

5-11

LOT 10 PVA ROAD

SHAW-WILKER

#9203 JR.

Memorandum from Department of Building Inspection, Portland, Maine

October 9, 1958

9 Pyn Road

Louis Levey  
9 Pyn Road  
Albert S. Martin  
R.F.D. #4  
Portland, Maine

Building permit to construct 15' dormer on rear of dwelling at the above location is issued herewith but subject to the condition that pitch of roof of new dormer is to be over 4" per foot since beam support of dormer rafters at the ridge is not to be provided.

Very truly yours,

Theodore T. Rand  
Deputy Inspector of Buildings

TTR/jg

October 7, 1958

AP-9 Pys Road

Louis Levy  
9 Pys Road  
Albert S. Martin  
R.F.D. #4  
Portland, Maine

Gentlemen:

Sketch furnished with application for a building permit to construct 15' dormer on rear of dwelling at the above location fails to indicate how roof rafters of proposed dormer are to be supported at the ridge. Since pitch of new dormer roof is to be rather flat, arch action cannot be depended upon for support of the ends of these rafters and some system of partition's and/or posts and beams will be required.

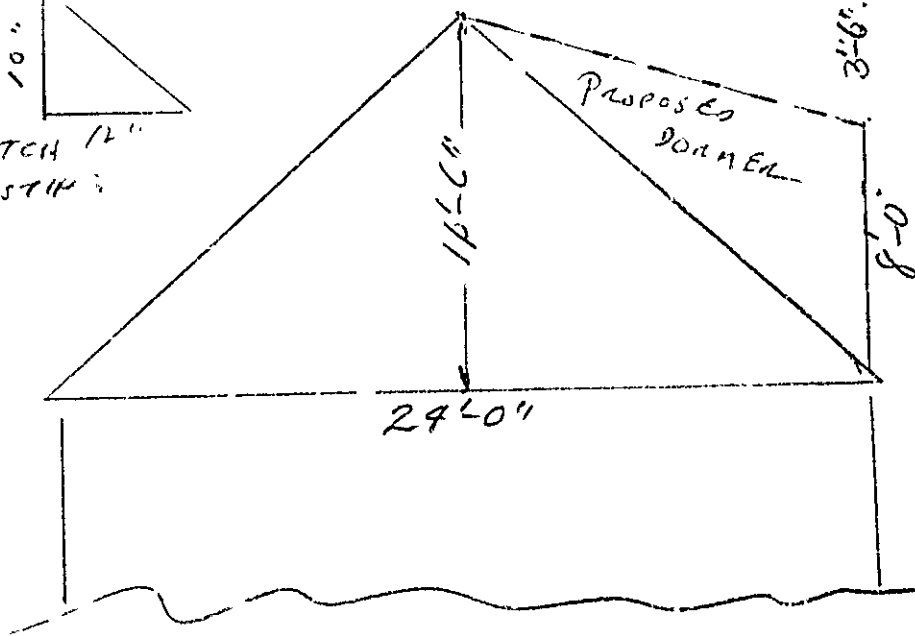
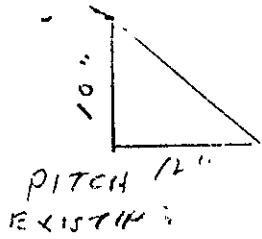
Indication should also be made that rafters are to be doubled under side walls of proposed dormer.

We shall be unable to continue checking the application until the above information is furnished.

Very truly yours,

Theodore T. Rand  
Deputy Inspector of Buildings

TTR/JB



PROPOSED DORMER  
 $\frac{1}{3}$ -PITCH

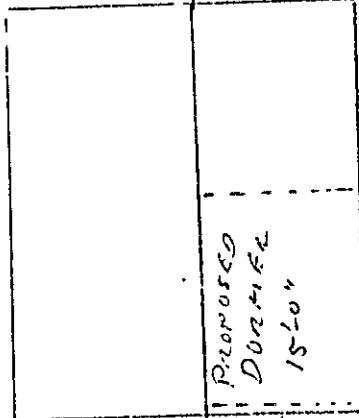
4X4 CORNER POSTS  
 2X4 STUDDING 16" ON CTR.  
 2X8 RAFTERS TO LINE  
 WITH EXISTING RAFTERS  
 MATCHED BOARDING  
 15# FELT  
 DOUBLE THICK BUTT  
 ASPHALT ROOF  
 SHINGLES

CEDAR SHINGLES -  
 SIDE-WALLS  
 FLASHED AGAINST  
 EXISTING ROOF  
 25'-0"

ROOF SIZE  
 13'-0" X 15'-0"

9-PYA ROAD

LOUIS LEVELY



EXISTING RAFTERS  
 2X8 24" ON CTR.



RESIDENCE ZONE R5 RESIDENCE ZONE

### APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class  
Portland, Maine, Oct. 6, 1958

PERMIT ISSUED

OCT 9 1958 01424

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 9 Eya Road Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's name and address Louis Lovey, 9 Eya Road Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Albert S. Martin, RFD #4 Portland Telephone 2-1528  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
 Proposed use of building Dwelling No. families 1  
 Last use \_\_\_\_\_ No. families 1  
 Material frame No. stories 1 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_ Fee \$ 2.00  
 Estimated cost \$ 500.00

#### General Description of New Work

To construct 15' dormer on rear of dwelling.  
10' to side line.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

#### Details of New Work

Is plumbing involved in this work? no Is any electrical work involved in this work? no  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof shed Rise per foot 3" Roof covering Asphalt Class C Und. Lat.  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x4 Sills \_\_\_\_\_  
 Size Girder \_\_\_\_\_ Column under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Kind and thickness of outside sheathing of exterior walls? \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 3 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x8  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 21"  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 13'  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

#### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

With Memo 10-9-58 TTR

#### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
 Louis Lovey  
 Albert S. Martin

INSPECTION COPY

Signature of owner

by:

Albert S. Martin

NOTES

10/16/55 work started  
Allan

10/24/55 - Summer all framed  
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Permit No.	53/1434
Location	10/24/55 - Summer all framed out - Allan
Owner	10/24/55 - Summer all framed out - Allan
Date of permit	10/24/55
Notif. closing-in	10/24/55
Inspr. closing-in	10/24/55
Final Notif.	10/24/55
Final Inspr.	10/24/55
Cert of Occupancy issued	10/24/55
Staking Out Notice	10/24/55
Form Check Notice	10/24/55

10/24/55

10/24/55 - Summer all framed out - Allan

10/24/55



# APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, October 20, 1952

PERMIT ISSUED  
6193

OCT 23 1952

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~and~~ ~~construct~~ ~~the~~ following building: ~~to~~ ~~be~~ ~~erected~~ ~~on~~ ~~the~~ ~~lot~~ ~~at~~ ~~the~~ ~~corner~~ ~~of~~ ~~the~~ ~~intersection~~ ~~of~~ ~~the~~ ~~streets~~ ~~of~~ ~~the~~ ~~City~~ ~~of~~ ~~Portland,~~ ~~Maine,~~ ~~and~~ ~~in~~ ~~accordance~~ ~~with~~ ~~the~~ ~~Laws~~ ~~of~~ ~~the~~ ~~State~~ ~~of~~ ~~Maine,~~ ~~the~~ ~~Building~~ ~~Code~~ ~~and~~ ~~Zoning~~ ~~Ordinance~~ ~~of~~ ~~the~~ ~~City~~ ~~of~~ ~~Portland,~~ ~~plans~~ ~~and~~ ~~specifications,~~ ~~if~~ ~~any,~~ ~~submitted~~ ~~herewith~~ ~~and~~ ~~the~~ ~~following~~ ~~specifications:~~

Location LOT 10 Pysa Road Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's name and address Louis Levey, 10 Pysa Road Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address William Silverman, 148 Noyes Street Telephone 3-7064  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans na No. of sheets \_\_\_\_\_  
 Proposed use of building dwelling and garage No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ " " \_\_\_\_\_ No. families \_\_\_\_\_  
 Material wood No. stories 1 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 100. Fee \$ .50

### General Description of New Work

To enclose existing open breezeway 7' x 5' between house and garage. The inside of the garage will be covered; where required by law, with sheets of combined asbestos and cement not less than 3/8" in thickness with all joints filled with cement mortar. Door between breezeway and garage will be a door made as in Section 303c4 of the building.

*Inspector: This job should receive early and frequent attention. 10/23/52*

Permit issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO William Silverman**

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

*with letter by AJS*

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Louis Levey

Signature of owner by: *William Silverman*

INSPECTION COPY

NOTES

10/30/52 - ...  
Silverman about how close  
and how to apply asbestos.

11/5/52 - Silverman has left  
- too in breezeway, merely  
closing it off with 3 asbestos  
board. Did not study  
opening.

11/10 asbestos has  
been applied in door  
of breezeway from auto garage.

11/7/52 - Better view

11/9/52 - Asbestos applied - one stud to  
be provided in door opening. Mr. Silverman  
said he would take care of it. E. S. B.

11/20/52 - ...  
Mr. Silverman E. S. B.

11/20

Permit No. 52/1910  
 Location 10 Guy Street  
 Owner Davis & Company  
 Date of permit 10/23/52  
 Notif. closing-in  
 Inspn closing-in  
 Final Notif.  
 Final Inspn. 11/20/52  
 Cert. of Occupancy issued



EP 10 Pya Road

November 7, 1952

Mr. William Silverman  
118 Hayes Street  
Mr. Louis Levey  
10 Pya Road  
Portland, Maine

Location - 10 Pya Road

Owner - Louis Levey

Job - Alterations

Gentlemen:-

Upon inspection of the above job on November 5, 1952, our inspector reports the following omissions or defects:

The doorway which formerly opened into garage is required to be "studded up" to conform with wall of garage.

The fire protection on wall of garage does not extend upwards far enough to form complete cutoff required by Building Code.

It is important that correction of these conditions be made before November 19, 1952, and notify this office of readiness for another inspection.

If additional information relative to the above is desired, please phone Inspector Earle S. Smith at 4-1431, extension 234, any week day but Saturday between 8:30 and 9 A. M.

Very truly yours,

Warren McDonald  
Inspector of Buildings

---

Inspector

ESS/G

AP 10 Pys Road

October 23, 1952

Mr. William Silverman,  
148 Noyes Street

Mr. Louis Lovey,  
10 Pys Road  
Portland, Maine

Gentlemen:

Building permit for enclosure of the existing breezeway between the garage and the dwelling on Lot 10 Pys Road is issued herewith subject to the conditions listed below. If for any reason you are unable or unwilling to provide the construction indicated, no work is to be started and the permit is to be returned to this office for adjustment. Conditions under which the permit is issued are as follows:

1. If the asbestos lumber to be applied to the garage side of the wall adjoining the breezeway cannot be procured in the three-eighths of an inch thickness, two layers of the same material at least three-sixteenths of an inch in thickness, one on top of the other with the joints staggered, may be used. All joints are to be filled with cement mortar. This material is required to extend from the bottom of the sill to the underside of the boarding of the breezeway roof and not to stop at the garage roof.

2. The frame for the fire door in the opening in the garage wall is required to be covered completely with metal. The door itself, unless it is one bearing the Class "C" label of Underwriters Laboratories, Inc. or of Factory Mutuals Laboratories, is required to be covered completely with metal, with all joints locked and covering all nailing, the total thickness of the door to be not less than one and three-eighths inches. It is also required to have a suitable device attached to it to keep it closed except when one is passing through the opening.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WJS/H



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Dec 31, 1951

PERMIT ISSUED 00019 JAN 4 1952 CITY OF PORTLAND

To the INSPECTOR

The undersigned hereby apply to install the following heating, cooking or power equipment in accordance with the Law of the City of Portland, and the following specifications:

Location: 1st St. Building: Dwelling No. Stories: 2 New Building Existing: Existing
Name and address of owner: ...
Installer's name and address: ... telephone: 92671

General Description of Work
To install Forced Hot Water Boiler & burner

IF HEATER, OR POWER BOILER

Location of appliance or source of heat: Basement Type of floor beneath appliance: Concrete
If wood, how protected? Kind of fuel: Oil
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace: 3 ft
From top of smoke pipe: 2 ft From front of appliance: 2 ft From sides or back of appliance: 5-10 ft
Size of chimney flue: 8 x 10 Other connections to same flue: No
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner: Fluidheat Pressure Labeled by, underwriters' laboratories? Yes
Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? Bottom
Type of floor beneath burner: Concrete
Location of oil storage: Basement Number and capacity of tanks: 1 - 275
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? Yes How many tanks fire proofed?
Total capacity of any existing storage tanks for furnace burners: 275

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

RECEIVED JAN 2 1952 DEPT. OF BLD'G. INSP. CITY OF PORTLAND

Amount of fee enclosed? (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

O.K. E. S. S. 1/3/52

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of Installer

Handwritten signature of installer





APPLICATION FOR PERMIT

Class of Building or Type of Structure ... Structure ...
Portland, Maine, October 19, 1951

PERMIT ISSUED
02414
NOV 24 1951
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect on the following building structure ...
in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and
specifications, if any, submitted herewith and the following specifications:

Location Lot 10 Pys Road Within Fire Limits? yes Dist. No.
Owner's name and address The Minat Corp., 220 Cumberland Avenue Telephone 4-8013
Lessee's name and address Telephone
Contractor's name and address owner Telephone
Architect Specifications Plans yes No. of sheets 1
Proposed use of building No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ Fee \$ 1.00

General Description of New Work

To erect detached sign 4' x 8'. Face to be masonite. 4x4 uprights.

Permit Issued with Letter

Special Provisions exceptionally 11/6/51

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in
the name of the heating contractor. PERMIT TO BE ISSUED TO The Minat Corp.

Details of New Work

Is any plumbing involved in this work Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber--Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

[Signature area for approval]

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to
see that the State and City requirements pertaining thereto are
observed? yes

The Minat Corp.

[Signature]

Signature of owner by

INSPECTION COPY

NOTES

2/28/52 - *initials* *initials*

Lined area for notes, crossed out with a large X.

7/14/52

Permit No. 51/2414  
 Location 26110 Pym Road  
 Owner The Pym Road Corp.  
 Date of permit 11/22/51  
 Notif. closing-in \_\_\_\_\_  
 Inspn. closing-in \_\_\_\_\_  
 Final Notif. \_\_\_\_\_  
 Final Inspn. \_\_\_\_\_  
 Cert. of Occupancy issued \_\_\_\_\_

AP Lot 10 Pya Road-I

7/16/52/PH

November 24, 1951

The Kinat Corporation  
220 Cumberland Avenue  
Portland, Maine

Gentlemen:

Your zoning appeal relating to the erection of an advertising sign at Lot 10 Pya Road having been granted conditionally by the Board of Appeals on November 16, 1951, the permit for the sign is herewith, subject to the following:

The Board of Appeals limited the time which the sign may remain at this location to nine months from the date of granting the appeal which would be August 16, 1952.

The permit is issued subject to removal of the sign before that date.

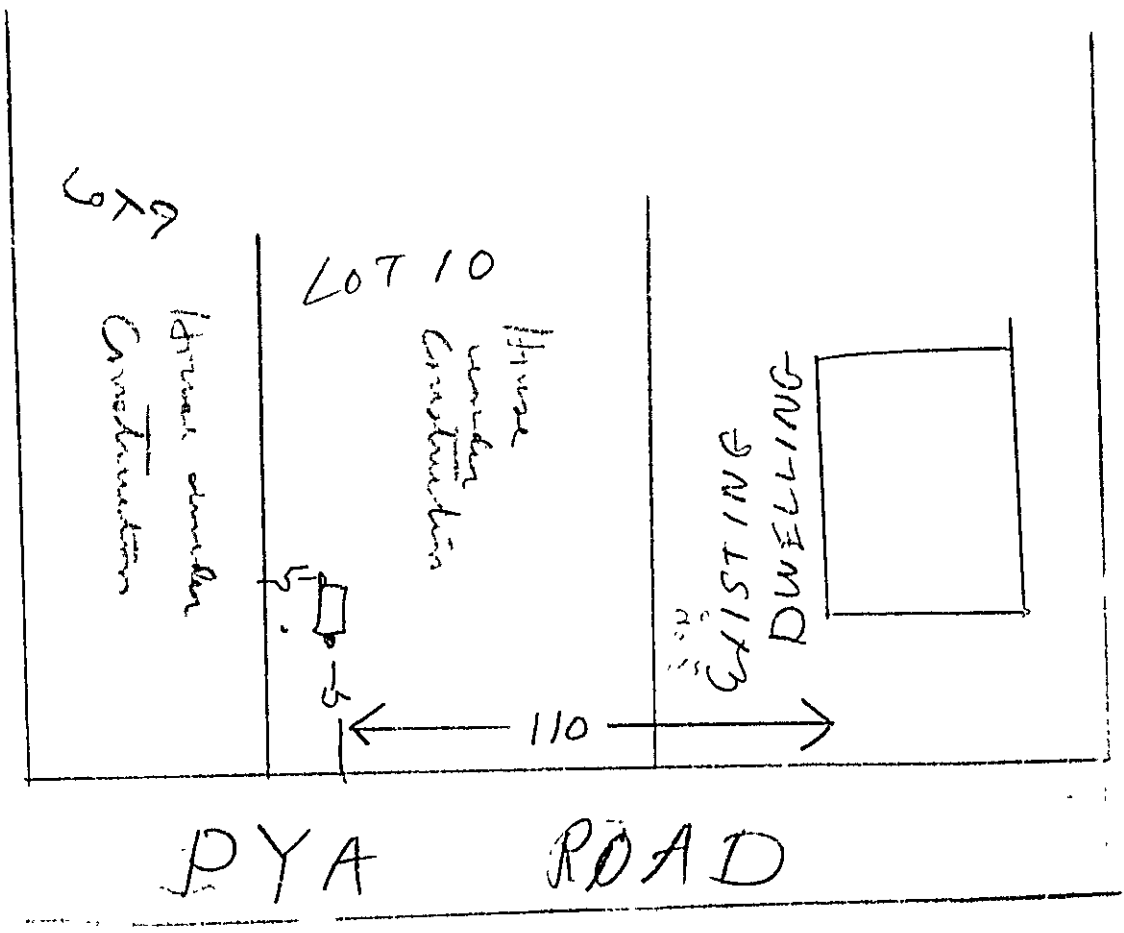
Very truly yours,

Warren McDonald  
Inspector of Buildings

WMCD/G

8/13/52 Sign down  
ESS

1





Att. to  
w/holding  
w/hold

7

AP Lot 10 Pym Road-I

October 22, 1951

The Minat Corporation  
220 Cumberland Avenue  
Portland, Maine

Copy to: Corporation Counsel

Gentlemen:

Building permit intended to authorize erection of a retention sign 4' x 6', presumably to advertise the sale of the dwelling under construction and the lot at Lot 10 Pym Road, is not issuable under the Zoning Ordinance because any sign for such purpose larger than eight square feet in area (this sign is proposed 24 square feet in area) is a non-conforming use in the residential zone where the property is located, according to Section 15A7 of the Zoning Ordinance, and because the sign would be an unlawful encroachment on the required front yard space according to Section 16B of the Zoning Ordinance, the sign being proposed only 5' from the street line of Pym Road and 5' from the side lot line farther from Ocean Avenue.

Apparently a zone line divides this lot separating a Residence C Zone on the side toward Ocean Avenue from a Residence AA Zone on the side toward Baxter Boulevard. It is likely that the sign would fall within the area where the rules of the Residence C Zone would apply, but in this particular case the rules are the same in both types of residential zones.

You have indicated your desire of seeking an exception from the Board of Appeals; so, there is enclosed an outline of the appeal procedure.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMcD/G

Enclosure: Outline of appeal procedure

P. S. In making out the appeal form it would be best to explain specifically the purpose of the signs whether to advertise the sale of the particular lot on which the sign is located, or to advertise the entire development or any other purpose.

City of Portland, Maine  
Board of Appeals  
--ZONING--

*Sustained  
Conditionally  
11/6/51 51/102*

October 26, 19 51

To the Board of Appeals:

Your appellant, The Minat Corporation, who is the owner of property at Lot 10 Pya Road, respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 18, Paragraph E of said Zoning Ordinance.

Building permit to authorize erection of detached sign, 4' x 6', to advertise the entire development on Pya Road is not issuable under the Zoning Ordinance because any sign for such purpose larger than eight square feet in area is a non-conforming use in the residential zone where this property is located, and because this sign would be an unlawful encroachment on the required front yard space of this dwelling, the sign being proposed only 5' from the street line of Pya Road and 5' from the side lot line farther from Ocean Avenue.

The facts and conditions which make this exception legally permissible are as follows:

An exception is necessary in this case to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

The Minat Corporation

BY *J. S. ...*  
Appellant

After public hearing held on the 16th day of November, 19 51 the Board of Appeals finds that an exception is necessary in this case to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance for a period of nine months.

It is, therefore, determined that exception to the Zoning Ordinance may be permitted in this specific case for a period of nine months.

*Walter C. Frost*  
*John W. Lake*  
*Edward Colley*  
*William H. W. Brison*  
BOARD OF APPEALS



(RAA) RESIDENCE ZONE - C  
**APPLICATION FOR PERMIT**  
 Class of Building or Type of Structure. Third Class  
 Portland, Maine, April 25, 1951

00936

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE  
 The undersigned hereby applies for a permit to erect ~~above ground~~ the following building ~~structure~~  
 in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Port-  
 land, plans and specifications, if any, submitted herewith and the following specifications.

Location Lot 10 Pya Road  
 Owner's name and address The Kinat Corp., 220 Cumberland Avenue  
 Le.see's name and address  
 Contractor's name and address  
 Architect **SID. PLAN G** owners  
 Proposed use of building dw. ling house Specifications Plans yes No. of sheets 1  
 Last use No stories 11cat Style of roof  
 Material No. families  
 Other building on same lot Roofing  
 Estimated cost \$ 9,000. Fee \$ 9.00

**General Description of New Work**

To construct 1-story frame dwelling house 24' x 40', with attached garage 16' x 20'.

The inside of the garage will be covered, where required by law, with perforated Gypsum lath and plaster with one-half inch thickness Gypsum plaster. No opening between lot and garage.

*Important notice sent*  
 It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owners Permit issued with Letter

**Details of New Work**

Is any plumbing involved in this work? **yes** Is any electrical work involved in this work? **yes**  
 Is connection to be made to public sewer? **yes** If not, what is proposed for sewage? **Gar**  
 Height average grade to top of plate **10'** Height average grade to highest point of roof **20'** **15'** ...  
 Size, front **40'** depth **24'** at least **4'** below grade **11'** solid or filled land?  
 Material of foundation **concrete** Thickness, top **10"** bottom **12"** cellar **yes**  
 Material of underpinning " to sill Height  
 Kind of roof **Pitch-gable** Rise per foot **10"** Roof covering **Asphalt Class C Und Lab**  
 No. of chimneys **1** Material of chimneys **brick** of lining tile **Dressed**  
 Framing lumber—Kind **herlock** Dressed or full size?  
 Corner posts **4x6** Sills **2x6 box Douglas Fir** Girt or ledger board? **Lally** Size **3"** Max. on centers **8'**  
 Girders **yes** Size **6x8** Columns under girders **concrete floor in garage** Bridging in every floor and flat roof span over 8 feet. **Gar**  
 Studs (outside walls and carrying partitions) **2x1-16"** O. C. **1st floor 2x8** , 2nd **2x8** , 3rd **2x8** **20"**  
 Joists and rafters: **1st floor 16"** , 2nd **16"** , 3rd **16"** , roof **24"** **20"**  
 On centers: **1st floor 12'** , 2nd **12'** , 3rd **12'** , roof **height?**  
 Maximum span: **concrete floor in garage** thickness of walls?

**If a Garage**

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

**Miscellaneous**

Will work require disturbing of any tree on a public street? **no**  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? **yes**  
 The Kinat Corp.

APPROVED:  
*with Letter by City*

*[Signature]*

Signature of owner by:  
 INSPECTION COPY

NOTES

5/18/51 - H.W. on 2<sup>nd</sup> railing  
 set at 30 from street  
 location of 2<sup>nd</sup> railing  
 0.15. ?  
 6/11/51 - Form checked 8.8  
 7/31/51 - form stripped 5.8  
 11/7/51 - into Cert to use  
 in 2<sup>nd</sup> ?  
 1/19/51 - Cape has set a 4x6 over  
 opening & stairs during work  
 living room - 5' tall  
 up at 5' 6" in hallway  
 double opening 4x6 8.11  
 8/28/52 - wall close,  
 Certificate to be  
 revised. 8.8  
 10/21/52 - Fire window  
 was constructed with an  
 open breezeway, garage

7/2 2/13

Permit No. 571586  
 Location 21<sup>st</sup> & Grand Street  
 Owner Mrs. Myrtle Cook  
 Date of permit 6/7/51  
 Notif. closing-in 11/7/51  
 Inspr. closing-in 11/7/51  
 Final Notif 1/29/52  
 Final Inspr. 3/28/52  
 Cert. of Occupancy issued 3/22/52

COPY



CITY OF PORTLAND, MAINE  
Department of Building Inspection

### Certificate of Occupancy

Issued to **The Linat Corp.**

Date of Issue **March 29, 1952**

This is to certify that the building, premises, or part thereof, indicated below, and built—  
~~at 222 1/2 Commercial Street~~ **at Lot 10 Fya Acad**  
under Building Permit No. **51/986**, has had final inspection, has been found to conform substan-  
tially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved  
for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire Building

One-family Dwelling House & Garage

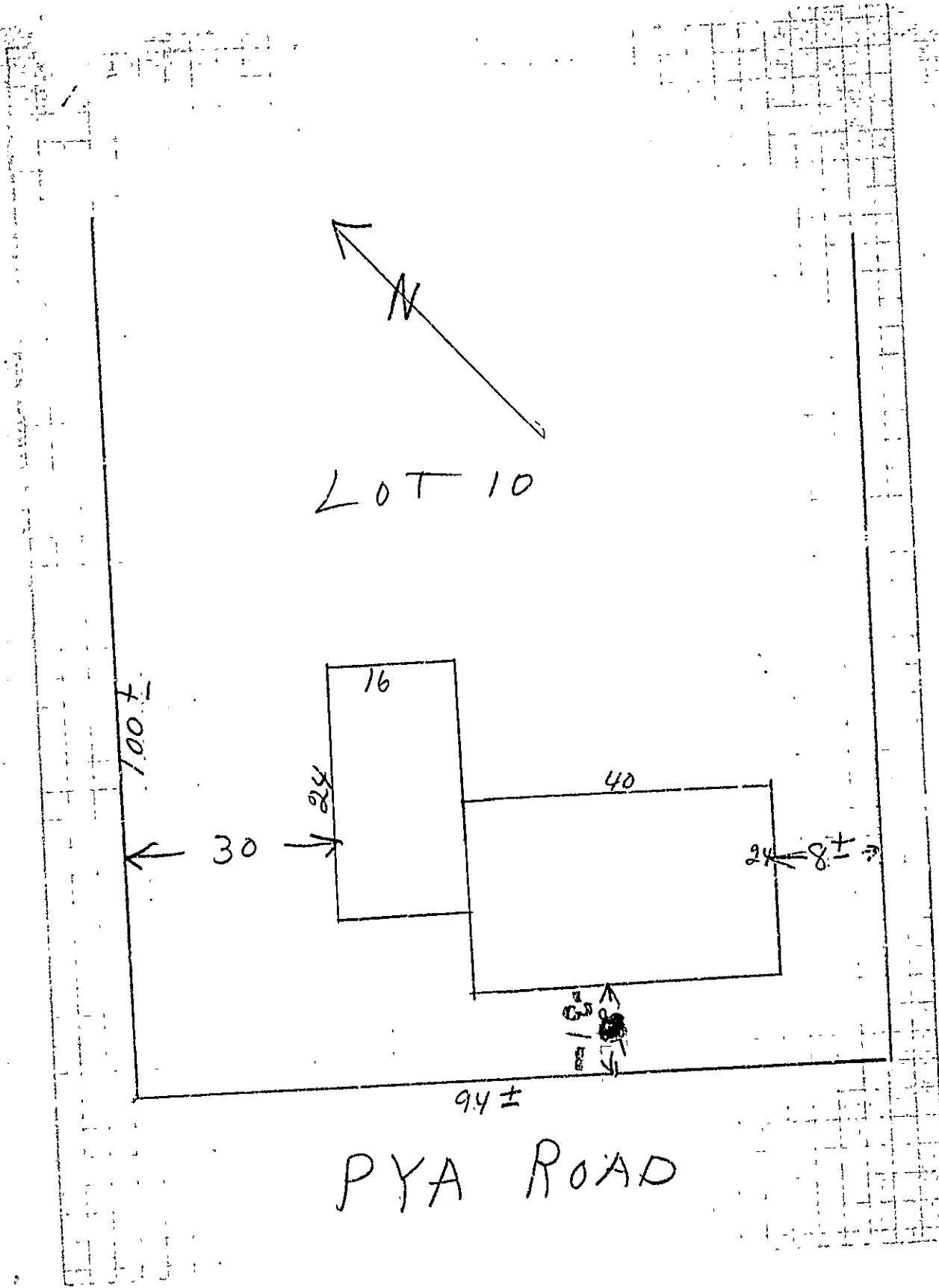
Limiting Conditions:

This certificate supersedes  
certificate issued  
Approved 3/23/52:

*E. L. Smith*  
Inspector

*Waverly*  
Inspector of Buildings

Note - This certificate identifies lawful use of building or premises, and ought to be transferred from  
owner to owner when property changes hands. Cop will be furnished to owner or lessee for one dollar.



LOT 10

100 ±

16

24

30

40

24 8 ±

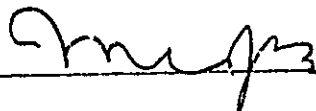
94 ±

PYA ROAD

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for dwelling and garage  
at Lot 10 Pva Road Date 1/25/51

1. In whose name is the title of the property now recorded? The Minat Corp.
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? no
3. Is the outline of the proposed work now staked out upon the ground? no  
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? yes
4. What is to be maximum projection or overhang of eaves or drip? \_\_\_\_\_
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes



Sent 6/7/51

AP Lot 10 Pys Road

May 23, 1951

The Minat Corporation  
220 Cumberland Avenue  
Portland, Maine

Gentlemen:

Building permit for construction of a one family dwelling with attached garage on Lot #10 Pys Road is issued herewith based on the plans filed with the application, which have been designated as Standard Plan G, but subject to the following:

1. It is understood that the 6x3 girder for support of the building is to be Douglas Fir and the permit is issued on this basis.
2. No indication is shown on plan of size of header over the arched opening between living room and dining room. No less than a 4x8 or 2-2x8's are required for this purpose.
3. We understand that one corner of this building is to rest on ledge while the balance of the foundation is to be supported on earth, but that you have consulted an engineer who has recommended that two 3/4" reinforcing bars be placed in the concrete both near the bottom and near the top of the wall, extending from the corner in each direction to points well beyond the locations where the change from ledge to earth occurs, and that you plan to follow his advice. While we do not know whether or not this will be adequate to prevent undue settlement and cracking of the walls at this location, it certainly should provide construction which will act toward that end.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/B

P. S. See second letter with regard to setback and porches of this dwelling.



AP Lot 9 Pya Road-I  
AP Lot 10 Pya Road-I

June 7, 1951

Mr. Mitchell Cope  
Kinat Corporation  
220 Cumberland Avenue  
Portland, Maine

Dear Mr. Cope:

This letter refers to proposed dwellings on Lot 9 and on Lot 10 Pya Road, there being also another letter referring to the latter dwelling. There is a zoning question, which is important to you, with regard to the setbacks of these two dwellings. Presumably you will build the two dwellings simultaneously, but if for any reason you should decide to build and practically complete or make the sale of one building before the other is started, that one should be the dwelling on Lot No. 9 because it is proposed 25' from Pya Road, while the dwelling on Lot No. 10 is proposed 31'. If the dwelling on Lot No. 10 should be constructed far enough along to be called an existing dwelling (we would call it an existing dwelling if it was far enough along so that you had sold it whether ready to be lived in or not), and the dwelling on Lot No. 9 was not well enough along so that its location with respect to the street line would be evident, the continuation of that dwelling on Lot No. 9 would be unlawful under the Zoning Ordinance because the front wall is proposed closer to the street line than the dwelling on Lot. No. 10.

To avoid the difficulties and misunderstandings which have arisen about the porches of your Washington Avenue houses, it seems best to have an understanding about the porches of these two houses on Pya Road. Permits for these two houses are issued to include only the types of material and design of the porches as shown on the standard plans with the proviso of course that if these standard plans show details contrary to the Building Code, the Code is to be complied with nevertheless.

You have indicated the dwelling on Lot 9 Pya Road to be built according to your standard plan B-2. These standard plans indicate the entrance porch to be of brick supported on <sup>concrete</sup> trench walls—8" thick at the grade of the ground and 10" thick at the bottom of the wall, at least 4' below the grade. Presumably a concrete slab is to be poured between the walls to support the brickwork, but no details of this are shown. Rear porch is indicated of wooden framing (no detail of framing) supported on 3" outside diameter pipe columns extending 4' below grade to a solid footing.

The dwelling on Lot 10 Pya Road is indicated to be built according to your standard plan G. These standard plans call for brick front platform and steps on a massive concrete base for foundation extending 4' below the grade. Standard plan G contemplates no rear or side porch, the side door leading into the garage.

As regards the wooden porch, this is required to be framed with no less than 4x6 (nominal dimension) solid sill outlining all sides not against the building with the floor joists either running across the tops of the sills or notched over 2x3 nailing strips spiked to the inside face of the sills, floor joists to be no more than 18" from center to center. Normal good construction requires "halved" splices at the exterior corners. The Code contains no specific instructions as to how such a porch or platform shall be supported upon the building. You are prefabricating your platforms, and those that I saw were based on a 2x6 or a 2x8 flat against the wall of the dwelling and the side sills notched over a 2x3 strip spiked to the 2x6.

AP Lot 9 Pya Road-I  
AP Lot 10 Pya Road-I

June 7, 1951

Mr. Mitchell Cope  
Minat Corporation  
220 Cumberland Avenue  
Portland, Maine

Dear Mr. Cope:

This letter refers to proposed dwellings on Lot 9 and on Lot 10 Pya Road, there being also another letter referring to the latter dwelling. There is a zoning question, which is important to you, with regard to the setbacks of these two dwellings. Presumably you will build the two dwellings simultaneously, but if for any reason you should decide to build and practically complete or make the sale of one building before the other is started, that one should be the dwelling on Lot No. 9 because it is proposed 25' from Pya Road, while the dwelling on Lot No. 10 is proposed 31'. If the dwelling on Lot No. 10 should be constructed far enough along to be called an existing dwelling (we would call it an existing dwelling if it was far enough along so that you had sold it whether ready to be lived in or not), and the dwelling on Lot No. 9 was not well enough along so that its location with respect to the street line would be evident, the continuation of that dwelling on Lot No. 9 would be unlawful under the Zoning Ordinance because the front wall is proposed closer to the street line than the dwelling on Lot. No. 10.

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You have indicated the dwelling on Lot 9 Pya Road to be built according to your standard plan B-2. These standard plans indicate the entrance porch to be of brick supported on <sup>concrete</sup> french walls—8" thick at the grade of the ground and 10" thick at the bottom of the wall, at least 4' below the grade. Presumably a concrete slab is to be poured between the walls to support the brickwork, but no details of this are shown. Rear porch is indicated of wooden framing (no detail of framing) supported on 3" outside diameter pipe columns extending 4' below grade to a solid footing.

The dwelling on Lot 10 Pya Road is indicated to be built according to your standard plan G. These standard plans call for brick front platform and steps on a massive concrete base for foundation extending 4' below the grade. Standard plan G contemplates no rear or side porch, the side door leading into the garage.

As regards the wooden porch, this is required to be framed with no less than 4x6 (nominal dimension) solid sill outlining all sides not against the building with the floor joists either running across the tops of the sills or notched over 2x3 nailing strips spiked to the inside face of the sills, floor joists to be no more than 18" from center to center. Normal good construction requires "halved" splices at the exterior corners. The Code contains no specific instructions as to how such a porch or platform shall be supported upon the building. You are prefabricating your platforms, and those that I saw were based on a 2x6 or a 2x8 flat against the wall of the dwelling and the side sills notched over a 2x3 strip spiked to the 2x6.

Mr. Mitchell Cope-----2

June 7, 1951

Some of your standard plans show varying details about these porches. At least one standard plan shows this 2x6 or 2x8 against the building to be expansion bolted to the concrete foundation wall. On others of your dwellings where details are not shown this 2x6 or 2x8 appears to be high enough to be spiked through into the main sill of the building. It seems somewhat absurd to use solid 4x6 side sills and then support them on a 2x3 nailing strip spiked to the building in the manner named above. I suppose the normal way of doing it in former days would be to lap the side sills in over the main sill of the building.

The Building Code does not go into detail about this matter, and we do not mean to dictate it. Wherever your standard plans show the piece against the building expansion bolted to the concrete foundation wall that should be followed. It is my belief that the eventual owners for whom these houses are being built would be better off if the piece up against the building were expansion bolted to the wall and then the 4x6 sill set on top of them.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMcD/G

Mr. Mitchell Cope-----2

June 7, 1951

Some of your standard plans show varying details about these porches. At least one standard plan shows this 2x6 or 2x8 against the building to be expansion bolted to the concrete foundation wall. On others of your dwellings where details are not shown this 2x6 or 2x8 appears to be high enough to be spiked through into the main sill of the building. It seems somewhat absurd to use solid 4x6 side sills and then support them on a 2x3 nailing strip spiked to the building in the manner named above. I suppose the normal way of doing it in former days would be to lap the side sills in over the main sill of the building.

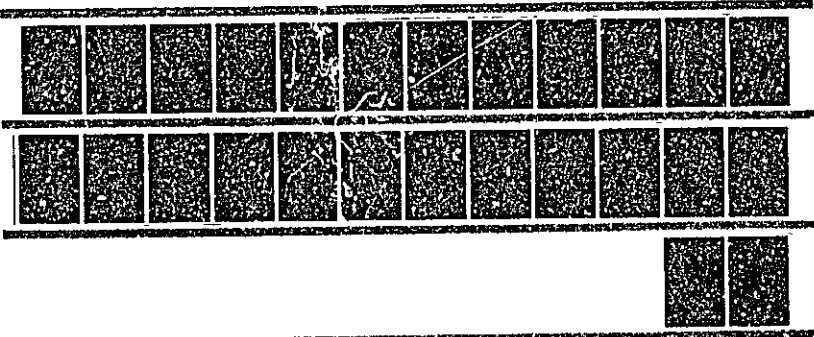
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Very truly yours,

Warren McDonald  
Inspector of Buildings

WMCD/G

57-11 PYA RD. LOT 10





3524

# PLUMBING APPLICATION

Department of Human Services  
Division of Health Engineering  
(207) 289-3825

**PROPERTY ADDRESS**

Town Or Plantation: 9 PYA ROAD

Street: PORTLAND

Subdivision Lot #: \_\_\_\_\_

**PROPERTY OWNERS NAME**

Last: DEW First: CHARLES

Applicant Name: BALLAR III

Mailing Address of Owner/Applicant (if Different): 9 PYA ROAD

0001 PORTLAND \*\*\* 05170 \*\*\*

Date Permit Issued: \_\_\_\_\_

Local Plumbing Inspector Signature: [Signature]

L.P.I. # 12131

FEE: \_\_\_\_\_

Other Charge: \_\_\_\_\_

**Owner/Applicant Statement**

I certify that the information submitted is correct to the best of my knowledge and understand that a false statement is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 5/3/83

**Caution: Inspection Required**

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: [Signature] Date Approved: MAY 10 1983

**PERMIT INFORMATION**

This Application is for: 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type Of Structure To Be Served: 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	Plumbing To Be Installed By: 1. <input type="checkbox"/> MASTER PLUMBER 2. <input checked="" type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # _____
---	---	---

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type Of Fixture	Number	Column 1 Type Of Fixture
	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District		Hosebib / Silcock		Bathtub (and Shower)
			Floor Drain		Shower (Separate)
			Urinal		Sink
	HOOK-UP: to an existing subsurface wastewater disposal system.		Drinking Fountain		Wash Basin
			Indirect Waste		Water Closet (Toilet)
			Water Treatment Softener, Filter, etc		Clothes Washer
		PIPING RELOCATION of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator	
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____		Water Heater
\$	Hook-Up Fee		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
					Fixtures (Subtotal) Column 2
					Total Fixtures
					Fixture Fee
					Hook-Up Fee
					Permit Fee (Total)

MAY 10 1983

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TOWN COPY

**PLUMBING APPLICATION**

Department of Human Services  
Division of Health Engineering  
(207) 289-3826

**PROPERTY ADDRESS**

Town Or Plantation: 9 PYA ROAD

Street Subdivision Lot #: PORTLAND

**PROPERTY OWNERS NAME**

Last: DEW First: CHARLES

Applicant Name: BALLAR JIL

Mailing Address of Owner/Applicant (if Different): 9 PYA ROAD

0001 PORTLAND \*\*\* 05170 \*\*\*

Date Permit Issued: 5/3/03

Local Plumbing Inspector Signature: [Signature]

L.P.I. # 112131

FEE  Double Charge

**Owner/Applicant Statement**

I certify that the information submitted is correct to the best of my knowledge and understand that falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 5/3/03

**Caution: Inspection Required**

I have inspected the installation authorized above and found it to be in compliance with the State Plumbing Rules.

Local Plumbing Inspector Signature: [Signature] Date Approved: MAY 10 1983

**PERMIT INFORMATION**

This Application is for 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type Of Structure To Be Served: 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	Plumbing To Be Installed By: 1. <input type="checkbox"/> MASTER PLUMBER 2. <input checked="" type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # _____
--	---	---

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type Of Fixture	Number	Column 1 Type Of Fixture
	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District		Hose Bibb / Sillcock		Bathtub (and Shower)
			Floor Drain		Shower (Separate)
			Urinal		Sink
	HOOK-UP: to an existing subsurface wastewater disposal system.		Drinking Fountain		Wash Basin
			Indirect Waste		Water Closet (Toilet)
			Water Treatment Softener, Filter, etc		Clothes Washer
	PIPING RELOCATION of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator		Dish Washer
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____		Water Heater
\$	Hook-Up Fee		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
					Fixtures (Subtotal) Column 2
					Total Fixtures
				\$ 6.00	Fixture Fee
				\$	Hook-Up Fee
				\$ 6.00	Permit Fee (Total)

TOWN COPY





00366

PERMIT ISSUED

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

MAY 4 1983

Portland, Maine, May 3, 1983

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 9 Pya Road Use of Building dwelling - single No Stories 2 New Building Existing " X
Name and address of owner of appliance Charles Deetjen - same
Installer's name and address Ballard Oil & Equip - 135 Marginal Way Telephone 772-1991

General Description of Work

To install boiler & burner - forced hot water - replacement

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no
If so, how protected? Kind of fuel? # 2 fuel oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 24" All around
From top of smoke pipe . . . From front of appliance . . . From sides or back of appliance
Size of chimney flue 8 x 10 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Beckett - gun Labelled by underwriters' lab? yes
Will operator be always in attendance? no Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner cement Size of vent pipe 1 1/2"
Location of oil storage basement Number and capacity of tanks 1-275 gal.
Low water shut off yes Make McDonald Miller No. 901
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? open
Total capacity of any existing storage tanks for furnace burners 275 gal.

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance . . . From sides and back . . . From top of smokepipe
Size of chimney flue . . . Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? . . . Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 15.00

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

CS 300

FILE COPY

Signature of Installer

[Handwritten signature]

9

1366

Rated maximum demand per hour

insure proper and safe combustion? **yes**

**OIL BURNER**

Labelled by underwriters' labels? **yes**

Oil supply line feed from top or bottom of tank? **bottom**

Size of vent pipe **1 1/4"**

Number and capacity of tanks **1-275 gal.**

**McDonald Miller** No. **901**

**yes** How many tanks enclosed? **open**

Oil burners **275 gal.**

**WORKING APPLIANCE**

Any burnable material in floor surface or beneath?

Height of Legs, if any

Distance to combustible material from top of appliance?

Front and back From top of smokepipe

Distance to same flue

How vented? Forced or gravity?

Rated maximum demand per hour

**EQUIPMENT OR SPECIAL INFORMATION**

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Inspector *Chas. J. [Signature]*

1366

-is? yes  
? bottom ..

gal.  
901

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person competent to  
obtaining thereto are

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6



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date May 3, 19 83  
 Receipt and Permit number B 09889

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 9 Pya Road  
 OWNER'S NAME: Charles Deetjen ADDRESS: lives there

OUTLETS: Receptacles \_\_\_\_\_ Switches \_\_\_\_\_ Plugmold \_\_\_\_\_ ft. TOTAL \_\_\_\_\_

FIXTURES: (number of) Incandescent \_\_\_\_\_ Fluorescent \_\_\_\_\_ (not strip) TOTAL \_\_\_\_\_  
 Strip Fluorescent \_\_\_\_\_ ft. ....

SERVICES: Overhead \_\_\_\_\_ Underground \_\_\_\_\_ Temporary \_\_\_\_\_ TOTAL amperes \_\_\_\_\_

METERS: (number of) \_\_\_\_\_

MOTORS: (number of) Fractional \_\_\_\_\_  
 1 HP or over \_\_\_\_\_

RESIDENTIAL HEATING: Oil or Gas (number of units) X ..... 3.00  
 Electric (number of rooms) \_\_\_\_\_

COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) \_\_\_\_\_  
 Oil or Gas (by separate units) \_\_\_\_\_  
 Electric Under 20 kws \_\_\_\_\_ Over 20 kws \_\_\_\_\_

APPLIANCES: (number of) Ranges \_\_\_\_\_ Water Heaters \_\_\_\_\_  
 Cook Tops \_\_\_\_\_ Disposals \_\_\_\_\_  
 Wall Ovens \_\_\_\_\_ Dishwashers \_\_\_\_\_  
 Dryers \_\_\_\_\_ Compactors \_\_\_\_\_  
 Fans \_\_\_\_\_ Others (denote) \_\_\_\_\_  
 TOTAL \_\_\_\_\_

MISCELLANEOUS: (number of) Branch Panels \_\_\_\_\_  
 Transformers \_\_\_\_\_  
 Air Conditioners Central Unit \_\_\_\_\_  
 Separate Units (windows) \_\_\_\_\_  
 Signs 20 sq. ft. and under \_\_\_\_\_  
 Over 20 sq. ft. \_\_\_\_\_  
 Swimming Pools Above Ground \_\_\_\_\_  
 In Ground \_\_\_\_\_  
 Fire/Burglar Alarms Residential \_\_\_\_\_  
 Commercial \_\_\_\_\_  
 Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under \_\_\_\_\_  
 over 30 amps \_\_\_\_\_  
 Circus, Fairs, etc. \_\_\_\_\_  
 Alterations to wires \_\_\_\_\_  
 Repairs after fire \_\_\_\_\_  
 Emergency Lights, battery \_\_\_\_\_  
 Emergency Generators \_\_\_\_\_

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... INSTALLATION FEE DUE: \_\_\_\_\_  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) ... DOUBLE FEE DUE: \_\_\_\_\_  
 TOTAL AMOUNT DUE: 3.00

INSPECTION: Will be ready on \_\_\_\_\_, 19 \_\_\_\_; or Will Call XX  
 CONTRACTOR'S NAME: Ballard OIL & Equip Co.  
 ADDRESS: 135 Marginal Way  
 TEL: \_\_\_\_\_  
 MASTER LICENSE NO.: 1366 SIGNATURE OF CONTRACTOR: [Signature]  
 LIMITED LICENSE NO.: \_\_\_\_\_

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date May 3, 1983  
 Receipt and Permit number B 09889

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 9 Pya Road  
 OWNER'S NAME: Charles Deetjen ADDRESS: Lives there

OUTLETS: Receptacles \_\_\_\_\_ Switches \_\_\_\_\_ Plugmold \_\_\_\_\_ ft. TOTAL \_\_\_\_\_  
 FIXTURES: (number of) Incandescent \_\_\_\_\_ Fluorescent \_\_\_\_\_ (not strip) TOTAL \_\_\_\_\_  
 Strip Fluorescent \_\_\_\_\_ ft. \_\_\_\_\_

SERVICES: Overhead \_\_\_\_\_ Underground \_\_\_\_\_ Temporary \_\_\_\_\_ TOTAL amperes \_\_\_\_\_

METERS: (number of) \_\_\_\_\_

MOTORS: (number of) Fractional \_\_\_\_\_  
 1 HP or over \_\_\_\_\_

RESIDENTIAL HEATING: Oil or Gas (number of units) x \_\_\_\_\_ 3.00  
 Electric (number of rooms) \_\_\_\_\_

COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) \_\_\_\_\_  
 Oil or Gas (by separate units) \_\_\_\_\_  
 Electric Under 20 kws \_\_\_\_\_ Over 20 kws \_\_\_\_\_

APPLIANCES: (number of) Ranges \_\_\_\_\_ Water Heaters \_\_\_\_\_  
 Cook Tops \_\_\_\_\_ Disposals \_\_\_\_\_  
 Wall Ovens \_\_\_\_\_ Dishwashers \_\_\_\_\_  
 Dryers \_\_\_\_\_ Compactors \_\_\_\_\_  
 Fans \_\_\_\_\_ Others (denote) \_\_\_\_\_  
 TOTAL \_\_\_\_\_

MISCELLANEOUS: (number of) Branch Panels \_\_\_\_\_  
 Transformers \_\_\_\_\_  
 Air Conditioners Central Unit \_\_\_\_\_  
 Separate Units (windows) \_\_\_\_\_  
 Signs 20 sq. ft. and under \_\_\_\_\_  
 Over 20 sq. ft. \_\_\_\_\_  
 Swimming Pools Above Ground \_\_\_\_\_  
 In Ground \_\_\_\_\_  
 Fire/Burglar Alarms Residential \_\_\_\_\_  
 Commercial \_\_\_\_\_  
 Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under \_\_\_\_\_  
 over 30 amps \_\_\_\_\_  
 Circus, Fairs, etc. \_\_\_\_\_  
 Alterations to wires \_\_\_\_\_  
 Repairs after fire \_\_\_\_\_  
 Emergency Lights, battery \_\_\_\_\_  
 Emergency Generators \_\_\_\_\_

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... INSTALLATION FEE DUE: \_\_\_\_\_  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) ..... DOUBLE FEE DUE: \_\_\_\_\_  
 TOTAL AMOUNT DUE: 3.00

INSPECTION: Will be ready on \_\_\_\_\_, 19\_\_ ; or Will Call xx  
 CONTRACTOR'S NAME: Ballard OIL & Equip Co.  
 ADDRESS: 135 Marginal Way  
 TEL.: \_\_\_\_\_  
 MASTER LICENSE NO.: 1366 SIGNATURE OF CONTRACTOR: [Signature]  
 LIMITED LICENSE NO.: \_\_\_\_\_

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN



ELECTRICAL INSTALLATIONS —

Permit Number 09889  
Location 9 Pga R.  
Owner C. Deetjen  
Date of Permit 5-3-83  
Final Inspection 5-10-83  
By Inspector Lubby  
Permit Application Register Page No 146

INSPECTIONS: Service \_\_\_\_\_ by \_\_\_\_\_  
Service called in \_\_\_\_\_  
Closing-in 5-10-83 by Lubby  
PROGRESS INSPECTIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CODE  
COMPLIANCE  
COMPLETED  
DATE 5-10-83

REMARKS:

*Water leaking onto floor.*



FILL IN AND SIGN WITH INK

00366

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED

MAY 4 1983

Portland, Maine, May 3, 1983

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

CITY OF PORTLAND

Location 9 Pya Road Use of Building Dwelling - single No. Stories 2 Existing New Building Existing
Name and address of owner of appliance Charles Deetjen - same
Installer's name and address Ballard Oil & Equip - 135 Marginal Way Telephone 772-1991

General Description of Work

To install boiler & Burner - forced hot water - replacement

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no
If so, how protected? Kind of fuel? # 2 fuel oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 24" All around
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue 8 x 10 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Beckatt - gun Labelled by underwriters' label stories yes
Will operator be always in attendance? no Does oil supply line feed from top or bottom of bottom
Type of floor beneath burner cement Size of vent pipe 1 1/2"
Location of oil storage basement Number and capacity of tanks 1-275 gal.
Low water shut off yes Make McDonald 7 liter No. 301
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? open
Total capacity of any existing storage tanks for furnace burners 275 gal.

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? if so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 15.00

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

CS 300

INSPECTION COPY

Signature of Installer

Handwritten signature of Charles Deetjen

1366

Handwritten note: [9] MR. WILLIAMS





FILL IN AND SIGN WITH INK

00366

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED

MAY 4 1983

Portland, Maine, May 3, 1983

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Law of Maine, the Building Code of the City of Portland, and the following specifications:

CITY OF PORTLAND

Location 9 Pya Road Use of Building dwelling - single No. Stories 2 New Building Existing
Name and address of owner of appliance Charles Deetjen - same
Installer's name and address Ballard Oil & Equip - 135 Marginal Way Telephone 772-1991

General Description of Work

To install boiler & Burner - forced hot water - replacement

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no
Kind of fuel? # 2 fuel oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 24" All around
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue 8 x 10 Other connections to same flue none
Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Beckatt - gun Labeled by underwriters? la stories yes
Will operator be always in attendance? no Does oil supply line feed from top or bottom of bottom
Type of floor beneath burner cement Size of vent pipe 14"
Location of oil storage basement Number and capacity of tanks 1-275 gal.
Low water shut off yes Make McDonald Filter No. 901
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? open
Total capacity of any existing storage tanks for furnace burners 275 gal.

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? if so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 15.00

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

CS 300

INSPECTION COPY

Signature of Installer

Handwritten signature

1366

9 MR. WILLIAMS

NOTES

Blank lined area for notes.

Permit No. 83/366  
Location 9/27/66  
Owner Charles W. ...  
Date of permit 5-3-83  
Approved 5-7-83

- 1 1/2" FILL PIPE
- 2 1/4" VENT PIPE
- 3 Kind of Heat
- 4 Burner Rigidity & Support
- 5 Name & Label
- 6 Remote Control
- 7 High Limit Control
- 8 M. in Cutoff Switch
- 9 Low-Water Cutoff
- 10 High Limit Control
- 11 Piping support & protection
- 12 Valves in Supply line
- 13 Capacity of tanks
- 14 Tank rigidity & Support
- 15 Oil gauge
- 16 Instruction Card
- 17 oil leaks
- 18 Adequate ventilation
- 19 Smoking pipe to combustible
- 20 Thermal Control switch

Large lined area for detailed notes or specifications.



940523

Permit # 940523 City of Portland BUILDING PERMIT APPLICATION Fee \$ 35 Zone \_\_\_\_\_ Map # \_\_\_\_\_ Lot# \_\_\_\_\_  
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Robert G. Adams Phone # 773-1419 - call  
Address: 9 Pva Rd- Ptd, ME 64103  
LOCATION OF CONSTRUCTION 9 Pva Rd.  
Contractor: OWNER Sub: \_\_\_\_\_  
Address: \_\_\_\_\_ Phone # \_\_\_\_\_  
Est. Construction Cost: 2500 Proposed Use: 1-fam w enlarged

**For Official Use Only**  
Date: 6/2/94 Subdivision: \_\_\_\_\_  
Inside Fire Limits: \_\_\_\_\_ Name: \_\_\_\_\_  
Bldg Code: \_\_\_\_\_ Lot: \_\_\_\_\_  
Time Limit: \_\_\_\_\_ Ownership: \_\_\_\_\_  
Estimated Cost: 2500 Public: \_\_\_\_\_

# of Existing Res. Units \_\_\_\_\_ # of New Res Units \_\_\_\_\_  
Building Dimensions L \_\_\_\_\_ W \_\_\_\_\_ Total Sq Ft. \_\_\_\_\_  
# Stories: \_\_\_\_\_ # Bedrooms \_\_\_\_\_ Lot Size \_\_\_\_\_  
Is Proposed Use Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Conversion \_\_\_\_\_  
Explain Conversion increase size of mudroom - to 8'x 15'

Zoning: mudroom  
Street Frontage Provided: \_\_\_\_\_  
Provided Setbacks: Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_  
Review Required: \_\_\_\_\_  
Zoning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Planning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Conditional Use: \_\_\_\_\_ Variance \_\_\_\_\_ Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_  
Shoreland Zoning Yes \_\_\_\_\_ No \_\_\_\_\_ Floodplain Yes \_\_\_\_\_ No \_\_\_\_\_  
Special Exemption \_\_\_\_\_  
Other: \_\_\_\_\_ (Explain) \_\_\_\_\_

**140-E-017**  
Foundations:  
1. Type of Soil: \_\_\_\_\_  
2. Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Side(s) \_\_\_\_\_  
3. Footings Size \_\_\_\_\_  
4. Foundation Size \_\_\_\_\_  
5. Other \_\_\_\_\_

Ceiling:  
1. Ceiling Joists Size \_\_\_\_\_  
2. Ceiling Strapping Size \_\_\_\_\_ Spacing \_\_\_\_\_  
3. Type Ceilings: \_\_\_\_\_  
4. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_  
5. Ceiling Height: \_\_\_\_\_  
**HISTORIC PRESERVATION**  
Not in District nor Landmark  
Does not require review  
Requires review

Floors:  
1. Sills Size \_\_\_\_\_ Sills must be anchored  
2. Girdler Size \_\_\_\_\_  
3. Lally Column Spacing \_\_\_\_\_ Size \_\_\_\_\_  
4. Joists Size \_\_\_\_\_  
5. Bridging Type \_\_\_\_\_ Spacing 16" O.C.  
6. Floor Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
7. Other Material \_\_\_\_\_

Roof:  
1. Truss or Rafter Size \_\_\_\_\_ Span \_\_\_\_\_  
2. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
3. Roof Covering Type \_\_\_\_\_  
Chimneys:  
Type \_\_\_\_\_ Number of Fire Places \_\_\_\_\_  
Heating:  
Type of Heat \_\_\_\_\_  
Electric:  
Service Entrance Size \_\_\_\_\_ Smoke Detector Required Yes \_\_\_\_\_ No \_\_\_\_\_

Exterior Walls:  
1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
2. No windows \_\_\_\_\_  
3. No Doors \_\_\_\_\_  
4. Header Sizes \_\_\_\_\_  
5. Bracing Yes \_\_\_\_\_ No \_\_\_\_\_  
6. Corner Posts Size \_\_\_\_\_  
7. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_  
8. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
9. Siding Type \_\_\_\_\_  
10. Masonry Materials \_\_\_\_\_  
11. Metal Materials \_\_\_\_\_

Plumbing:  
1. Approval of soil test if required Yes \_\_\_\_\_ No \_\_\_\_\_  
2. No. of Tubs or Showers \_\_\_\_\_  
3. No. of Fixtures \_\_\_\_\_  
4. No. of Lavatories \_\_\_\_\_  
5. No. of Other Fixtures \_\_\_\_\_  
Swimming Pools:  
1. Type \_\_\_\_\_  
2. Pool Size \_\_\_\_\_ Square Footage \_\_\_\_\_  
3. Must conform to National Electrical Code and St. to Law

Interior Walls:  
1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
2. Header Sizes \_\_\_\_\_ Spacing \_\_\_\_\_  
3. Wall Covering Type \_\_\_\_\_  
4. Fire Wall if required \_\_\_\_\_  
5. Other Materials \_\_\_\_\_

Permit Received By: Louise V. Chase  
Signature of Applicant: Robert G. Adams Date: 6/2/94  
CEO's District: \_\_\_\_\_

White - Tax Assessor

CONTINUED TO REVERSE SIDE  
Ivory T1g - CEO [Signature]

version \_\_\_\_\_  
om - to 8' x 15'

Planning Board Approval: Yes  No  Date: \_\_\_\_\_  
Conditional Use: \_\_\_\_\_ Variance: \_\_\_\_\_ Site Plan: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Shoreland Zoning Yes  No  Floodplain Yes  No   
Special Exception \_\_\_\_\_  
Other: \_\_\_\_\_ (Explain) \_\_\_\_\_

**HISTORIC PRESERVATION**

**Ceiling:**  
1. Ceiling Joists Size: \_\_\_\_\_  
2. Ceiling Strapping Size \_\_\_\_\_ Spacing \_\_\_\_\_  
3. Type Ceilings: \_\_\_\_\_  
4. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_  
5. Ceiling Height: \_\_\_\_\_

**Roof:**  
1. Truss or Rafter Size \_\_\_\_\_ Span \_\_\_\_\_  
2. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
3. Roof Covering Type \_\_\_\_\_

**Chimneys:**  
Type: \_\_\_\_\_ Number of Fire Places \_\_\_\_\_

**Heating:**  
Type of Heat: \_\_\_\_\_

**Electrical:**  
Service Entrance Size: \_\_\_\_\_ Smoke Detector Required Yes  No

**Plumbing:**  
1. Approval of soil test if required Yes  No   
2. No. of Tubs or Showers \_\_\_\_\_  
3. No. of Flushes \_\_\_\_\_  
4. No. of Lavatories \_\_\_\_\_ *WSP Group B3 Type 5 B*  
5. No. of Other Fixtures \_\_\_\_\_

**Swimming Pools:**  
1. Type: \_\_\_\_\_  
2. Pool Size: \_\_\_\_\_ Square Footage \_\_\_\_\_  
3. Must conform to National Electrical Code and State Law.

Permit Received By Louise V. Chase

Signature of Applicant Robert G. Adams Date 6/2/94

CEO's District 6

CONTINUED TO REVERSE SIDE

Ivory T1g - CEO MR. ROACH

Assessor



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date Nov 28, 1989, 19  
 Receipt and Permit number 00913

To the **CHIEF ELECTRICAL INSPECTOR, Portland, Maine:**

The undersigned hereby applies for a permit to make electrical installation in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 9 Pya Road

OWNER'S NAME: Robert Adams ADDRESS: \_\_\_\_\_

OUTLETS: \_\_\_\_\_ FEES

Receptacles \_\_\_\_\_ Switches \_\_\_\_\_ Plugmold \_\_\_\_\_ ft. TOTAL \_\_\_\_\_

FIXTURES: (number of) \_\_\_\_\_

Incandescent \_\_\_\_\_ Fluorescent \_\_\_\_\_ (not strip) TOTAL \_\_\_\_\_

Strip Fluorescent \_\_\_\_\_ ft. \_\_\_\_\_

SERVICES: \_\_\_\_\_

Overhead \_\_\_\_\_ Underground \_\_\_\_\_ Temporary \_\_\_\_\_ TOTAL amperes \_\_\_\_\_

METERS: (number of) \_\_\_\_\_

MOTORS: (number of) \_\_\_\_\_

Fractional \_\_\_\_\_

1 HP or over \_\_\_\_\_

RESIDENTIAL HEATING: \_\_\_\_\_

Oil or Gas (number of units) \_\_\_\_\_

Electric (number of rooms) \_\_\_\_\_

COMMERCIAL OR INDUSTRIAL HEATING: \_\_\_\_\_

Oil or Gas (by a main boiler) \_\_\_\_\_

Oil or Gas (by separate units) \_\_\_\_\_

Electric Under 20 kws \_\_\_\_\_ Over 20 kws \_\_\_\_\_

APPLIANCES: (number of)

Ranges \_\_\_\_\_ Water Heaters \_\_\_\_\_

Cook Tops \_\_\_\_\_ Disposals \_\_\_\_\_

Wall Ovens \_\_\_\_\_ Dishwashers \_\_\_\_\_

Dryers \_\_\_\_\_ Compactors \_\_\_\_\_

Fans \_\_\_\_\_ Others (denote) \_\_\_\_\_

TOTAL \_\_\_\_\_

MISCELLANEOUS: (number of)

Branch Panels \_\_\_\_\_

Transformers \_\_\_\_\_

Air Conditioners Central Unit \_\_\_\_\_

Separate Units (windows) \_\_\_\_\_

Signs 20 sq. ft. and under \_\_\_\_\_

Over 20 sq. ft. \_\_\_\_\_

Swimming Pools Above Ground \_\_\_\_\_

In Ground \_\_\_\_\_

Fire/Burglar Alarms Residential \_\_\_\_\_

Commercial \_\_\_\_\_

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under \_\_\_\_\_

over 30 amps \_\_\_\_\_

Circus, Fairs, etc \_\_\_\_\_

Alterations to wires XX \_\_\_\_\_ 2.00

Repairs after fire \_\_\_\_\_

Emergency Lights, battery \_\_\_\_\_

Emergency Generators \_\_\_\_\_

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b)

INSTALLATION FEE DUE  
 DOUBLE FEE DUE

TOTAL AMOUNT DUE 5.00 min

INSPECTION:

Will be ready on Dec 1 at 1pm, 19; or Will Call \_\_\_\_\_

CONTRACTOR'S NAME: Daniel Carrier

ADDRESS: 16 Colony Lane So Portland 775-3253

TEL. \_\_\_\_\_

MASTER LICENSE NO. 7410 SIGNATURE OF CONTRACTOR

LIMITED LICENSE NO. \_\_\_\_\_ Daniel R. Carrier

INSPECTOR'S COPY -- WHITE

OFFICE COPY -- CANARY

CONTRACTOR'S COPY -- GREEN



ELECTRICAL INSTALLATIONS

Permit Number

00913

Location

1000

Owner

W. J. Adams

Date of Permit

11/21/84

Final Inspection

11/21/84

By Inspector

[Signature]

Permit Application Register Page No. 28

INSPECTIONS: Service 100 amp by [Signature]  
Service called in 11/21/84  
Closing-in 11/21/84 by [Signature]

PROGRESS INSPECTIONS:  
[Table with columns for date and description]

Table with columns for DATE and REMARKS. Multiple empty rows for recording inspection details.

CODE COMPLIANCE COMPLETED  
DATE 11/21/84





**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 9 Pyra Rd		Owner: Robert G. Adams		Phone: 773-1411		Permit No: <b>941030</b>	
Owner Address: SAA, Portland, ME 04103		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: Self		Address:		Phone:		Permit Issued: <b>PERMIT ISSUED</b> SEP 28 1994	
Past Use: 1-fam		Proposed Use: 1-fam w/expanded Garage		COST OF WORK: \$ 4,500.		PERMIT FEE: \$ 45.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: 4 Type 5B 00089	
Proposed Project Description: Expand garage as per plans		Signature:		Signature:		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
		PEDESTRIAN ACTIVITIES DISTRICT (pp)		Action: Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT: Robert G. Adams ADDRESS: DATE: 23 Sept '94 PHONE:

RESPONSIBLE PERSON IN CHARGE: WORK, TITLE: PHONE:

DATE: 9/26/94  
Signature: [Handwritten Signature]  
CEO DISTRICT: **6**  
MR. ROWE

Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 9 Pya Rd		Owner: Adams, Roberts	Phone: 773-1419	Permit No: <b>950352</b>
Owner Address: SAA Ptd, ME 04103		Leasee/Buyer Name:	Phone:	Business Name:
Contractor Name: self		Address:		Phone:
Past Use: 1-fam	Proposed Use: Same w/deck	COST OF WORK: \$ 1,000.00	PERMIT FEE: \$ 25.00	<b>PERMIT ISSUED</b> APR 18 1995 <b>CITY OF PORTLAND</b>
Proposed Project Description:  Construct deck as per plans		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A3 Type: 5B Signature: <i>Heffer</i>	
Signature:		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zoning: <b>R3</b> CBL: 140-E-017
Action:		<input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: <i>OK - 3 4/18/95</i>
Signature:		Date:		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Permit Taken By: Mary Gresik	Date Applied For: 10 April 1995			Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
  - Building permits do not include plumbing, septic or electrical work.
  - Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.
- No debris removal necessary

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**  
 I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: *Robert Adams* ADDRESS: DATE: 10 April 1995 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Historic Preservation  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:  
 Approved  
 Approved with Conditions  
 Denied

Date: *4/10/95*

CEO DISTRICT **6**  
*A. Row*

**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: <b>9 Pys Rd</b>		Owner: <b>Adams, Roberta</b>	Phone: <b>773-1419</b>	Permit No: <b>950352</b>
Owner Address: <b>SAA Pctid, ME 04103</b>		Leasee/Buyer's Name:	Business Name:	<b>PERMIT ISSUED</b> Permit Issued: <b>APR 18 1995</b> <b>CITY OF PORTLAND</b>
Contractor Name: <b>self</b>		Address:	Phone:	
Past Use: <b>1-fam</b>	Proposed Use: <b>Some w/deck</b>	COST OF WORK: <b>\$ 1,000.00</b>	PERMIT FEE: <b>\$ 25.00</b>	Zoning: <b>R3</b> CBL: <b>140-E-017</b> Zoning Approval: <b>4/11/95</b> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Proposed Project Description: <b>Construct deck as per plans</b>		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>43</b> Type: <b>1/2</b> <b>SOCA92</b> Signature: <b>[Signature]</b>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Historic Preservation: <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: <b>4/11/95</b> <b>[Signature]</b> CEO DISTRICT <b>5</b>
Permit Taken By: <b>Mary Grosik</b>		Date Applied For: <b>10 April 1995</b>		

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
  - Building permits do not include plumbing, septic or electrical work.
  - Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..
- No debris removal necessary**

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: **[Signature]** ADDRESS: DATE: **10 April 1995** PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

COMMENTS

9/12/05 Completed w/out footing inspection.  
framing ok.  
A Lowe

*[Signature]*

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____



BUILDING PERMIT REPORT

DATE: 14/Apr/95 ADDRESS: 9 P/A Rd.  
 REASON FOR PERMIT: To Construct deck  
 BUILDING OWNER: Robert Adams  
 CONTRACTOR: Owner APPROVED: \*1  
 PERMIT APPLICANT: \_\_\_\_\_ DENIED: \_\_\_\_\_

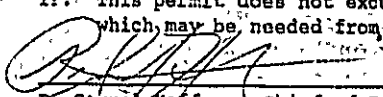
CONDITION OF APPROVAL OR DENIAL

- \*1. Before concrete for foundation is placed, approvals from ~~Public Works~~ and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with selfclosers.
5. Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosure with one(1) hour fire-rated construction including fire doors and \_\_\_\_\_ or by providing automatic extinguishment. Sprinkler \_\_\_\_\_, providing not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. feet per sprinkler.
7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq. feet.
8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, section 19, 919.3.2(BOCA National Building Code/1993), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)
11. Guardrail & Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, R-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024. of the City's building code. (The BOCA National Building Code/1993)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise.
14. Headroom in habitable space is a minimum of 7'6".
15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final certificate of occupancy is issued or demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.

  
P. Samuel Hoffes, Chief of Inspection Services

/el 3/16/95

Applicant: Robert Adams  
Address: 9 Pyn Rd  
Assessors No.: 140-E-017

Date: 4/14/95

CHECK LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-3

Interior or corner lot -

Use - new deck on REAR

Sewage Disposal - city

Rear Yards - 25' req. - 37' shown

Side Yards - N/A

Front Yards - N/A

Projections - → stairs must meet the set-backs also  
(they look inset per submitted plans)

Height -

Lot Area -

Building Area -

Area per Family -

Width of Lot -

Lot Frontage -

Off-street Parking -

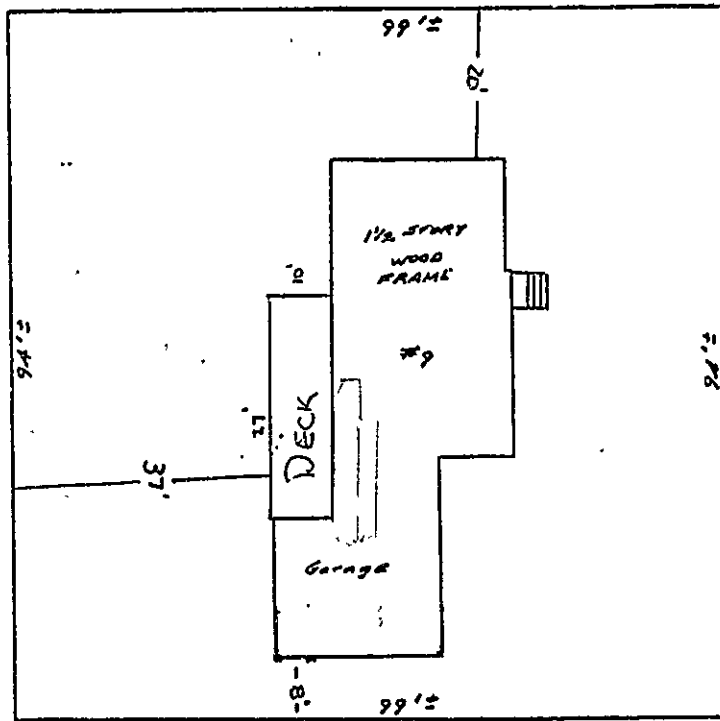
Loading Bays -

Site Plan -

Shoreland Zoning -

Flood Plains -





PYA ROAD

MORTGAGE LOAN INSPECTION

THIS IS NOT A BOUNDARY SURVEY. This plan does not purport to nor does it identify or delineate the limits of ownership on the face of the parcel of the subject parcel. The purpose of this plan is to show the approximate relationship of the major structures to the subject parcel as per deed description.

CERTIFICATION IS HEREBY MADE TO:

That the existing structures shown on this plan are situated on the lot as designated and comply/ ~~do not comply~~ with current or applicable zoning laws at the time of their construction. Certification is also made that the structures and premises ~~do~~ do not lie within a special flood hazard area defined by H.U.D.

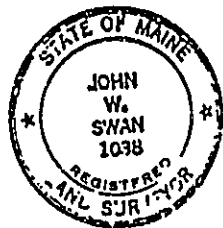
BUYER: ROBERT G. ADAMS

SELLER: ESTATE OF CHARLES DEETJE

LOCATION: 9 PYA ROAD PORTLAND, MAINE

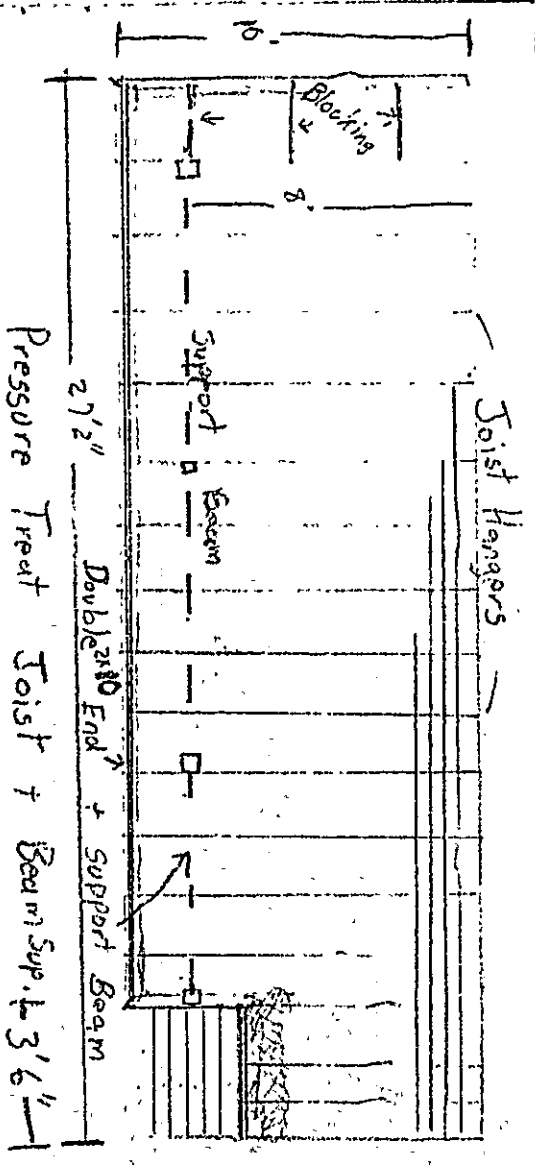
OWEN HASKELL, INC.  
56 A YORK STREET  
KENNEBUNK, ME 04043

JOB # M 89084 P  
FB  
DATE MARCH 24, 1989



DEED REFERENCE BK. PG. 1  
CUMBERLAND-YORK COUNTY  
REGISTRY OF DEEDS  
Plan BK. 36, Page 25

Lot. 10

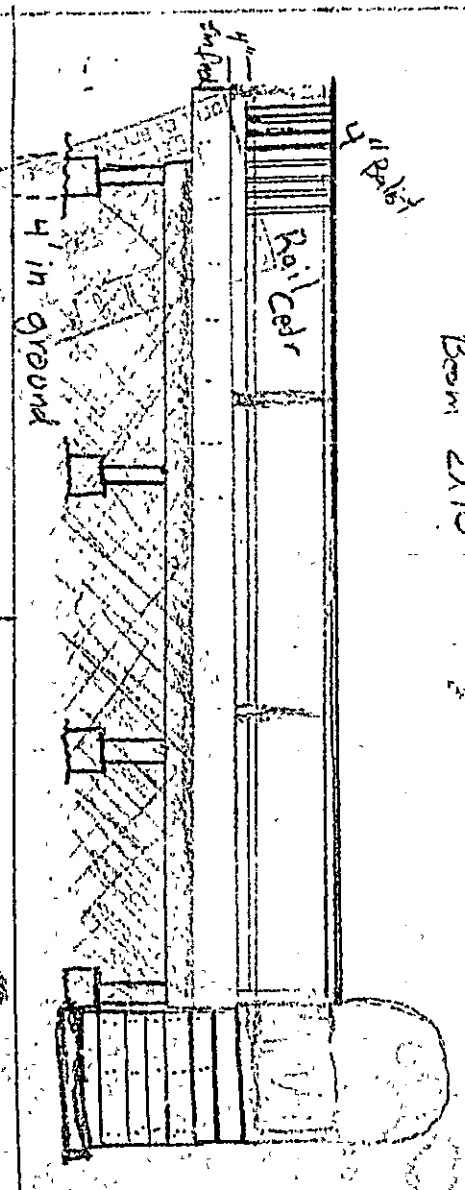


5/4 Cedar

Pressure Treated Joist + Beam Sup. 4 3/6"

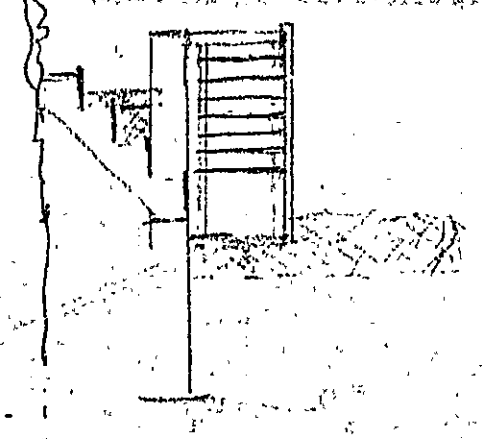
Joist 2X8

Beam 2X10



Bob Adams

Mark Mascotte



**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 5 Pys Rd		Owner: Robert C. Adams		Phone: 773-1411		Permit No: <b>941030</b>	
Owner Address: 5AA Field, ME 04103		Leasee/Buyer's Name:		Phone:		Business Name: Mary Grenk	
Contractor Name: Self		Address:		Phone:		Permit Issued: <b>PERMIT ISSUED</b> SEP 28 1994	
Past Use: 1-fam		Proposed Use: 1-fam w/expanded Garage		COST OF WORK: \$ 4,300.		PERMIT FEE: \$ 45.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: 4 Type 5B Signature: [Signature]	
Proposed Project Description: Expand garage and per plans				Signature:		Date:	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: <input type="checkbox"/> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan, maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
<ol style="list-style-type: none"> <li>This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>						<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	
						<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review	
						<b>Action:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: 23 Sept '94	
SIGNATURE OF APPLICANT: Robert C. Adams		ADDRESS:		DATE: 23 Sept '94		PHONE:	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE						PHONE:	
						CEO DISTRICT: [Signature] White-Permit Desk Green-Assessor's Canary-D.R.W. Pink-Public File Ivory Card-Inspector	

COMMENTS

2/7/95 W.P. Alowe

Inspection Record

	Type	Date
Foundation:	OK	2/7/95
Framing:	OK	2/7/95
Plumbing:	N/A	
Final:	Balance completed	2/7/95
Other:		



BUILDING PERMIT REPORT

Address 9 Pya Road Date 27/sep/94

Reason for Permit Expand garage

Bldg. Owner: Robert G. Adams

Contractor: owner

Permit Applicant: " "

Approval: X1

CONDITION OF APPROVAL:

1. Before concrete for foundation is placed, approvals from ~~Public Works and~~ Inspection Services must be obtained. (A 24 hour notice is required prior to inspection).
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hr., including fire doors with self-closers.
5. Each apartment shall have access to (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.
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8. This permit does not preclude the applicant from meeting applicable Federal & State laws and City Licenses.

9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the building code 919.3.2 (BOCA National Building Code 1993) and NFPA 101 Chapter 18 & 19. (smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by Fire Partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993).

11. Guardrails & Handrails - A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Group 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

12. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024.0 of the City's building code (The BOCA National Building Code/1993).

13. Stair construction in Use Group R-3, R-4 is a minimum of 9" tread and 8-1/4" maximum rise.

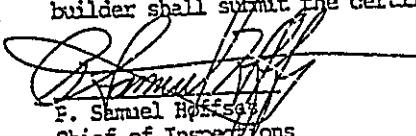
14. Headroom in habitable space is a minimum of 7'6".

15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.

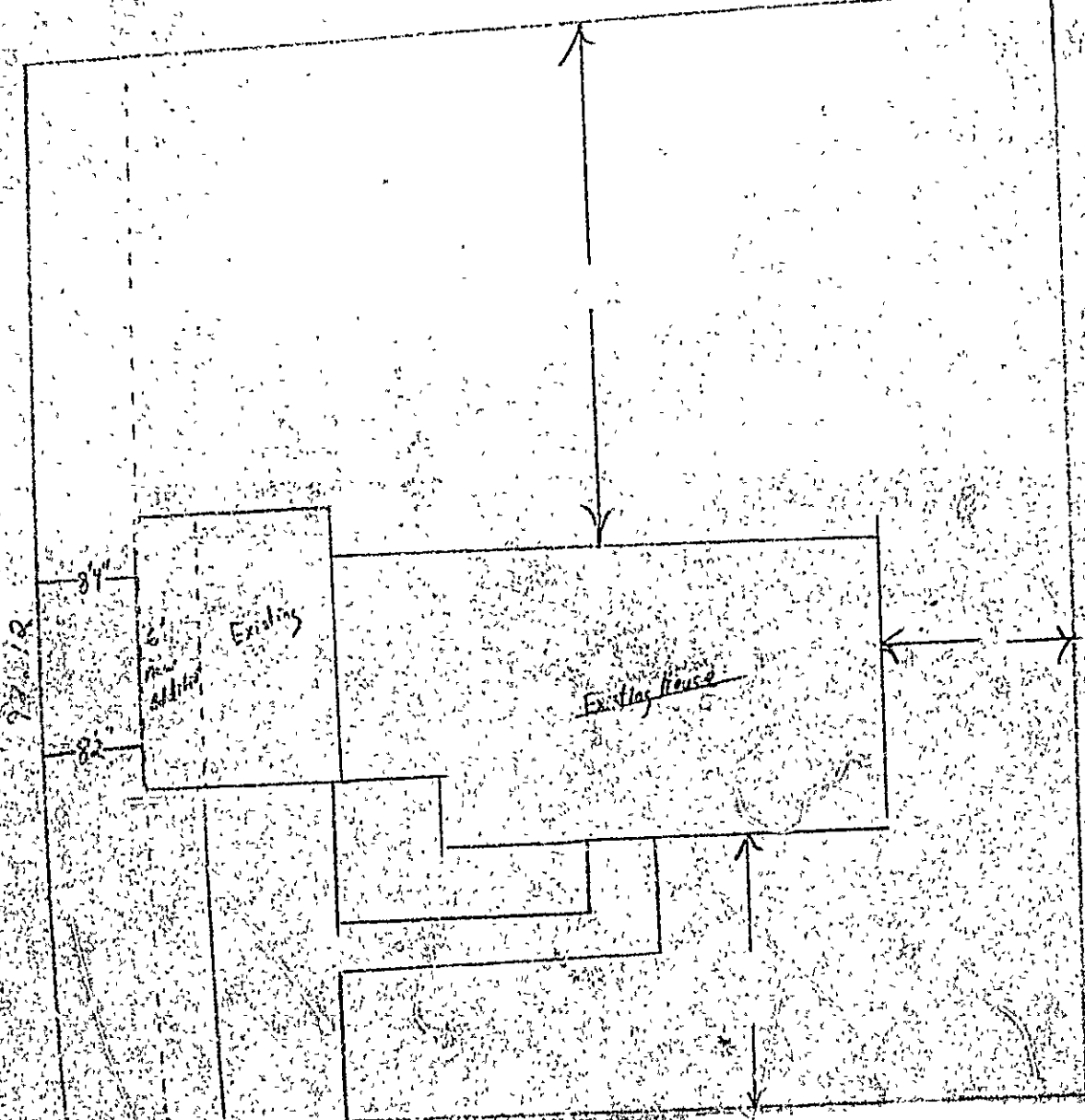
16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final certificate of occupancy is issued or demolition permit is granted.

17. Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

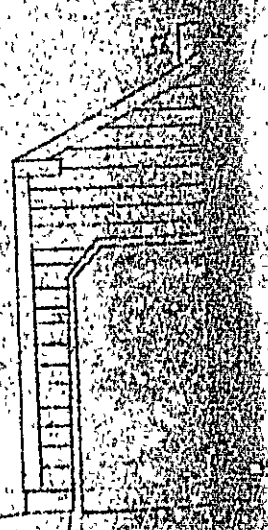
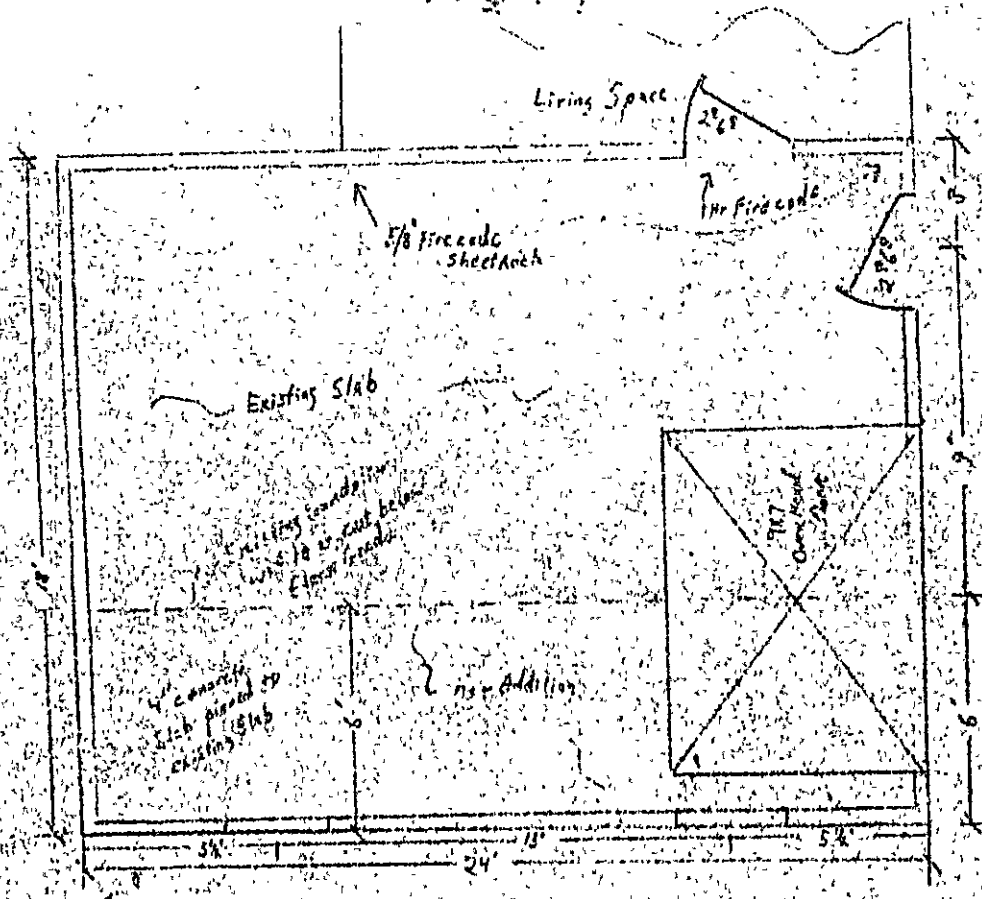
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSR refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

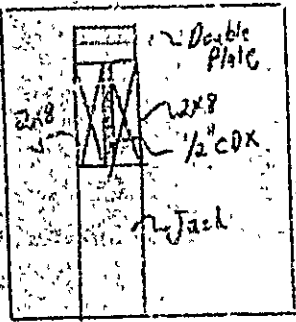
  
F. Samuel Hoffstad  
Chief of Inspections

/cmm 01/14/94(re-do w/additions)

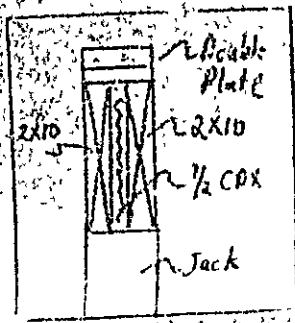


Plot Plan

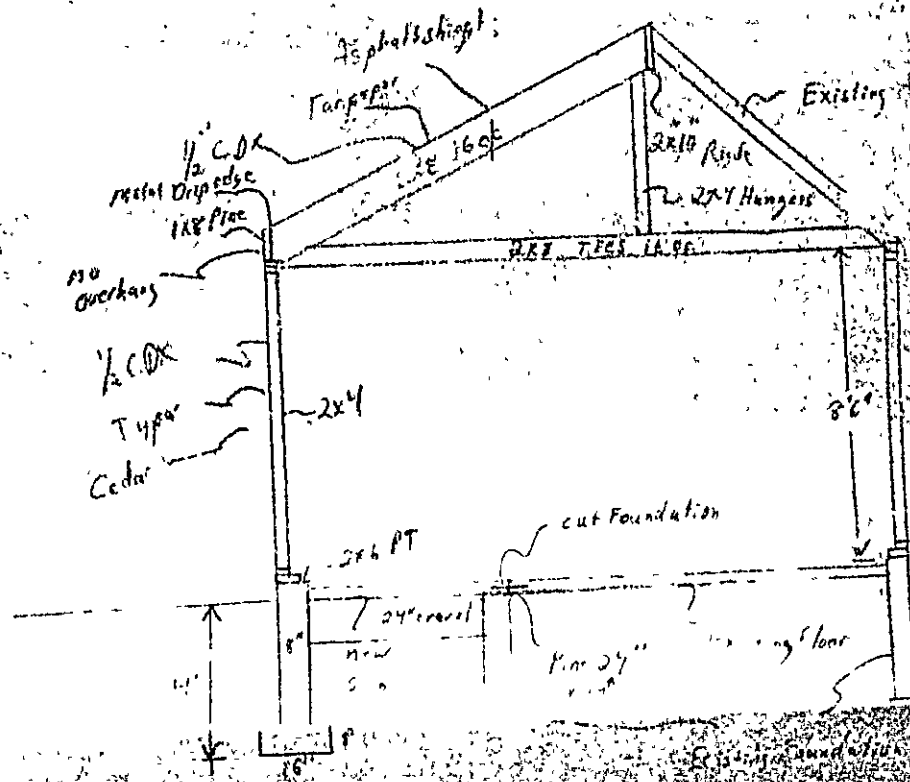




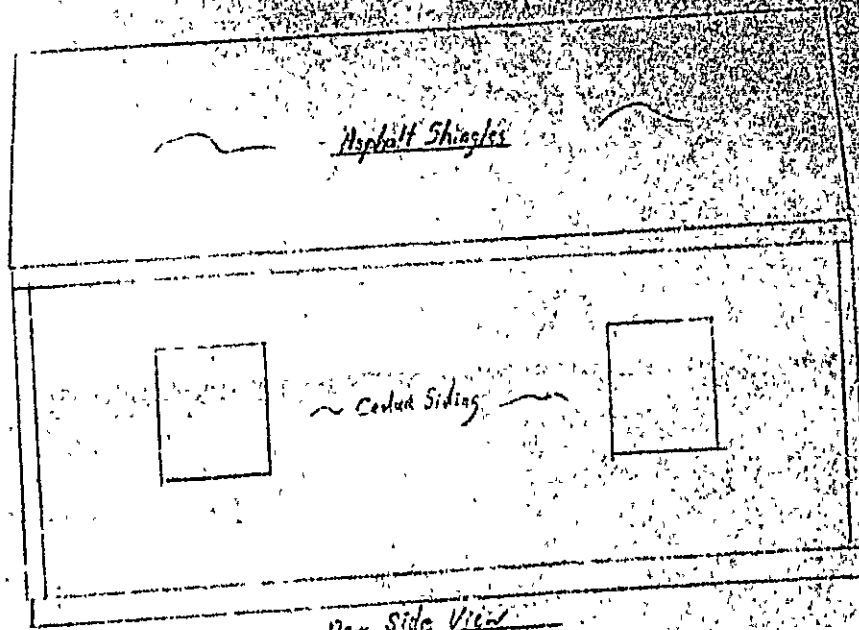
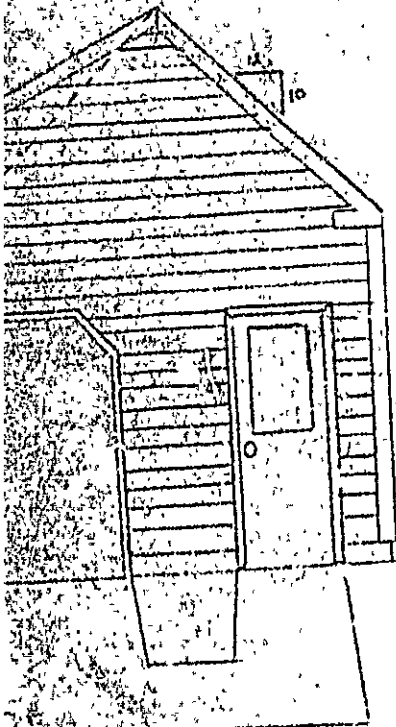
Header Detail Window



Header Detail Overhead Door



Profile



Bob Adams Garage Addition		DRAWN BY	APPROVED BY
SCALE: 1/4" = 1'	DATE: 7/19/74	REVISION	
		DRAWING NUMBER	