

213-219 OCEAN AVENUE

SHAW-WALKER

File cut # 020R, Flat cut # 0202R, Thin cut # 0203R, Full cut # 0204R



R5 RESIDENCE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
00890

JUL 14 1959

Class of Building or Type of Structure Third Class
Portland, Maine, July 8, 1959

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 217 Ocean Ave. Within Fire Limits? no Dist. No. ---

Owner's name and address Leighton L. Martin, 217 Ocean Ave. Telephone ---

Lessee's name and address --- Telephone ---

Contractor's name and address Preston H Pennell, 57 Revere St. Telephone 4-1814

Architect --- Specifications --- Plans yes No. of sheets 1

Proposed use of building Dwelling No. families 1

Last use " No. families 1

Material frame No. stories 2 Heat --- Style of roof --- Roofing ---

Other buildings on same lot ---

Estimated cost \$ 1800.00 Fee \$ 5.00

General Description of New Work

To demolish existing 1-story frame porch 24' x 33'

To remove existing bay window on side of dwelling, leaving open as archway where new addition is to be located.

To relocate existing stairway on front of dwelling from outside to inside location.

To construct 1-story frame addition on front of dwelling: 25' x 34'

To construct bulkhead on rear of building 6' long 4 1/2" wide concrete wall 8" on top 10" bottom 16' to side lot line at least 4' below grade-entrance into basement.

30' (approx.) to front lot line

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes

Is connection to be made to public sewer? --- If not, what is proposed for sewage? ---

Has septic tank notice been sent? --- Form notice sent? yes

Height average grade to top of plate 12' Height average grade to highest point of roof 17'

Size, front 34' wide depth 25' long stories 1 solid or filled land? solid earth or rock? earth

Material of foundation concrete at least 4' below grade Thickness, top 8" bottom 10" cellar yes

Material of underpinning " Height --- Thickness ---

Kind of roof hip shed Rise per foot 5" Roof covering Asphalt Class C Und. Lab.

No. of chimneys --- Material of chimneys --- of lining --- Kind of heat fuel

Framing Lumber-Kind hemlock Dressed or full size? dressed Corner posts 4x6 Sills 4x8

Size Girder --- Columns under girders --- Size --- Max. on centers ---

Kind and thickness of outside sheathing of exterior walls? ---

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2x8, 2nd ---, 3rd ---, roof 2x8

On centers: 1st floor 16", 2nd ---, 3rd ---, roof 16"

Maximum span: 1st floor 12', 2nd ---, 3rd ---, roof 15'

If one story building with masonry walls, thickness of walls? --- height? ---

If a Garage

No. cars now accommodated on same lot ---, to be accommodated --- number commercial cars to be accommodated ---

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ---

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State, and City requirements pertaining thereto are observed? yes

APPROVED: Thiffney with letter

Leighton L. Martin
Preston H Pennell

Signature of owner by: Preston H Pennell

INSPECTION COPY

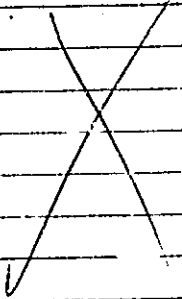
F.M.

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Permit No. 59/890
 Location 217 Grand Ave.
 Owners Regatta & Martin
 Date of permit 7/14/59
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Cert Notice
 Form Check Notice 10/15/59

NOTES

10/1/59 Const. over lot
 work 7 for 6.57
 11/2/59 - Form exp. issued
 E. S. S.
 12/9/59 - Form exp. issued
 E. S. S.
 1/25/60 - Framing
 about finished. maly
 ready for closing-in.
 E. S. S.
 4/14/60 Same E. S. S.
 5/25/60 - Same E. S. S.
 9/19/60 - Insp. not
 comp. E. S. S.



AP 217 Ocean Ave. - Alterations of single family house

July 14, 1959

Mr. Preston H. Pennell
57 Meyers Street

cc to: Mr. Leighton W. Martin
217 Ocean Avenue
cc to: N. T. Fox Co., Attn: Mr. Parks

Dear Mr. Pennell:

Building permit for the above work is issued to you, herewith, subject to the following:

The sill is to be bolted to the foundation wall at each corner and not more than 6 feet from center to center between corners.

It is understood that the new foundation wall is to extend under 3 exterior walls of the proposed Sun Room, under the new exterior wall of the closet for storage thence to return at the side of the new entrance steps to the existing front foundation wall, and that a collar is proposed under both the Sun Room and the closet for storage. If one or more openings in existing foundation walls are to be provided to reach the new portions of cellar from present cellar, suitable lintels will of course be necessary.

The new entrance steps are indicated to be of masonry, but the particular material is not shown. Since there is apparently no existing foundation wall beneath what will be the foot of the new steps, it will be necessary to provide a wall there at least 4 feet below the grade, or else the entire foundation of the new steps should be carried that deep or to ledge, if ledge is encountered at a less depth.

If the masonry platform at the foot of the new stairs is to be of concrete, it should be well insulated from the foundation of the building and the steps thus to prevent damage if the platform is heaved by the frost. Otherwise, if the platform is to be made a part of the building, its foundation should be extended at least 4 feet below the grade.

Please note that notice is required to this office when foundation forms are ready and that no concrete or anything else is to be placed in the forms until our Field Inspector has attached his sticker of approval to the permit card which should be posted in a place visible from the street.

Very truly yours,

Harrold McDonald
Acting Deputy Inspr. of Bldgs.

WHD:im

Enc: permit card and copy of application



REPAIR ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Nov. 14, 1957

PERMIT ISSUED
NOV 15 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair-demolish-install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code, and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 217 Ocean Ave. Within Fire Limits? no Dist. No. ..

Owner's name and address L.L. Martin, 217 Ocean Ave. Telephone

Lessee's name and address Freston Fennell 57 Revore St. Telephone

Contractor's name and address Freston Fennell 57 Revore St. Telephone 4-1844

Architect _____ Specifications _____ Plans no No of sheets _____

Proposed use of building Dwelling No. families 1

Last use _____ " _____ No. families _____

Material frame No stories 2 Heat Style of roof pitch Roofing _____

Other building on same lot _____ Fee \$ 2.00

Estimated cost \$ 300.00

General Description of New Work

To change existing gable end window from 3' x 6' to 8' x 3'-header to be 4x8.

To relocate 2 existing side windows, no change in size.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ . If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof pitch Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind fir Dressed or full size dressed Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max on centers _____

Kind and thickness of outside sheathing of exterior walls? _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet

Joist and rafters:	1st floor	, 2nd	, 3rd	, roof
On centers:	1st floor	, 2nd	, 3rd	, roof
Maximum span:	1st floor	, 2nd	, 3rd	, roof

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Freston Fennell

L.L. Martin
Freston Fennell

APPROVED:

OK - 11/15/57 - agj

INSPECTION COPY Signature of owner by:

F.M.

11/19/57

Permit No. 57/1781

Location 217 Union Ave.

Owner J. S. McArthur

Date of permit 11/15/57

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn

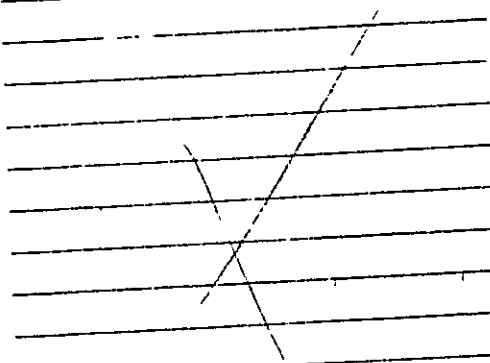
Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

11/19/57 - Work not started - Allow
12/2/57 - Work of preparing - Allow
12/17/57 - Work done - Allow





(RC) RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure ... Third Class
Portland, Maine, October 19, 1956

PERMIT ISSUED
OCT 22 1956

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 217 1/2 Ocean Ave, ... Within Fire Limits? ... Dist. No.
Owner's name and address L. L. Martin, 24 1/2 Ocean Ave. Telephone
Lessee's name and address ... Telephone
Contractor's name and address Joseph Gaudet, L. E. Marston, RFD 5, Portland Telephone
Architect ... Specifications Plans no No. of sheets
Proposed use of building Dwelling No. families 1
Last use " No families 1
Material frame No. stories 1 Heat Style of roof Roofing
Other building on same lot
Estimated cost \$ 1000. Fee \$ 4.00

General Description of New Work

To erect inside brick chimney with fireplace in basement and first floor.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewerage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation concrete base Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No cars now accommodated on same lot, to be accommodated normal commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
L. L. Martin

APPROVED:
ON-10/22/56-agg

INSPECTION COPY Signature of owner By: L. L. Martin

1/1

Permit No. 5611857

Location 2771 ~~2771~~ Ocean Ave

Owner F. S. Masters

Date of permit 10/22/56

Notif. closing-in _____

Inspn. clo ing-in _____

Final Notif. _____

Final Inspn. _____

Cert. of Occupancy issued _____

Staking Out Notice _____

Form Check Notice _____

NOTES

11-15-56 not done - 2000

A large section of the form consisting of horizontal lines, which has been crossed out with a large 'X'.

Memorandum from Department of Building Inspection, Portland, Maine

BP 217 Ocean Avenue—amendment to raise roof over existing bathroom in second story

August 7, 1957

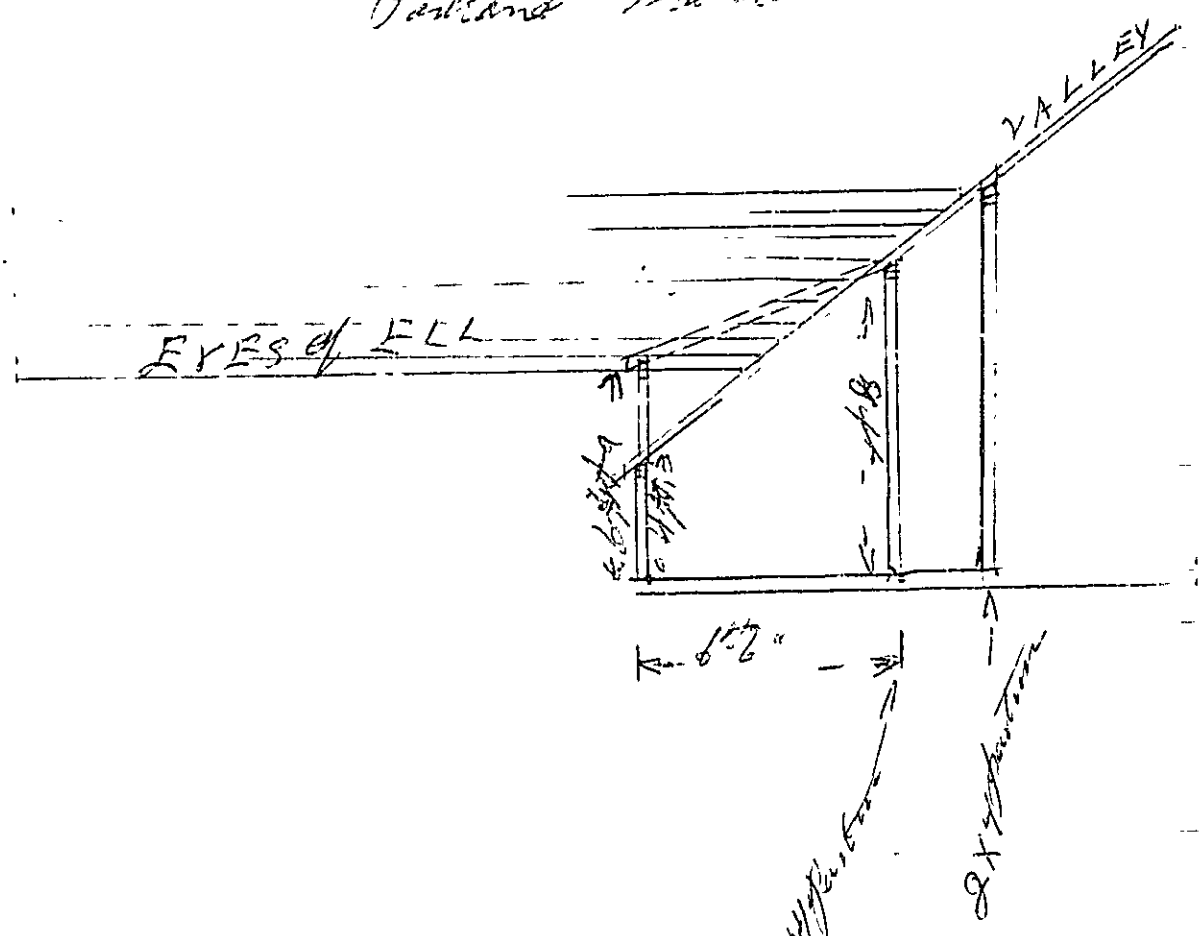
Permit amendment #3 covering raising of roof over existing bathroom in second story of dwelling at above named location is issuable herewith subject to condition that full length studs extending from floor to plate supporting rafters will be provided in outside walls of area over which raised roof is to extend.

AJS/H

CS-27

(Signed) Warren McDonald
Inspector of Buildings

on 22 inspection
 217 Ocean Ave.
 Portland Maine



Proposed plan to raise roof 24" on Eves
 & cones with mitel. coping & install small
 Existing rafters 2x3-18" e. e. window
 New rafters to be 2x6-12" e. e.

Second floor Bathroom



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. **13**
Portland, Maine, August 2, 1957

To the INSPECTOR OF BUILDINGS, PORTLAND MAINE

The undersigned hereby applies for amendment to Permit No. _____ pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland plans and specifications, if any, submitted herewith, and the following specifications:

Location	217 Ocean Ave.	Within Fire Limits?	Dist. No.
Owner's name and address	L.L. Martin, 217 Ocean Ave.	Telephone	
Lessee's name and address		Telephone	
Contractor's name and address	Freston H Fennell, 57 Revere St.	Telephone	4-1841
Architect		Plans filed	Yes No. of sheets 2
Proposed use of building	Dwelling House	No. families	
Last use		No. families	
Increased cost of work		Additional fee	\$50

Description of Proposed Work

To raise roof on existing ell on rear of building, at 2nd floor level.

Permit No. 123456789

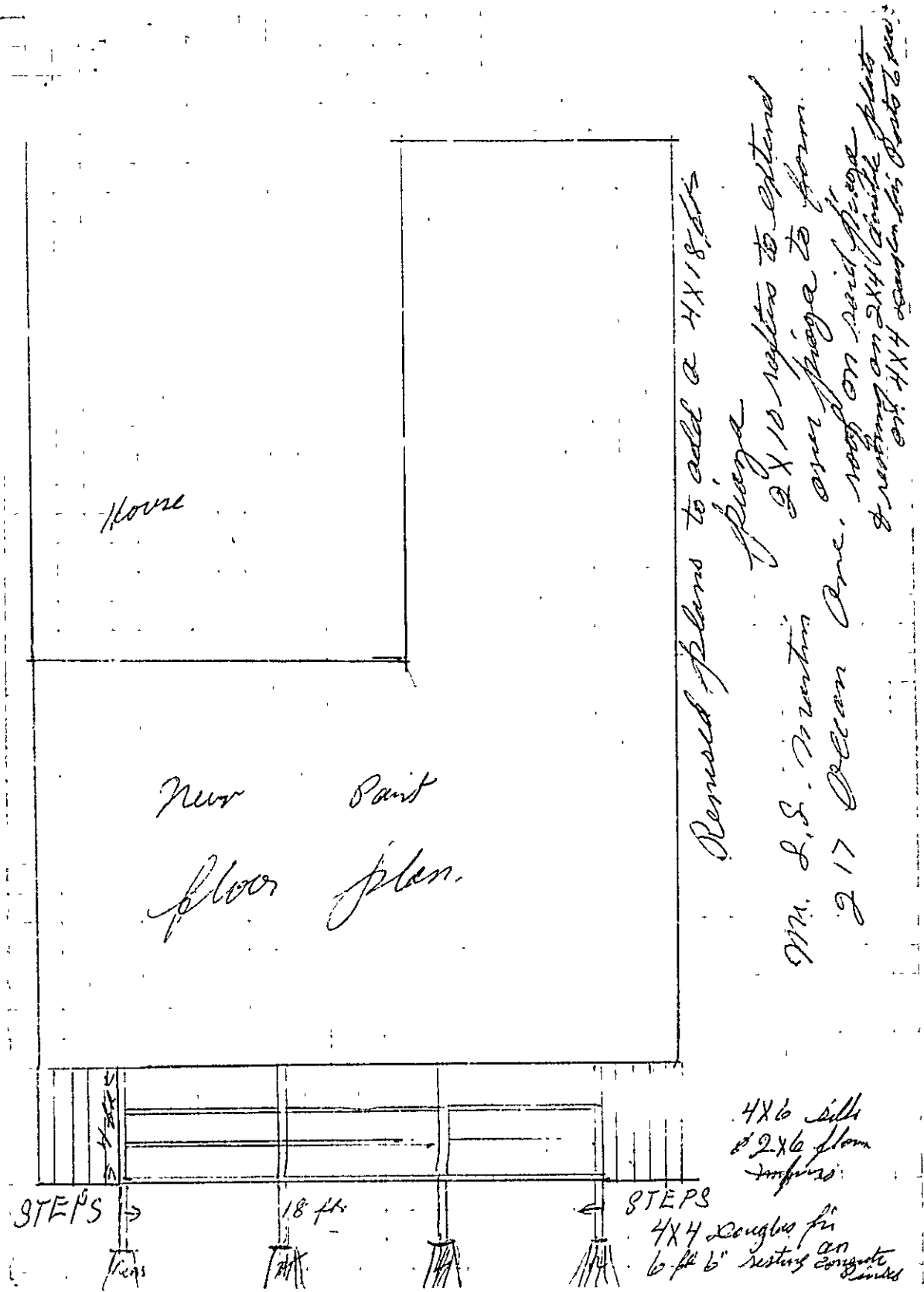
Details of New Work

Is any plumbing involved in this work?	Is any electrical work involved in this work?
Height average grade to top of plate	Height average grade to highest point of roof
Size, front depth	No. stories
Material of foundation	Thickness, top bottom
Material of underpinning	Height
Kind of roof flat	Rise per foot 3 1/2"
No. of chimneys	Material of chimneys
Framing lumber- Kind	Kind
Corner posts	Sill's
Girder	Size
Studs (outside walls and carrying partitions)	2x4-16' O. C. Bridging in every floor and flat roof span over 8 feet
Joist and rafters	1st floor, 2nd, 3rd, roof
On centers	1st floor, 2nd, 3rd, roof
Maximum span	1st fl. o., 2nd, 3rd, roof

Approved: *Albert J. Sears*
Inspector of Buildings

L.L. Martin
Freston H Fennell
Signature of Owner by:

F.M.
Inspector of Buildings



House

New Part
floor plan.

Removal plans to add a 4x18 ft.

porch

2x10 rafters to extend

over porch to form

roof on said porch

& resting on 2x4 girder posts

on 4x4 wooden pier posts & piers.

Mr. L. S. Martin

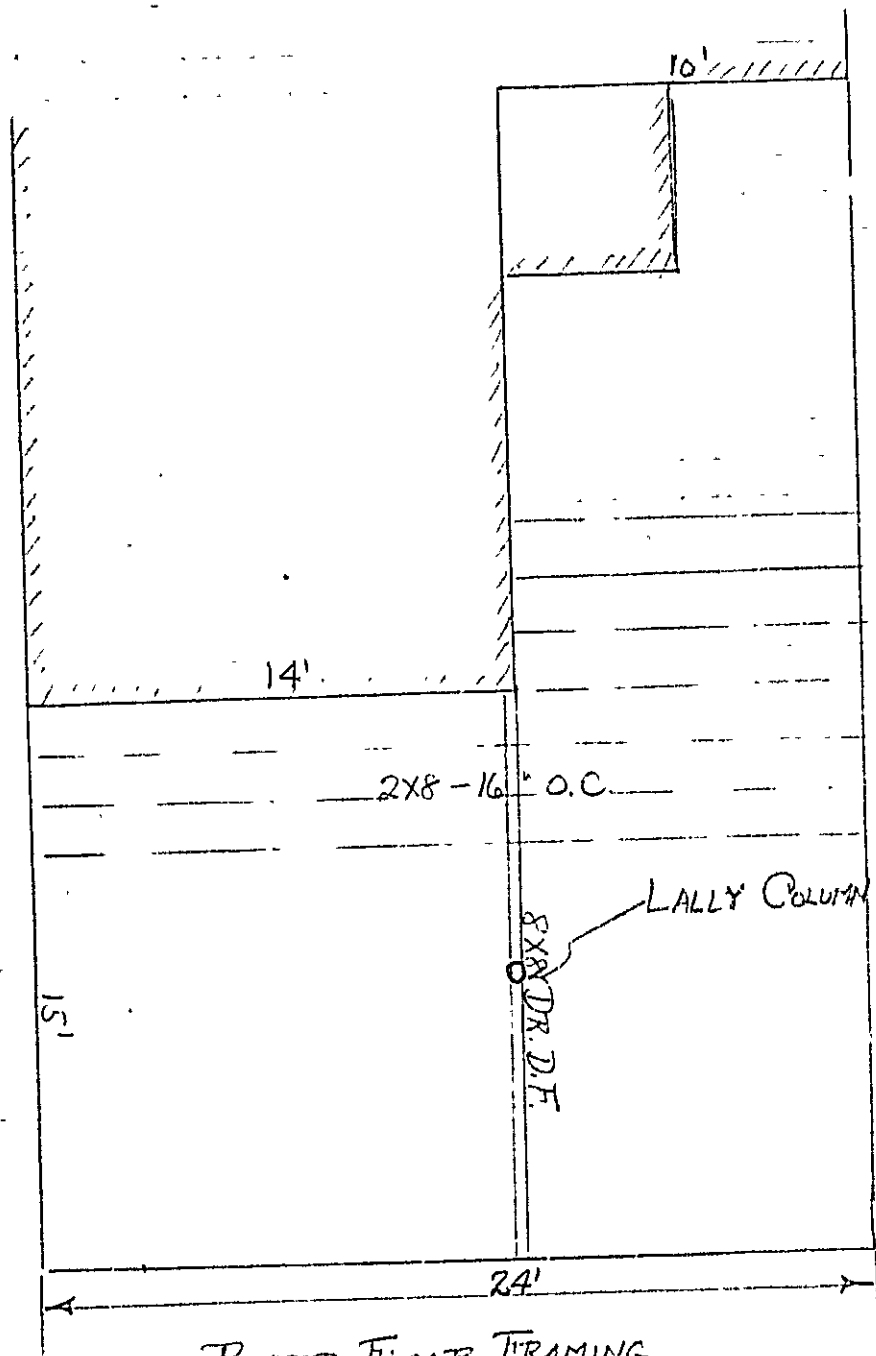
2-17 Ocean Ave.

4x6 sills
& 2x6 floor joists

STEPS →
piers

18 ft.
4x4

← STEPS
4x4 Douglas fir
6x6 resting on concrete piers



REVISED FLOOR FRAMING

October 25, 1956

BP - 217 Ocean Avenue

Mr. Preston H. Pennell
57 Revere Street

Copies to: Mr. L. L. Martin
217 Ocean Ave.
Mr. F. L. Vassar Jr.
74 Farnham St.

Dear Mr. Pennell:-

Amendment #1 to Permit #56/1147 covering change in roof framing for addition under construction on rear of dwelling at the above location is issued herewith based on revised plan filed October 23, 1956, but subject to the following conditions:-

1. A 6x12 dressed Douglas Fir beam is to be used instead of the 4x12 indicated on plan for support across the opening where rear wall of existing sill is to be removed.
2. Where pipe columns are used in cellar for support of floor framing, they are required to have an outside diameter of not less than 3 1/2 inches if genuine Lally or Dean columns are used or 4 inches if ordinary pipe is used.
3. If wood instead of pipe columns are used in cellar, they are required to be set on masonry footings extending at least 4 inches above the cellar floor.
4. The 4x6 sills of new rear platform are to be all one piece in cross section (not made up of two pieces of 2x6) and are to extend around the three outer edges of the platform.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/G



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, Oct. 10, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No 56/1147 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications

Location	217 Ocean Avenue	Within Fire Limits?	Dist. No.
Owner's name and address	Mr. L. L. Martin, 217 Ocean Ave.		Telephone
Lessee's name and address			Telephone
Contractor's name and address	Preston H. Fennell, 57 Revere St.		Telephone 4-1844
Architect		Plans filed yes	No. of sheets 2
Proposed use of building	dwelling house		No. families
Last use	" "		No. families
Increased cost of work			Additional fee .50

Description of Proposed Work

To change shape of roof as per plan
 To construct 1-story open rear piazza 4'x18' letting the rafters of the addition on the roof

Permit Issued with Lettc.

Details of New Work

Is any plumbing involved in this work?	Is any electrical work involved in this work?
Height average grade to top of plate	Height average grade to highest point of roof
Size, front depth	No. stories solid or filled land? earth or rock?
Material of foundation	concrete piers to extend to ledger, bottom 10" cellar
Material of underpinning	Douglas Fir Height 6' Thickness 4x4
Kind of roof	Rise per foot Roof covering
No. of chimneys	Material of chimneys of lining
Framing lumber—Kind	Dressed or full size?
Corner posts	Sills 4x6 Girt or ledger board? Size
Girders	Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions)	2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters:	1st floor 2x6, 2nd, 3rd, roof
On centers:	1st floor 16", 2nd, 3rd, roof
Maximum span:	1st floor 6', 2nd, 3rd, roof

Approved: *with letters by [Signature]*

Signature of Owner BY *Preston H. Fennell*

Approved: *10/25/56 [Signature]*
Inspector of Buildings

INSPECTION COPY

C-10-154-SC-Marks



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 2
Portland, Maine, March 14, 1957

PERMIT ISSUED

MAR 14 1957

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 56/1147 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 217 Ocean Ave. Within Fire Limits? no Dist. No.
Owner's name and address L. L. Martin, 217 Ocean Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address Preston H. Pennell, 57 Revere St. Telephone 4-1844
Architect Plans filed no No. of sheets
Proposed use of building dwelling house No. families
Last use No. families
Increased cost of work 150. Additional fee 50.

Description of Proposed Work

To cut in 12' x 4' picture window in rear wall second floor/ Gable end. 4x6 header.

Amendment to be issued to contractor
Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: OK-3/14/57-agg

Signature of Owner by Preston H. Pennell

Approved: 3/12/57 W... Inspector of Buildings

August 1, 1956

-AP - 217 Ocean Avenue

Mr. Preston H. Pennell
57 Favore Street

Copy to Mr. L. L. Martin
217 Ocean Avenue

Dear Mr. Pennell:-

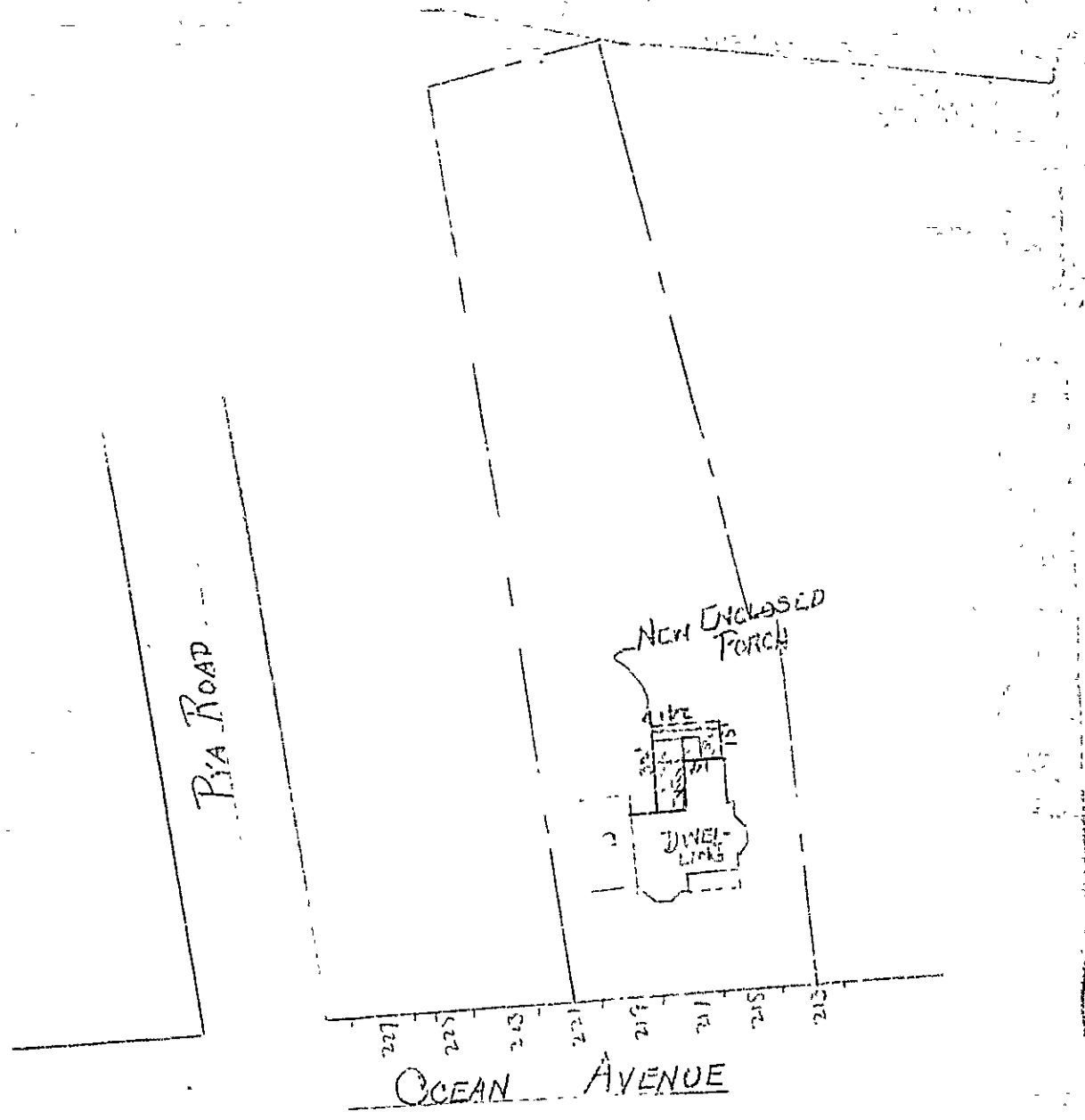
Building permit for construction of a one story addition on rear of dwelling at the above location in place of an existing one story enclosed piazza smaller in size is issued herewith subject to the following conditions:-

1. The 2x8 floor and roof joists are to be of Douglas Fir lumber. Cross bridging of not less than 1x3 is to be provided at center of span of floor joists.
2. An 8x8 girder on a span of 10 feet is to be provided for support of floor joists where addition on rear of all joists that on side.
3. Studs and corner posts are to extend down to the 4x4 sills unless regular box sill construction with bottom member anchored to foundation walls at corners and not over 6 feet between corners is used.
4. Because the pitch of roof is to be 4 inches in 12 inches or less the hip rafters are to be 4x10 instead of the 2x10 indicated.
5. Notification is to be given for inspection before any lath or wall board is applied to walls, partitions or ceilings.

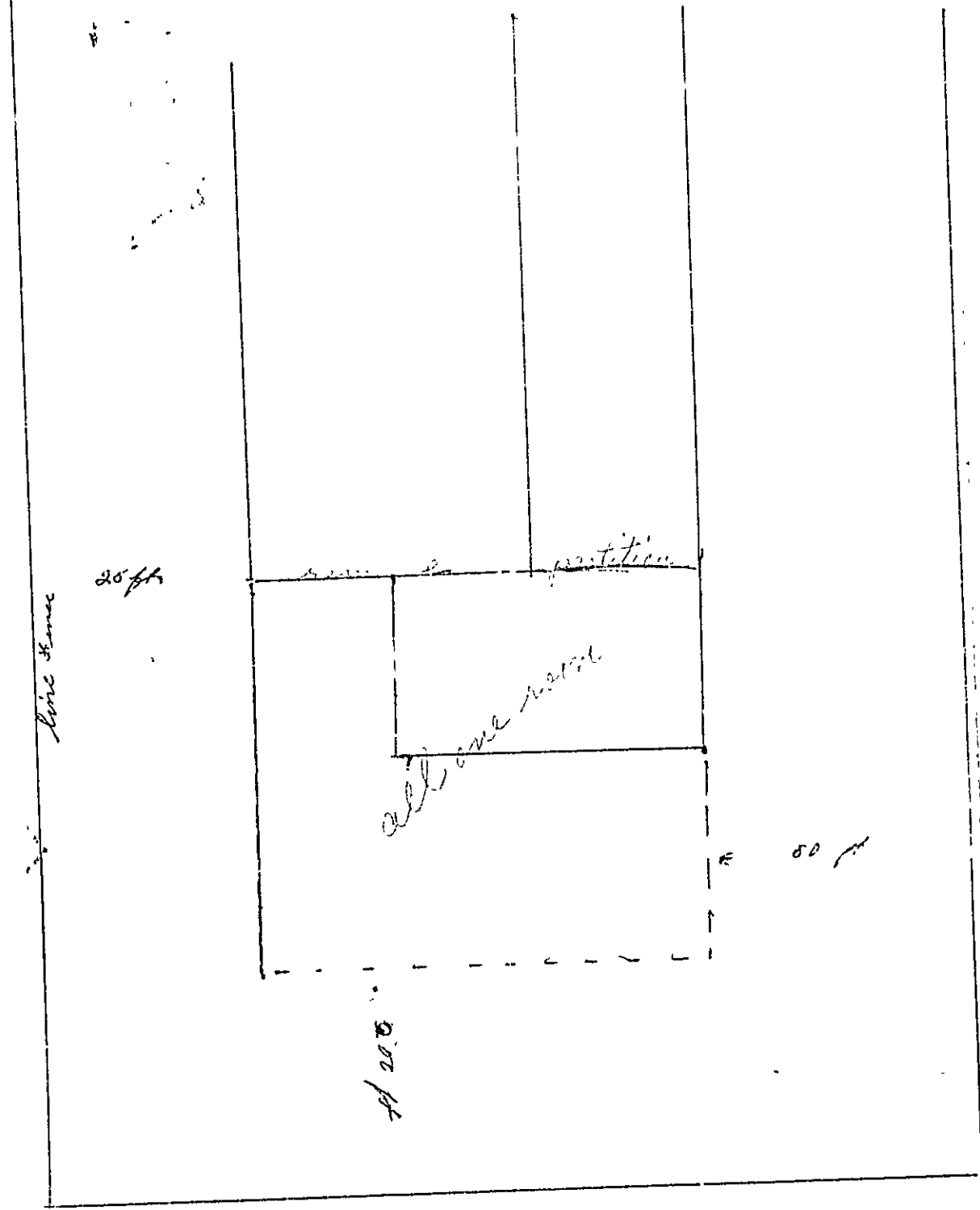
Very truly yours,

Albert J. Soars
Deputy Inspector of Buildings

AJS/0



Ocean Ave.
Mr. L.L. Martin
217 Ocean Ave.





(RC) RESIDENCE ZONE - C

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, July 23, 1956

PERMIT ISSUED
01147
AUG 1 1956
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~erect~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 217 Ocean Avenue Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Mr. L. L. Martin, 217 Ocean Ave. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Preston H. Kennell, 57 Revere St. Telephone 4-1244
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building dwelling house No. families _____
 Last use _____ " " _____ No. families _____
 Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 2500 Fee \$ 1.00

General Description of New Work

To remove existing 1-story enclosed piazza on rear of dwelling.
 To construct new 1-story enclosed piazza 15' x 24' x 32'. (rear)
 To remove rear wall of all and install 8-inch 18.1" J-beam in its place to support wall above.

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent?
 Height average grade to top of plate 11' Height average grade to highest point of roof 15'
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation concrete at least 4' below grade or to ledge Thickness, top 8" bottom 12" cellar yes
 Material of underpinning _____ to sill _____ Height _____ Thickness _____
 Kind of roof Asph. shed Rise per foot _____ Roof covering Asphalt Class C Und Lab
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind hemlock Dressed or full size? dressed
 Corner posts 4x6 Sills 4x8 Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x8, 2nd _____, 3rd _____, roof 2x8
 On centers: 1st floor 16", 2nd _____, 3rd _____, roof 12"
 Maximum span: 1st floor 14', 2nd _____, 3rd _____, roof 14'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

with letter by AGJ

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

L. L. Martin

Signature of owner BY: *Preston H. Kennell*

INSPECTION COPY



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1
Portland, Maine, Oct. 20, 1955

PERMIT ISSUED

OCT 20 1955

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 55/1581 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 217 Ocean Ave.
Owner's name and address Leighton Martin, 217 Ocean Ave.
Lessee's name and address
Contractor's name and address Preston H. Pennell, 57 Revere St.
Architect
Proposed use of building dwelling house
Last use
Increased cost of work 150.

Description of Proposed Work

To cut in two windows in front wall of building, one on each side of new chimney, 36" x 75", 4x6 header.
To cut in window on left hand side of dwelling 18" x 75". (18" is the width)

Amendment to be issued to contractor

Details of New Work

Is any plumbing involved in this work?
Is any electrical work involved in this work?
Height average grade to top of plate
Height average grade to highest point of roof
Size, front depth
No. stories
solid or filled land?
earth or rock?
Material of foundation
Thickness, top bottom
cellar
Material of underpinning
Height
Thickness
Kind of roof
Rise per foot
Roof covering
of lining
No. of chimneys
Material of chimneys
Dressed or full size?
Framing lumber—Kind
Corner posts
Sills
Girt or ledger board?
Size
Girders
Size
Columns under girders
Size
Max. on centers
Studs (outside wall and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: OK-10/20/55-AGJ

Signature of Owner by: Preston H. Pennell

Approved: 10/20/55 [Signature] Inspector of Buildings

INSPECTION COPY

C-10-154-50-Marks



(RC) RESIDENTIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure... Third Class

Portland, Maine, September 15, 1955

PERMIT ISSUED 01581

SEP 15 1955

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 217 Ocean Avenue Within Fire Limits? 40 Dist. No.
Owner's name and address Leighton Martin, 227 Ocean Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address C. Galli & Son, 46 Portland St. Telephone 2-5168
Architect Specifications Plans No. of sheets
Proposed use of building Dwelling No. families 1
Last use No. families 1
Material No. stories Heat Style of roof Roofing
Other building on same lot
Estimated cost \$ 1100. Fee \$ 5.00

General Description of New Work

To construct fireplace in dwelling and outside brick chimney. front of dwelling - 3 1/2' from street line

The brickwork of the chimney is to be corbelled so as to pass through the outside wall of the outside wall of the building at the point where the smokepipe enters so as to obviate the need of carrying the smokepipe through the outside wall.

Permit Issued with Letters

CERTIFICATE OF OCCUPANCY REQUIREMENTS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO C. Galli & Son

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation concrete at least 4" below grade Thickness bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. or centers
Studs (outside walls and carrying partitions) 2x4-16' O. C. Bridging in every floor and that roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

Leighton Martin

C. Galli & Son

Signature of owner By

James H. Kelly

INSPECTION COPY

C16-211 (M-Mark)

September 15, 1955

AP 217 Ocean Ave.—Construction of fireplace and brick chimney

C. Galli & Son
46 Portland St.

Copy to: Mr. Leighton Martin
217 Ocean Ave.

Gentlemen:-

Building permit for the above work is issued, herewith, subject to the following:

The application says that the chimney is to be outside of the front wall of the dwelling, and if the side of the chimney toward the street will be closer to the street line (inside edge of public sidewalk) than the front wall of any dwelling or other habitation on the adjacent lot on either side, it is not allowable to build the chimney under the Zoning Ordinance. In that case, the work should not be started but the permit card returned immediately with explanation of the situation. In that case, the owner has rights of appeal to the Zoning Board of Appeals, but the permit is not issuable as far as the powers of this office go.

If the chimney is to be completely outside of the front wall of the building, it is required that the chimney wall nearest the building shall be at least an inch away from all burnable material or that special protection shall be provided against the woodwork or other burnable material. In event that you do not wish to get the chimney wall one inch away from the woodwork, it is important that you tell us what you mean to provide for protection of the woodwork.

Very truly yours,

Warren McDonald
Inspector of Buildings

hMcD/G

LA



(RC) RESIDENCE ZONE - C

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, June 23, 1955

PERMIT ISSUED

JUN 23 1955

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish or install the following building structure or equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 217 Ocean Ave. Within Fire Limits? no Dist. No.
Owner's name and address L. L. Martin, 217 Ocean Ave. Telephone
Lessee's name and address
Contractor's name and address Preston Pennell, 57 Revere St. Telephone 4-1844
Architect Specifications Plans No. of sheets
Proposed use of building dwelling house No. families
Last use " " No. families
Material wood No. stories 2 1/2 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 30. Fee \$.50

General Description of New Work

To remove existing center chimney down to cellar floor. To close all openings.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Preston Pennell

Details of New Work:

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Gir Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

L. L. Martin

Signature of owner

Preston H. Pennell

2

Permit No. 55/969

Location 277 Ocean Ave.

Owner J. P. Mott

Date of permit 6/23/55

Notif. closing-in

Inspnt. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

7/18/55 - job completed - O.K.

Large section of the form consisting of multiple horizontal lines, mostly crossed out with a large 'X'.



WATERBURY ZONE - C
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
 Portland, Maine, April 1, 1955

PERMIT ISSUED
00399
 APR 4 1955
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~demolish~~ ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 217 Ocean Avenue Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Leighton L. Martin, 217 Ocean Ave. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Preston Penell, 57 Revere St. Telephone 4-1844
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building dwelling house No. families _____
 Last use _____ " " _____ No. families _____
 Material _____ No. stories 2 Heat _____ Style of roof gable Roofing asphalt
 Other buildings on same lot _____
 Estimated cost \$ 50.00 Fee \$.50

General Description of New Work

To remove existing fireplace and chimney.
 To cover roof with asphalt Class C Und. Lab.
 Floor space to be framed with 2x8s 16" on center. Space in roof to be framed by 2x6s 24" on center
 wall space 2x4 16" on center covered with plaster.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO**

Mr. Penell

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.R. - 4/4/55 - A.J.S.

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Leighton L. Martin
 Preston Penell

Signature of owner By: Preston H. Penell

INSPECTION COPY



(R-1) RESIDENCE ZONE - C

APPLICATION FOR PERMIT

PERMIT ISSUED
02200
NOV 22 1954

Class of Building or Type of Structure _____

Portland, Maine, NOV. 17, 1954

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~relocate~~ repair and install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 219 Ocean Ave. Within Fire Limits? no Dist. No. _____
 Owner's name and address L. L. Martin, 219 Ocean Ave. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address A. F. Briggs Co., 369 Forest Ave. Telephone _____
 Architect _____ Specifications _____ Plans yes Fire Dept. No. of sheets 1
 Proposed use of building dwelling and garage No. families _____
 Last use x " " No. families _____
 Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 2.00

General Description of New Work

To install refrigeration equipment in garage as per plan. Compressor in garage.
Refrigerant - Freon 12

Mr. Martin says this box is for storing vegetables fruit etc in quantity and for his own family use only - no commercial aspects. V.M. 11/19/54

Rec'd by Fire Dept. 11/19/54
Rec'd from Fire Dept. 11/23/54

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO A. F. Briggs Co.**

Details of New Work

Is any lumbering involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Henry H. Moore
CHIEF OF FIRE DEPT.

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

L. L. Martin
A. F. Briggs Co.

Signature of owner by: *Carl N. Wallace*

INSPECTION COPY



(RC) RESIDENCE ZONE - C

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, October 15, 1953

PERMIT ISSUED
02035
OCT 23 1953
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 217 Ocean Ave. Within Fire Limits? no Dist. No. _____
Owner's name and address L. L. Martin, 217 Ocean Ave. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Preston H. Pennell, 57 Hevere St. Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 3
Proposed use of building Dwelling and garage and storage of farm equip. No. families _____
Last use Dwelling and detached garage No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 2000. Fee \$ 4.00

General Description of New Work

To demolish existing 1 car garage 13'x18' and
To construct 1 story addition 22'x36' on side of dwelling house for garage and
storage of farm equipment such as retotiler, lawnmower, etc.

The inside of the garage will be covered where required by law, with perforated gypsum
lath covered with one-half inch thickness gypsum plaster.
No opening between dwelling and garage

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in
the name of the heating contractor. PERMIT TO BE ISSUED TO Preston H. Pennell

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate 10' Height average grade to highest point of roof 24' 17'
Size, front _____ depth _____ No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation concrete at least 4' below grade Thickness, top _____ bottom 10" cellar no
Material of underpinning _____ Height _____ Thickness _____
Kind of roof shed-flat Rise per foot 1/2" Roof covering asphalt roofing, Class CUnd. Lab.
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind Douglas fir and hemlock Dressed or full size? dressed
Corner posts 4x6 Sills 4x6 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x10 DF
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot, 1, to be accommodated 2 number commercial cars to be accommodated 1
to be demolished
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED:

with letter by [Signature]

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to
see that the State and City requirements pertaining thereto are
observed? yes L. L. Martin

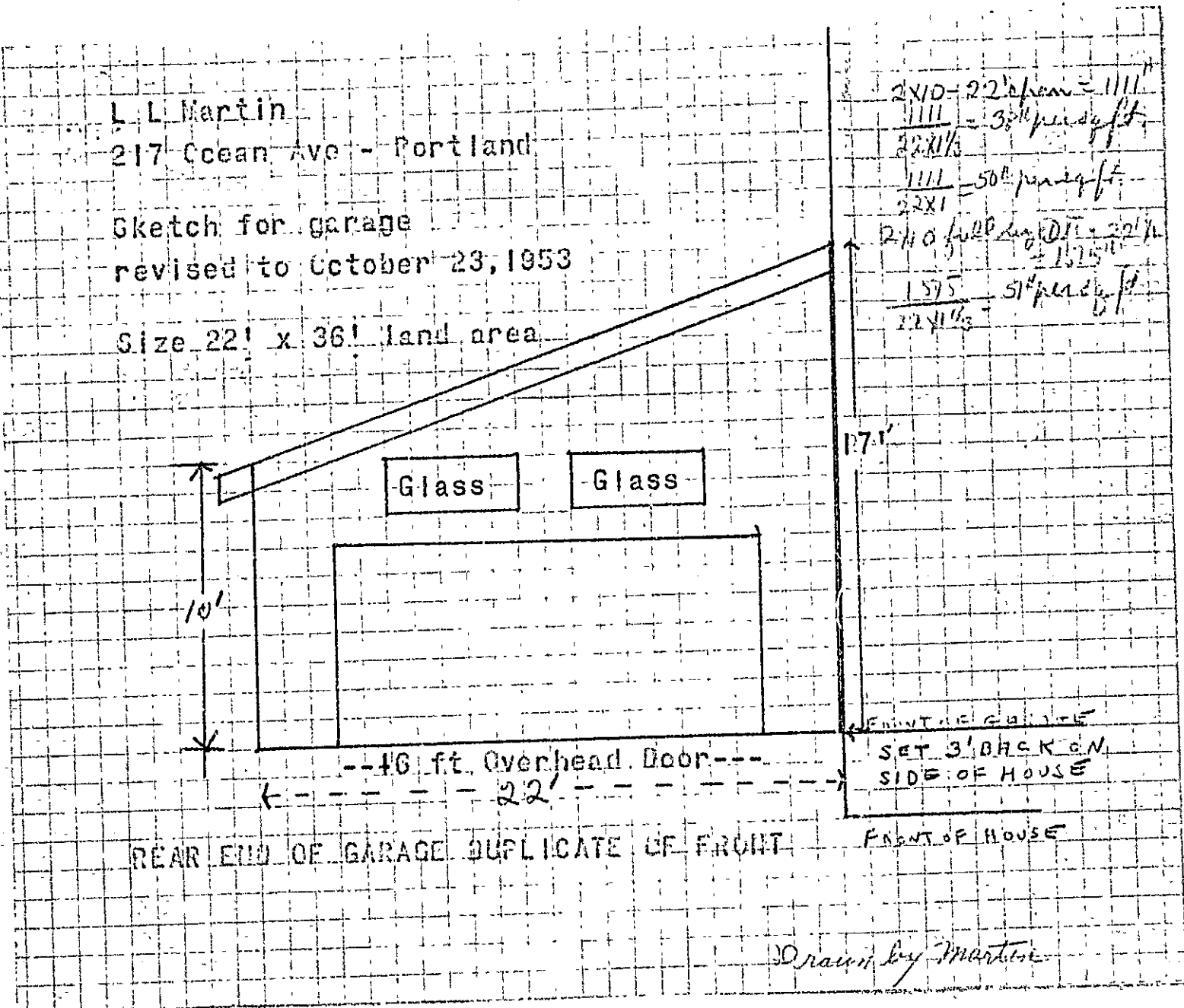
Signature of owner By: Preston H. Pennell

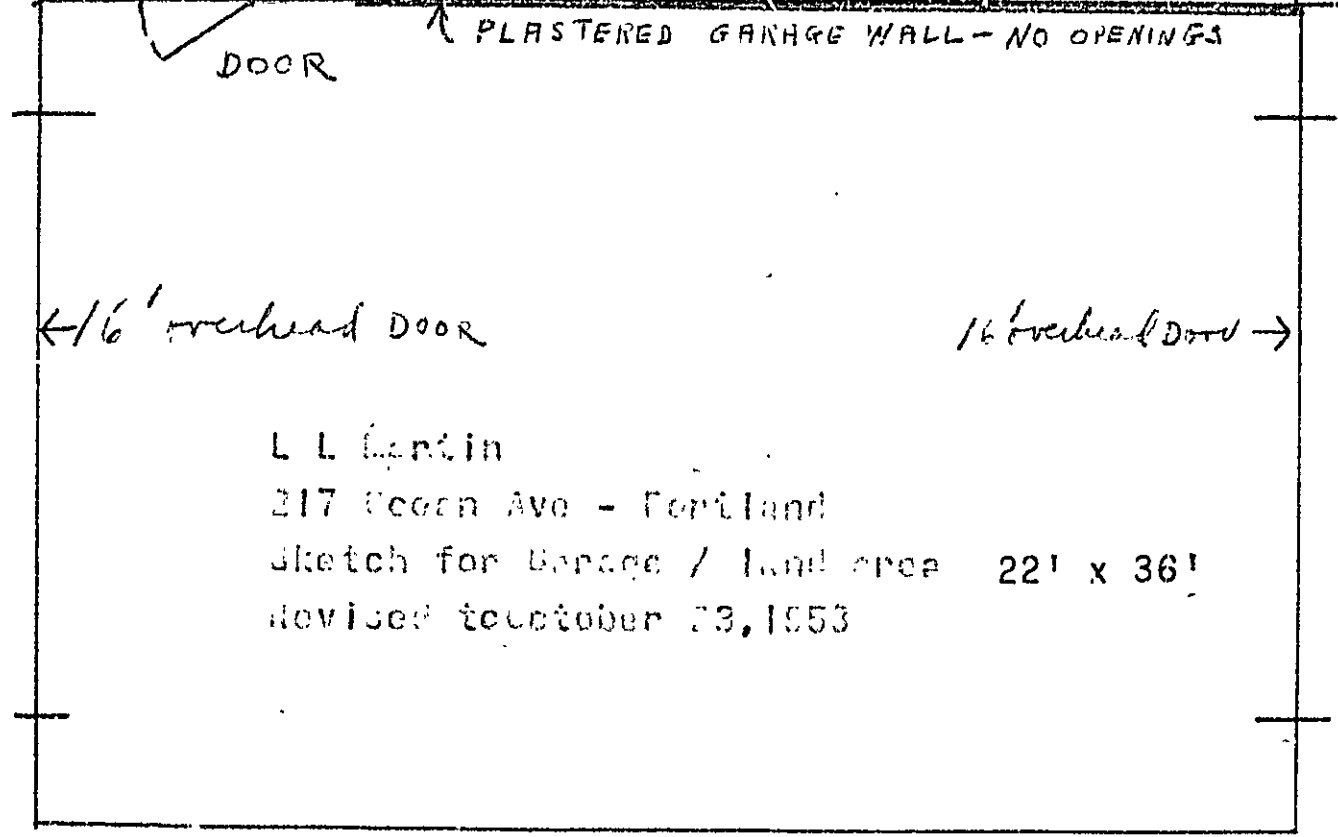
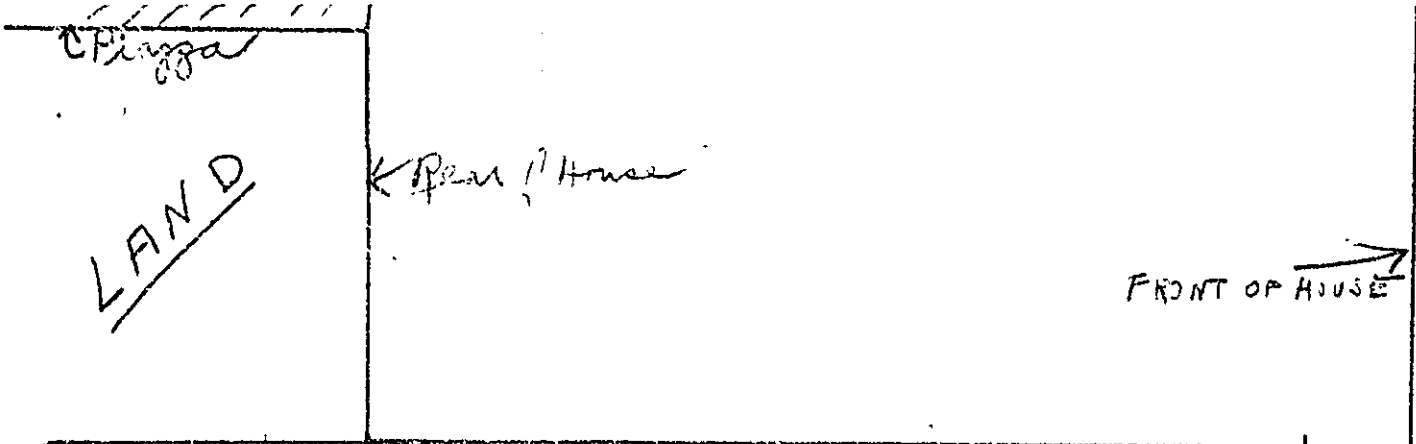
COPY

L. L. Martin
 217 Ocean Ave - Portland

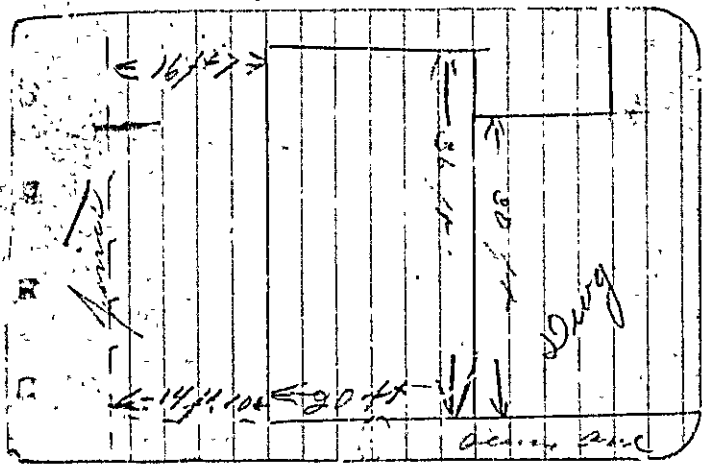
Sketch for garage
 revised to October 23, 1953

Size 22' x 36' land area



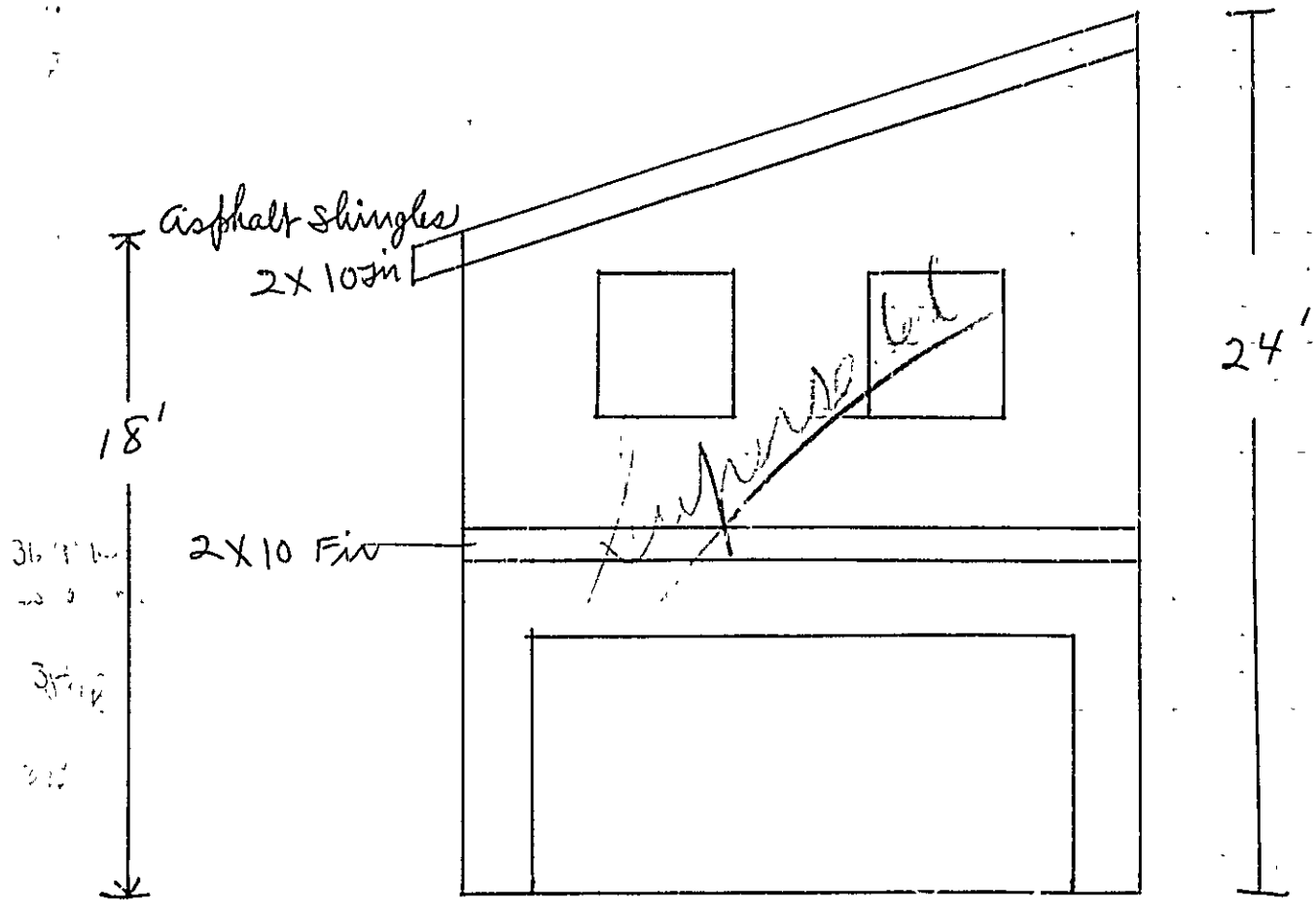


L L Martin
217 Ocean Ave - Portland
Sketch for Garage / Land area 22' x 36'
Revised October 23, 1953



L. L. Martin
217 Ocean Ave
Portland

10-10-53



16' overhead door

Rear end of bldg same as front

$$2 \times 10 \text{ D.T. } - 20' \text{ SPAN} = 1222'$$

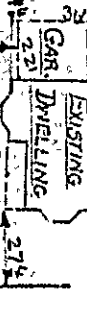
$$\frac{1222}{20 \times 1/3} = 46'' \text{ per sq ft.}$$

$$\frac{6 \times 12}{20} = 3.6'' \text{ PER FOOT.}$$

PIA ROAD

OCEAN AVENUE

227
225
223
221
219
217
215
213



PICKET LOT

FENCE LINE

5



APPLICATION FOR PERMIT - C

Class of Building or Type of Structure Third Class

Portland, Maine, June 24, 1953

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 217 Ocean Avenue Within Fire Limits? no Dist. No.
Owner's name and address L. L. Martin, 217 Ocean Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address Preston H. Pennell, 57 Revere St. Telephone
Architect Specifications Plans Yes No. of sheets 1
Proposed use of building 1 car garage and storage of farm equipment No. families
Last use 1 car garage (Rototiler, etc.) No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot Dwelling
Estimated cost \$ 2000. Fee \$ 4.00

General Description of New Work

To demolish existing 1 car garage 13'x18' and
To construct 1 story building 18'x45' for garage and storage of farm equipment
such as rototiler, lawnmower, etc.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Preston H. Pennell

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Height average grade to top of plate 8' Height average grade to highest point of roof 14'
Size, front depth No. stories 1 solid or filled land? solid earth or rock? earth & ledge
Material of foundation concrete at least 4' below grade Thickness, top 8" bottom 10" cellar no
Material of underpinning Height Thickness
Kind of roof Pitch-gable Rise per foot 8" Roof covering asphalt roofing Class C Und, Lab.
No. of chimneys none Material of chimneys of lining Kind of heat fuel
Framing lumber Kind hemlock Dressed or full size? dressed
Corner posts 4x6 Sills 4x6 Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor concrete, 2nd, 3rd, roof 2x16
On centers: 1st floor, 2nd, 3rd, roof 16"
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated 1 number commercial cars to be accommodated none
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED:

Blank lines for approval signature

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

L. L. Martin

By: Preston H. Pennell

Signature of owner

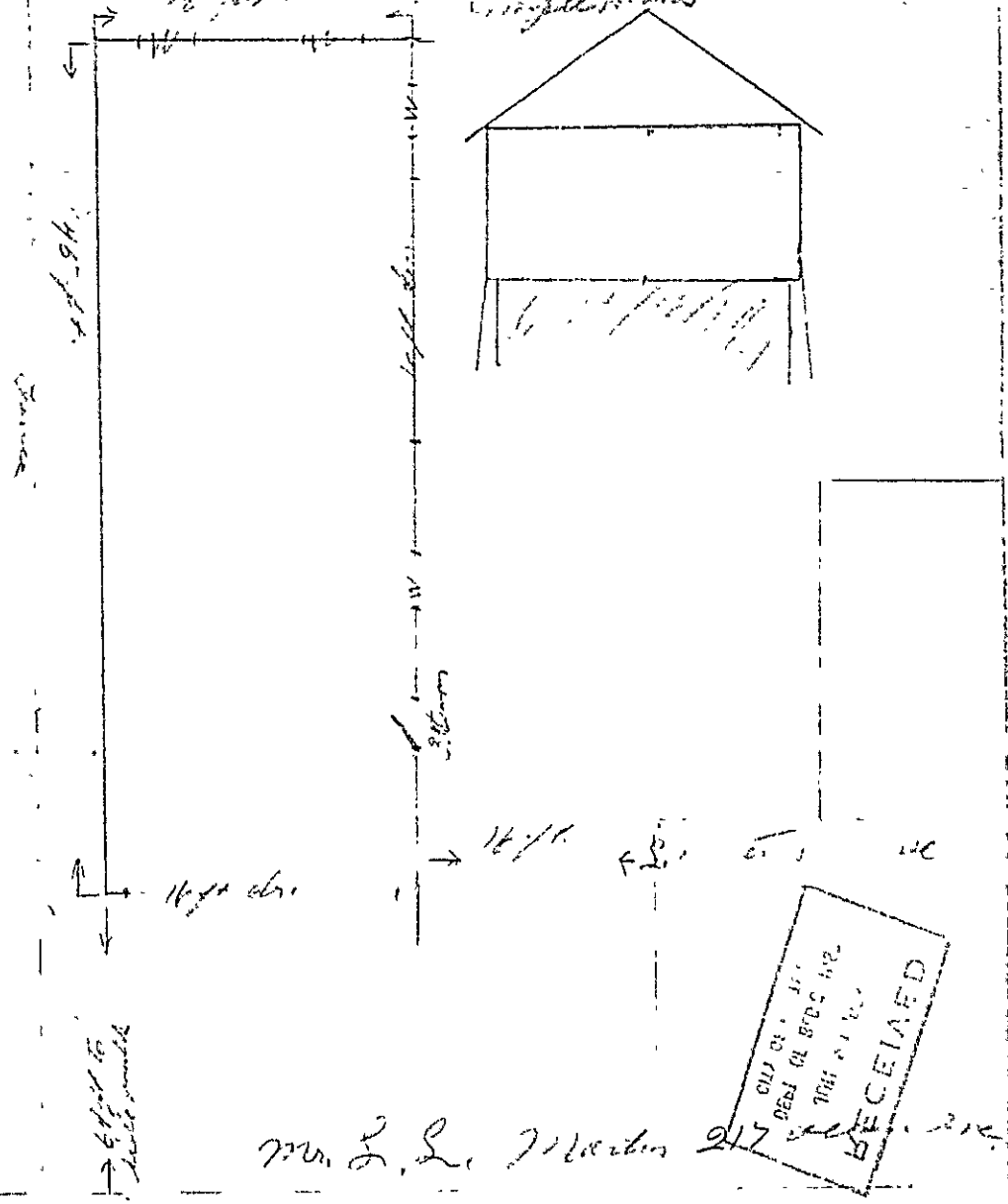
STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for Garage and storage farm equipment
at 217 Ocean Ave. Date 6/24/53

1. In whose name is the title of the property now recorded? L. L. Martin
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? stakes
3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? _____
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

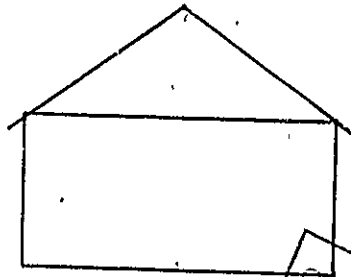
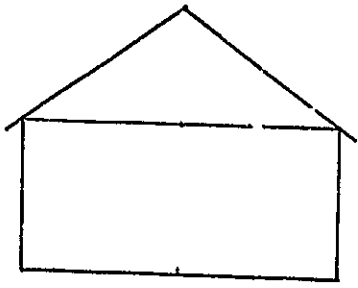
Raeston H. Russell

Building to be 18x45 ft concrete foundation 4 ft deep
 around floor 4x6 with 4x6 corner & door posts 2x4 studs
 2x6 rafters all rafters & building to be 16" O.C.
 building to be tied together with 2x6 - 18 ft long
 placed every 4 ft. to be tied with 6" spaced rafters
 roof asphalt shingles & nails to be double
 18 ft. to house tree near garden
 complements



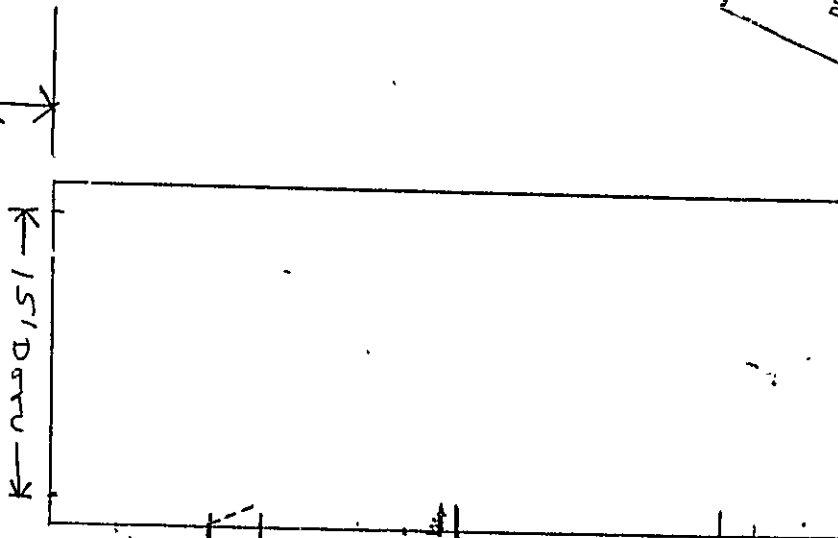
Mr. L. L. Martin 217

Scale 1/4" = 1 ft
 Ocean Ave. P.O. of



RECEIVED
JUN 21 1953
DEPT. OF BLD'G INSP.
CITY OF HONOLULU

← 64 ft to sidewalk →



← 15' down →

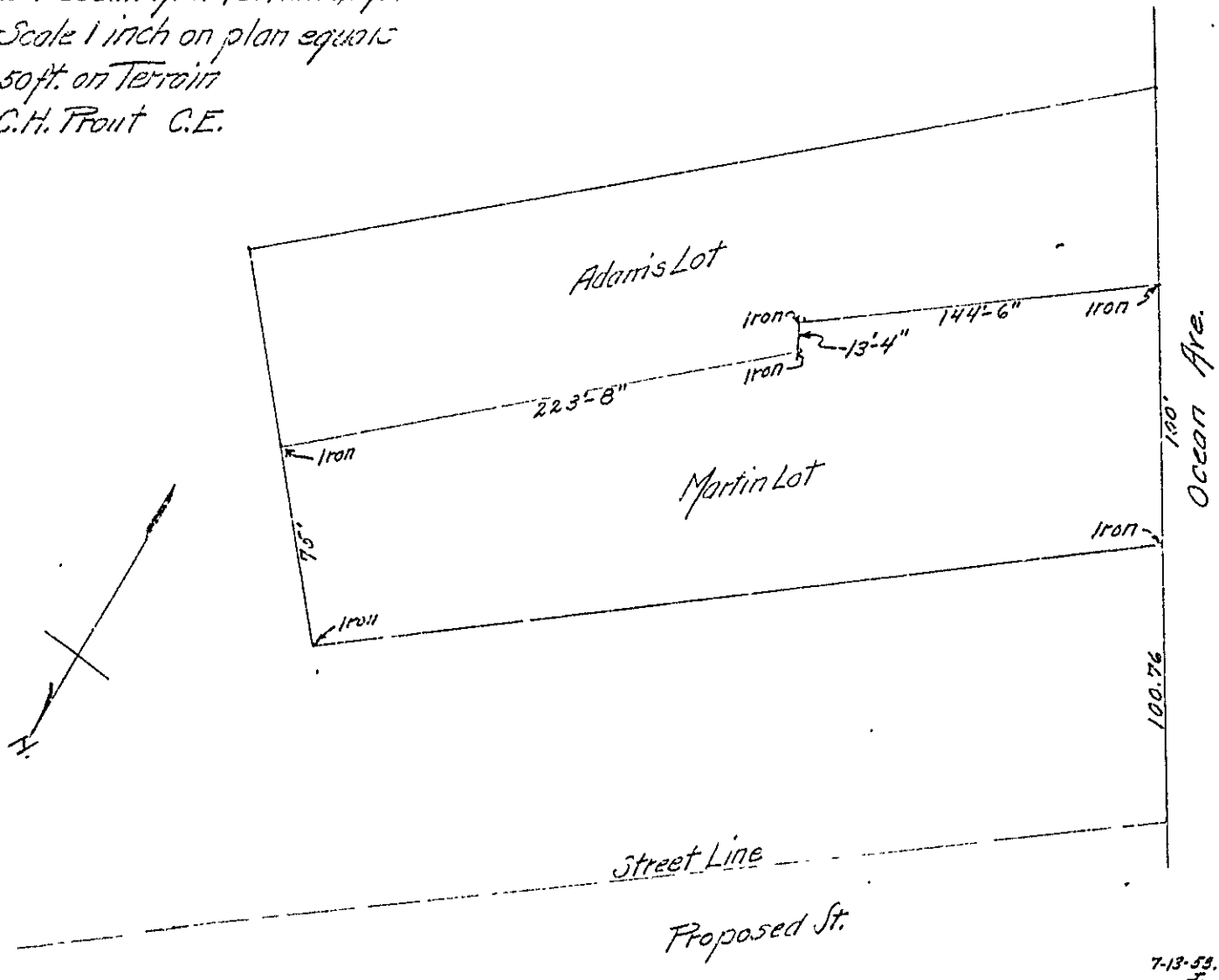
L. L. MARTIN
217 OCEAN AVE

6-22-53

3' down

← 16' down →

Surveyed for L.L. Martin
217 Ocean Ave. Portland, Me.
Scale 1 inch on plan equals
50ft. on Terrain
C.H. Froot C.E.



7-13-59.
H.

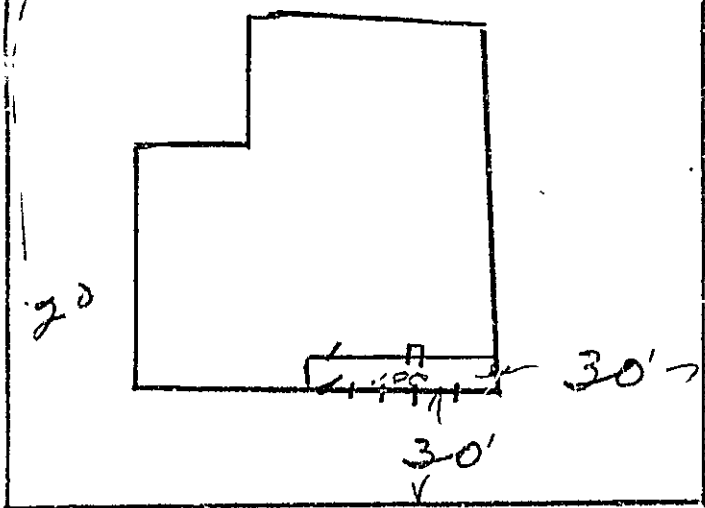
213 219

121

121

RECEIVED
NOV 25 1939
DEPT. OF OLD'G. INSP.
CITY OF PORTLAND

Handwritten signature



217 Ocean Ave

Material work _____ No. stories 2 Heat _____ Style of roof _____ Roofing _____
Last use _____ Dwelling house _____ No. families 1

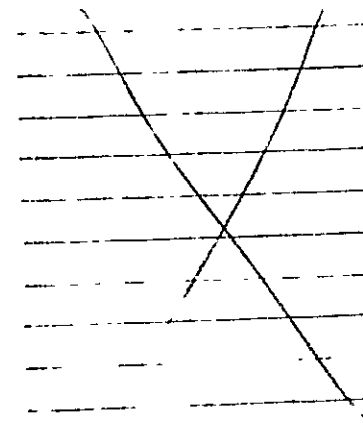
General Description of New Work

To glass in one story front piazza 6' 20'
over 50% will be glass - piazza existing with roof over same prior to Dec. 6, 1938

Inspn. closing-in _____
Final Inspn. 11/25/39
Cert. of Occupancy issued None

NOTES

11/25/39 W.C. ...
A.S.



It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____ Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of flue _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing Lumber—Kind _____ Dressed or Full Size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max on centers _____
Studs (outside walls and carrying partitions) 2x4-1. O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

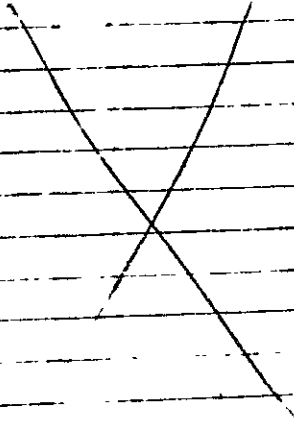
Signature of owner [Handwritten Signature] 6098C

INSTRUCTION COPY

Permit No 39)2156
Location 217 Ocean Ave
Owner F. S. Martin
Date of permit 11/25/39
Notif. closing-in _____
Inspn. closing-in _____
Final Inspn. 11/25/39
Cert. of Occupancy issued None

NOTES

11/25/39 Work being done
at





FILL IN COMPLETELY AND SIGN WITH INK

STEAM

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED

SEP 12 1938

Portland, Maine, Sept. 12, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 217 Ocean Ave. Portland Use of Building Residence
Name and address of owner L. L. Martin, 217 Ocean Ave. Portland Ward
Contractor's name and address Easternoil Inc., 135 Marginal Way Telephone 3-6495

General Description of Work

To install 1 Burning Equipment

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED. NOTIFICATION BEFORE LATHING OR CLOSING IN IS WAIVED.

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? Yes If not, which story Kind of Fuel Oil
Material of supports of heater or equipment (concrete floor or what kind) Concrete
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace,
from top of smoke pipe, from front of heater, from sides or back of heater.
Size of chimney flue Other connections to same flue.

IF OIL BURNER

Name and type of burner Easternoil Model A Labeled and approved by Underwriters' Laboratories? Yes
Will operator be always in attendance? No Type of oil feed (gravity or pressure) Pressure
Location oil storage Basement No. and capacity of tanks One 275-gal. already
Will all tanks be more than seven feet from any flame? How many tanks fireproofed? Installed

Amount of fee enclosed? \$1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor EASTERNOIL INC. By Walter C. Nichols

INSPECTION COPY

Handwritten initials and date



FILL IN COMPLETELY AND SIGN WITH INK

Permit No. _____

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, September 12, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 217 Ocean Avenue Use of Building Dwelling No. Stories _____

Name and address of owner J. L. Martin, 217 Ocean Avenue Ward _____

Contractor's name and address Easternoil, Inc., 138 Marginal Way Telephone 3-5495

General Description of Work

To install Oil burning equipment in connection with existing steam heat

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? yes If not, which story _____ Kind of Fuel Oil

Material of supports of heater or equipment (concrete floor or what kind) Concrete

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, _____
from top of smoke pipe _____, from front of heater _____ from sides or back of heater _____

Size of chimney flue _____ (Other connections to same flue _____)

IF OIL BURNER

Name and type of burner Easternoil Model A Labeled and approved by Underwriters' Laboratories? yes

Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) pressure

Location oil storage casement No. and capacity of tanks 1-275 gal. existing

Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed? _____

Amount of fee enclosed: .00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor _____

INSPECTION COPY

279481

3

Ward _____ Permit No _____

Location 65 Iowa St

Owner Stowell & Mindeus

Date of permit _____

Post Card sent _____

Notif for insp. _____

Approval Tag issued _____

Oil Burner Check List (date) _____

1. Kind of heat _____
2. Label _____
3. Anti-siphon _____
4. Oil storage _____
5. Tank distance _____
6. Vent pipe _____
7. Fill pipe _____
8. Gauge _____
9. Rigidity _____
10. Feed safety _____
11. Pipe sizes and material _____
12. Control valve _____
13. Ash pit vent _____
14. Temp. or pressure safety _____
15. Instruction card _____
16. _____

*covered in this permit
 as to be disconnected
 and discontinued. See
 38/1043 for new
 installations. O.K.*

NOTES

*10/26/58 The restaurant
 has changed hands
 again. (by installation)*



GENERAL RESIDENCE ZONE PERMIT ISSUED
 APPLICATION FOR PERMIT Permit No. 0885

Class of Building or Type of Structure _____ JUN 13 1938
 Portland, Maine, June 13, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 217 Ocean Avenue Within Fire Limits? NO Dist. No. _____
 Owner's or Lessee's name and address L. L. Martin, 88 Exchange St. Telephone 2-2182
 Contractor's name and address Fred Fodge, Westbrook Telephone _____
 Architect _____ Plans filed NO No. of sheets _____
 Proposed use of building dwelling house No. families 1
 Other buildings on same lot garage
 Estimated cost \$1250.50 Fee \$.35x .50

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Last use dwelling house No. families 1

General Description of New Work

To glass in existing rear piazza, piazza existing with roof over same prior to Dec. 8, 1928,
 cutting in new french door (4' opening) to lead onto same
 To enlarge existing window, first floor rear, (5' opening)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY
 REQUIREMENT IS WAIVED

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing Lumber—Kind _____ Dressed or Full Size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner _____

INSPECTION COPY

Permit No. 38/885

Location 217 Ocean Ave

Owner L. G. Martin

Date of permit 6/13/38

Notif. closing-in _____

Inspn. closing-in _____

Final Notif. _____

Final Inspn. 7/2/38

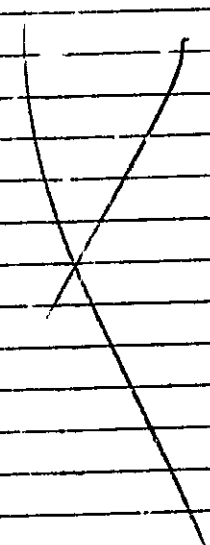
Cert. of Occupancy issued None

NOTES

6/17/38 - No work started.

A.G. S.

6/22/38 - Same - A.G.





APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure Third Class

1993
DEC 9 1974

Portland, Maine, December 3, 1974

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 217 Ocean Avenue Ward 9 Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address Agnes M. Stevens, 25 Craigie St. Telephone 4-2157
 Contractor's name and address L. F. Witherby, 7 Arbutus Ave. So. Port. Telephone _____
 Architect's name and address _____
 Proposed use of building 1 car garage No. families _____
 Other buildings on same lot dwelling house, _____
 Plans filed as part of this application? no No. of sheets _____
 Estimated cost \$ _____ Fee \$ 1.00

Description of Present Building to be Altered

Material wood No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
 Last use vacant stable and 1 car garage No. families _____

General Description of New Work

To demolish building 26' x 30'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet Sills and corner posts all on one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner. By

Agnes M. Stevens

John Howard Stevens

325 313

Ward 9 Permit No. 94/1993

Location 217 V. Clear Ave.

Owner Wynne M. Stevens

Date of permit 12/31/34

Notif. closing-in _____

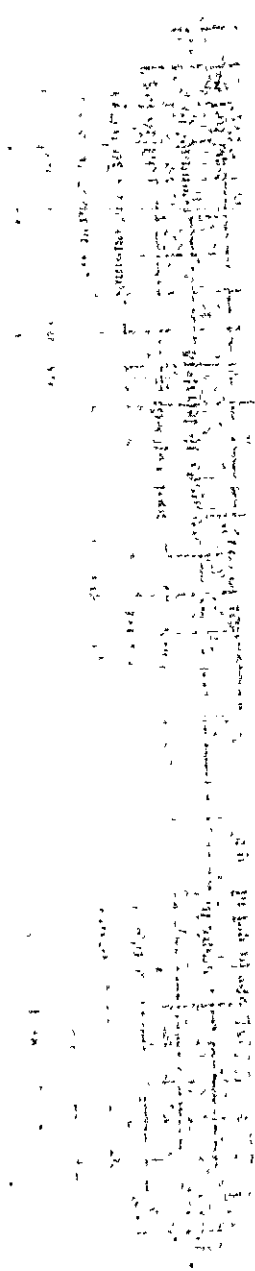
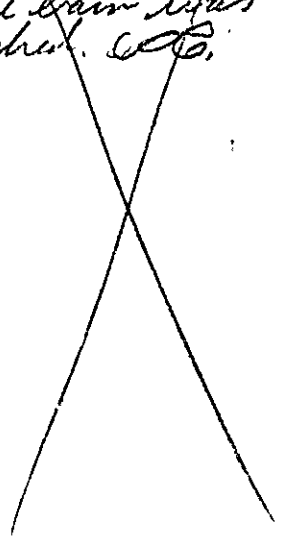
Inspn closing-in _____

Final Notif. _____

Final Inspn 12/27/34. O.P.

Cert of Occupancy issued None

12/27/34. NOTES
Stable demol. garage
left. Not finished
outside at this time.
where beam was
attached. O.P.





Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with the application.

YOU!
are responsible for complying with the law, whether you know the requirements or not. This Application and Get All Questions Settled BEFORE Commencing Work.

APPLICATION FOR PERMIT TO BUILD
(3d CLASS BUILDING)

Portland, Me., July 16, 1925

TO THE
INSPECTOR OF BUILDINGS

The undersigned hereby applies for a permit to build, according to the following Specifications:—

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand.

Location 213-219 ~~lot 255-256~~ Ocean Avenue Ward 9 Fire Limits? No
 Name of owner is? W. H. Whipple Address 227 Ocean Avenue
 Name of mechanic is? J. R. Kneeland Address 1047 Forest Avenue
 Name of architect is? _____ Address _____
 Proposed occupancy of building (purpose)? dwelling
 If a dwelling or tenement house, for how many families? One
 Are there to be stores in the lower story? No
 Size of lot, No. of feet front? 50; No. of feet rear? 50; No. of feet deep? 100
 Size of building, No. of feet front? 25; No. of feet rear? 25; No. of feet deep? 27
 No. of stories, front? 1 1/2; rear? _____
 No. of feet in height from the mean grade of street to the highest part of the roof? 25
 Distance from lot lines, front? 38 feet; side? 16 feet; side? 9 feet; rear? 35
 Firestop to be used? Yes
 Will the building be erected on solid or filled land? Solid
 Will the foundation be laid on earth, rock or piles? earth
 If on piles, No. of rows? _____ distance on centers? _____ length of? _____
 Diameter, top of? _____ diameter, bottom of? _____
 Size of posts, 4 x 6 Studding 2 x 4 16 O. C. Sills 4 x 8 Roof Rafters 2 x 6 24 O. C. Girders 6 x 8
 Size of girts 4 x 4
 Size of floor timbers? 1st floor 2 x 8, 2d 2 x 8, 3d _____, 4th _____
 O. C. " " " not over 16", 2d 16", 3d _____, 4th _____
 Span " " " " _____, 2d _____, 3d _____, 4th _____
 Will the building be properly braced? Bridging in every floor span over 8 ft
 Building, how framed? Sills and posts will be all one piece in cross section
 Material of foundation? cement thickness of? 12" laid with mortar? _____
 Underpinning, material of? brick height of? 6' 9" thickness of? 12 x 8"
 Will the roof be flat, pitch, mansard or hip? pitch Material of roofing? Asphalt shingles
 Will the building be heated by steam, furnaces, stoves or grates? steam Will the flues be lined? Yes
 Will the building conform to the requirements of the law? Yes
 Means of egress? _____

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK

The above construction will not require the removal of or disturbing of any shade tree on the public street.

If the building is to be occupied as a Tenement House, give the following particulars

What is the height of cellar or basement? _____
 What will be the clear height of first story? _____ second? _____ third? _____
 State what means of egress is to be provided _____
 _____ Scuttle and stepladder to roof? _____

Estimated Cost, \$ 5,000. Signature of owner or authorized representative, J. R. Kneeland
 Address, 1047 Forest Ave

Plans submitted? _____ Received by? _____

1
\$1.25

1959

~~215-041~~

lot 233-235 Ocean Avenue

213-19

July 17/25

157-01

RECEIVED