

78-82 VANNAH AVENUE

SHAW-WALKER

Full cut # 920R - Half cut # 920R1 - Third cut # 920R2 - Fifth cut # 920R3

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. **2190**
 Issued **9/12/74**
 Portland, Maine **9/12**, 19**74**

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee, \$1.00)

Owner's Name and Address **Steven Phanos** Tel. **774-9328**
 Contractor's Name and Address **Al Ames** Tel. **774-0604**
 Location **80 Vannah Ave.** Use of Building **Res.**

Number of Families Apartments Storcs Number of Stories
 Description of Wiring: New Work Additions Alterations

Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)

No. Light Outlets Plugs Light Circuits Plug Circuits

FIXTURES: No. Fluor. or Strip Lighting (No. feet)

SERVICE: Pipe Cable Underground No. of Wires **2** Size **2/2 + 1/4 100A**

METERS: Relocated Added Total No. Meters

MOTORS: Number Phase H. P. Amps Volts Starter

HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.

Commercial (Oil) No. Motors Phase H.P.

Electric Heat (No. of Rooms)

APPLIANCES: No. Ranges Watts Brand Feeds (Size and No.)

Elec. Heaters Watts

Miscellaneous Watts Extra Cabinets or Panels

Transformers Air Conditioners (No. Units) Signs (No. Units)

Will commence 19 Ready to cover in **9/12 1974** Inspection 19

Amount of Fee \$ **2.00**

Signed **Al Ames**

DO NOT WRITE BELOW THIS LINE

SERVICE	<input checked="" type="checkbox"/>	METER		GROUND	
VISITS: 1	9-12-74	2	9-13-74	3	9-16-74
.....	7	8	9	10	11
.....					12

REMARKS:

Service called in

INSPECTED BY

Libby

(OVER)

PERMIT TO INSTALL PLUMBING

Date Issued **March 6, 1970**
 Portland Plumbing Inspector
 By **ERNOLD R GOODWIN**

App. First Insp.
 Date **3/11/70**
 By **WALTER H. WALLACE**
 DEPUTY PLUMBING INSPECTOR

App. Final Insp.
 Date **3/11/70**
 By **WALTER H. WALLACE**
 DEPUTY PLUMBING INSPECTOR

- Type of Bldg.
- Commercial
 - Residential
 - Single
 - Multi Family
 - New Construction
 - Remodeling

Address		PERMIT NUMBER 1178	
Installation For		Date	
Owner of Bldg.		NO 5/6/70 FEE	
Owner's Address:		Date:	
Plumber:			
NEW	REPL		
		SINKS	
		LAVATORIES	
		TOILETS	1
		BATH TUBS	1
		SHOWERS	1
		DRAINS	
		FLOOR SURFACE	
		HOT WATER TANKS	
		TANKLESS WATER HEATERS	
		GARBAGE DISPOSALS	
		SEPTIC TANKS	
		HOUSE STWERS	
		ROOF LEADERS	
		AUTOMATIC WASHERS	
		DISHWASHERS	
		OTHER	
		TOTAL	3 6.00

Building and Inspection Services Dept., Plumbing Inspection



2-3172

R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

April 25, 1960

Portland, Maine

PERMIT ISSUED

APR 29 1960

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby apply for a permit to erect alter-repair-demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 80 Varnah Ave. Within Fire Limits? no Dist. No. _____

Owner's name and address Steve Shamos, 80 Varnah Ave. Telephone _____

Lesse's name and address _____ Telephone _____

Contractor's name and address Monte Construction Co., 42 Anson Rd. Telephone 3-6672

Architect _____ Specifications _____ Plans yes No. of sheets 1

Proposed use of building Dwelling No. families 1

Last use _____ " No. families 1

Material frame No. stories 2 1/2 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$ 2000.00 Fee \$ 5.00

General Description of New Work

To construct 1-story frame addition 20' x 16' on rear of existing building.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? yes

Height average grade to top of plate 10'6" Height average grade to highest point of roof 14'

Size, front 20' wide depth 16' long No. stories 1 solid or filled land? solid earth or rock? earth

Material of foundation concrete at least 4' below grade Thickness, top 10" bottom 10" cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof pitch Rise per foot 4" Roof covering Asphalt Glass C Und. Lab.

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x6 Sills 2x8 box

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Kind and thickness of outside sheathing of exterior walls? _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2x10, 2nd _____, 3rd _____, roof 2x8

On centers: 1st floor 16", 2nd _____, 3rd _____, roof 16"

Maximum span: 1st floor 15'2", 2nd _____, 3rd _____, roof 11'

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

4/29/60 G. E. Mc

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Steve Shamos
Monte Construction Co.

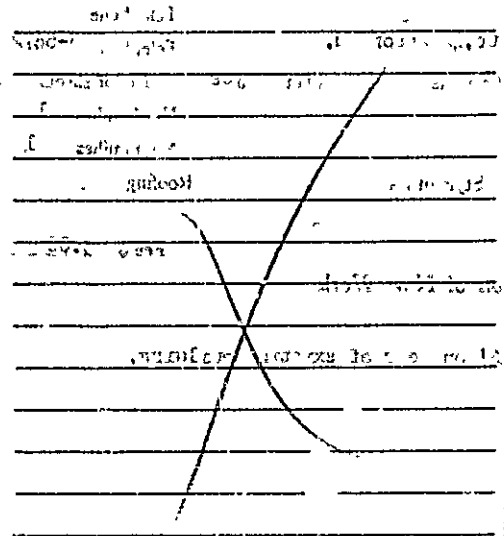
INSPECTION COPY

Signature of owner by: Steve Shamos

Monte Construction Co.
G. E. Mc

NOTES

5/15/60 - Tell stickers to
 foundation - Allan
 5/17/60 - starting to
 frame up - Allan
 6/7/60 - Tell POT to
 close in - Allan
 6/14/60 - work done - Allan



[The following text is mostly illegible due to the large 'X' and poor scan quality.]

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Permit No.	60-1440
Location	<i>[illegible]</i>
Date of permit	4/19/60
Notif. closing in	<i>[illegible]</i>
Inspm. closing in	<i>[illegible]</i>
Final Notif.	<i>[illegible]</i>
Final Inspn.	<i>[illegible]</i>
Cert. of Occupancy issued	<i>[illegible]</i>
Staking Out. Notice	<i>[illegible]</i>
Form Check Notice	<i>[illegible]</i>

[Illegible text, possibly part of a permit application or report.]

[Illegible text, possibly part of a permit application or report.]

[Illegible text, possibly part of a permit application or report.]

APPROVED:
 [Signature]
 [Title]

APPROVED:
 [Signature]
 [Title]



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1

Portland, Maine, May 19, 1960

PERMIT ISSUED

MAY 19 1960

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 60/440 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 80 Hannah Ave. Within Fire Limits? Dist. No.
Owner's name and address Steve Sh... 80 Hannah Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address Monte Construction Co., 42 Anson Rd. Telephone
Architect Plans filed No. of sheets 1
Proposed use of building Dwelling No. families 1
Last use " No. families 1
Increased cost of work Additional fee 50

Description of Proposed Work

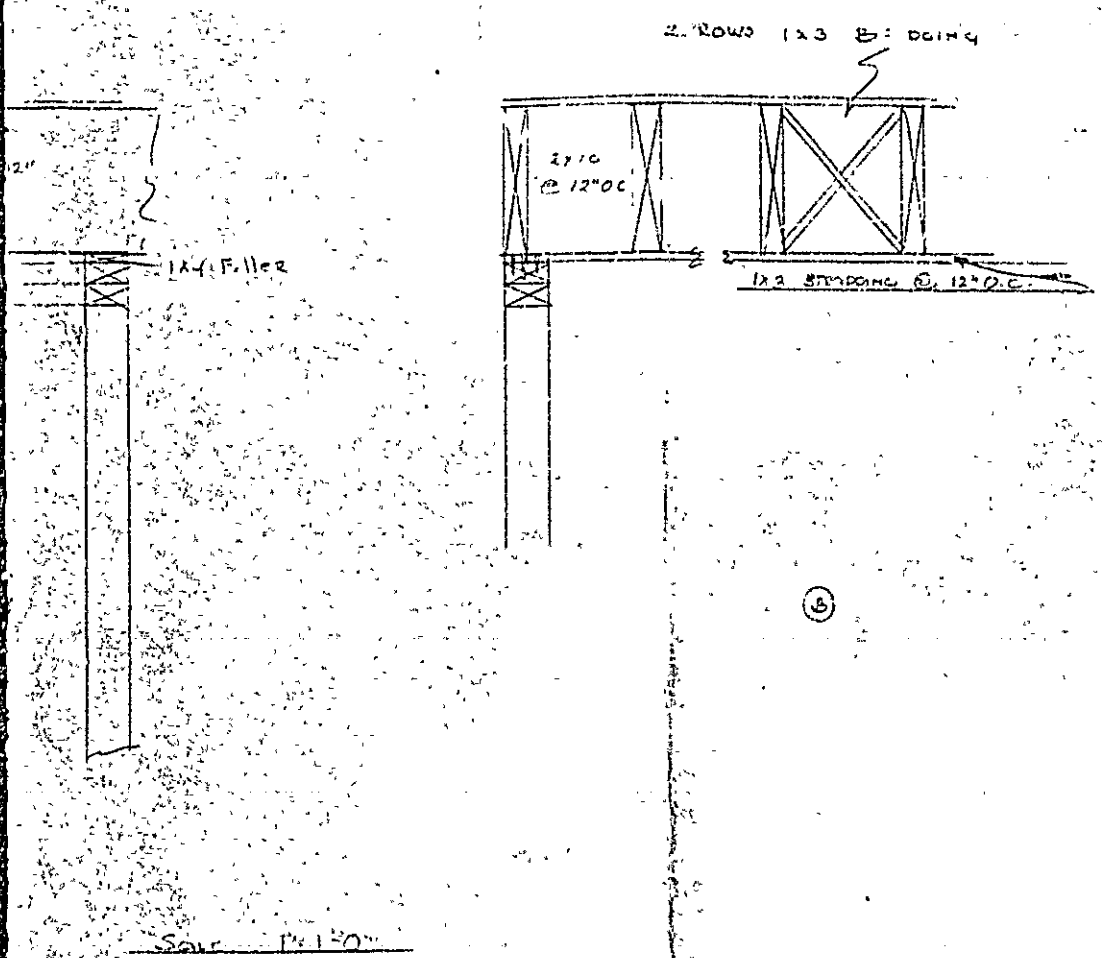
To provide flat roof for new addition as per plan filed today.

Details of New Work Monte Construction Co.

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber--Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof

Approved:

Signature of Owner [Signature] Monte Construction Co.
Approved: Albert J. Sears Inspector of Buildings



N. T. FOX CO., INC., PORTLAND, ME.	
WORK FOR MR. STEVE SHAW AT 80 YANBISH AVE.	
DRAWING FOR MONTE CARLO KENNES PORT FRAMING	
By <i>J. D. King</i>	DWG. No. 1 OF 1
DATE May 18, 1960	SCALE - NONE



DOUBLE
SINGL

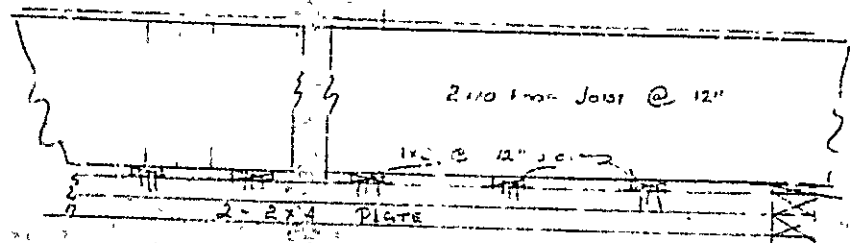
20'-0"

Ⓟ

Ⓟ

MINI PLAN

SCALE - 1/4" = 1'-0"



2 1/2" 1 1/2" JOIST @ 12"

1x4 @ 12" o.c.

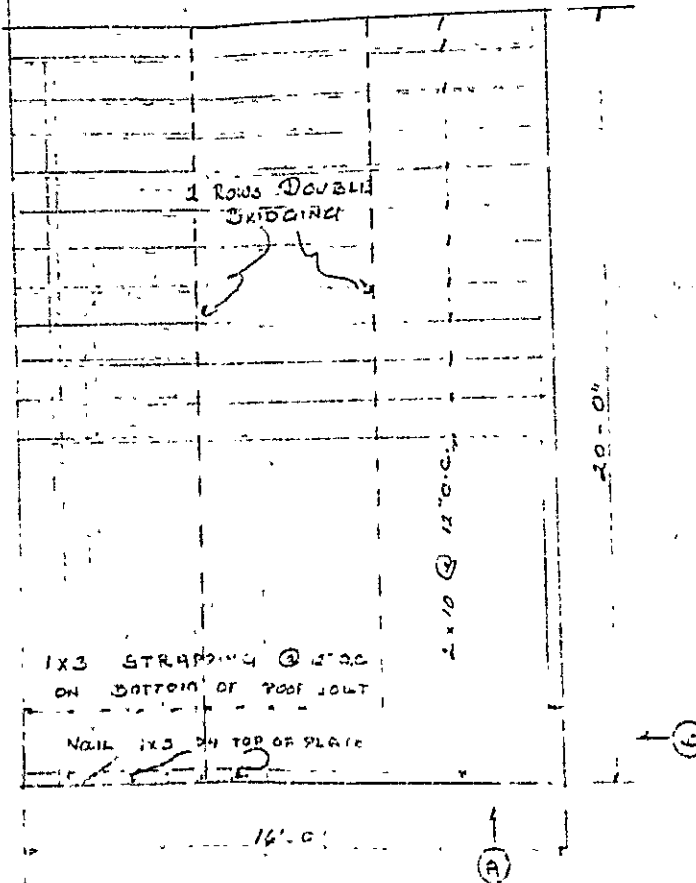
2 - 2x4 PLATE

1x4 FILLER

Spac 1'-0"



EXISTING BLOCK



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



FILL IN AND SIGN WITH INK
**APPLICATION FOR PERMIT FOR
 HEATING, COOKING OR POWER EQUIPMENT**

Portland, Maine, **January 15, 1947**

PERMIT IS NEW
00064
JAN 14 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location ⁷⁸⁻⁵² ~~101-24~~ **Vannah Ave.** ... Use of Building **Dwelling** ... No. Stories ... **New Building**
 Name and address of owner of appliance **Benson & Grant, 19 Vannah Avenue** ... **Existing**
 Installer's name and address **Randall & McAllister, 84 Commercial St.** ... Telephone **3-2941**

General Description of Work

To install **oil burning equipment in connection with steam heat**

IF HEATER, OR POWER BOILER

OK 1/13/47 - ajs

Location of appliance or source of heat ... Type of floor beneath appliance ...
 If wood, how protected? ... Kind of fuel ...
 Minimum distance to wood or combustible material, from top of appliance or casing top of furnace ...
 From top of smoke pipe ... From front of appliance ... From sides or back of appliance ...
 Size of chimney flue ... Other connections to same flue ...
 If gas fired, low vented? ... Rated maximum demand per hour ...

IF OIL BURNER

Name and type of burner **Timken** ... Labeled by underwriters' laboratories? **798**
 Will operator be always in attendance? ... Does oil supply line feed from top or bottom of tank? **bottom**
 Type of floor beneath burner **concrete**
 Location of oil storage **basement** ... Number and capacity of tanks **1-220 gal**
 If two 275-gallon tanks, will three-way valve be provided?
 Will all tanks be more than five feet from any flame? **yes** ... How many tanks fire proofed? ...

IF COOKING APPLIANCE

Location of appliance ... Kind of fuel ... Type of floor beneath appliance ...
 If wood, how protected? ...
 Minimum distance to wood or combustible material from top of appliance ...
 From front of appliance ... From sides and back ... From top of smokepipe ...
 Size of chimney flue ... Other connections to same flue ...
 Is hood to be provided? ... If so, how vented? ...
 If gas fired, how vented? ... Rated maximum demand per hour ...

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? **1.00** (\$1.00 for one heater, etc, 50 cents additional for each additional heater, etc, in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? **yes**

Randall & McAllister

Signature of Installer *[Signature]*

INSPECTION COPY

Permit No. 47/64

Location Lot 94 Vansah Ave

Owner Benson & Grant

Date of permit 1/14/47

Approved 2/2/47

NOTES

1/24/47 - 0.5 E.S.

1. Fill Pipe
2. Vent Pipe
3. Kind of Beat ST
4. Burner & Supports SC
5. Name of Tank T.M.
6. Slack Control
7. High Limit Control
8. Low Limit Control
9. Lifting Support & Protection
10. Valves to Supply Line
11. Capacity of Tank
12. Tank Rigidity & Supports
13. Tank Bracing
14. C.G. Gauge
15. Location Card
16.



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, December 13, 1946

PERMIT ISSUED

02459 DEC 13 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland and the following specifications:

Location: 78-81 Vannan Avenue Use of Building: Dwelling No. Stories: 2 New Building: Yes
Name and address of owner of appliance: Fernald Park Corporation, 19 Vannan Avenue
Installer's name and address: Wm. B. Lawrence & Sons, Inc., 844 Stevens Ave. Telephone: 2-2852

General Description of Work

To install steam heating system

IF HEATER, OR POWER BOILER

Location of appliance or source of heat: Cellar Type of floor beneath appliance: Concrete
Kind of fuel: oil
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace: 3'
From top of smoke pipe: 16" From front of appliance: over 4' From sides or back of appliance: over 3'
Size of chimney flue: 8x12 Other connections to same flue: none
If gas fired, how vented? Raised maximum demand per hour

IF OIL BURNER

Name and type of burner: Labeled by Underwriters' laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner
Location of oil storage Number and capacity of tanks
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? How many tanks fire proofed?

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? \$1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

William B. Lawrence & Sons, Inc.

Signature of Installer

Handwritten signature of William B. Lawrence & Sons, Inc.

INSPECTION COPY

Permit N 46/2499

Location - ⁷⁸⁻¹⁸¹~~87-88~~ Vannan Ave

Owner Furnell Park Camp.

Date of permit 12/18/46

Approved 2/6/47

NOTES

2/20/47 - O.K. E.S.

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

CERTIFICATE OF OCCUPANCY

This is to certify that the building at
number _____ street, taken under building
6/27/71, has been finally inspected and may
be used for the purpose of one-family dwelling.

Date 7/21/71

Inspector of Buildings

Issued to Armida Park Corp.

See record for description

Permit to be framed later

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for Summit Park Corp
at Hervey Saunders Hall Date Apr 29, 48

1. In whose name is the title of the property now recorded? Summit Park Corp
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Yes from stakes
3. Is the outline of the proposed work now staked out upon the ground? Will be
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? Yes
4. What is to be maximum projection or overhang of eaves or drip? 4"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes

Summit Park Corp
By Clayton M. Manso

217 2 (94)



(RC) RESIDENCE ZONE - C (RAA) RESIDENCE ZONE - AA

APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. _____

Class of Building or Type of Structure Third Class

Portland, Maine, April 30, 1946

MAY 19 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ alter the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 78-82 Vannah Avenue (Lot 94) Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address Wernald Park Corp., 19 Vannah Avenue Telephone _____

Contractor's name and address owners Telephone _____

Architect W. O. Armitage Standard Plan C Fernald Park - Vannah Ave. Plans filed yes No. of sheets 5

Proposed use of building Dwelling and attached garage No. families 1

Other buildings on same lot _____ Fee \$ 4.00

Estimated cost \$ 8000.

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To construct 2 story frame dwelling 26'x24' with attached garage

The inside of the garage will be covered, where required by law, with perforated gypsum lath and covered with one-half inch thickness gypsum plaster. No opening between garage and dwelling.

4
2
6

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes

Is any electrical work involved in this work? yes Height average grade to top of plate 19'

Size, from 26' depth 24' No. stories 2 Height average grade to highest point of roof 20'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation concrete at least 4' below grade Thickness, top 10" bottom 12" cellar yes

Material of underpinning " to sill _____ Height _____ Thickness _____

Kind of roof pitch-gable Rise per foot 7" Roof covering asphalt roofing Glass C. Ind. Lab.

No. of chimneys 1 Material of chimneys brick of lining tile

Kind of heat hot water (forced) Type of fuel oil Is gas fitting involved? _____

Framing lumber—Kind hemlock Dressed or full size? dressed

Corner posts 1x6 Sills 1x6 Girt or ledger board? none Size _____

Material columns under girders iron pipe Size 4" Max. on centers 9'

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. ceiling

Joists and rafters: 1st floor 2x8, 2nd 2x8, 3rd 2x6, roof 2x8

On centers: 1st floor 16", 2nd 16", 3rd 20", roof 20"

Maximum span. 1st floor 12'6", 2nd 12'6", 3rd _____, roof 12'

If one story building with masonry walls, thickness of walls? 6x8 girder concrete floor in garage Height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated 1

Total number commercial cars to be accommodated none

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Wernald Park Corp
Edwin M. Benson

ORIGINAL

WPA

Permit No. 46/817

Location 78-82 Van Ness Ave

Owner Thrashed Park Corp

Date of permit 5/11/46

Notif. closing-in 9/6/46

Inspn. closing-in 9/6/46

Final Notif.

Final Inspn. 2/29/47

Cert. of Occupancy issued 2/21/47

NOTES

5/10/46 - Staking out
 O.K. - A.S.
 5/14/46 - Brick excavation
 made. Blue clay - O.K.
 5/21/46 - No change - O.K.
 5/24/46 - Erecting steel
 5/27/46 - Foundation
 poured - O.K.
 6/12/46 - Striping and
 parking - O.K.
 7/1/46 - No change - O.K.
 7/31/46 - Framing
 walls and roof - O.K.
 9/6/46 - Firestop around
 chimney at first floor
 level. Firestop lally
 columns in basement

Fill firestop around
 chimney at first floor
 level. Firestop lally
 columns in basement
 permission given to
 close in except around
 plumbing.

9/10/46 - permission
 given to close in
 firestop and stack
 9/17/46 - close in
 2/20/47 - O.K. E.S.S.