.
 Bench mark is sewer manhole
 rim on uphill side as med
 elevation 100.0'

Power, telephone, cable tv,
 to be installed overhead

RECEIVED
 JUN 19 1909

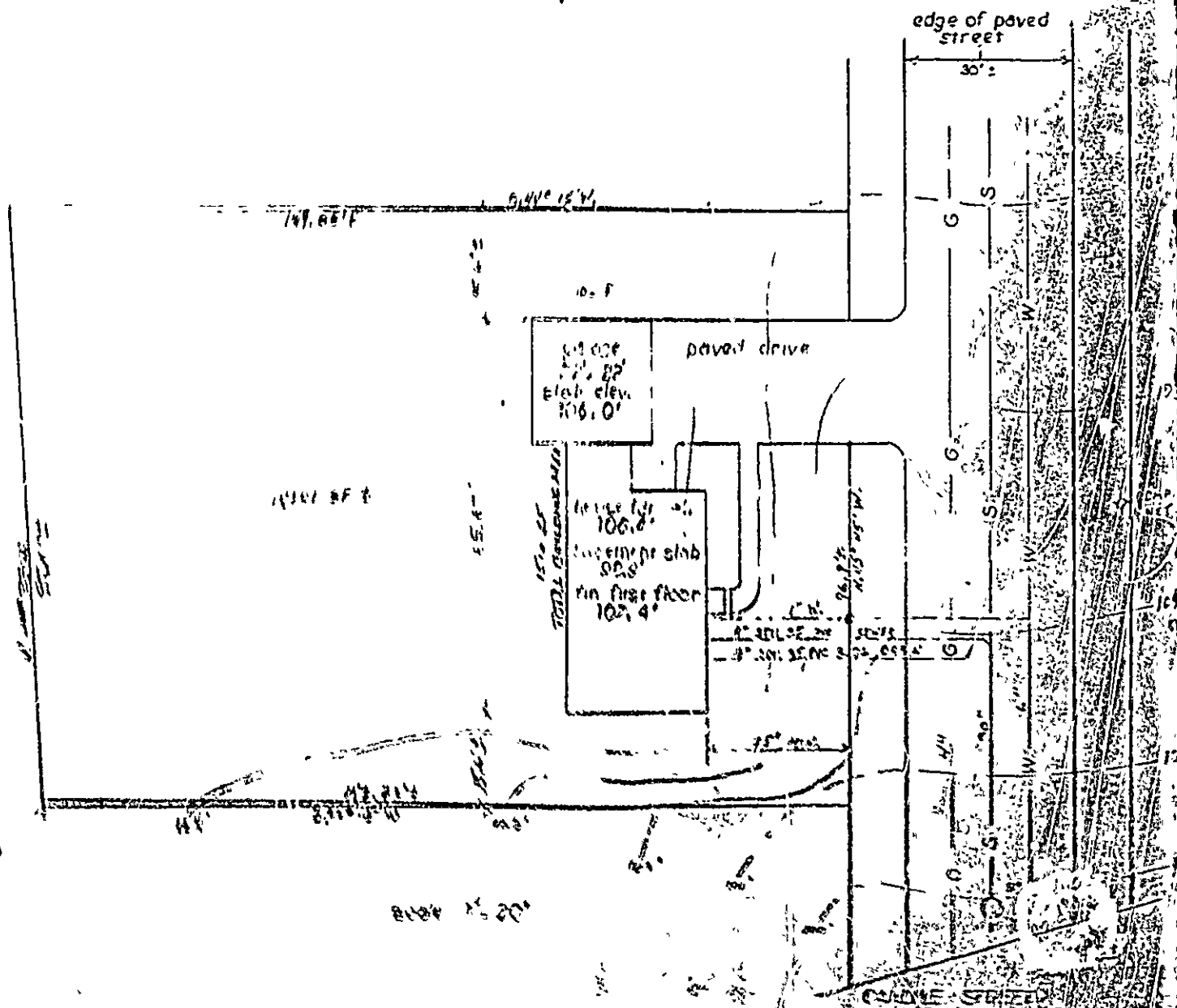
DEPT OF BUILDING INSPECTIONS
 CITY OF PORTLAND

CMP
 REF. 18

Sewer connection to be approved
 by the public works department

96 Carlyle

LEDGEWATER CONSTRUCTION, INC. SITE PLAN
 223 W. ...
 ARNOLD RESIDENCE
 96 CARLYLE ROAD PORTLAND MAINE SHEET #1
 BMM 6/18/09



LEDGEMER CONSTRUCTION
 BLDG.

ARNOLD RESIDENCE
 24 CEDAR ROAD FRENCH LAKE

96 1/2

OLD MEANDERING WIRE FENCE

97.10'±

1 P. FOUND

LAND N/F OF
ARTHUR DEAKIN, JR

13,200 SQ FT M/L

M. 51 0445
149.05'±

RECEIVED

JUN 19 1989

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

LOT
219

REFERENCE IS MADE TO:
WOODFORD'S PARK
REC. C.R.D. PB 14 Pg 32

96.9'

45'± FOUND

1 P. FOUND
(BURIED)

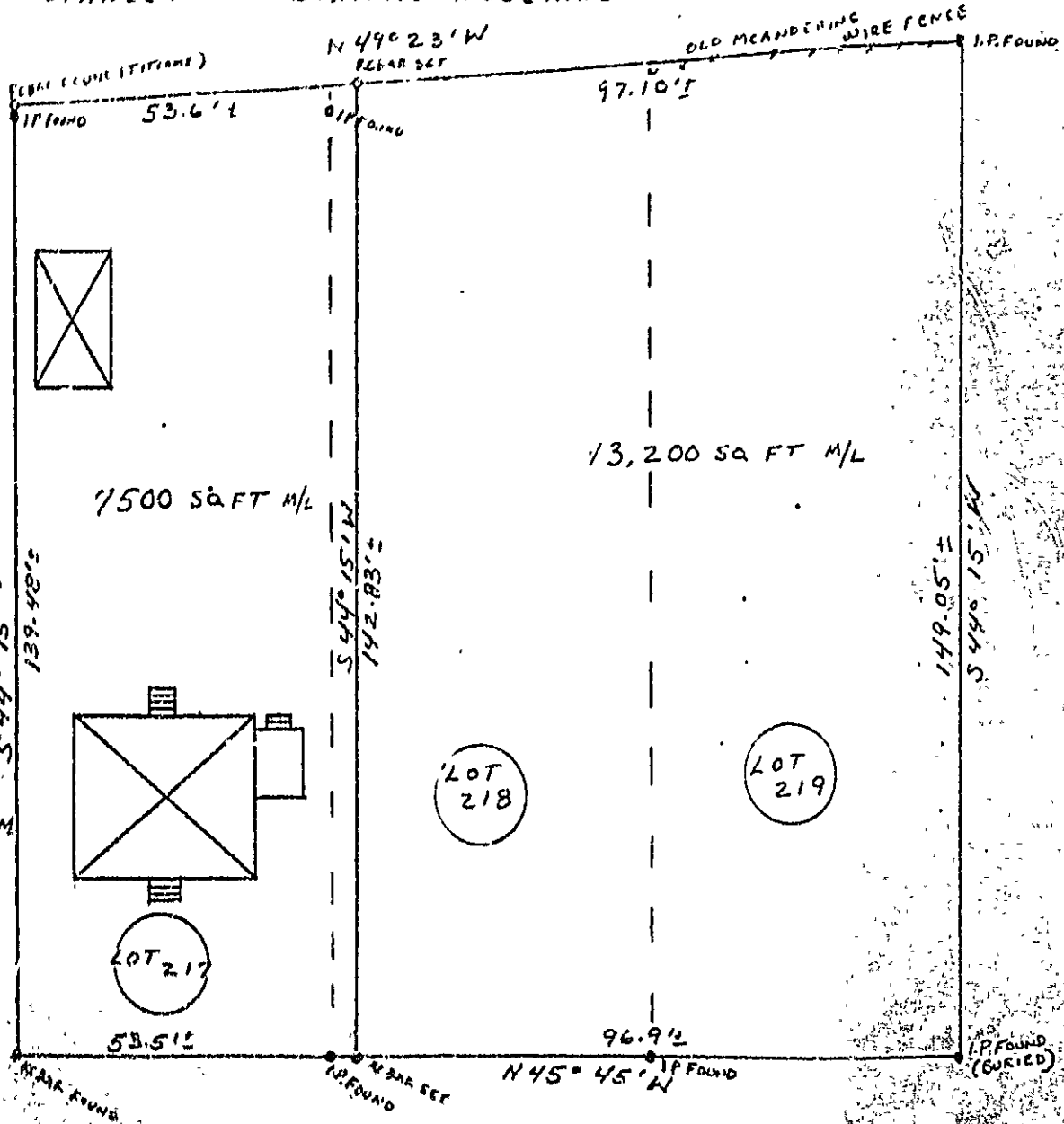
NOTE - VARIATIONS IN BACK IRONS SHOWN
MAY BE DUE TO MEANDERING OLD
WIRE FENCE AND ABOVE PLAN.



LAND OF
RICHARD A. LORD

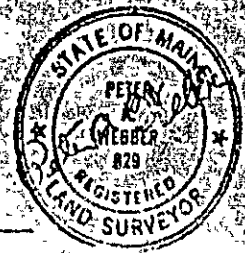
SCALE:	AS SHOWN	DRAWN BY PAW
DATE: 6-27-87	FLORENCE E. LIBBY ESTATE	REVISED
90 CARLYLE ROAD PORTLAND MAINE		
PETER A. WEBBER R.L.S. 0529		19890625A

1/2 OF STANLEY R. & BEATRICE HODGKINS



LAND N/F OF
JOHN M. & LOURETA M.
GRIFFIN

CARLYLE ROAD



SCALE
DATE



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date August 18, 19 89
 Receipt and Permit number 00696

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 96 Carlyle Road
 OWNER'S NAME: Dave Hilton ADDRESS: Middle Road Falmouth

	FEES
OUTLETS:	
Receptacles <u>34</u> Switches <u>20</u> Plugmold _____ ft. TOTAL <u>54</u>	5.00
FIXTURES: (number of)	
Incandescent <u>17</u> Fluorescent _____ (not strip) TOTAL <u>17</u>	3.70
Strip Fluorescent _____ ft.	
SERVICES:	
Overhead <input checked="" type="checkbox"/> Underground _____ Temporary <input checked="" type="checkbox"/> TOTAL amperes <u>100</u> ..	3.00
METERS: (number of) <u>1</u>50
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) <u>0</u>	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ <u>1</u> Water Heaters _____	
Cook Tops _____ Disposals _____ <u>1</u>	
Wall Ovens _____ Dishwashers _____ <u>1</u>	
Dryers _____ <u>1</u> Compactors _____	
Fans _____ <u>1</u> Others (denote) _____	
TOTAL, <u>5</u>	7.50
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
FOR ADDITIONAL WORK NOT OF ORIGINAL PERMIT	INSTALLATION FEE DUE:
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	DOUBLE FEE DUE:
	TOTAL AMOUNT DUE:
	<u>10.20</u>

INSPECTION: Temp Service Ready 22.70

Will be ready on _____, 19__; or Will Call For balance of work

CONTRACTOR'S NAME: Robert E. Young

ADDRESS: 49 Old Neck Road, Scarborough, Maine 04074

TEL.: 797-0593

MASTER LICENSE NO.: 02746 SIGNATURE OF CONTRACTOR: Robert E. Young

LIMITED LICENSE NO.: _____

