

19-25 OCEAN AVENUE



Felt cut #920R • Half cut #920R 1/2 • 3 cut #9203R • Fifth cut #9205R



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

June 25, 1982

Friends of Day 1
P.O. Box Rte. 202
Bar Mills, Maine 04004
c/o Stephan Andrew

Re: 23 Ocean Avenue

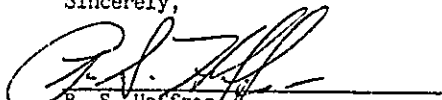
Dear Sir:

Your application for permit to change the use of a one-family dwelling to clinic, with no alterations, is being issued with the following requirements:

1. All vertical openings (stairways) shall be enclosed with construction having a fire rating of at least one hour including fire door with self-closers.
2. Exit sign and emergency lighting shall be installed to cover exits.

If you have any questions on these requirements, please call this office.

Sincerely,



P. S. Hoffses
Chief of Inspection Services

PSH/jmr



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 23 Ocean Avenue

Issued to Friends of Day I

Date of Issue Sept 27, 1982

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No 82/474, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

clinic

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

9-23-82
(Date)

Arthur Colby
Inspector

Walter D. Hayes
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP B

B.O.C.A. TYPE OF CONSTRUCTION 4B 00474

ZONING LOCATION B-1 PORTLAND, MAINE June 21, 1982

PERMIT ISSUED

JUN 28 1982

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 23 Ocean Avenue Fire District #1 [] #2 []

1. Owner's name and address Friends of Day I (Clinic) P. O. Box Rte 202 Telephone 839-6190

2. Lessee's name and address Bar Mills Telephone

3. Contractor's name and address Telephone

Proposed use of building No. of sheets

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$

FIELD INSPECTOR—Mr. @ 775-5451

Appeal Fees \$

Base Fee \$25.00

Late Fee

TOTAL \$25.00

Change of use from dwelling (residential) to clinic no alterations or structural changes.

send permit to : P. O. Box 41 Rte 202 Bar Mill, Me. 04004 C/O Stephen Andrew

Stamp of Special Conditions

Stamp: PERMIT ISSUED WITH LETTER

NOTE TO APPLICANT: Separate permits are required by and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

Will work require disturbing of any tree on a public street?

ZONING: e.h. MacDowell 6/24/82

BUILDING CODE:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Fire Dept.:

Health Dept.:

Others:

Signature of Applicant Stephen R. Andrew Phone # same

Type Name of above Stephen Andrew for 1 & 2 [] 3 [] 4 []

Other and Address

FIELD INSPECTOR'S COPY

Stamp: PERMIT ISSUED WITH LETTER

Handwritten signature of field inspector



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

June 25, 1982

Friends of Day 1
P.O. Box Rte. 202
Bar Mills, Maine 04004
c/o Stephan Andrew

Re: 23 Ocean Avenue

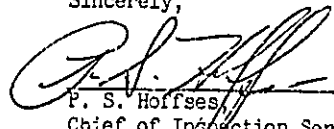
Dear Sir:

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1. All vertical openings (stairways) shall be enclosed with construction having a fire rating of at least one hour including fire door with self-closers.
2. Exit sign and emergency lighting shall be installed to cover exits.

If you have any questions on these requirements, please call this office.

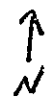
Sincerely,


P. S. Hoffses
Chief of Inspection Services

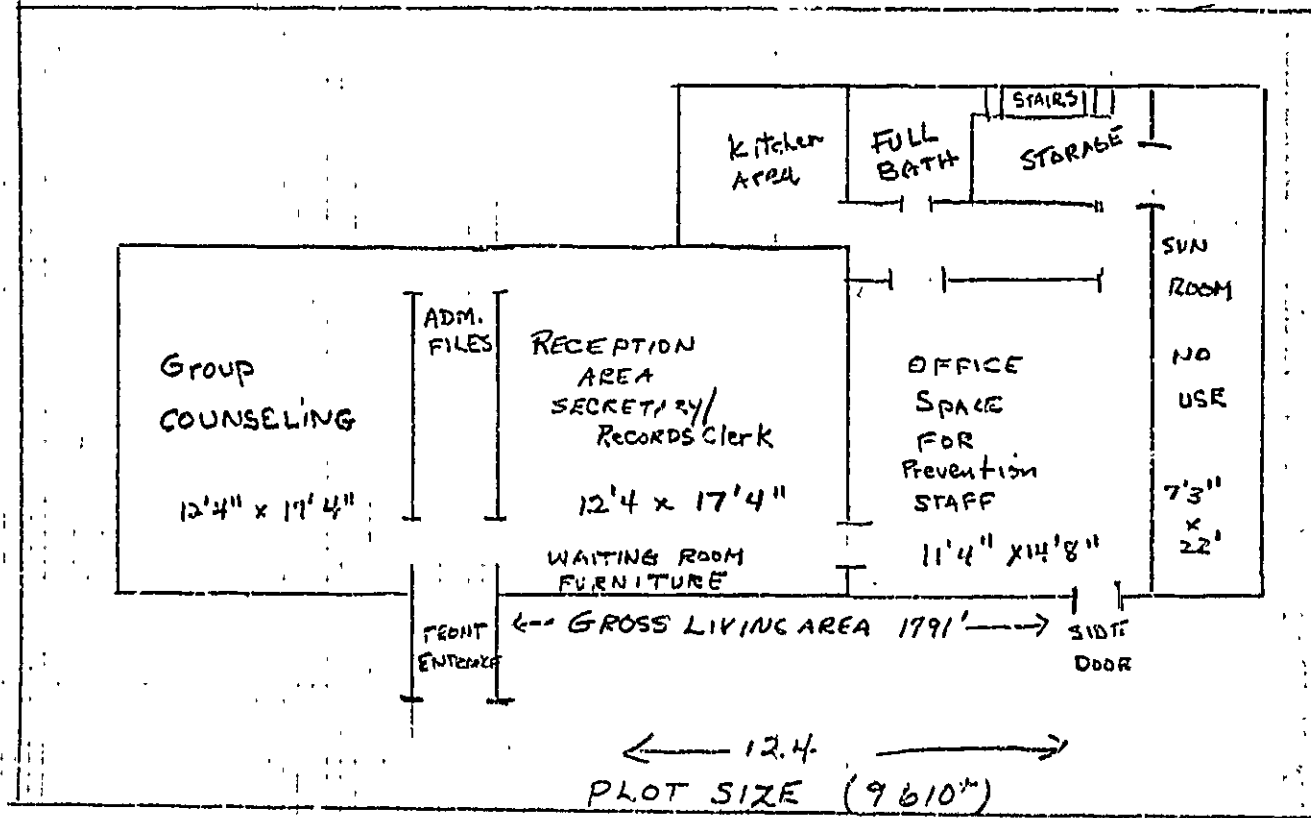
PSH/jmr

DAY ONE Community Services

1st FLOOR
23 Ocean Av.



Ocean Av. →



← 12.4 →
PLOT SIZE (9610')

PERMIT SURVEILED
WITH LETTER JUN 22 1982
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

← PARKING →

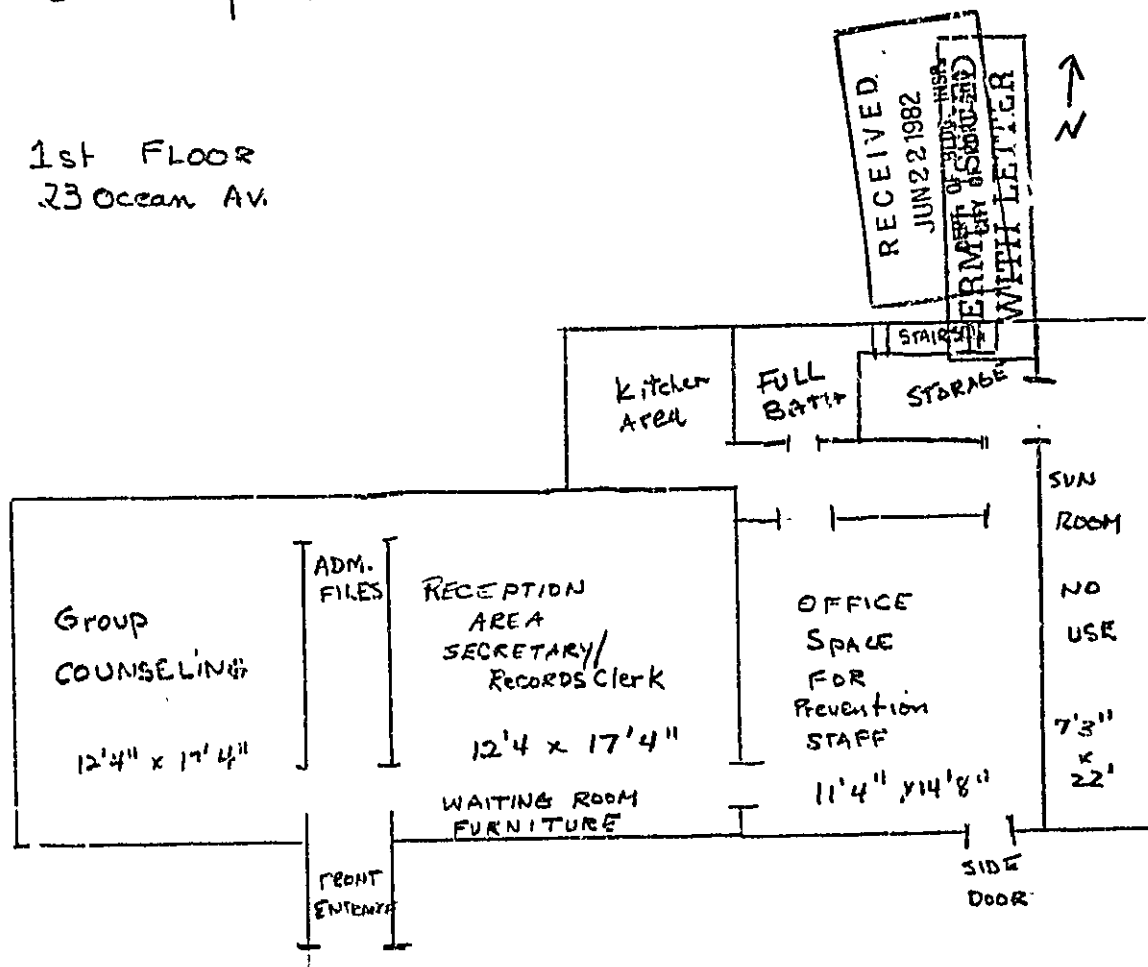
90

DRIVEWAY

DAY ONE Community Services

1st FLOOR
23 Ocean Av.

↑
Ocean Av. →



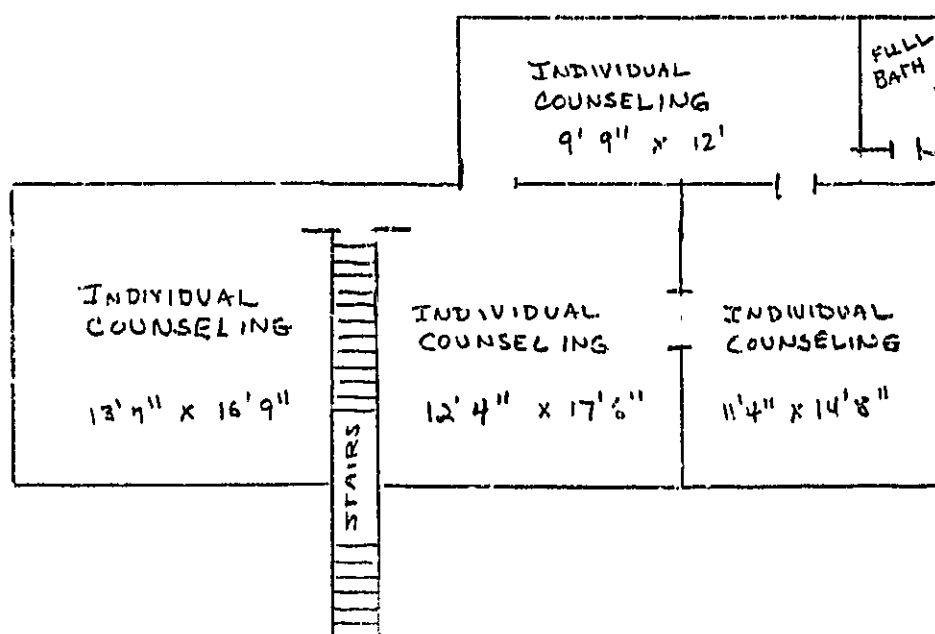
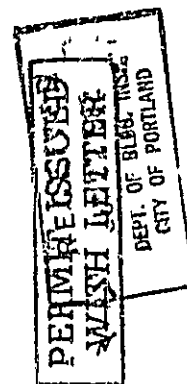
DAY ONE Community Services



OCEAN AV



2nd FLOOR
23 OCEAN AV.



JUNE 16, 1982.

RESIDENTIAL APPRAISAL REPORT

File No 12792

Borrower: 23 Ocean Avenue, Portland, Maine, Zip Code 04103

Legal Description: Actual Real Estate Taxes \$ 792.92

Client: Steven Andrew, Address: Box 41, Bar Mills, ME

Owner: Mary W. Graffam, Appraiser: J. B. Sawyer

Location, Built Up, Growth Rate, Property Values, Demand/Supply, Marketing Time, Present Land Use, Change in Present Land Use, Predominant Occupancy, Single Family Price Range, Single Family Age

Comments: A well regarded residential area of older homes. Although this property is in a business zone, it is primarily a residential area.

Dimensions: 99± x 87± x 90± x 124±, 9,610± Sq Ft or Acres, B-1 Business

Public, Other (Describe), OFF-SITE IMPROVEMENTS, Topo, Level, Size, Shape, View, Drainage

Comments: The present improvements are a previously existing permitted use under the zoning regulations.

Existing, Proposed, Under Const, No Units, Type, Design, Exterior Walls, Floor Material, Gutters & Downspouts, Windows, Storm Sash, Screens, Combination, Insulation, Ceiling, Roof, Walls

Table with columns: Room, Living, Dining, Kitchen, Den, Family Rm, Rec Rm, Bedrooms, No Baths, Laundry, Other

Finished area above grade contains a total of 8 rooms, 4 bedrooms, 2 baths, Gross Living Area 1,791 sq ft, Bsm't Area 1,023 sq ft

HEAT Type, Steam, Fuel Oil, Cond Average AIR COND, Floors, Veneer panelling, Asphalt tile, Composition & plaster

Comments: Building is structurally sound. Ceiling in one bedroom is sagging from an apparent leak corrected by a new roof.

VALUATION SECTION

Purpose of Appraisal is to estimate Market Value as defined in Certification & Statement of Limiting Conditions (FHLMC Form 439/FNMA Form 1004B). If submitted for FNMA, the appraiser must attach (1) sketch or map showing location of subject, street names, distance from nearest intersection, and any environmental conditions and (2) exterior building sketch of improvements showing dimensions.

Measurements	No. Stories	Sq. Ft.	ESTIMATED REPRODUCTION COST - NEW - OF IMPROVEMENTS
18 x 27 x 1 3/4	851	Dwelling	Sq. Ft. @ \$ _____ = \$ _____
22 x 22 x 1 3/4	866	Extras	Sq. Ft. @ \$ _____ = \$ _____
7 x 6 x 1 3/4	74	Special Energy Efficient Items	_____ = \$ _____
		Porches, Patios, etc.	_____ = \$ _____
		Garage/Car Port	Sq. Ft. @ \$ _____ = \$ _____
		Site Improvements (driveway, landscaping, etc.)	_____ = \$ _____
		Total Estimated Cost New	_____ = \$ _____
		Less: Physical	_____ = \$ _____
		Depreciation	_____ = \$ _____
		Depreciated value of improvements	_____ = \$ _____
		ESTIMATED LAND VALUE at \$1.00/sq.ft.	\$ 9,600
		(If leased, show only household value)	_____
		INDICATED VALUE BY COST APPROACH	\$ _____

The undersigned has recited three recent sales of properties more similar and proximate to subject and has considered these in the market analysis. The description includes a dollar adjustment, reflecting market reaction to those items of significant variation between the subject and comparable properties. If a significant item in the comparable property is superior to or more favorable than the subject property, a minus (-) adjustment is made, thus reducing the indicated value of subject. If a significant item in the comparable is inferior to, or less favorable than the subject property, a plus (+) adjustment is made, thus increasing the indicated value of the subject.

ITEM	Subject Property	COMPARABLE NO 1	COMPARABLE NO 2	COMPARABLE NO 3
Address		668 Alden Street Portland, Maine	37 Wasburn Avenue Portland, Maine	440 Deering Avenue Portland, Maine
Proximity to Subj		1 1/2 miles	1 1/2 miles	1 1/2 miles
Sale Price		\$ 50,500	\$ 47,500	\$ 44,000
Price/Living area		\$ 58.35	\$ 31.50	\$ 26.96
Data Source		MLS	MLS	MLS
Date of Sale and Time Adjustment		3/82	4/82	4/82 (5%/yr.)
Location	Suburban	Sub/equal	Sub/better	Sub/equal
Site/View	2,610± sq.ft.	2.2± acres	6,200± sq.ft.	4,092± sq.ft.
Design and Appeal	1 3/4 Story	Ant. Cape Cod	Hip-Colonial	Hip-Colonial
Quality of Const	Average	Average	Average	Average
Age	100± yrs.	100± yrs.	45± yrs.	60± yrs.
Condition	Fair-good	Better	Equal	Better
Living Area/Room	Total: 8 Brms, 4 Baths	Total: 7 Brms, 4 Baths	Total: 6 Brms, 3 Baths	Total: 8 Brms, 4 Baths
Court and Total	8	7	6	8
Gross Living Area	1,791 Sq. Ft.	1,544 Sq. Ft.	1,508 Sq. Ft.	1,632 Sq. Ft.
Excavation and Basement	100% excavated.	100% excavated.	100% excavated.	100% excavated.
Finished Rooms	Unfinished.	Unfinished.	Unfinished.	Unfinished.
Functional Utility	2 BRS in tandem	Good	Good	Good
Air Conditioning	Window unit	None	None	None
Garage/Car Port	None	Small barn	1-car gar.	1-car gar.
Porches, Patios, etc.	1 screened, 1 open porch.	Lundek	Sunroom	Open perch.
Special Energy Efficient Items	None	None	None	None
Other (e.g. fireplaces, kitchen equip., remodeling)	Steam heat, Range, ref., portable DW, Disposer.	FHA heat, Range & ref., No DW or disposer.	Steam heat, Range, ref., DW, disp., fan & hood, FP & washer/dryer.	HV heat, Range, ref., DW, No disp. Fire-place.
Sales or Financing Concessions	Owner financing, 1/20% DP at 12%	_____	Conv.	Conv.
Net Adj. Total		\$ 700	\$ 200	\$ 300
Indicated Value of Subject		\$ 52,200	\$ 47,300	\$ 43,700

Comment on Market Data: _____ \$ 47,300

INDICATED MARKET VALUE (If applicable) Economic Market Rent \$ _____ No. x Gross Rent Multiplier _____ = \$ _____
 This appraisal is based on the above requirements, the certification, contingent and limiting conditions, and a copy of the report is attached.
 Comments and Conditions of Appraisal: The availability of the owner financing is a condition of this valuation, and if it is not to be available, \$8,100 must be deducted from our \$47,300 estimate of value.

RECEIVED
 JUN 22 1982
 DEPT. OF REVENUE
 CITY OF PORTLAND, ME

Contract Warranty Yes No Name of Warranty Program _____
 This appraisal is based upon the above requirements, the certification, contingent and limiting conditions, and a copy of the report is attached.
 FHLMC Form 439 (Rev. 10/78), FNMA Form 1004B (Rev. 10/73) filed with client _____ 19 _____
 ESTIMATE THE MARKET VALUE, AS DEFINED, OF SUBJECT PROPERTY AS OF June 2, 19 82 to be \$ 47,300
 Appraiser: by: Joanne B. Sawyer Review Appraiser (if applicable) _____
 Joanne B. Sawyer, Appraiser Did Did Not Physically Inspect Property



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, Nov. 19, 1954

PERMIT ISSUED
02034
NOV 23 1954
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to alter, repair, demolish or install the following building structure... in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 23 Ocean Ave. Within Fire Limits? no Dist. No.
Owner's name and address Irving Graffam, 23 Ocean Ave. Telephone 3-6666
Contractor's name and address Moses Arnold, 49 Hersey St. Telephone
Proposed use of building dwelling house No. families 1
Estimated cost \$ 1,200. Fee \$ 5.00

General Description of New Work

To remove existing rear stairway from first to second floor and floor over stairwell. To finish off one room and bathroom on second floor, this space formerly used for storage. 2x4 studs, 16" on centers, covered on both sides with wallboard. To lower ceiling about 12" in new room and bathroom, 1x3 strapping and covered with insulating board.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Permit issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Irving Graffam

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:
with memo by [Signature]

Signature of owner

[Signature]

Memorandum from Department of Building Inspection, Portland, Maine

23 Ocean Ave. - Alterations to dwelling for Irving Graffam by Moses Arnold - 11/22/54

Building permit for alterations in second story of building at 23 Ocean Ave., corner of Hersey St., in accordance with description in application for permit is issued herewith subject to the following conditions:-

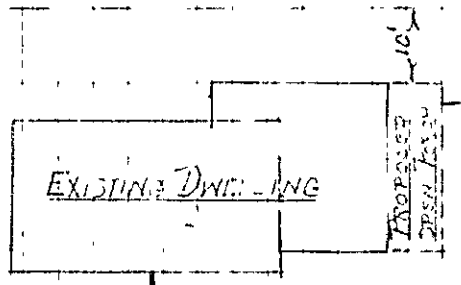
1. There is to be no change in the present use of the building as a one-family dwelling.
2. Notification is to be given this department for an inspection before any wallboard is applied to walls, partitions or ceilings.

AJS/G

Copy to: Mr. Moses Arnold
49 Hersey St.

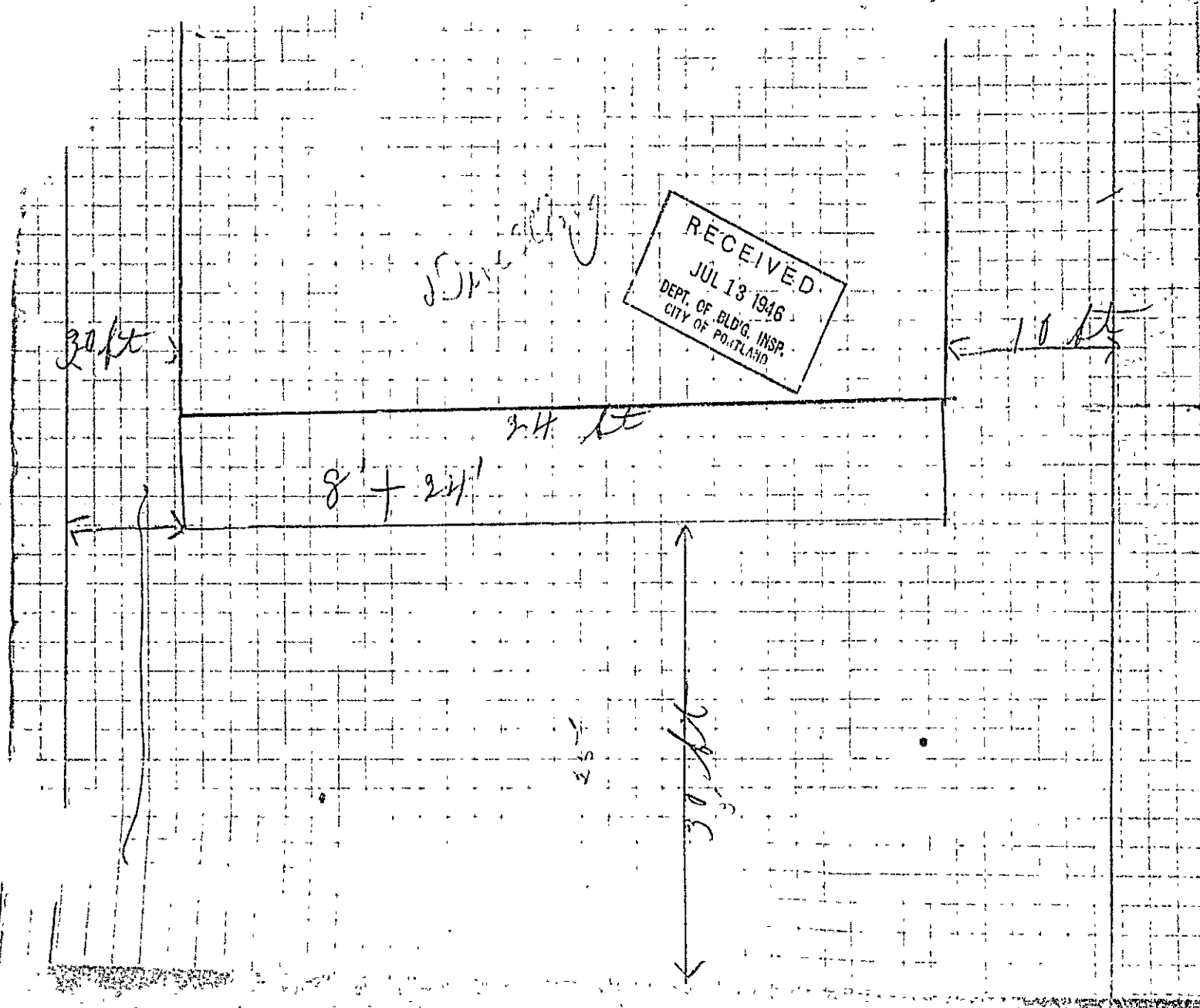
(Signed) Warren McDonald
Inspector of Buildings

OCEAN AVENUE
23



FRONT DOOR
HERE

HERBY STREET





(L) LOCAL RES. ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
 01297
 JUL 17 1946

Class of Building or Type of Structure Third Class

Portland, Maine, July 13, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~or~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland; plans and specifications, if any, submitted herewith and the following specifications:

Location 23 Ocean Avenue Within Fire Limits? no Dist. No. _____
 corner Hersey Street
 Owner's name and address Irving H. Graffan, 23 Ocean Avenue Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Mose Arnold, 268 Concord Street Telephone 3-1160
 Architect _____ Specifications _____ Plans yes No. of sheets 2
 Proposed use of building Dwelling No. families 1
 Last use _____ No. families 1
 Material frame _____ No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot none

Memorandum from Department of Building Inspection, Portland, Maine

23 Ocean Avenue, Hersey Street— Construction of one-story rear piazza for Irving H. Graffan by Mose P. Arnold, builder—7/17/46

To Owner & Builder:

In the absence of any foundation plan or framing plan of the piazza, it is not possible to tell precisely whether or not the work would comply with the Building Code as to strength. It is certain that the 2x4 for common rafters would have to be on centers no greater than 16 inches to work out, and if any kind of ceiling is to be hung on these rafters they are to be made 2x6 in which case they could be 24 inches from center. Foundation is given as piling but must be cedar posts or posts of equivalent durable species. Not clear which way the floor joists are to run but in the 24-foot way, cross girders will be needed and no size is given. In the absence of complete information the contractor will have to be responsible for compliance with the law on these details of strength.

WMC/L

(Signed) Warren McDonald

CC: Mr. Irving H. Graffan, 23 Ocean Avenue

Inspector of Buildings

If it is intended that the permit be used for the heating contractor, the heating contractor's name and address should be stated here.

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate 13' Height average grade to highest point of roof 20'
 Size, front _____ depth _____ at least 4' below grade No. stories 1 solid or filled land? solid earth or rock? earth
 Material of foundation piling Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof hip Rise per foot 6" Roof covering asphalt roofing Class C Und. Lab.
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind hemlock Dressed or "size? dressed
 Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet
 Joists and rafters: 1st floor 2x6 2nd _____ 3rd _____ roof 2x7
 On centers: 1st floor 16" 2nd _____ 3rd _____ roof 18"
 Maximum span: 1st floor 8' 2nd _____ 3rd _____ roof 8'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Irving Graffan

INSPECTION COPY

Signature of owner

By: Mose P. Arnold



(L) LOCAL BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, July 13, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~reconstruct~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 23 Ocean Avenue Within Fire Limits? no Dist. No. _____
Owner's name and address corner Hersey Street Irving H. Graffam, 23 Ocean Avenue Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Mose Arnold, 268 Concord Street Telephone 3-1160
Architect _____ Specifications _____ Plans yes No. of sheets 2
Proposed use of building Dwelling No. families 1
Last use _____ No. families 1
Material frame No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot none
Estimated cost \$ 300. Fee \$ 1.00

General Description of New Work

To construct 1 story rear piazza 8'x24'.
To change window to door.

Permit Issued with Memo

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED

4x6 plate - 8' span

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate 13' Height average grade to highest point of roof 21'
Size, front _____ depth _____ No. stories _____ solid or filled land? solid earth or rock? earth
Material of foundation piling at least 4' below grade Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof hip Rise per foot 6" Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x4 Sills 4x6 6" upright Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6, 2nd _____, 3rd _____, roof 2x4
On centers: 1st floor 16", 2nd _____, 3rd _____, roof 18"
Maximum span: 1st floor 8', 2nd _____, 3rd _____, roof 8'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Irving Graffam

APPROVED:

Signature of owner

By:

Mose P Arnold

INSPECTION COPY

Permit No. 44/1297
 Location 23 Ocean ave.
 Owner Irving H. Gaffman
 Date of permit 7/17/46
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 8/2/46
 Cert. of Occupancy issued none

NOTES

7/15/46 - C. S. of checked
 location and caused
 no on shown on ground
 location sketch. Although
 the first floor of building
 lines have struck the
 building's number on
 on Ocean Avenue, he is
 according to Section 15
 E of zoning ordinance.
 The front of building is
 on Ocean Avenue. The
 the 10' distance from
 of many beams are
 wide and which is O.K.
 for the local business
 time where he is only is
 located. The 25' rear

yard is also O.K.
 No supports in front
 to support, but
 since plate is attached
 to be on 2' and 1/2
 will be O.K.
 On 1st floor in the back on
 4x8 will be
 4x8x47 = 1524"
 4x6 beams in rear - 8'
 span = 1750"
 The 4x2 plate is

O.K.
 2x4 dropped beams -
 span = 326"
 326 - 27" per 12 ft. If
 8x12
 2x4 is one to be used then
 should be no more
 than 16" over.
 Although floor is 10' st.
 are given on an 8' span,
 it is not clear whether
 they will run at right
 angles to wall or parallel
 or parallel & parallel
 then wires at points
 where supports are
 required will be

and should be at least 6'6"
 How timber should be
 supported & allow wind
 id any other on that
 to be on 2' and 1/2
 plates - O.K.
 8/30/46 - Works started
 8/2/46 - All on bid on 8/5



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 1422

OCT 20 1945

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Oct 17, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 22 Ocean Ave. Use of Building Dwelling No. Stories 2 ~~New Building~~ Existing "

Name and address of owner of appliance Irving Graffam

Installer's name and address Portland Lehigh Fuel Co. 124 High St Telephone 24871

General Description of Work

To install Oil burner in furnace - Steam OK 10-19-45

NOTIFICATION BEFORE STOPPING OR CLOSING THIS PERMIT IS WAIVED BY REQUIREMENT IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? Yes If not, which story _____ Kind of Fuel oil

Material of supports of appliance (concrete floor or what kind) Concrete

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, _____

from top of smoke pipe _____ from front of appliance _____ from sides or back of appliance _____

Size of chimney flue _____ Other connections to same flue _____

IF OIL BURNER

Name and type of burner Master Craft Gun Type Labeled and approved by Underwriters' Laboratories? yes

Will operator be always in attendance? No Type of oil feed (gravity or pressure) Gravity

Location oil storage Basement No. and capacity of tanks 275 gal

Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed? Metal tank

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of Installer PORTLAND LEHIGH FUEL CO. INC.

INSPECTION COPY

Permit No

45/1422

Location

23 Ocean Ave

Owner

George J. [unclear]

Date of Permit

11/20/45

Post Card sent

Notif. for insp.

Approval Tag issued

11-22-45/MS

Oil Burner Check List (date)

1. Kind of heat

Steam

2. Label

3. Anti-siphon

4. Oil storage

5. Tank Distance

6. Vent Pipe

7. Fill Pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card

16.

NOTES

11-5-45 Tank in Pmt



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED
Permit No. 0015
MAY 20 1935

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, May 10, 1935

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 25 Ocean Avenue Use of Building dwelling house
Name and address of owner Rocky Hill Lodge Corp. Ward 8
Contractor's name and address A. E. Moody, 471 Auburn St. Telephone 2-0072

General Description of Work

To install steam heating system in place of warm air furnace

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? yes If not, which story _____ Kind of Fuel coal
Material of supports of heater or equipment (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, 30"
from top of smoke pipe 15", from front of heater 5' from sides or back of heater 3'
Size of chimney flue 8x8 Other connections to same flue none

IF OIL BURNER

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____
Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____
Location oil storage _____ No. and capacity of tanks _____
Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of contractor A. E. Moody

PERMITS DEPARTMENT
OR CLOSING IN IS NEEDED
CERTIFICATE OF PERMITTING
REQUIREMENT

43773

Ward 4 Permit No. 95/615

Location 23 Ocean Ave

Owner Niagara Falls City

Date of permit 5/18/35

Post Card sent

Notif. for insp. Not given

Approval Tag issued 5/29/35 - J.W.L.

Oil Burner Check List (data)

1. Kind of heat Steam heating system

2. Label

3. Anti-siphon

4. Oil storage

5. Tank distance

6. Vent pipe

7. Fill pipe

8. Gauge

9. Rigidity

10. Flood safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card

16.

NOTES

5/29/35. Could not get in the
5/29/35. Chasing down
oil burner. Two small

holes in boiler side of
chimney & we fill them
covered by mortar
coming from joints etc.



Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

APPLICATION FOR PERMIT TO BUILD

(3D CLASS BUILDING)

Portland, Me., September 24, 1919 19

To THE INSPECTOR OF BUILDINGS

The undersigned hereby applies for a permit to build, according to the following Specifications:—

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand.

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK.

Location 23 Ocean Avenue

Name of owner is? Ellen B Caborne Address 25 Ocean Ave Wd. 9

Name of mechanic is? W P Caborne " 25 Ocean Ave

Name of architect is? " " "

Proposed occupancy of building (purpose)? ten house

If a dwelling or tenement house, for how many families? _____

Are there to be stores in lower story? _____

Size of lot, No. of feet front? _____; No. of feet rear? _____; No. of feet deep? _____

Size of building, No. of feet front? 6ft; No. of feet rear? _____; No. of feet deep? 12ft

No. of stories front? 1; rear? _____

No. of feet in height from the mean grade of street to the highest part of the roof? 10ft

Distance from lot lines, front? _____ feet; side? _____ feet; rear? _____ feet

Firestop to be used? _____

Will the building be erected on solid or filled land? _____

Will the foundation be laid on earth, rock or piles? _____

If on piles, No. of rows? _____

Diameter, top of? _____ distance on centres? _____ length of? _____

Size of posts? _____ diameter, bottom of? _____

girts? _____

floor timbers? 1st floor wood, 2d _____, 3d _____, 4th _____

O. C. " " " " " " " " " " " "

Span " " " " " " " " " " " "

Braces, how put in? _____

Building, how framed? _____

Material of foundation? ports

Underpinning, material of? _____ thickness of? _____ laid with mortar? _____

Will the roof be flat, pitch, mansard, or hip? pitch height of? _____ thickness of? _____

Will the building be heated by steam, furnaces, stoves or grates? _____ Material of roofing? asphalt

Will the building conform to the requirements of the law? _____ Will the flues be lined? _____

No. of brick walls? _____ yes _____

Means of egress? _____ and where placed? _____

If the building is to be occupied as a Tenement House, give the following particulars:

What is the height of cellar or basement? _____

What will be the clear height of first story? _____ second? _____ third? _____

State what means of egress is to be provided? _____

Scuttle and stepladder to roof? _____

Estimated Cost, _____

Signature of owner or authorized representative, Ellen B Caborne

Address, 23 Ocean Ave

Received by? _____

Plans submitted? _____

191 9

No. 5554

**APPLICATION FOR
PERMIT TO BUILD 3d CLASS BUILDING**

No. 19-25
LOCATION 25 Ocean Ave

Ward 9

Inspector.

CONDITIONS

PERMIT GRANTED

Sept 11 1913 191

Permit filled out by _____

Permit number _____

Plan number _____

FINAL REPORT

191

Has the work been completed in accordance with
this application and plans filed and approved?

Law been violated? _____

Nature of violation? _____

Violation removed when? _____ 191

Estimated cost of building, etc., \$ _____

Building Inspector.

APPROVAL OF PL

Supervisor

Permit # **940445** City of **Portland** BUILDING PERMIT APPLICATION Fee **45.00** Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: **Drug Rehab Inc.** Phone # **767-0991**
 Address: **23 Ocean Ave Ptd. ME 04103**
 LOCATION OF CONSTRUCTION **23 Ocean Ave**
 Contractor: **self** Sub: _____
 Address: _____ Phone # _____
 Est. Construction Cost: **5,000.00** Proposed Use: **Office w/ramp**
 Past Use: **Office**
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion: **Construct Handicapp Ramp as per plans**

For Official Use Only

Date: **11 May '94** Subdivision: _____
 Inside Fire Limit: _____
 Bldg Code: _____
 Type Limit: _____
 Estimated Cost: _____

Name: _____
 License: **MAY 11 1994**
 Ownership: _____ Public _____ Private _____

Zoning: **R7**
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Park _____ Side _____ Side _____
 R view Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (explain): **W.D.H. - 25-13-94**

Foundations

- Type of Soil: _____
- Set Backs - Front _____ Rear _____ Side(s) _____
- Footings Size: _____
- Foundation Size: _____
- Other: _____

Floor

- Sill Size: _____ Sills to be anchored.
- Girder Size: _____
- Lally Column Spacing: _____ Size: _____
- Joints Size: _____ Spacing **16" O.C.**
- Bridging Type: _____ Size: _____
- Floor Sheathing Type: _____ Size: _____
- Other Material: _____

Exterior Walls

- Studding Size _____ Spacing _____
- No. windows _____
- No. Doors _____
- Header Sizes _____ Span(s) _____
- Bracing: Yes _____ No _____
- Corner Posts Size _____
- Insulation Type _____ Size _____
- Sheathing Type _____ Size _____
- Siding Type _____ Weather Exposure _____
- Masonry Materials _____
- Metal Materials _____

Interior Walls

- Studding Size _____ Spacing _____
- Header Sizes _____ Span(s) _____
- Wall Covering Type _____
- Fire Wall if required _____
- Other Materials _____

Colling

- Ceiling Joists Size: _____ Spacing _____ Not in District nor Landmark.
- Ceiling Strapping Size _____ Spacing _____
- Type Ceilings: _____ Does not require review.
- Insulation Type _____ Size _____ Requires review.
- Ceiling Height: _____

Roof

- Truss or Rafter Size _____ Span Action: Approved
- Sheathing Type _____ Size _____ Approved with conditions
- Roof Covering Type _____

Chimneys

Type: _____ Number of Fire Places _____ Date: **5/11/94**
 Signature: **[Signature]**

Heating

Type of Heat: _____

Electrical

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing

- Approval of soil test if required Yes _____ No _____
- No. of Tubs or Showers _____
- No. of Flushes _____
- No. of Lavatories _____
- No. of Other Fixtures **Use for ramp 2-1** Type _____

Swimming Pools

- Type: _____
- Pool Size: **20x10** Square Footage _____
- Must conform to National Electrical Code and State Law.

Permit Received By: **Mary Greik**

PERMIT ISSUED **PERMIT ISSUED**
WITH LETTER **WITH LETTER**
Paul Butters **Paul Butters**

CONTINUED TO REVERSE SIDE

White - Tax Assessor

Ivory Tag - CEO

[Signature]

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

18 May 1994

Drug Rehab, Inc.
23 Ocean Ave
Portland, ME 04103

Re: 23 Ocean Ave

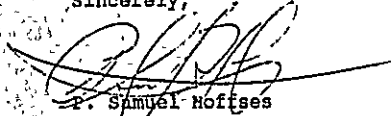
Dear Sir,

Your application to construct a handicapp access ramp has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not preclude the applicant from meeting applicable State and Federal laws.

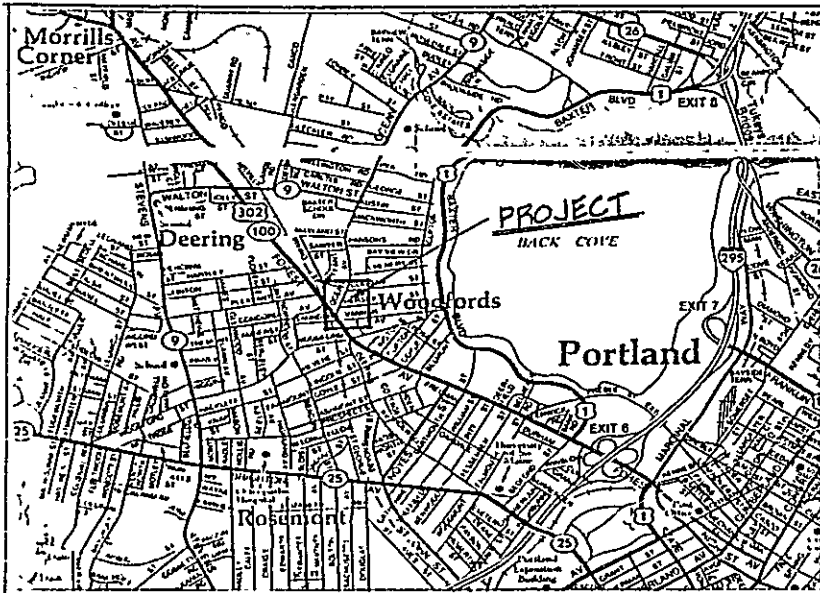
1. Guardrails & Handrails - A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Group 42", except Use Group R which is 36". In occupancies in Use Group A, B, E, H-4, I1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid materials such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornament pattern that would provide a ladder effect.
2. Please find attached rules pertaining to ramps ANSI A117.1, 4.8 Ramps.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

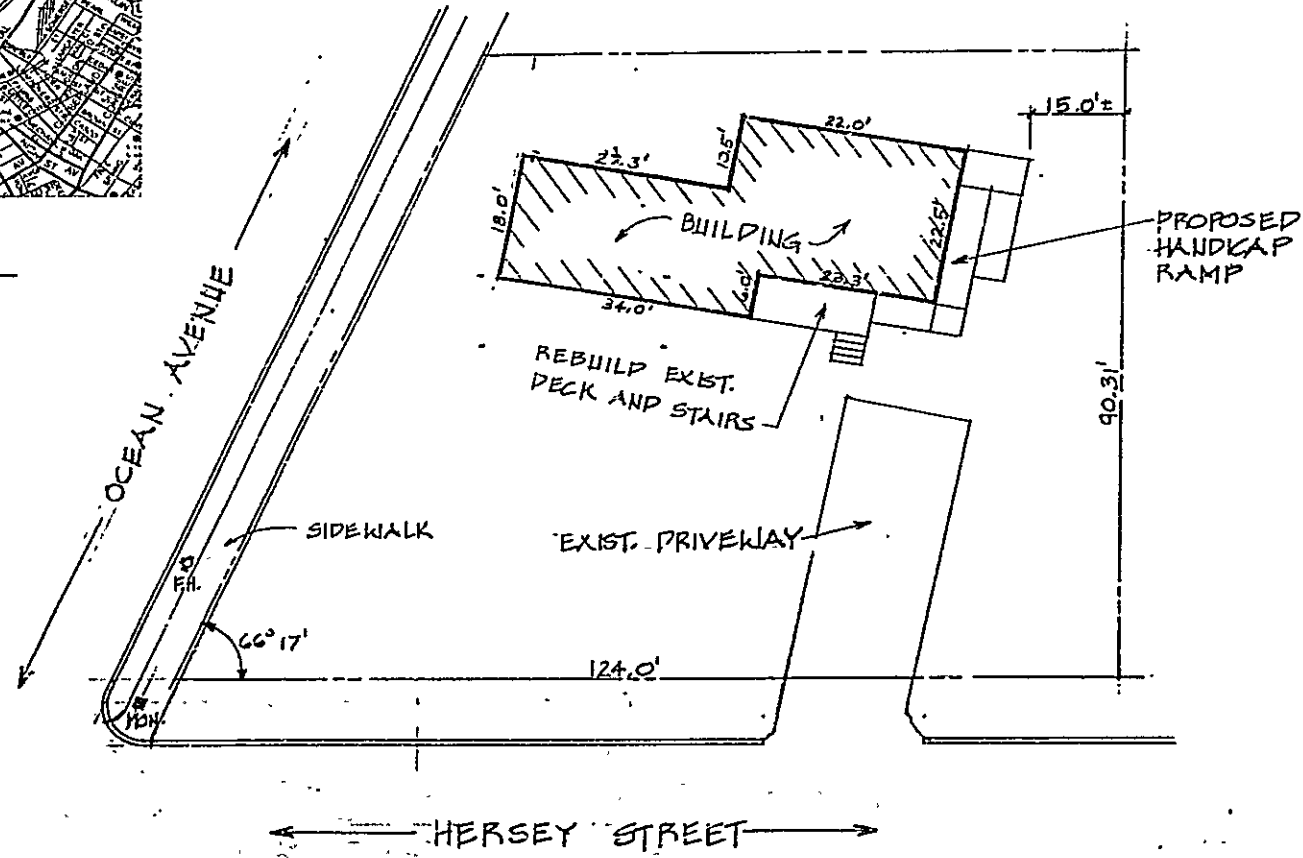
Sincerely,


S. Samuel Hoffses
Chief of Inspection Services

cc: LT Mac Dougall, Fire Prevention Bureau



LOCATION MAP



PLOT PLAN

1" = 20.0'

RECEIVED
MAY 12 1994

NE

TITLE:

DAY ONE BUILDING - HANDICAP RAMP ADDN.
OCEAN AVENUE
PORTLAND, MAINE



ENGINEERING DESIGN PROFESSIONALS
Consulting Engineers
P.O. BOX 373, FREEPORT, MAINE 04037 • (207) 965-9105

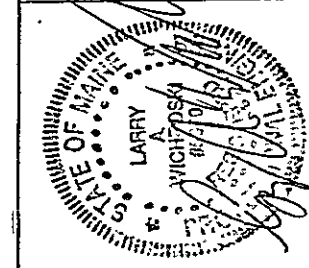
JOB #

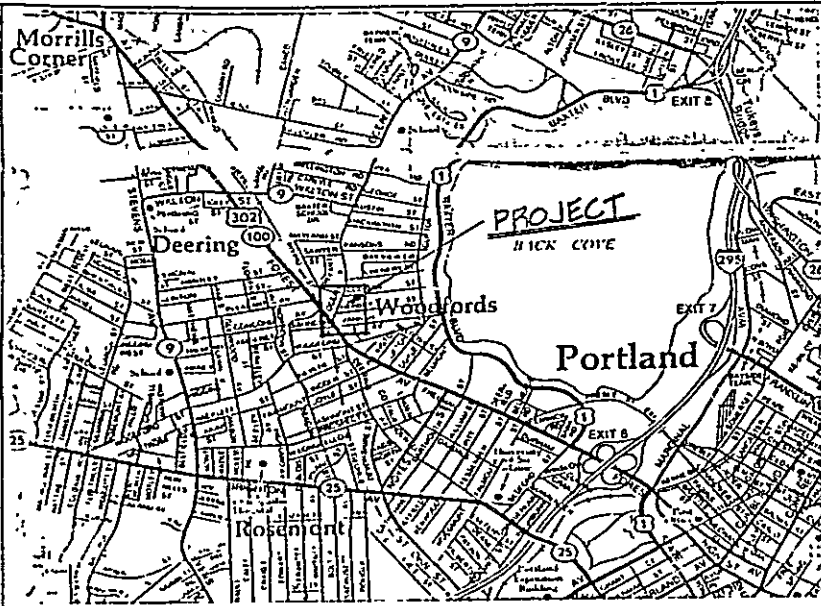
DATE: 5-10-94

NAME: LAW

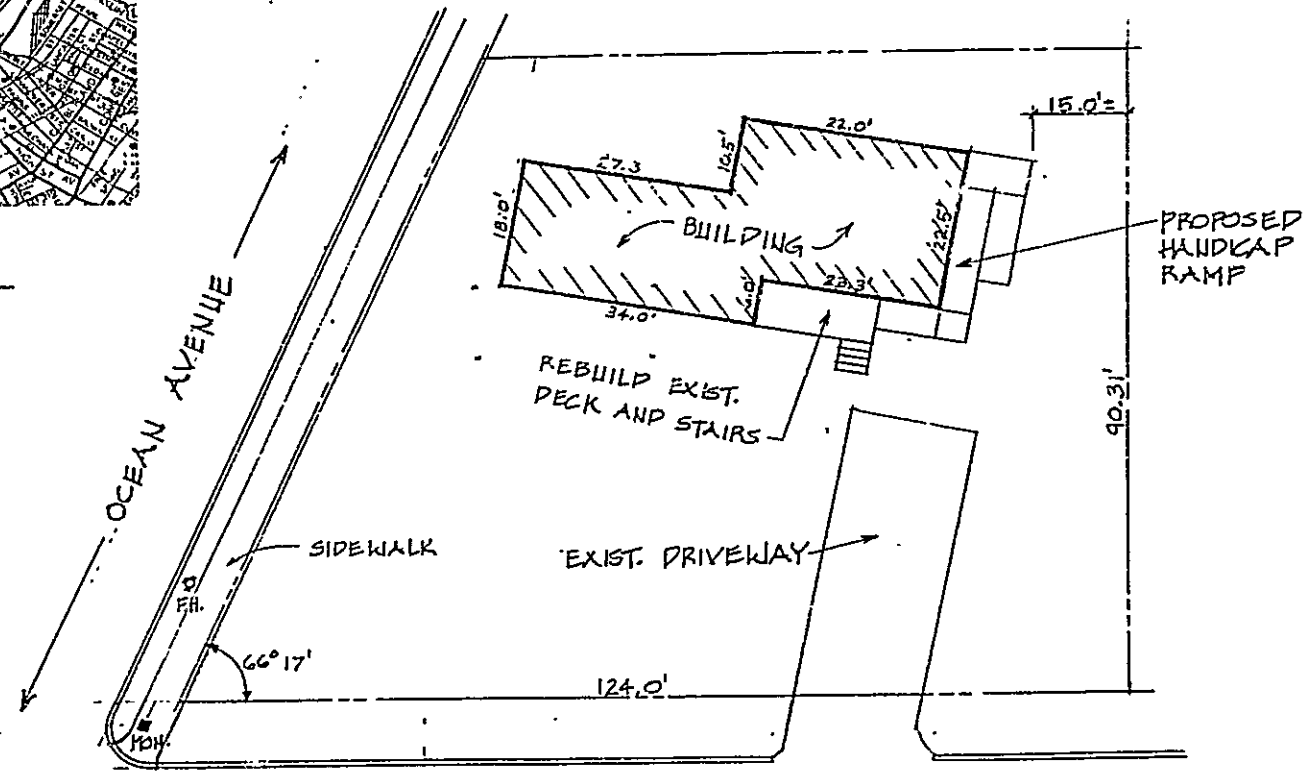
SHEET:

C-1





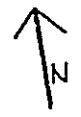
LOCATION MAP



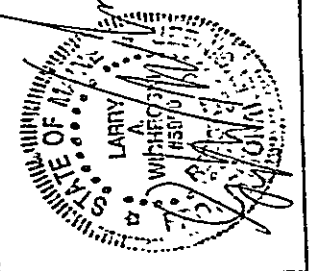
HERSEY STREET

PLOT PLAN

1" = 20.0'



JOB # 04893	DATE: 5-10-94	NAME: LAW	SHEET: C-1
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TITLE:
DAY ONE BUILDING - HANDICAP RAMP ADDN.
 OCEAN AVENUE
 PORTLAND, MAINE

ENGINEERING DESIGN PROFESSIONALS
 Consulting Engineers
 P.O. BOX 373, FREEPORT, MAINE 04032 - (707) 653-9303



FRONT DECK AND HANDICAP RAMP CONSTRUCTION

CONSTRUCTION NOTES:

1. If ledge is found during placement of concrete sonotube foundation, dowel sonotube to ledge with 1 - #5 x 2'-0" long rebar embedded 6".
2. Provide 4 x 4 pressure treated posts centered on each sonotube with Simpson 'AB44' Post bases and Simpson 'PC44' post cap. Install P.T. 2 x 4 diagonal bracing at corner ports of front deck and ramp landings.
3. Provide guard rails (42" high) at deck, ramps and ramp landings per details 1 & 2. Provide handrails (34" high) at stairs, ramps and ramp landings per detail 2.
4. Use pressure treated material for all framing members and ramp sheathing.
5. Use galvanized bolts, washers and nails for all connectors.
6. Use galvanized metal hangers and connectors at all connections. Simpson or approved equal may be used.
7. Verify all dimensions and conditions prior to starting work. Notify the Engineer of any discrepancies or inconsistencies.
8. Bear footings on firm, undisturbed native soil at 4'-0" minimum below lowest adjacent finish.
9. Concrete: Minimum 28-day compressive strength = 3000 psi

TITLE:

DAY ONE
23 OCEAN AVENUE
PORTLAND, MAINE

JOB # 04893

DATE: 5-11-94

NAME: LAW

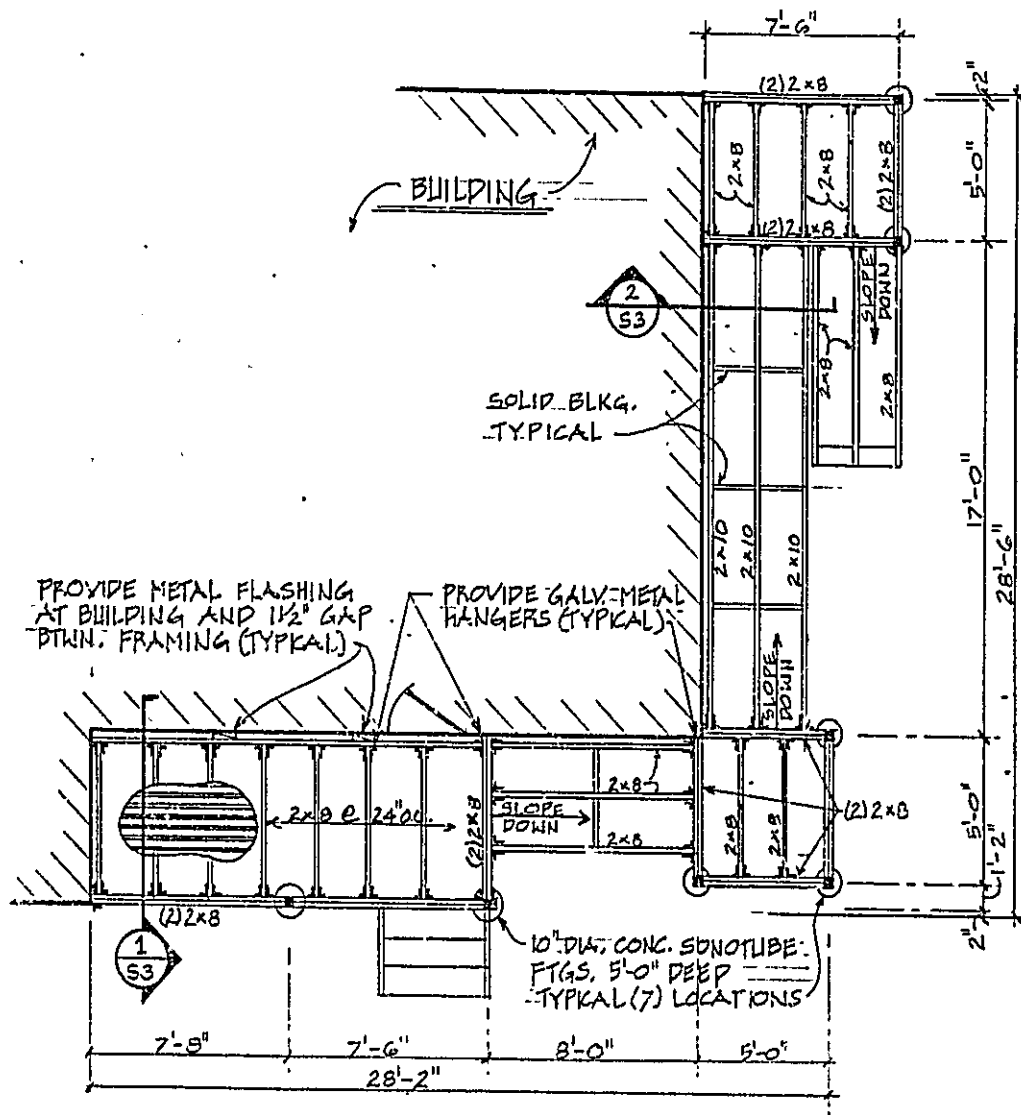
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5-1




ENGINEERING DESIGN PROFESSIONALS
Consulting Engineers

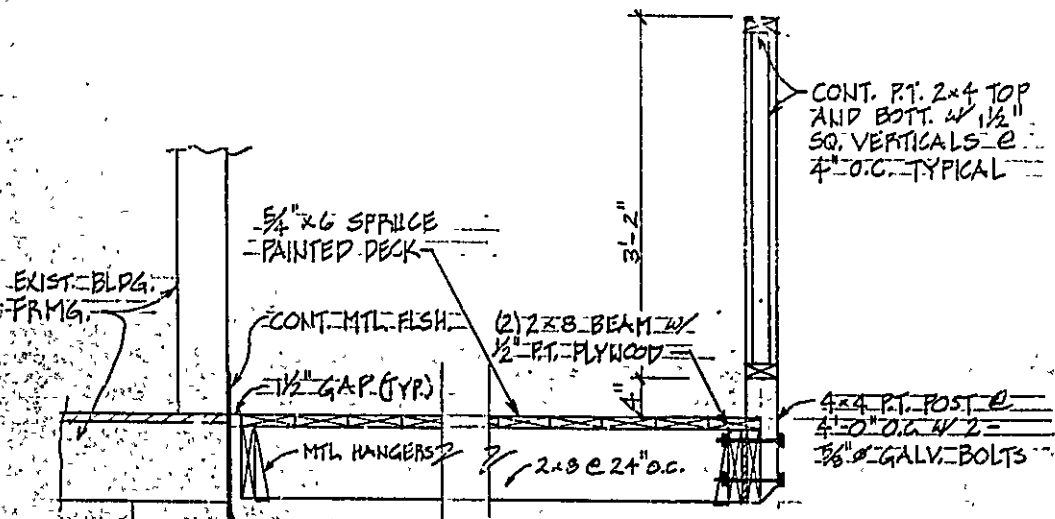
P.O. BOX 575, FREEPORT MAINE 04032 • (207) 865-9505



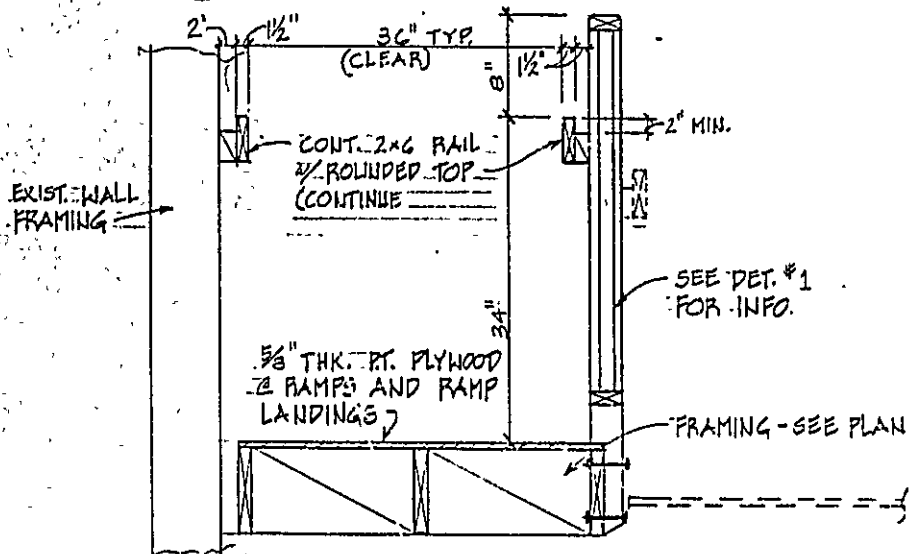
DECK & RAMP FRAMING PLAN

3/16" = 1'-0"

TITLE: DAY ONE 23 OCEAN AVENUE PORTLAND, MAINE	JOB # 04893
	DATE: 5-11-94
 ENGINEERING DESIGN PROFESSIONALS Consulting Engineers P.O. BOX 375, FREEPORT, MAINE 04032 • (707) 865 9505	NAME: LAW
	SHEET: S-2



① DECK FRAMING
3/4" = 1'-0"



② RAMP & RAMP LANDING FRAMING
3/4" = 1'-0"

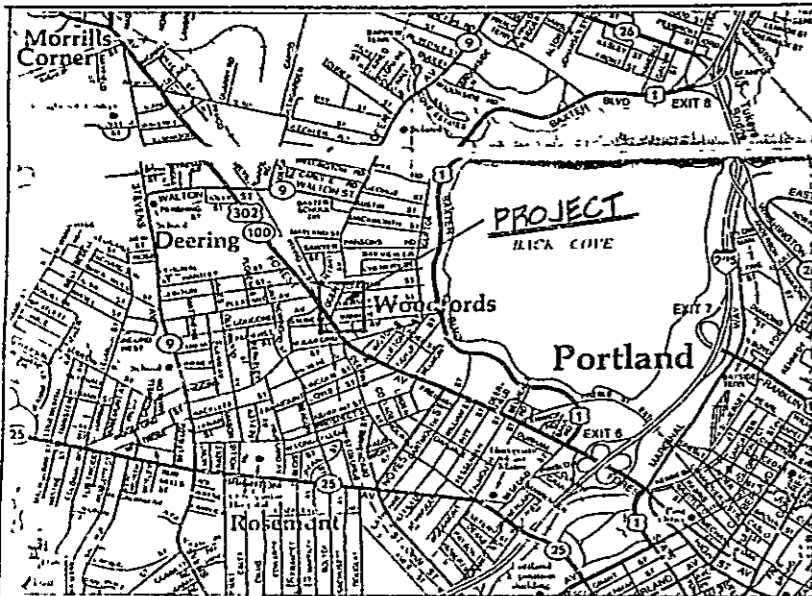
TITLE:
DAY ONE
 23 OCEAN AVENUE
 PORTLAND, MAINE

JOB # 04093
 DATE: 5-11-94
 NAME: LAW

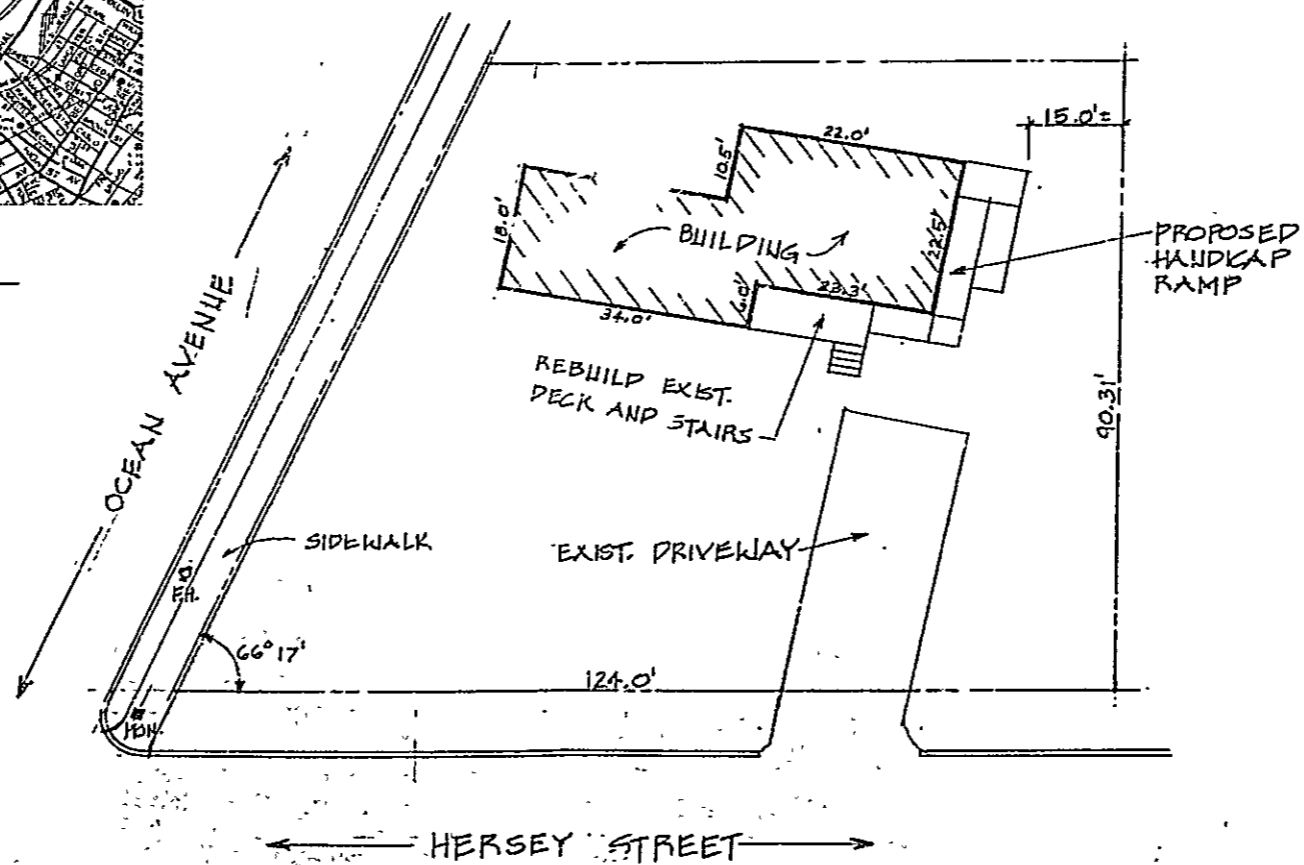


ENGINEERING DESIGN PROFESSIONALS
 Consulting Engineers
 P.O. BOX 575, FREEPORT, MAINE 04032 • (207) 865-9305

SHEET:
S-3



LOCATION MAP

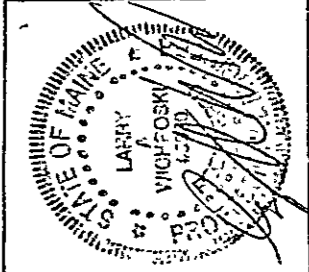


PLOT PLAN

1" = 20.0'

RECEIVED
MAY 12 1994
CITY OF PORTLAND, ME
DEPT. OF BUILDING INSPECTION

JOB #
DATE: 5-10-94
NAME: LAW
SHEET: C-1



TITLE:
DAY ONE BUILDING - HANDICAP RAMP ADJ.
OCEAN AVENUE
PORTLAND, MAINE

ENGINEERING DESIGN PROFESSIONALS
Consulting Engineers
10 BOX 373, FREETOWN, MAINE 04022 • (603) 863-9503



Be sure to also check
Zoning Set-backs

4.7.7 Warning Textures. A curb ramp shall have a detectable warning texture complying with 4.27 and extending the full width and depth of the curb ramp, including any flares (see Fig. 14).

4.7.8 Obstructions. Curb ramps shall be located or protected to prevent their obstruction by parked vehicles.

4.7.9 Location at Marked Crossings. Curb ramps at marked crossings shall be wholly contained within the markings, excluding any flared sides (see Fig. 15).

4.7.10 Diagonal Curb Ramps. If diagonal (or corner-type) curb ramps have returned curbs or other well-defined edges, such edges shall be parallel to the direction of pedestrian flow. The bottom of diagonal curb ramps shall have 48-in (1220-mm) minimum clear space as shown in Fig. 15(c) and (d). If diagonal curb ramps are provided at marked crossings, the 48-in (1220-mm) clear space shall be within the markings (see Fig. 15(c) and (d)). If diagonal curb ramps have flared sides, they shall also have a segment of straight curb at least 24 in (610 mm) long located on each side of the curb ramp and within the marked crossing (see Fig. 15(e)).

4.7.11 Islands. Any raised islands in crossings shall be cut through level with the street or have curb ramps at both sides and a level area at least 48 in (1220 mm) long in the part of the island intersected by the crossings (see Fig. 15(a) and (b)).

*See Appendix for additional information.

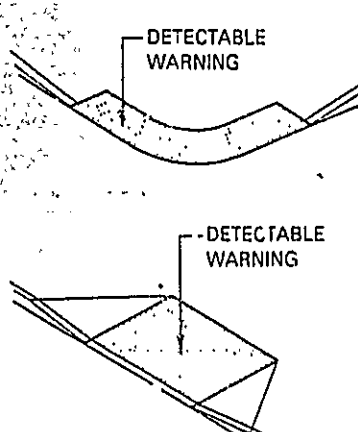


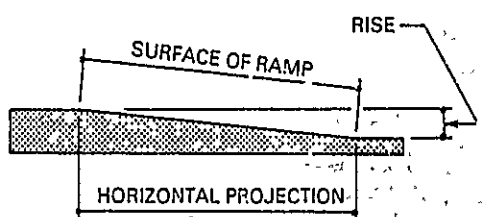
Fig. 14
Warning Signals at Curb Ramps

4.7.12 Uncurbed Intersections. If there is no curb at the intersection of a walk and an adjoining street, parking lot, or busy driveway, then the walk shall have a detectable warning texture complying with 4.27.5 at the edge of the vehicular way.

4.8 Ramps

4.8.1* General. Any part of an accessible route with a slope greater than 1:20 shall be considered a ramp and shall comply with 4.8.

4.8.2* Slope and Rise. The least possible slope shall be used for any ramp. The maximum slope of a ramp in new construction shall be 1:12. The maximum rise for any ramp run shall be 30 in (760 mm) (see Fig. 16). Curb ramps and ramps to be constructed on existing sites or in existing buildings or facilities may have slopes and rises as shown in Table 3 if space limitations prohibit the use of a 1:12 slope or less.



Slope	Maximum Rise		Maximum Horizontal Projection	
	in	mm	ft	m
1:12 to 1:15	30	760	30	9
1:16 to 1:19	30	760	40	12
1:20	39	760	50	15

Fig. 16
Components of a Single Ramp Run and Sample Ramp Dimensions

Table 3
Allowable Ramp Dimensions for Construction in Existing Sites, Buildings, and Facilities

Slope*	Maximum Rise		Maximum Run	
	in	mm	ft	m
Steeper than 1:10 but no steeper than 1:8	3	75	2	0.6
Steeper than 1:12 but no steeper than 1:10	6	150	5	1.5

*A slope steeper than 1:8 not allowed.

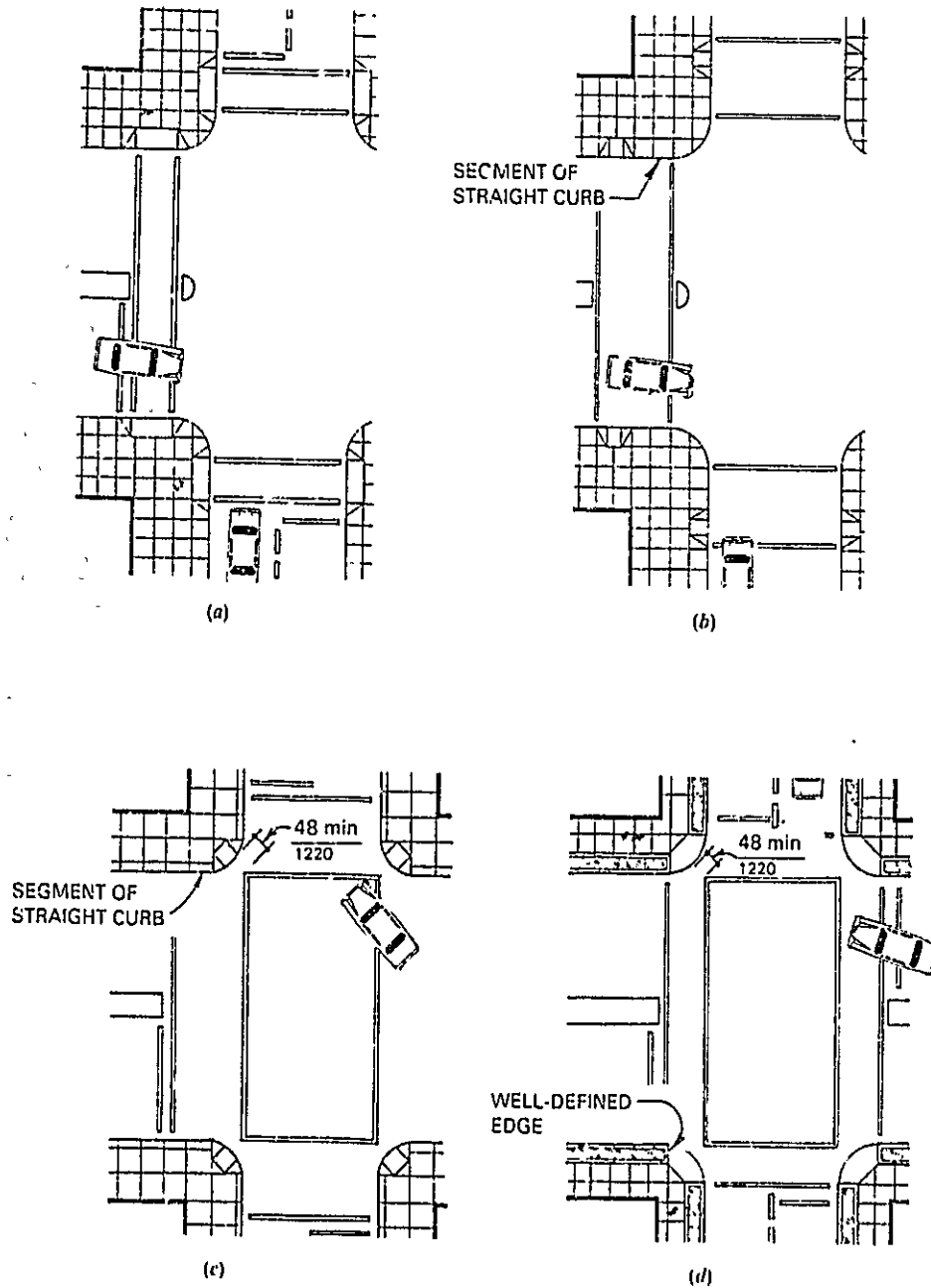


Fig. 15
Curb Ramps at Marked Crossings

4.8.3 Clear Width. The minimum clear width of a ramp shall be 36 in (915 mm) (see Fig. 17).

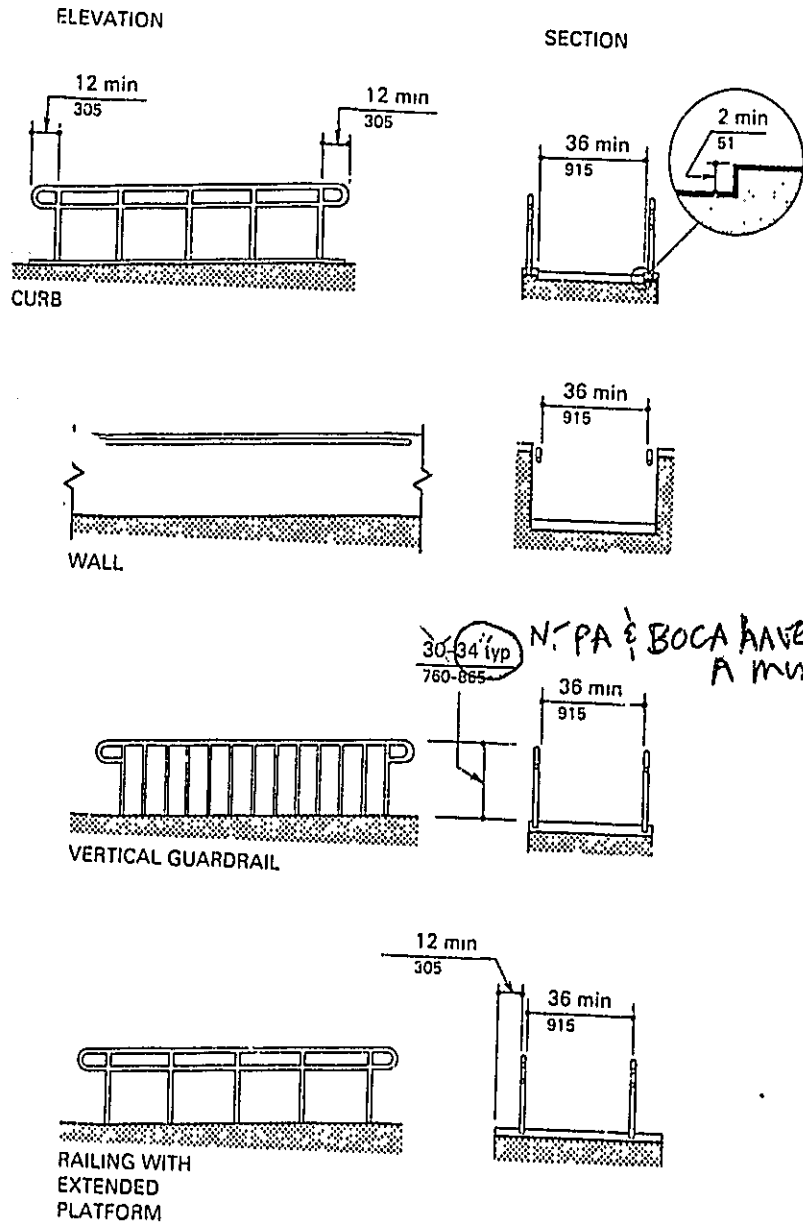


Fig. 17
Examples of Edge Protection and Handrail Extensions

4.8.4 Landings. Ramps shall have level landings at the bottom and top of each run. Landings shall have the following features:

- (1) The landing shall be at least as wide as the widest ramp run leading to it
- (2) The landing length shall be a minimum of 60 in (1525 mm) clear
- (3) If ramps change direction at landings, the minimum landing size shall be 60 in by 60 in (1525 mm by 1525 mm)
- (4) If a doorway is located at a landing, then the area in front of the doorway shall comply with 4.13.6

4.8.5* Handrails. If a ramp run has a rise greater than 6 in (150 mm) or a horizontal projection greater than 72 in (1830 mm), then it shall have handrails on both sides. Handrails are not required on curb ramps. Handrails shall have the following features:

- (1) Handrails shall be provided along both sides of ramp segments. The inside handrail on switch-back or dogleg ramps shall always be continuous.
- (2) If handrails are not continuous, they shall extend at least 12 in (305 mm) beyond the top and bottom of the ramp segment and shall be parallel with the floor or ground surface.
- (3) The clear space between the handrail and the wall shall be 1½ in (38 mm). Handrails may be located in a recess if the recess is a maximum of 3 in (75 mm) deep and extends at least 18 in (455 mm) above the top of the rail (see Fig. 39(d)).
- (4) Gripping surfaces shall be continuous, without interruption by newel posts, other construction elements, or obstructions.
- (5) The diameter or width of the gripping surfaces of a handrail shall be 1½ in (38 mm) to 2 in (51 mm), or the shape shall provide an equivalent gripping surface (see Fig. 39(a), (b), and (c)). Standard pipe sizes designated by the industry as 1½ in (38 mm) to 2 in (51 mm) are acceptable industry tolerances as noted under 3.2.

(6) The top of handrail gripping surfaces shall be mounted between 30 in and 34 in (760 mm and 865 mm) above ramp surfaces.

(7) A handrail and any wall or other surface adjacent to it shall be free of any sharp or abrasive elements. Edges shall have a minimum radius of ¼ in (3.2 mm).

4.8.6 Cross Slope and Surfaces. The cross slope of ramp surfaces shall be no greater than 1:50. Ramp surfaces shall comply with 4.5.

4.8.7 Edge Protection. Ramps and landings with drop-offs shall have curbs, walls, railings, or projecting surfaces that prevent people from slipping off the ramp. Curbs shall be a minimum of 2 in (51 mm) high (see Fig. 17).

4.8.8 Outdoor Conditions. Outdoor ramps and their approaches shall be designed so that water will not accumulate on walking surfaces.

4.9 Stairs

4.9.1 General. Stairs that are required as a means of egress and stairs between floor levels not connected by an elevator shall comply with 4.9.

4.9.2 Treads and Risers. On any given flight of stairs, all steps shall have uniform riser heights and uniform tread depth. Risers shall be a maximum of 7 in (180 mm) in height, and stair treads shall be no less than 11 in (280 mm) in depth, measured from riser to riser (see Fig. 18(a)). Open risers are not permitted on accessible routes.

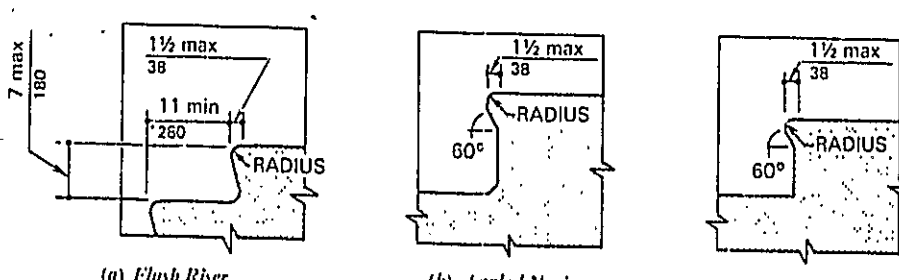
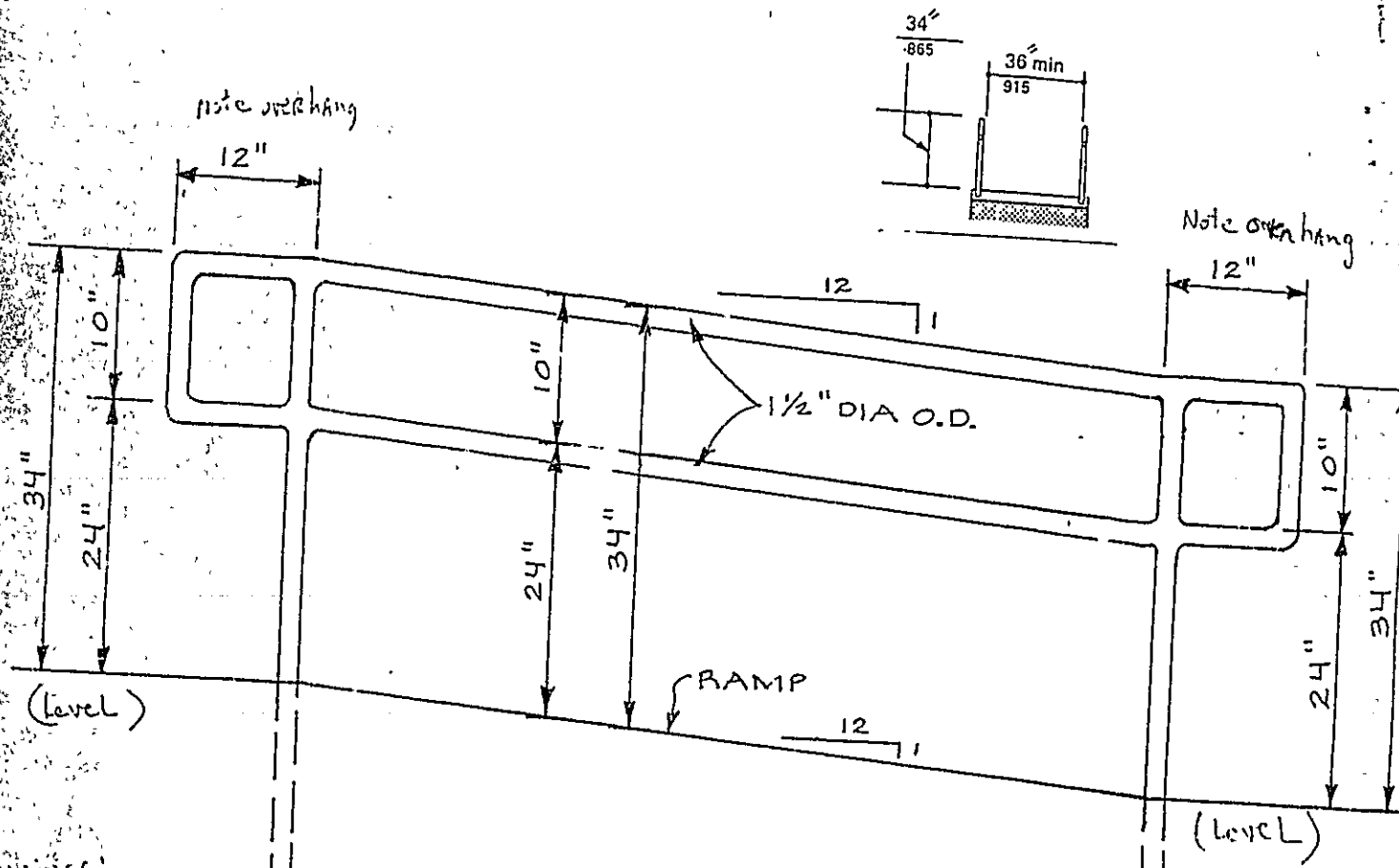


Fig. 18

Usable Tread Width and Examples of Acceptable Nosings



LANDINGS:
 ON A STRAIGHT RUN;
 min. length 60" (5')

ON A DIRECTIONAL CHANGE;
 min 60 x 60" (5' x 5')

MAXIMUM RUN LENGTH:
 the MAX. rise for any RAMP
 RUN shall BE 30" (then LANDING
 needed)

TYPICAL RAMP HANDRAIL
WITH EXTENSIONS

NO SCALE - BE SURE TO CHECK ACTUAL CODES

SK-4

4.24 Grab Bars, and Tub and Shower Seats

4.24.1* General. All grab bars and tub and shower seats in accessible toilet or bathing facilities shall comply with 4.24.

*See Appendix for additional information.

4.24.2 Size and Spacing of Grab Bars. The diameter or width of the gripping surfaces of a grab bar shall be 1/4 in to 1 1/2 in (32 mm to 38 mm), or the shape shall provide an equivalent gripping surface. If grab bars are mounted adjacent to a wall, the space between the wall and the grab bar shall be 1 1/2 in (38 mm) (see Fig. 39(c)).

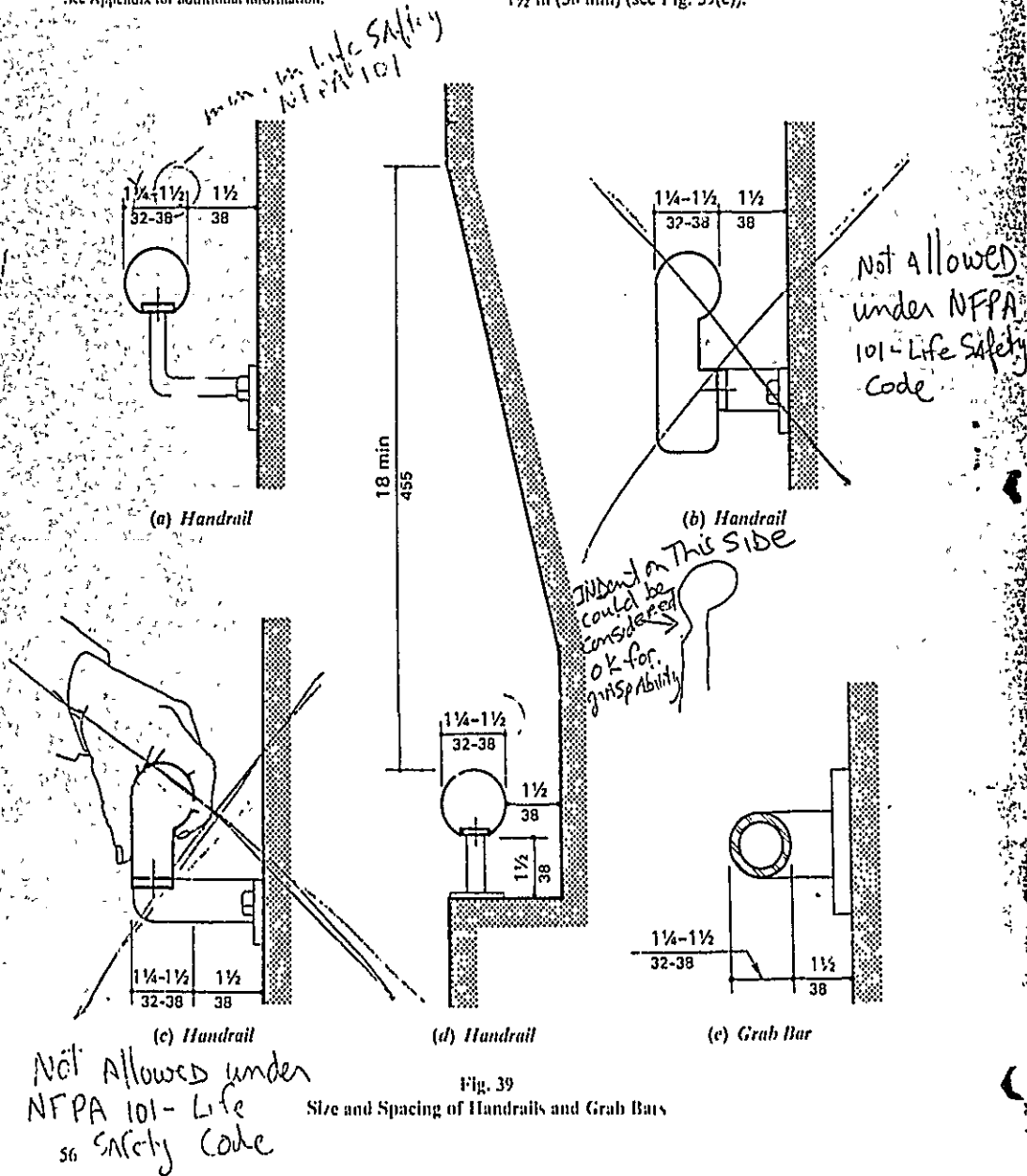


Fig. 39

Size and Spacing of Handrails and Grab Bars

940445

Permit # 940445 City of Portland BUILDING PERMIT APPLICATION Fee 45.00 Zone _____ Map # _____ Lot# _____
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Drug Rehab Inc. Phone # 767-0991
 Address: 23 Ocean Ave PtId, ME 04103
 LOCATION OF CONSTRUCTION 23 Ocean Ave
 Contractor: self Sub: _____
 Address: _____ Phone # _____
 Est. Construction Cost: 5,000.00 Proposed Use: Office w/ramp
 Past Use: Office
 # of Existing Res. Units _____ # of New Res. U-Its _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion Construct Handicapp Ramp as per plans

For Official Use Only **PERMIT ISSUED**
 Date 11 May '94 Subdivision: _____ Name _____
 Inside Fire Limits _____ Lot _____
 Bldg Code _____ Ownership: _____
 Time Limit _____
 Estimated Cost _____
 Zoning: R-1
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) W.D. 25-13-94

Foundations:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floors:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. window _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____
Roof:
 1. Truss or Rafter Size _____ Spar Action: _____ Approved.
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
Chimneys: Date: 5/13/94
 Type: _____ Number of Fire Places 3
Heating: Type of Heat: _____
Electrical: Service Entrance Size _____ Smoke Detector Required Yes _____ No _____
Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures NSR 6-TAP 1-1 14PR.
Swimming Pools:
 1. Type: _____
 2. Pool Size: _____
 3. Must conform to National Electrical Code

PERMIT ISSUED
 WITH SCHEDULE _____
 Mary Gresham **PERMIT ISSUED**
 Paul R. Butters **WITH LETTER**
 Date: _____ May 94
 CEO's District 12 Paul Butters

White - Tax Assessor

CONTINUED TO REVERSE SIDE
 Ivory Tag - CEO 6 11/11/94

PLOT PLAN

N
↑

FEES (Breakdown From Front)

Base Fee \$ _____
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Inspection Record

Type	Date
AR, Work in Progress	10 / 7 / 94
AR Completed	2 / 7 / 95

COMMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE NO.